

**REVIEW BY FORT BEND COUNTY
COMMISSIONERS COURT**

13F
**Fort Bend County
Engineering Department**
301 Jackson Suite 401
Richmond, Texas 77469
281.633.7500
Permits@fortbendcountytexas.gov

- Right of Way Permit
 Commercial Driveway Permit

Permit No: 2018-20743

Applicant: Haider Zaman / C.ENG, Inc.

Job Location Site: 15545 West Bellfort, Sugar Land, TX 77498

Bond No. **Date of Bond:** 6/6/2018 **Amount:** \$5,000.00

The above applicant came to make use of certain Fort Bend County property subject to, "The Order Regulating the Laying, Construction, Maintenance, and Repair of Buried Cables, Conduits, and Pole Lines, In, Under, Across or Along Roads, Streets, Highways, and Drainage Ditches in Fort Bend County, Texas, Under the Jurisdiction of the Commissioners Court of Fort Bend County, Texas," as passed by the Commissioners Court of Fort Bend County, Texas, of the Minutes of the Commissioners Court of Fort Bend County, Texas, to the extent that such order is not inconsistent with Chapter 181, Vernon's Texas Statutes and Codes Annotated.

Notes:

1. Evidence of review by the Commissioners Court must be kept on the job site and failure to do so constitutes grounds for job shutdown.
2. Written notices are required:
 - a. 48 hours in advance of construction start up, and
 - b. When construction is completed and ready for final inspection, submit notification to Permit Administrator thru MyGovernmentOnline.org portal.
3. This permit expires one (1) year from date of permit if construction has not commenced.

On this 26th day of June, 2018, Upon Motion of Commissioner Meyers, seconded by Commissioner Patterson, duly put and carried, it is ORDERED, ADJUDGED AND DECREED that said notice of said above purpose is hereby acknowledged by the Commissioners Court of Fort Bend County, Texas, and that said notice be placed on record according to the regulation order thereof.

Signature

By:

Sean Eglinton
County Engineer

Presented to Commissioners Court and approved.

Date Recorded 7-3-2018 Comm. Court No. 13F

N/A

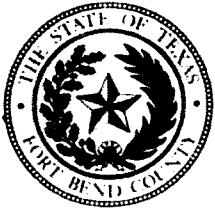
By:

Drainage District Engineer/Manager

Clerk of Commissioners Court

By:

Ronda Wilkins
Deputy



**PERMIT APPLICATION REVIEW FORM FOR
CABLE, CONDUIT, AND POLE LINE ACTIVITY
IN FORT BEND COUNTY**

**Fort Bend County
Engineering Department**
301 Jackson Suite 401
Richmond, Texas 77469
281.633.7500
Permits@fortbendcountytx.gov

- Right of Way Permit
 Commercial Driveway Permit

Permit No: 2018-20743

The following "Notice of Proposed Cable, Conduit, and/or Pole Line activity in Fort Bend County" and accompanying attachments have been reviewed and the notice conforms to appropriate regulations set by Commissioner's Court of Fort Bend County, Texas.

(1) COMPLETE APPLICATION FORM:

- a. Name of road, street, and/or drainage ditch affected.
 b. Vicinity map showing course of directions
 c. Plans and specifications

(2) BOND:

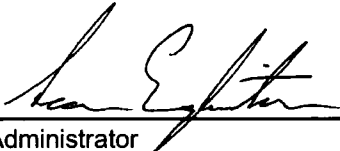
- County Attorney, approval when applicable.
- Perpetual bond currently posted. Bond No: _____ Amount: _____
- Performance bond submitted. Bond No: XXXXXXXXXX Amount: \$5,000.00
- Cashier's Check Check No: _____ Amount: _____

(3) DRAINAGE DISTRICT APPROVAL (WHEN APPLICABLE):

Drainage District Approval

Date

We have reviewed this project and agree it meets minimum requirements.



Permit Administrator

6/15/2018

Date

40



**PERFORMANCE BOND COVERING ALL CABLE, CONDUIT AND/OR POLE LINE
ACTIVITY IN, UNDER, ACROSS OR ALONG FORT BEND COUNTY ROAD,
COMMERCIAL DRIVEWAY AND MEDIAN OPENINGS OR MODIFICATIONS
(AUTHORIZED)**

BOND NO [REDACTED]

THE STATE OF TEXAS §
COUNTY OF FORT BEND §

KNOW ALL MEN BY THESE PRESENTS:

THAT WE, Haider Zaman
whose (address, phone) is 17207 Kininvie Crossing RICHMOND, TX 77407
Texas, hereinafter called the Principal, and Travelers Casualty and Surety Company of America,
a Corporation existing under and by virtue of the laws of the state of Texas and
authorized to do an indemnifying business in the state of Texas, and whose principal office is
located at (name/address/phone) One Tower Square Hartford, CT 06183,
whose officer residing in the State of Texas, authorized to accept service in all suits and
actions brought whining said state is George Adams and whose address is
4501 Cartwright Rd., Suite 402 Missouri City, TX 77459, hereinafter called the Surety,
and held and firmly bound unto, Robert E. Hebert, County Judge of Fort Bend County, Texas,
or his successors in office, in the full sum of Five Thousand
Dollars (\$5,000.00) current, lawful money of the United States of America, to be paid to
said Robert E. Hebert, County Judge of Fort Bend County, Texas, or his successors in office,
to which payment well and truly to be made and done, we, the undersigned, bind ourselves
and each of us, our heirs, executors, administrators, successors, assigns, and legal
representatives, jointly and severally, by these presents.

THE CONDITION OF THIS BOND IS SUCH THAT, WHEREAS, the above bounden
principal contemplates laying, constructing, maintaining and/or repairing one or more cables,
conduits, and/or pole lines in, under, across and/or along roads, streets and highways,
commercial driveway and median openings or modifications in the County of Fort Bend, and
the State of Texas, under the jurisdiction of the Commissioners' Court of Fort Bend County,
Texas, pursuant to the Commissioners' Court order adopted on the 1st day of December, A.D.
1980, recorded in Volume 13, of the Commissioners' Court Minutes of Fort Bend County,
Texas, regulating same, which Commissioners' Court order is hereby referred to and made a
part hereof for all purposes as though fully set out herein;

AND WHEREAS, the principal desires to provide Fort Bend County with a performance
bond covering all such cable, conduit and/or pole line activity, commercial driveway and
median openings or modifications;

NOW, THEREFORE, if the above bounden principal shall faithfully perform all its cable,
conduit and/or pole line activity (including, but not limited to the laying, construction,
maintenance and/or repair of cables, conduits and/or pole lines) in, under, across and/or along
roads, streets and highways, commercial driveway and median openings or modifications in
the County of Fort Bend and State of Texas, under the jurisdiction of the Commissioners Court
of Fort Bend County, Texas, pursuant to and in accordance with minimum requirements and
conditions of the above mentioned Commissioners' Court order set forth and specified to be
by said principal done and performed, at the time and in the manner therein specified, and
shall pay over and make good and reimburse Fort Bend County, all loss and damages which
Fort Bend County may sustain by reason of any failure or default on the part of said principal,
then this obligation shall be null and void, otherwise to remain in full force and effect.

This bond is payable at the County Courthouse in the County of Fort Bend and State of Texas.

It is understood that at any time Fort Bend County deems itself insecure under this bond, it may require further and/or additional bonds of the principal.

EXECUTED this 06 day of June, 2018.

Haider Zaman

PRINCIPAL

BY

Travelers Casualty and Surety Company of America

SURETY

BY Matthew Bocklage



POWER OF ATTORNEY

Farmington Casualty Company
Fidelity and Guaranty Insurance Company
Fidelity and Guaranty Insurance Underwriters, Inc.
St. Paul Fire and Marine Insurance Company
St. Paul Guardian Insurance Company

St. Paul Mercury Insurance Company
Travelers Casualty and Surety Company
Travelers Casualty and Surety Company of America
United States Fidelity and Guaranty Company

Surety Bond No. [Redacted]

Principal: Haider Zaman
17207 Kininvie Crossing RICHMOND, TX 77407

Obligee: County Judge of Fort Bend County
301 Jackson St., Suite 401 Department of Engineering
RICHMOND, TX 77469

KNOW ALL MEN BY THESE PRESENTS: That Farmington Casualty Company, St. Paul Fire and Marine Insurance Company, St. Paul Guardian Insurance Company, St. Paul Mercury Insurance Company, Travelers Casualty and Surety Company, Travelers Casualty and Surety Company of America, and United States Fidelity and Guaranty Company, are corporations duly organized under the laws of the State of Connecticut, that Fidelity and Guaranty Insurance Company is a corporation duly organized under the laws of the State of Iowa, and that Fidelity and Guaranty Insurance Underwriters, Inc. is a corporation duly organized under the laws of the State of Wisconsin (herein collectively called the "Companies"), and that the Companies do hereby make, constitute and appoint Matthew Bocklage, of the City of Columbia, State of MO, their true and lawful Attorney(s)-in-Fact, to sign, execute, seal and acknowledge the surety bond referenced above.

IN WITNESS WHEREOF, the Companies have caused this instrument to be signed and their corporate seals to be hereto affixed, this 7th day of July, 2016.

Farmington Casualty Company
Fidelity and Guaranty Insurance Company
Fidelity and Guaranty Insurance Underwriters, Inc.
St. Paul Fire and Marine Insurance Company
St. Paul Guardian Insurance Company

St. Paul Mercury Insurance Company
Travelers Casualty and Surety Company
Travelers Casualty and Surety Company of America
United States Fidelity and Guaranty Company



State of Connecticut

City of Hartford ss.

By: [Signature]
Robert L. Raney, Senior Vice President

On this the 7th day of July, 2016, before me personally appeared Robert L. Raney, who acknowledged himself to be the Senior Vice President of Farmington Casualty Company, Fidelity and Guaranty Insurance Company, Fidelity and Guaranty Insurance Underwriters, Inc., St. Paul Fire and Marine Insurance Company, St. Paul Guardian Insurance Company, St. Paul Mercury Insurance Company, Travelers Casualty and Surety Company, Travelers Casualty and Surety Company of America, and United States Fidelity and Guaranty Company, and that he, as such, being authorized so to do, executed the foregoing instrument for the purposes therein contained by signing on behalf of the corporations by himself as a duly authorized officer.

In Witness Whereof, I hereunto set my hand and official seal.

My Commission expires the 30th day of June, 2021.



[Signature]
Marie C. Tetreault, Notary Public

This Power of Attorney is granted under and by the authority of the following resolutions adopted by the Boards of Directors of Farmington Casualty Company, Fidelity and Guaranty Insurance Company, Fidelity and Guaranty Insurance Underwriters, Inc., St. Paul Fire and Marine Insurance Company, St. Paul Guardian Insurance Company, St. Paul Mercury Insurance Company, Travelers Casualty and Surety Company, Travelers Casualty and Surety Company of America, and United States Fidelity and Guaranty Company, which resolutions are now in full force and effect, reading as follows:

RESOLVED, that the Chairman, the President, any Vice Chairman, any Executive Vice President, any Senior Vice President, any Vice President, any Second Vice President, the Treasurer, any Assistant Treasurer, the Corporate Secretary or any Assistant Secretary may appoint Attorneys-in-Fact and Agents to act for and on behalf of the Company and may give such appointee such authority as his or her certificate of authority may prescribe to sign with the Company's name and seal with the Company's seal bonds, recognizances, contracts of indemnity, and other writings obligatory in the nature of a bond, recognizance, or conditional undertaking, and any of said officers or the Board of Directors at any time may remove any such appointee and revoke the power given him or her; and it is

FURTHER RESOLVED, that the Chairman, the President, any Vice Chairman, any Executive Vice President, any Senior Vice President or any Vice President may delegate all or any part of the foregoing authority to one or more officers or employees of this Company, provided that each such delegation is in writing and a copy thereof is filed in the office of the Secretary; and it is

FURTHER RESOLVED, that any bond, recognizance, contract of indemnity, or writing obligatory in the nature of a bond, recognizance, or conditional undertaking shall be valid and binding upon the Company when (a) signed by the President, any Vice Chairman, any Executive Vice President, any Senior Vice President or any Vice President, any Second Vice President, the Treasurer, any Assistant Treasurer, the Corporate Secretary or any Assistant Secretary and duly attested and sealed with the Company's seal by a Secretary or Assistant Secretary; or (b) duly executed (under seal, if required) by one or more Attorneys-in-Fact and Agents pursuant to the power prescribed in his or her certificate or their certificates of authority or by one or more Company officers pursuant to a written delegation of authority; and it is

FURTHER RESOLVED, that the signature of each of the following officers: President, any Executive Vice President, any Senior Vice President, any Vice President, any Assistant Vice President, any Secretary, any Assistant Secretary, and the seal of the Company may be affixed by facsimile to any Power of Attorney or to any certificate relating thereto appointing Resident Vice Presidents, Resident Assistant Secretaries or Attorneys-in-Fact for purposes only of executing and attesting bonds and undertakings and other writings obligatory in the nature thereof, and any such Power of Attorney or certificate bearing such facsimile signature or facsimile seal shall be valid and binding upon the Company and any such power so executed and certified by such facsimile signature and facsimile seal shall be valid and binding on the Company in the future with respect to any bond or understanding to which it is attached.

I, Kevin E. Hughes, the undersigned, Assistant Secretary, of Farmington Casualty Company, Fidelity and Guaranty Insurance Company, Fidelity and Guaranty Insurance Underwriters, Inc., St. Paul Fire and Marine Insurance Company, St. Paul Guardian Insurance Company, St. Paul Mercury Insurance Company, Travelers Casualty and Surety Company, Travelers Casualty and Surety Company of America, and United States Fidelity and Guaranty Company do hereby certify that the above and foregoing is a true and correct copy of the Power of Attorney executed by said Companies, which is in full force and effect and has not been revoked.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed the seals of said Companies this 06 day of June, 2018.

Kevin E. Hughes

Kevin E. Hughes, Assistant Secretary



To verify the authenticity of this Power of Attorney, call 1-800-421-3880 or contact us at www.travelersbond.com. Please refer to the above-named individuals and the details of the bond to which the power is attached.

FILED AND RECORDED
OFFICIAL PUBLIC RECORDS

Laura Richard

Laura Richard, County Clerk

Fort Bend County Texas

July 02, 2018 02:00:43 PM

FILE: \$0.00

RMM

2018073564



Eglinton, Sean

From: Slawinski, Stacy
Sent: Monday, June 18, 2018 5:39 PM
To: Eglinton, Sean
Cc: Peterson, Jillian
Subject: RE: ROW Permit - 15545 W Bellfort St

Sean,

No objection; the project is complete. Let me know if you have any questions.

Thanks,

Stacy Slawinski

stacy.slawinski@fortbendcountytexas.gov

281-633-7508 office



From: Eglinton, Sean
Sent: Monday, June 18, 2018 4:09 PM
To: Slawinski, Stacy <Stacy.Slawinski@fortbendcountytexas.gov>
Cc: Peterson, Jillian <Jillian.Peterson@fortbendcountytexas.gov>
Subject: ROW Permit - 15545 W Bellfort St

Hi Stacy,

We have a driveway permit at 15545 W Bellfort St, and I notice it's on a 2007 mobility project (No. 731). Do you have any objection?

Regards,

1 **PLAT NAME: WEST BELLFORT COMPLEX**

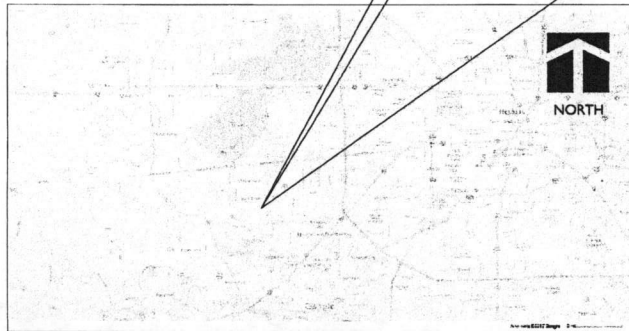
**CONSTRUCTION PLANS FOR PROPOSED:
HAIDER ZAMAN WEST BELLFORT WAREHOUSE BUILDINGS
15545 West Belfort
Sugar Land, Fort Bend County, TX 77498**

PROJECT LOCATION



LOCATION MAP

PROJECT LOCATION



VICINITY MAP
ZIP CODE NO 77498
KEY MAP NO 497

SHEET INDEX

- T1.0 COVER SHEET
- G1.0 GENERAL NOTES
- C1.0 SITE & SWPP PLANS
- 1 C2.0 GRADING AND DRAINAGE PLAN
- 1 C3.0 WATER AND SANITARY PLAN
- C4.0 STORM, SEWER & WATER LINE DETAILS
- C4.1 STORM, SEWER & WATER LINE DETAILS
- C4.2 PAVING & DRIVEWAY DETAILS
- C4.3 SWPPP DETAILS
- C4.4 TXDOT PED-12A STANDARD DETAILS
- C4.5 TXDOT APPROVED TRAFFIC CONTROL PLAN (TCP2-4)
- C5.0 RELEVANT FIRM MAP
- C5.1 RELEVANT DRAINAGE AREA MAP
- 1 C5.2 BOUNDARY & TOPOGRAPHIC SURVEY
- C5.3 PLAT: WEST BELLFORT COMPLEX 1 OF 2
- C5.4 PLAT: WEST BELLFORT COMPLEX 2 OF 2

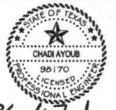


APP.	REVISIONS	DATE
3		
2		
1		



Tel: 281.584.0800
Fax: 281.584.0801
info@cengcon.com
www.cengcon.com

TX FIRM REGISTRATION #: F-9871



Chadi Ayoub

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY CHADI AYOUB, P.E. 98170 ON 12/15/2017

FORT BEND COUNTY ENGINEER

ENGINEER: *Richard W. Stolleis, P.E.*
for Richard W. Stolleis, P.E.

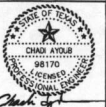
DATE: 4/13/18

THESE SIGNATURES ARE VOID IF CONSTRUCTION HAS NOT COMMENCED IN (1) YEAR FROM DATE OF APPROVAL.

APPROVED: *Casandra B. K...*
for Development Coordinator

DATE: 4-13-2018

1540 OXFORD PARK
HOUSTON, TX 77062
Tel: 281.584.0800
Fax: 281.584.0801
info@engcon.com
www.engcon.com



Check of the seal appearing on this document was authorized by Chad Ayoub, P.E., Ref No. 10/21/2017.

REVISION	DATE	DESCRIPTION

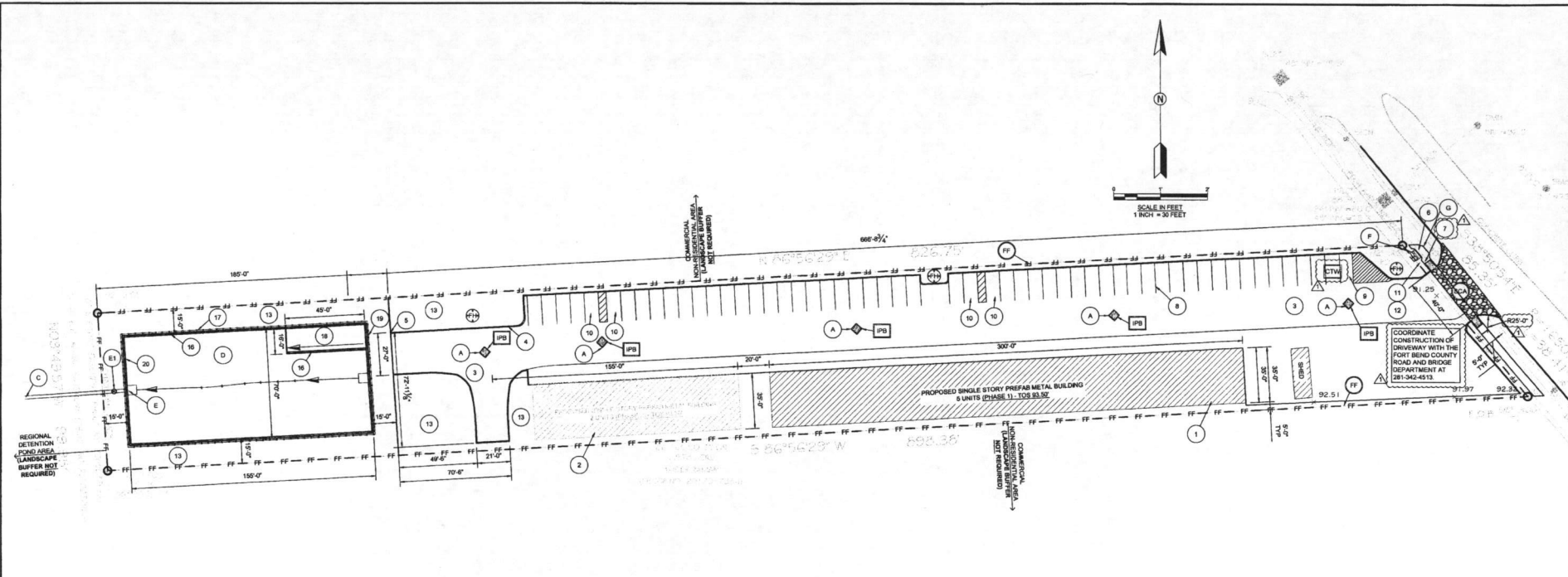
HAIDER ZAMAN WEST BELLFORT WAREHOUSE BUILDINGS
 15545 WEST BELLFORT BLVD, SUGAR LAND, TX 77498

C10 TITLE # C10-373
 DETAIL BY: CA
 DESIGNED BY: CA
 CHECKED BY: CA
 APPROVED BY: CA

PAGE TITLE:

SHEET NO.:

C1.0



**CITY OF HOUSTON
DEPARTMENT OF PLANNING & DEVELOPMENT**

**OFF-STREET PARKING REQUIREMENTS
(PLEASE ATTACH TO SITE PLAN)**

- A) PROPOSED LAND USE: Class (c-b) B-3 Warehouse
- B) PREVIOUS LAND USE: none - vacant
- C) 1. GROSS FLOOR AREA OF PROPOSED DEVELOPMENT: Building A & B = 15,915 sq ft. (max)
- 2. NUMBER OF SEATS: none
- D) NO. OF PROPOSED PARKING SPACES OFF-STREET: 60 (per Chapter 26 Code of Ordinances - 15,915 sq ft / 265 sq ft per space = 60 spaces)
- E) NO. OF PROPOSED PARKING SPACES ON-SITE: 60 (making a total of 120 spaces)
- F) NO. OF PROPOSED PARKING SPACES OFF-STREET: none (if applicable)
- G) DISTANCE (MEASURED ON A CLEARLY DELINEATED PEDESTRIAN PATH OR WALKWAY) TO OFF-SITE PARKING: not applicable

*NOTE: IF ADDITIONAL PARKING IS REQUIRED: # OR # + # MUST = D
 THE FOLLOWING INFORMATION MUST ALSO BE PROVIDED IF PARKING SPACES FOR AN EXISTING LAND USE ARE TO BE USED TO SATISFY THE PARKING REQUIREMENT:

EXISTING LAND USE: none - vacant land

EXISTING GROSS FLOOR AREA: none - vacant land

EXISTING PARKING SPACES: ON-SITE: none OFF-SITE: none

- x Calculations:**
- A. STREET TREES:
Length of property line in lineal feet as measured along all sides of the property (except for a public street) = 123.72 lineal feet / 3 = 41.24 Street trees required.
(Staff may create an artificial lot)
 - B. PARKING LOT TREES:
Number of new parking stalls to be constructed = 60 / 10 = 6 parking lot trees required.
 - C. TOTAL TREE REQUIREMENT:
A + B = 9 total number of street and parking lot trees required.
 - D. SHRUBS: (Are required for new or the expanded portion of parking lots)
Total number of Street trees required, from A above = 9 x 10 = 90 shrubs.

**** LANDSCAPE BUFFER NOT REQUIRED. SEE SITE PLAN FOR BOUNDARY CONDITIONS. ****

E. LANDSCAPE BUFFER:
5' high screening fence, or 15' wide evergreen planting strip along the total length of property line adjacent to existing single-family residential, or lines of expansion adjacent to existing single-family residential.
(Site plan must show land use on all side of the property)

SWPPP CONSTRUCTION NOTES:

1. CONTRACTOR SHALL IMPLEMENT INLET PROTECTION DEVICES AND REINFORCED FILTER FABRIC BARRIER ALONG ROAD AND SIDE DITCHES AT LOCATIONS SHOWN ON THE TYPICAL STORM WATER POLLUTION PREVENTION (SWPPP) PLANS TO KEEP SILT AND OR EXCAVATED MATERIALS FROM ENTERING INTO THE STORM WATER INLETS AND DITCHES EVENTUALLY POLLUTING THE RECEIVING STORM.
2. DURING THE EXCAVATION PHASE OF THE PROJECT, CONTRACTOR SHALL SCHEDULE THE WORK IN SHORT SEGMENTS SO THAT EXCAVATION MATERIAL CAN BE QUICKLY HAULED AWAY FROM THE SITE AND TO PREVENT IT FROM STAYING UNCOLLECTED ON THE EXISTING PAVEMENT. ANY LOOSE EXCAVATED MATERIAL WHICH FALLS ON PAVEMENTS OR DRIVEWAYS SHALL BE SWEEPED BACK INTO THE EXCAVATED AREA.
3. CONTRACTOR SHALL CLEAN UP THE EXISTING STREET INTERSECTIONS AND DRIVEWAYS DAILY, AS NECESSARY, TO REMOVE ANY EXCESS MUD, SILT OR ROCK TRACKED FROM THE EXCAVATED AREA.
4. CONTRACTOR SHALL FOLLOW GOOD HOUSEKEEPING PRACTICES DURING THE CONSTRUCTION OF THE PROJECT, ALWAYS CLEANING UP DIRT AND LOOSE MATERIAL AS CONSTRUCTION PROGRESSES.
5. CONTRACTOR TO INSPECT AND MAINTAIN THE AREAS LISTED BELOW AT LEAST ONCE EVERY FOURTEEN (14) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.5 INCHES OR GREATER.
 - 5.1. DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
 - 5.2. AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION.
 - 5.3. STRUCTURAL CONTROL MEASURES.
 - 5.4. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE.
6. CONTRACTOR TO BE RESPONSIBLE TO MAINTAIN EXISTING DITCHES AND OR CURLETS FOR UNOBTSTRUCTED DRAINAGE AT ALL TIMES WHERE SOODING IS DISTURBED BY EXCAVATION OR SHOVELLING OPERATIONS. SUCH AREAS SHALL BE REPLACED BY SEEDING OR SOODING. SLOPES 4:1 OR STEEPER SHALL BE REPLACED BY BLOCK SOODING.

FIRE NOTES:

1. CURBS LOCATED BETWEEN APPROVED FIRE LANE TOW-AWAY ZONE SIGNS SHALL BE PAINTED RED OR A RED STRIPE SHALL BE PLACED ALONG THE PAVEMENT WHERE THERE IS NO CURB. THESE CURBS SHALL ALSO BE CONSPICUOUS AND LEGIBLY MARKED WITH THE WARNING FIRE LANE-TOW-AWAY ZONE IN WHITE LETTERS AT LEAST 7' IN HEIGHT, AT INTERVALS NOT EXCEEDING 50'
2. ANY COLOR OTHER THAN RED MAY BE USED IN "NO PARKING" DESIGNATED AREAS THAT ARE NOT APPROVED FIRE LANES. RED COLORED CURBS, PAVEMENT STRIPPING OR WHEEL STOPS SHALL BE USED ONLY TO DESIGNATE APPROVED FIRE LANES.

LANDSCAPING LEGEND:

- STREET TREES LIVE OAK (1.5" GUYER) VIRGINIANA
 - 20 GALLON
 - 2 1/2" MIN. CALIPER
 - 6-12 FEET TALL
 - 30' ON CENTER EACH WAY
- SHRUBS KNOCK OUT ROSE (80 TYP) ROSA RADAZZ
 - 5 GALLON
 - 18" TALL
 - 3-5' ON CENTER EACH WAY

SITE KEYNOTES:

1. BUILDING. PROPOSED ONE STORY BUILDING, 35 X 300 = 10,500 SQ. FT.
2. BUILDING. PROPOSED ONE STORY BUILDING, 35 X 130 = 4,550 SQ. FT. (FUTURE - PHASE 2)
3. PROPOSED 6" CONCRETE PAVING, 3,000 PSI, #4 @ 24" O.C.; 6" COMPACTED LIME STABILIZED SUB-GRADE @ 6% LIME, REF. C4.1 FOR PAVING DETAILS.
4. PROPOSED 6" CONCRETE CURB (TYP), REFERENCE C4.1.
5. END PROPOSED 6" CONCRETE CURB, REFERENCE C4.1.
6. PROPOSED 6' WIDE PEDESTRIAN WALKWAY, 4" THICK CONC PAVEMENT, 3000 PSI #3 @ 18", 2" SAND 10% STD DENSITY, RE C4.1.
7. PROPOSED A.D.A. RAMP COMPLYING WITH TxDOT PED-12A, TYPE 7, RE: C4.3.
8. PROPOSED 4" PARKING LOT MARKINGS, COLOR TBD BY OWNER. PARKING STALL SIZE 9' (MIN) WIDE X 19' LONG TYPICAL LING.
9. PROPOSED VAN ACCESSIBLE PARKING SPACE COMPLYING WITH TEXAS ACCESSIBILITY STANDARDS 502. VAN PARKING SPACE SHALL BE 8' WIDE MIN. SHALL BE MARKED TO DEFINE THE WIDTH, AND SHALL HAVE AN ADJACENT ACCESSIBLE AISLE OF 8' WIDE MIN.
10. PROPOSED ACCESSIBLE PARKING SPACE COMPLYING WITH TEXAS ACCESSIBILITY STANDARDS 502. PARKING SPACE SHALL BE 8' WIDE MIN. SHALL BE MARKED TO DEFINE THE WIDTH, AND SHALL HAVE AN ADJACENT ACCESSIBLE AISLE OF 8' WIDE MIN.
11. PROPOSED STREET TREES: REFER TO LANDSCAPING LEGEND FOR DETAILS.
12. PROPOSED STREET SHRUBS: REFER TO LANDSCAPING LEGEND FOR DETAILS.
13. GRASS AREA - NO PAVING.
14. PROPOSED TxDOT PED-12A TYPE 7 RAMP.
15. PROPOSED SITE PREMISE SIGN (PLY ON SIGNAGE SIZE, HEIGHT, & TYPE TBD BY OWNER) CAUTION DO NOT ENCRDACH ON EXISTING AERIAL EASEMENT.
16. SEGMENTAL RETAINING WALL, RE: C2.0 FOR DETAILS.
17. PROPOSED FENCE ALONG PERIMETER OF DETENTION POND, 48 IN X 72 IN BLACK ALUMINUM FENCE PANEL FLAT TOP FOR 2-RAIL MODEL (IF CHANGEL) (HOME DEPOT) OR 6 FT CHAIN LINK FENCE, TO BE DETERMINED BY OWNER.
18. POND RAMP 45 FT LONG 15 FT WIDE @ 6:1 SLOPE, 6 INCH COMPACTED LIME STABILIZED SUBGRADE AT 9%.
19. PROPOSED 12 FT WIDE GATE ACCESS FOR ONSITE DETENTION POND.
20. EMERGENCY ESCAPE LADDER.

DRAINAGE KEYNOTES:

- REFERENCE C2.0 FOR ALL DRAINAGE GRADES & OUTFALL DETAIL.
- A. PROPOSED 24" X 24" TYPE "A" GRATE INLET (B TYP), REFERENCE: C2.0 & C4.0.
 - C. PROPOSED STORM SEWER OUTFALL CONNECTION TO EXISTING REGIONAL DETENTION POND, RE: C2.0.
 - D. PROPOSED ON-SITE STORM WATER DETENTION POND, REFERENCE: C2.0.
 - E. PROPOSED ROCK FILTER DAM (18" HIGH), REFER TO "FILTER DAM AT DETENTION BASIN OUTFALL PIPE", RE: C4.3.
 - E1. STANDARD MANHOLE WITH RIM AND COVER.

UTILITY KEYNOTES:

- REFERENCE C3.0 FOR ALL UTILITY DETAILS.
- F. PROPOSED FIRE HYDRANT WATER LINE DCVA IN RIGHT OF WAY, RE: C3.0.
 - G. PROPOSED FIRE HYDRANT WATER LINE CONNECTION TO EXISTING WATER LINE, VERIFY LOCATION, REFERENCE: C3.0.

SWPPP LEGEND:

- FF FILTER FABRIC FENCE (REQUIRED) OFFSET INWARD
- CA ALL WEATHER STABILIZED CONSTRUCTION ACCESS ROAD (REQUIRED) - RE: C4.2
- IPB INLET PROTECTION BARRIER (REQUIRED) - RE: C4.2
- CTW CONCRETE TRUCK WASH-OUT AREA (REQUIRED) - RE: C4.2
- RF ROCK FILTER DAM. REFER TO "FILTER DAM AT DETENTION BASIN OUTFALL PIPE", RE: C4.2
- FDH PROPOSED STD FIRE HYDRANT, SEE C3.0 FOR DETAILS
- SM STORM DRAINAGE SEWER MANHOLE

APPROVED: *Chad Ayoub*
 Development Coordinator
 DATE: 4-13-18

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DETENTION POND OWNERSHIP & MAINTENANCE NOTES:

PROVISIONS SHALL BE MADE BY THE OWNER TO ENSURE THAT THE DEVELOPMENT DETENTION FACILITY IS MAINTAINED AT ALL TIMES.

THE TOP OF ALL FLOOR SLABS SHALL A MINIMUM OF 0.22 ABOVE MEAN SEA LEVEL.
THE TOP OF SLAB ELEVATION AT ANY POINT ON THE PERIMETER OF THE SLAB SHALL NOT BE LESS THAN EIGHTEEN (18) INCHES ABOVE NATURAL GRADE.

MINIMUM SLAB ELEVATION ANALYSIS:

- 18 INCHES ABOVE THE NEAREST 100-YEAR BASE FLOOD ELEVATION (BFE); NOT APPLICABLE (NO FLOOD ZONE).
- ONE FOOT (12) ABOVE THE EXTREME EVENT FLOODING DR SHEET FLOW ELEVATION ON THE SITE = 82.47 + 1' (12) = 93.47
- EIGHTEEN (18) INCHES ABOVE THE LOWEST SIGNIFICANT CONTOUR SHOWN ON PLAT = 92.00 + 1.50 (18) = 93.50
- EIGHTEEN (18) INCHES ABOVE THE DETENTION POND (WSEL) ON THE SITE = 90.07 + 1'-6" (18) = 91.50
- EIGHTEEN (18) INCHES ABOVE THE WEST BELLFORT DETENTION FACILITY (WSEL) ON THE SITE = 89.00 + 1'-6" (18) = 90.50

TOP OF GRATE EXTREME FLOODING EVENT ANALYSIS:

- | | |
|--------------|----------------------|
| 1. INLET A-1 | 91.50 + 0.80 = 92.30 |
| 2. INLET A-2 | 91.50 + 0.80 = 92.30 |
| 3. INLET A-3 | 91.50 + 0.80 = 92.30 |
| 4. INLET A-4 | 91.50 + 0.80 = 92.30 |
| 5. INLET A-5 | 91.50 + 0.80 = 92.30 |

SITE KEYNOTES:

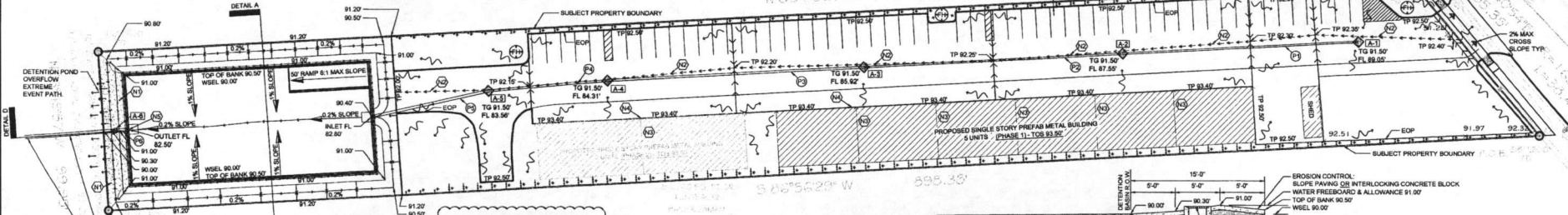
- (A1) TYPE 'A' GRATE INLET (5.00 CFS)
- (A2) TYPE 'A' GRATE INLET (5.00 CFS)
- (A3) TYPE 'A' GRATE INLET (5.00 CFS)
- (A4) TYPE 'A' GRATE INLET (5.00 CFS)
- (A5) TYPE 'A' GRATE INLET (5.00 CFS)
- (M) STANDARD MANHOLE WITH RIM COVER
- (10) 153 L.F. OF 12" HDPE @ 1.00%
- (11) 181 L.F. OF 18" HDPE @ 1.00%
- (12) 75 L.F. OF 24" HDPE @ 1.00%
- (13) 78 L.F. OF 24" HDPE @ 1.00%
- (14) 8 L.F. OF 24" RCP @ 0.50%
- (15) EROSION CONTROL: SLOPE PAVING OR INTERLOCKING CONCRETE BLOCK
- (16) SHEET FLOW PATH FOR EXTREME FLOODING EVENTS
- (17) ROOF SLOPES FROM BACK OF BUILDING TO FRONT (PARKING AREA SIDE)
- (18) ROOF GUTTERS SHALL HAVE A MINIMUM OF THE FOLLOWING SPEC'S PREFER TO DOWNPOUT OR GUTTER SINGS REPORT THIS SHEET
 - + MINIMUM GUTTER WIDTH = 7" (RECTANGULAR)
 - + DEPTH TO WIDTH RATIO = 0.75
 - + MINIMUM GUTTER DEPTH = 5"
- (19) ROOF DOWNPOUTS SHALL HAVE A MINIMUM OF THE FOLLOWING SPEC'S
 - + MINIMUM DOWN SPOUT AREA = 11.47 SQ (2.76' x 4.17) RECTANGULAR
 - + MAXIMUM DOWN SPOUT SPACING = 55 FT
- (20) GALVANIZED STEEL BAR GRATE SCREEN 1 1/2" x 1/2" SPACING O.C.

LEGEND:

- BOF — BOTTOM OF DETENTION POND
 - COMP — CORRUGATED GALVANIZED METAL PIPE
 - EOP — END OF PAVEMENT
 - EXIST — EXISTING
 - FL — FLOW LINE
 - HDPE — HIGH DENSITY POLYETHYLENE PIPE
 - LF — LINEAR FEET
 - PROP — PROPOSED
 - TC — TOP OF CURB
 - TO — TOP OF GRATE
 - TP — TOP OF PAVEMENT
 - TYP — TYPICAL
 - WFE — WATER FREEBOARD ELEVATION
 - WSEL — 100 YEAR WATER SURFACE ELEVATION
- SHEET FLOW PATH FOR EXTREME FLOODING EVENTS
--- ON SITE STORM PIPE
--- SHEET FLOW DIRECTION
--- DIRECTION OF SLOPE

NOTES:

1. ALL PROPERTY TO DRAIN INTO THE DRAINAGE EASEMENT ONLY THROUGH AN APPROVED DRAINAGE STRUCTURE.
2. DETENTION POND SHOWN ON PLAN RESEMBLES THE ULTIMATELY RESERVED SINCE THE DESIGN ACCOUNTS FOR A COMPLETE TRACT DEVELOPMENT. NO FUTURE PHASING OR ADDITIONS IS PROPOSED. ANY FUTURE UNACCOUNTED FOR DETENTION POND EXPANSION WILL BE RESOLVED BY CONCRETE WALL RETAINING WALLS AND DEEPER POND.



EXISTING CAPACITY ALLOCATED TO TRACT & PROPOSED DETENTION POND:

1. THE MAXIMUM ALLOWABLE RELEASE RATE IS 0.05 CFS/AC (FORT BEND COUNTY DRAINAGE MANUAL). TOTAL AREA OF REFERENCED LOT IS 1.97 ACRES. THEREFORE ALLOCATED DRAINAGE RUNOFF CAPACITY FOR SUBJECT PROPERTY ONLY IS 0.197 ACRES @ 0.05 CFS/AC = 0.0098 CFS. RUNOFF DISCHARGES TO AN EXISTING REGIONAL DETENTION "POND" T-ON-BETWEE LOCATED ON THE BACK OF THE PROPERTY AS SHOWN ON REFERENCED REPORT AND PLANS ABOVE.
2. IMPERVIOUS AREA ADDED IS 1.58 ACRES TO EXISTING SITE. TOTAL AREA OF REFERENCED TRACT IS 1.97 ACRES. EXISTING TRACT HAS NO IMPERVIOUS AREA CURRENTLY ON SITE AS SHOWN ON MOST RECENT SURVEY. THIS, TOTAL AREA OF IMPERVIOUS (EXISTING) IS 0.0 ACRES.
3. THE 100 YEAR STORM FREQUENCY DETENTION POND VOLUME IS BASED ON A DETENTION RATE OF 0.8 AC"/AC"/HOUR (78.5% IMPERVIOUS).
4. A RESTRICTOR OUTFALL PIPE OF (15) INCH DIAMETER IS PROPOSED TO DISCHARGE WATER FROM THE DETENTION POND TO THE EXISTING REGIONAL DETENTION POND LOCATED ON THE BACK OF THE PROPERTY DESIGN DISCHARGE FLOW RATE IS 0.27 CFS.
5. THE TOTAL MAXIMUM INFLOW RATE INTO PROPOSED DETENTION POND = 15.76 CFS THROUGH INLETS A-5 AS SHOWN ON THIS SHEET (C2).
6. DETENTION PROVIDED = 78.675 FT³ ALLOWABLE DETENTION = 77,549 FT³
7. WATER FREEBOARD & ALLOWANCE PROVIDED = 1.00 FT ABOVE WSEL

HYDRAULIC CALCULATIONS - 100 YEAR DESIGN:

Rational method for runoff: $Q = CIA$
 $C_1 = 0.8$, $C_2 = 1.25$, $C_3 = 1$, $C_4 = 1$, $C_5 = 1$, therefore use $C = 1$
 $I = 1.25$
 $A = 116.13$ ac = 8016.09 sq ft
 $Q = 116.13 \times 1.25 \times 1 = 145.16$ cfs
 $V = 116.13 \times 1.25 = 145.16$ min
 $D_s = 0.55 \times 1.25 = 0.69$ min
 $T_t = 4.2$ min
 $T_e = 10.00$ min
 $T = 14.8$ min
 $I = 11.63 \text{ in/hr} = 0.48 \text{ ft/hr}$
 Manning's Equation for maximum pipe flow capacity: $Q_{max} = VA \sqrt{(1.49/n)(R^{2/3})}$

SUB-AREA	C	Intensity, I	Area, A	Flow, Q cfs
A-1	1	11.63	0.23	0.27
A-2	1	11.63	0.23	0.27
A-3	1	11.63	0.23	0.27
A-4	1	11.63	0.23	0.27
A-5	1	11.63	0.23	0.27

Area ID	Area	Q _{max}	Q _{min}	Flow	Pipe Type	S	R _s	S _{min}	V	Q _{max}	Q _{min}
A-1	0.23	0.27	0.27	0.27	HDPE	0.01	0.27	0.01	4.22	0.27	0.27
A-2	0.23	0.27	0.27	0.27	HDPE	0.01	0.27	0.01	4.22	0.27	0.27
A-3	0.23	0.27	0.27	0.27	HDPE	0.01	0.27	0.01	4.22	0.27	0.27
A-4	0.23	0.27	0.27	0.27	HDPE	0.01	0.27	0.01	4.22	0.27	0.27
A-5	0.23	0.27	0.27	0.27	HDPE	0.01	0.27	0.01	4.22	0.27	0.27

Pipe restrictor flow rate calculation: On-site Detention pond to regional detention facility:

Orifice Calculations:
 $Q = C_d A \sqrt{2gH}$
 $C_d = 0.6$, $A = 0.136$ sq ft, $H = 10.5$ ft
 $Q = 0.26$ cfs
 $H = 10.5$ ft
 $D = 1.2345$ FT = 1.5 in. Therefore, use a 1.5" restrictor pipe

Detention Summary:

Area	sq ft	acres
Total area tract A	12407904	286.66
Previous area calculation	181792	0.41
Green Area 1	50400	1.15
Green Area 2	117710	2.67
Green Area 3	117710	2.67
Total previous area	286660	6.55

Impervious Area Calculation:

Area	sq ft	acres
Total impervious area	6873222	1.58

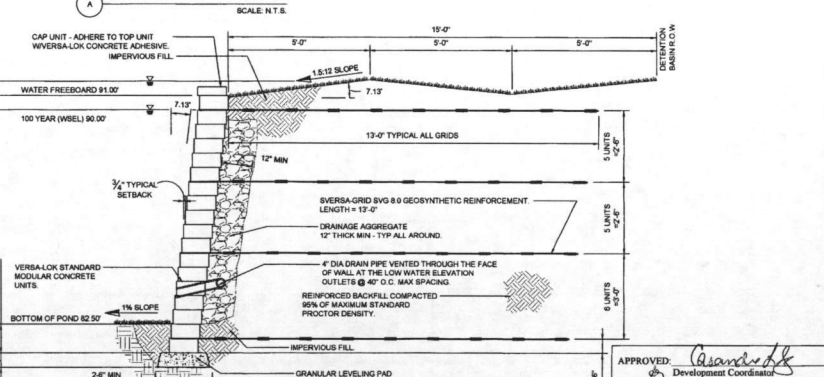
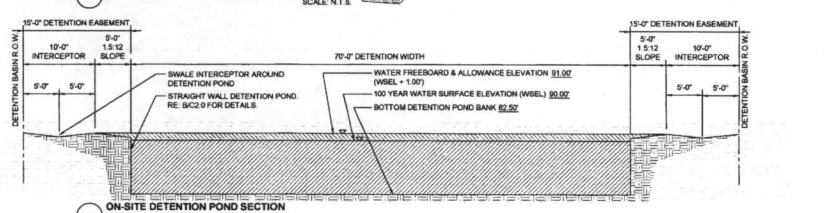
% Impervious = 79.8%
 Detention required = 0.3 ac-ft
 Total detention pond volume required (100 year storm frequency) = 43,980 x 0.80 x 1.90 = 7759 cub ft

Pond width = 73.0 ft
 Pond length = 155.0 ft
 Max depth (100 yr WSEL) = 7.8 ft
 Detention pond volume (pond only) = 81375 cub ft
 Ratio volume = 0.700 cub ft
 Total detention volume (ramp only) = 78875 cub ft
 Total detention volume provided = 77549 cub ft > 77549 cub ft. Pond provided is greater than required

Downspout & Gutter Sizing Reports
 Project Name: HAIDER ZAMAN WEST BELLFORT WAREHOUSE BUILDINGS
 Rainfall Intensity (24hr): 11.65
 Roof Rainfall Design Area (ft²): 2,271.00
 Gutter in Linear Ft: 68

H (depth to width ratio): 0.75
 Min. Gutter Width (in.): 7 (Rectangular)
 Min. Gutter Depth (in.): 5.5
 # of Downspouts: 2
 Min. Area per DS (ft²): 11.47
 Min. Slope (in): 2.75 x 4.70 (Rectangular Compacted)

Calculations are derived using the 7th Edition of BRACMAN'S Architectural Sheet Metal Manual



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 98170
 02/05
 02/09/2017

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DISCUSSION
 DATE
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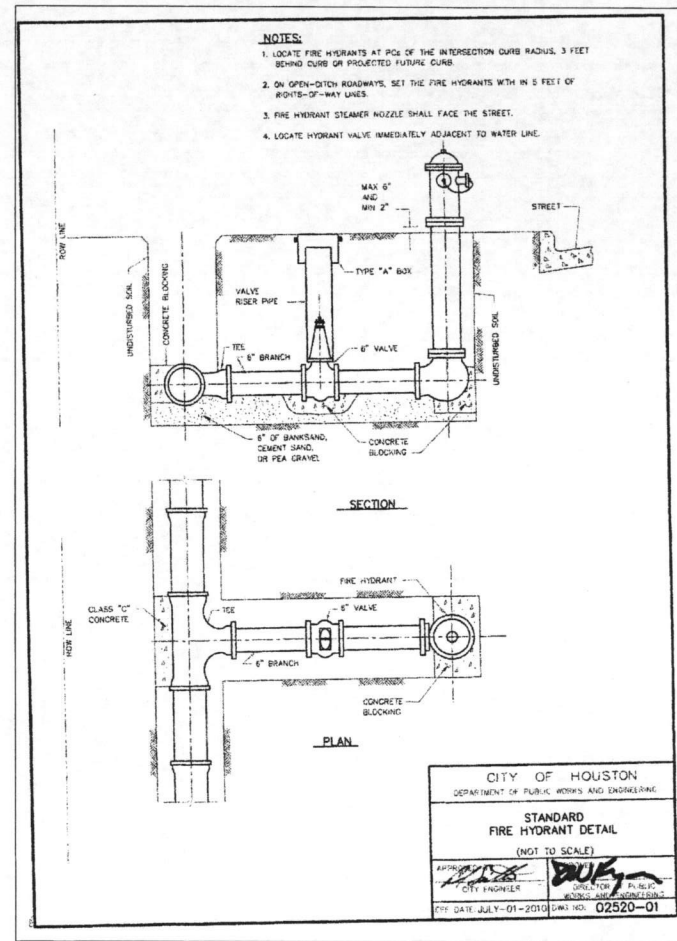
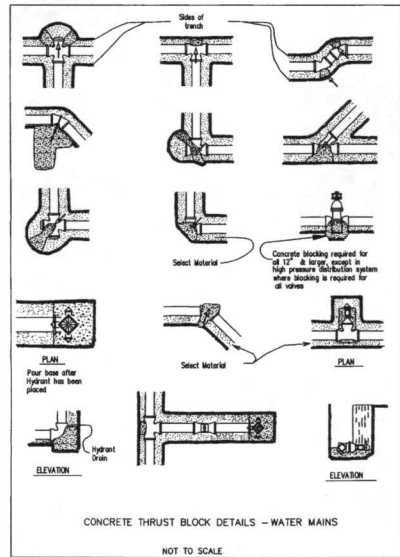
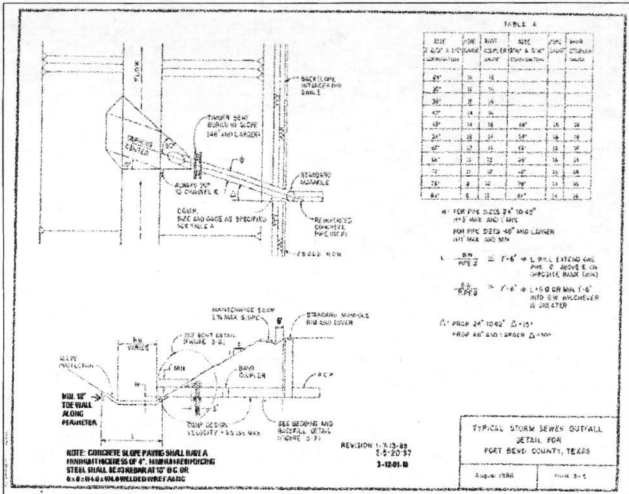
HAIDER ZAMAN WEST BELLFORT WAREHOUSE BUILDINGS
 15545 WEST BELLFORT BLVD., SUGAR LAND, TX 77498

C.E.G. FILE # C17-315
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 DESIGNED BY: CA
 CHECKED BY: CA
 APPROVED BY: CA

PAGE TITLE
 GRADING & DRAINAGE PLAN

SHEET NO.:
 C2.0

APPROVED: [Signature]
 Development Coordinator
 DATE: 4-13-18



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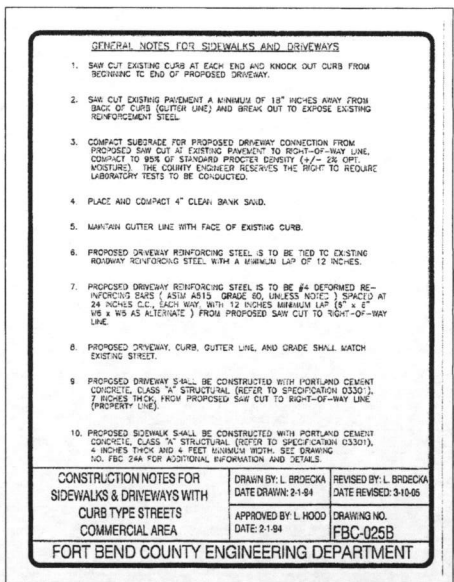
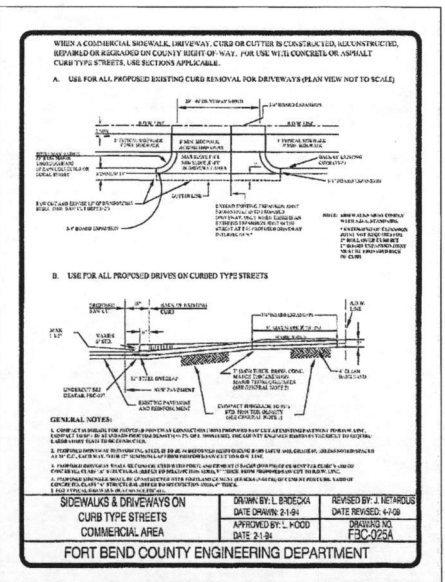
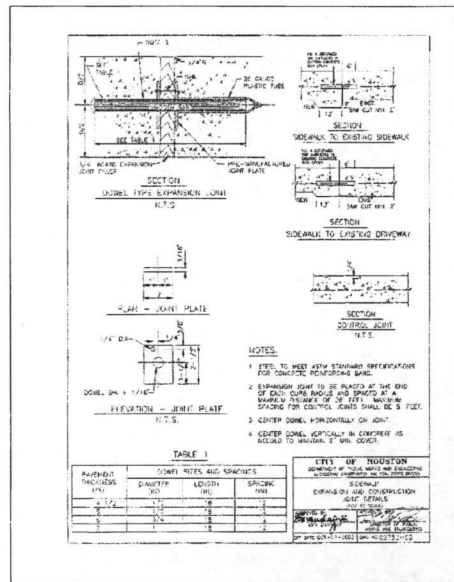
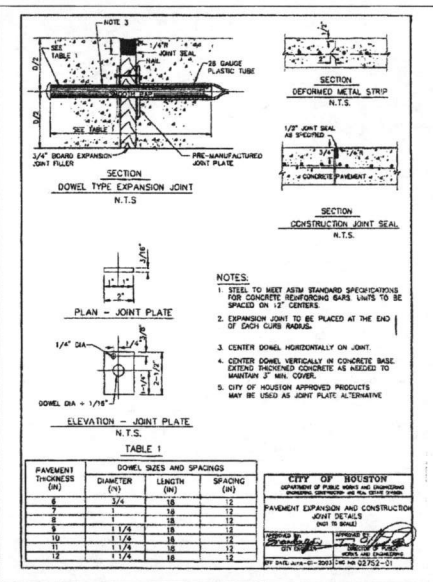
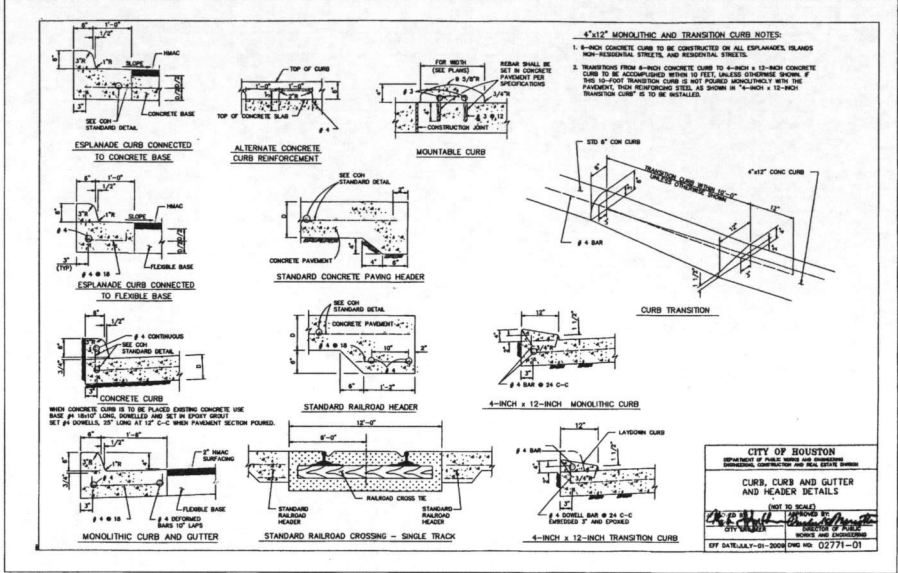
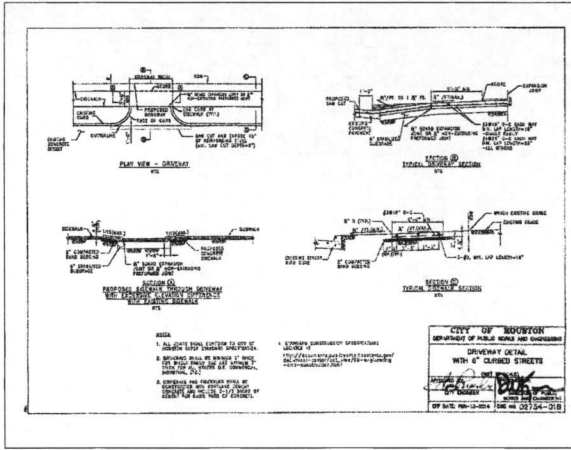
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WAREHOUSE BUILDINGS
15545 WEST BELLFORT BLVD, SUGAR LAND,
TX 77498

C.ENG. FILE # CH-575
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DESIGNED BY: CA
CHECKED BY: CA
APPROVED BY: CA

PAGE TITLE
STORM, SEWER AND
WATER LINE
DETAILS

SHEET NO.:
C4.1

APPROVED: *Chad K. Housh*
Development Coordinator
DATE: 4/3/18



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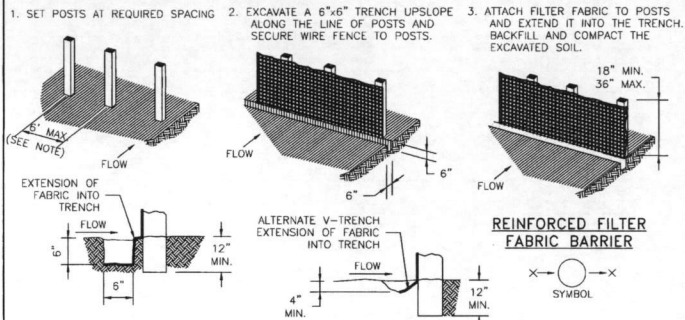
DESCRIPTION	DATE	BY

HAIDER ZAMAN WEST BELLFORT WAREHOUSE BUILDINGS
15545 WEST BELLFORT BLVD., SUGAR LAND, TX 77498

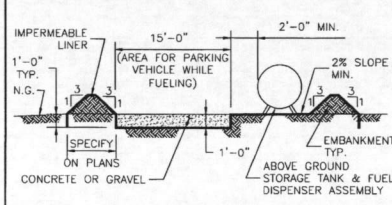
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DESIGNED BY: CA
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APPROVED BY: CA
PAGE TITLE: PAVING AND DRIVEWAY DETAILS
SHEET NO.: C4.2

APPROVED: *Asaad Al-Jarrah*
Development Coordinator
DATE: 4/7/18

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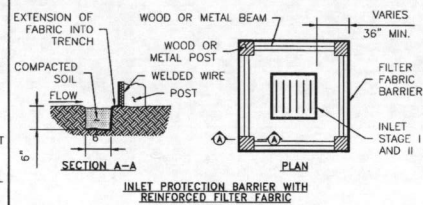


- GENERAL NOTES:**
1. SECURELY FASTEN MESH FENCING TO POSTS WITH STAPLES OR TIE WIRES.
 2. SECURELY FASTEN FILTER FABRIC TO MESH FENCING.
 3. WHEN TWO SECTIONS OF FILTER FABRIC ADJOIN EACH OTHER, OVERLAP 6 INCHES AT A POST, FOLD TOGETHER, AND ATTACH TO A POST.
 4. REMOVE SEDIMENT DEPOSITS WHEN SILT REACHES ONE-THIRD OF THE HEIGHT OF THE FENCE IN DEPTH.

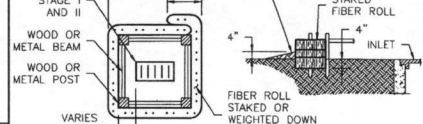


ABOVE GROUND TEMP. VEHICLE & EQUIPMENT FUELING AREA WITH TANK

- GENERAL NOTES:**
1. THE SIZE OF TANK FOUNDATION AREA DEPENDS ON THE SIZE OF ABOVE GROUND STORAGE TANK AND DISPENSER ASSEMBLY.
 2. PROVIDE A MINIMUM SLOPE OF 2% TOWARD THE SUMP PIT.
 3. INSTALL IMPERMEABLE LINER AS PER MANUFACTURER'S RECOMMENDATIONS.

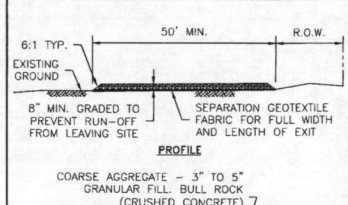


INLET PROTECTION BARRIER WITH REINFORCED FILTER FABRIC

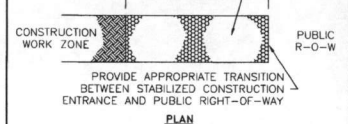


INLET PROTECTION BARRIERS FOR STAGE I INLETS

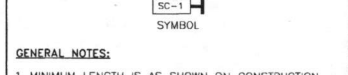
- GENERAL NOTES:**
1. FIBER ROLLS WILL BE UTILIZED ONLY WHEN SITE CONDITIONS DO NOT PERMIT THE USE OF FILTER FABRIC BARRIER, AND AS APPROVED BY THE ENGINEER.



STABILIZED CONSTRUCTION ACCESS

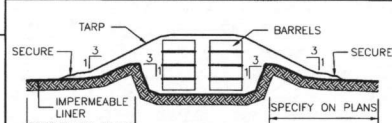


IN-CHANNEL FILTER DAM



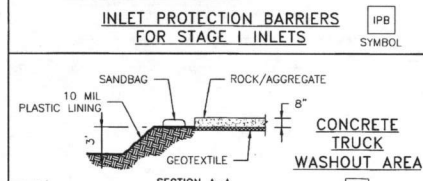
FILTER DAM

- GENERAL NOTES:**
1. MINIMUM LENGTH IS AS SHOWN ON CONSTRUCTION DRAWINGS OR 50 FEET, WHICHEVER IS MORE.
 2. CONSTRUCT AND MAINTAIN CONSTRUCTION EXIT WITH CONSTANT WIDTH ACROSS ITS LENGTH, INCLUDING ALL POINTS OF INGRESS OR EGRESS.
 3. UNLESS SHOWN ON THE CONSTRUCTION DRAWINGS, STABILIZATION FOR OTHER AREAS WILL HAVE THE SAME AGGREGATE THICKNESS AND WIDTH REQUIREMENTS AS THE STABILIZED CONSTRUCTION EXIT.
 4. WHEN SHOWN ON THE CONSTRUCTION DRAWINGS, WIDEN OR LENGTHEN STABILIZED AREA TO ACCOMMODATE A TRUCK WASHING AREA. PROVIDE OUTLET SEDIMENT TRAP FOR THE TRUCK WASHING AREA.
 5. PROVIDE PERIODIC TOP DRESSING WITH ADDITIONAL COARSE AGGREGATE TO MAINTAIN THE REQUIRED DEPTH OR WHEN SURFACE BECOMES PACKED WITH MUD.
 6. PERIODICALLY TURN AGGREGATE TO EXPOSE A CLEAN DRAINING SURFACE.
 7. MINIMUM 14' WIDTH FOR ONE WAY TRAFFIC AND 20' WIDTH FOR TWO WAY TRAFFIC.

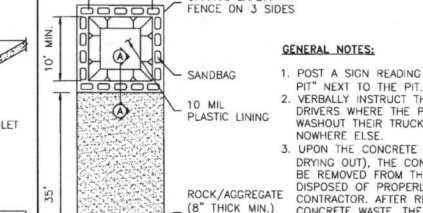


BARREL STORAGE AREA

- GENERAL NOTES:**
1. ALTERNATIVELY, STORE BARRELS IN AN ENCLOSED BUILDING OR SHED.
 2. INSTALL IMPERMEABLE LINER AS PER MANUFACTURER'S RECOMMENDATIONS. 60 mil MINIMUM.
 3. CONSTRUCT BERMED AREA WITH VOLUME GREATER THAN OR EQUAL TO 110% VOLUME OF BARRELS.

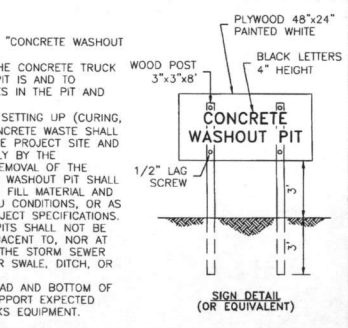


CONCRETE TRUCK WASHOUT AREA



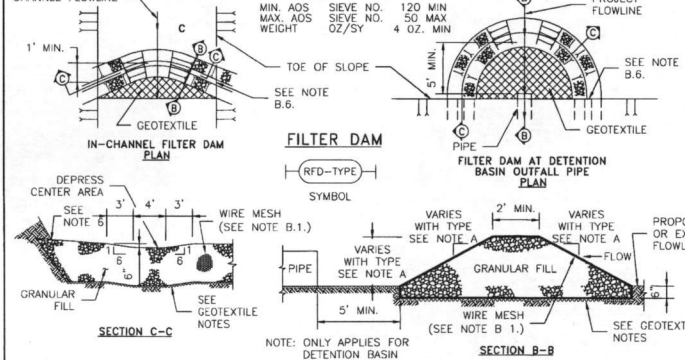
INLET PROTECTION BARRIERS FOR STAGE II INLETS

- GENERAL NOTES:**
1. REMOVE SEDIMENT DEPOSIT WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-THIRD THE HEIGHT OF THE BARRIER.
 2. GRAVEL BAGS SHALL NOT BLOCK THROAT OF INLET UNLESS DIRECTED BY ENGINEER.



CONCRETE WASHOUT PIT

- GENERAL NOTES:**
1. POST A SIGN READING "CONCRETE WASHOUT PIT" NEXT TO THE PIT.
 2. VERBALLY INSTRUCT THE CONCRETE TRUCK DRIVERS WHERE THE PIT IS AND TO WASHOUT THEIR TRUCKS IN THE PIT AND NOWHERE ELSE.
 3. UPON THE CONCRETE SETTING UP (CURING, DRYING OUT), THE CONCRETE WASTE SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF PROPERLY BY THE CONTRACTOR. AFTER REMOVAL OF THE CONCRETE WASTE, THE WASHOUT PIT SHALL BE FILLED WITH CLEAN FILL MATERIAL AND COMPACTED TO IN-SITU CONDITIONS, OR AS DIRECTED BY THE PROJECT SPECIFICATIONS.
 4. CONCRETE WASHOUT PITS SHALL NOT BE LOCATED DIRECTLY ADJACENT TO, NOR AT ANY TIME DRAIN INTO THE STORM SEWER SYSTEM OR ANY OTHER SWALE, DITCH, OR WATERWAY.
 5. CONSTRUCT ENTRY ROAD AND BOTTOM OF WASHOUT AREA TO SUPPORT EXPECTED LOADINGS FROM TRUCKS EQUIPMENT.



FILTER DAM AT DETENTION BASIN OUTFALL PIPE

- GENERAL NOTES:**
1. TYPE 1 (NON-REINFORCED)
 - a. HEIGHT - 18-24 INCHES. MEASURE VERTICALLY FROM EXISTING GROUND TO TOP OF FILTER DAM.
 - b. TOP WIDTH - 2 FEET (MINIMUM)
 - c. SLOPES - 2:1 (MAXIMUM).
 2. TYPE 2 (REINFORCED)
 - a. HEIGHT - 18-36 INCHES. MEASURE VERTICALLY FROM EXISTING GROUND TO TOP OF FILTER DAM.
 - b. TOP WIDTH - 2 FEET (MINIMUM).
 - c. SLOPES - 2:1 (MAXIMUM).
 3. TYPE 3 (REINFORCED)
 - a. HEIGHT - 36-48 INCHES. MEASURE VERTICALLY FROM EXISTING GROUND TO TOP OF FILTER DAM.
 - b. TOP WIDTH - 2 FEET (MINIMUM).
 - c. SLOPES - 3:1 (MAXIMUM).
 4. TYPE 4 (CABION)
 - a. HEIGHT - 30 INCHES (MINIMUM). MEASURE VERTICALLY FROM EXISTING GROUND TO TOP OF FILTER DAM.
 - b. TOP WIDTH - 2 FEET (MINIMUM).
 - c. SLOPES - 3:1 (MAXIMUM).
 5. TYPE 5. AS SHOWN ON THE PLANS.

NO.	REVISIONS	DATE	NAME
1	UPDATED DEPARTMENT NAME	2/17/15	RS

HARRIS COUNTY
ENGINEERING DEPARTMENT



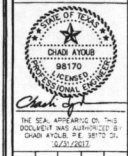
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NOT INTENDED FOR CONSTRUCTION,
BIDDING, OR PERMIT PURPOSES
ENGINEER: SEAL
P.E. SERIAL No. _____
DATE: _____

PROJECT TITLE:		NEED STANDARD	SHEET NO.
DRAWN BY: DJZ	SHEET DESCRIPTION: STORM WATER POLLUTION	29	
DATE: NONE	PREVENTION PLAN DETAILS		
APPROVED BY: _____			

APPROVED: _____
Development Coordinator
DATE: 4-13-18

1446 OAKSTAD PARK
HOUSTON, TX 77062
Tel: 281.584.0800
Fax: 281.584.0801
info@engpro.com
www.engpro.com



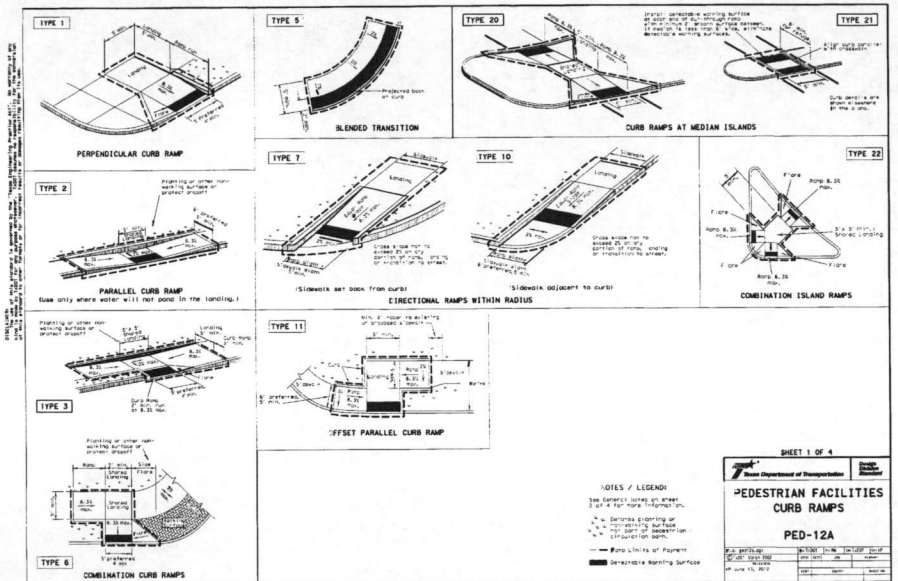
DESCRIPTION	DATE	REV

HAIDER ZAMAN WEST BELFORT
WAREHOUSE BUILDINGS
15545 WEST BELFORT BLVD, SUGAR LAND,
TX 77498

GEN. FILE #: C17-573
DESIGNED BY: CA
CHECKED BY: CL
APPROVED BY: CA
PAGE TITLE:
SWPPP
DETAILS

SHEET NO.:
C4.3

HA:111 eng_10-07-17 (in_progress_eng c17-0575-0 (15545 west befort - reserve c)) rev-D (vml) c17-575_11-02-17.dwg

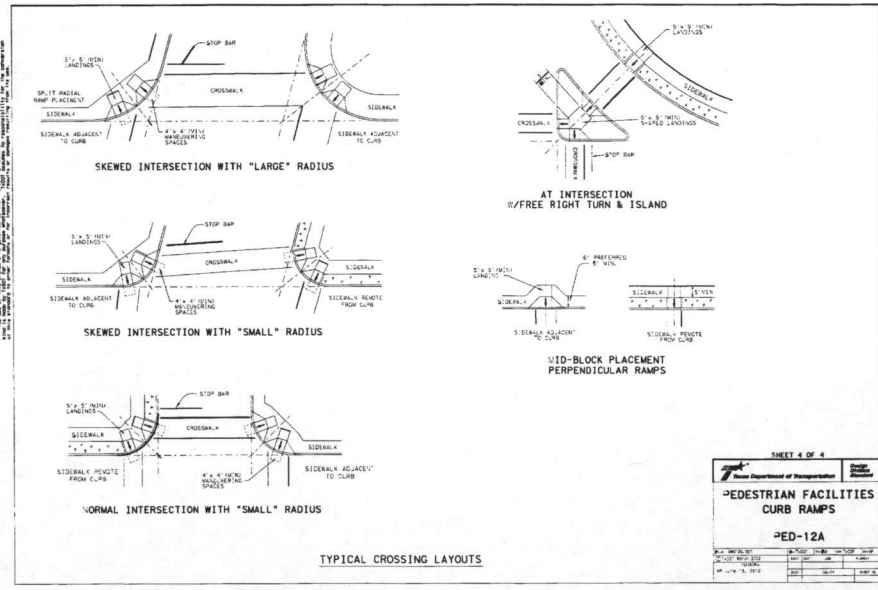
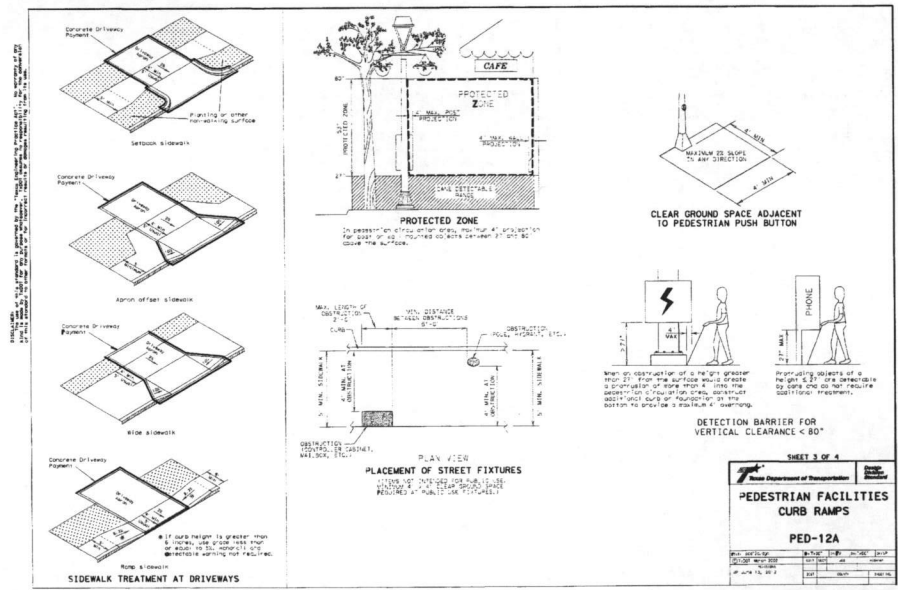
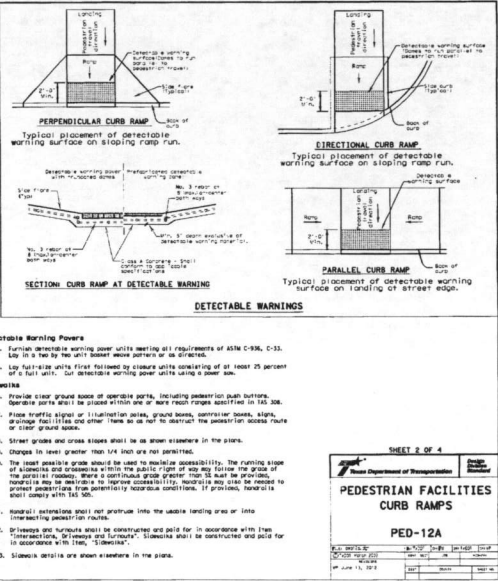


General Notes

1. Install a curb ramp or blended transition of each pedestrian street crossing.
2. All slopes shall be maximum 1:10. Lesser slopes that will still drain properly should be used. Adjust curb ramp length or grade of approach sidewalk as directed.
3. The minimum sidewalk width is 5'. Where the sidewalk is adjacent to the back of curb, a 5' sidewalk width is required, where a 5' sidewalk cannot be provided due to site constraints, a lesser width may be required for 100-foot lengths.
4. Landings shall be 5' x 5' minimum with a maximum 2% slope in any direction.
5. Intermediate slopes of the curbs of ramps shall be a minimum of 4% and shall terminate within the crosswalk and within the parallel wheelchair travel path.
6. Maximum sidewalk cross slope on sidewalks and curb ramp surfaces is 2%.
7. Provide a slope along where the pedestrian circulation path crosses the curb ramp. Curb ramp shall be 10% maximum, measure parallel to the curb. Returned curbs may be used where additional slope would not provide access across the ramp, otherwise prohibited.
8. Additional information on curb ramp location, design, sight reflector issue and return may be found in the current edition of the Texas Accessibility Standards (TAS) or to TAC 9A.10.
9. To all in a 5-foot radius from the curb, the median shall be a minimum of 4% slope from back of curb. Medians should be designed to provide accessible approach and through them.
10. Street intersection islands, which do not provide a minimum 5' x 5' landing at the top of the ramp, shall be cut through with the surface of the street.
11. Crosswalks, sidewalks, crosswalk markings and stop bar locations shall be as shown elsewhere in the plans. At intersections where crosswalk markings are not required, curb ramps shall be of an interrupted crosswalk unless otherwise directed.
12. Materials are not restricted on curb ramps. Provide curb ramps wherever an accessible route crosses a street or curb.
13. Curb ramps and landings shall be constructed and paid for in accordance with Item 531 (Landings).
14. Place concrete at a minimum depth of 5" for ramps, flares and landings, unless otherwise directed.
15. Provide a smooth transition where the curb ramps connect to the street.
16. Curb ramps on street 1 within the limits of pavement are considered part of the curb ramp for purposes, whether it is concrete curb, barrier, or combined curb and barrier.
17. Existing features that comply with TAS may remain in place unless otherwise shown on the plans.

Detectable Warning Material

18. Curb ramps shall contain a detectable warning surface that consists of raised truncated domes with a height of 1/4" to 5/16". The surface shall conform to the detectable warning surface requirements of Item 531. The surface shall be made of a material that is durable, slip resistant, and non-reflective. The surface shall be made of a material that is durable, slip resistant, and non-reflective. The surface shall be made of a material that is durable, slip resistant, and non-reflective.
19. Detectable warning surfaces shall be slip resistant and not allow water to accumulate.
20. Detectable warning surfaces shall be a minimum of 24" in width in the direction of pedestrian travel, and extend the full width of the curb ramp or landing where the pedestrian circulation path crosses the curb ramp.
21. Detectable warning surfaces shall be located so that the curb ramp surface is on the back of curb. Align the curb ramp surface to be perpendicular to the curb line between the curb and the street. Detectable warning surfaces may be cut through the corner flares.
22. Square areas on Sheet 1 of 4 indicate the approximate location for the detectable warning surface for each curb ramp type.



APPROVED: *[Signature]*
Development Coordinator
DATE: 4-13-18

1240 OXFORD PARK
HOUSTON, TX 77056
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CEEG
LICENSED ENGINEERS
TX REGISTRATION # 0000000000

CHAD ATLOS
98170
Professional Engineer

THE SEAL APPLICABLE ON THIS DOCUMENT WAS ISSUED BY CHAD ATLOS, P.E. 98170 ON 06/23/2015.

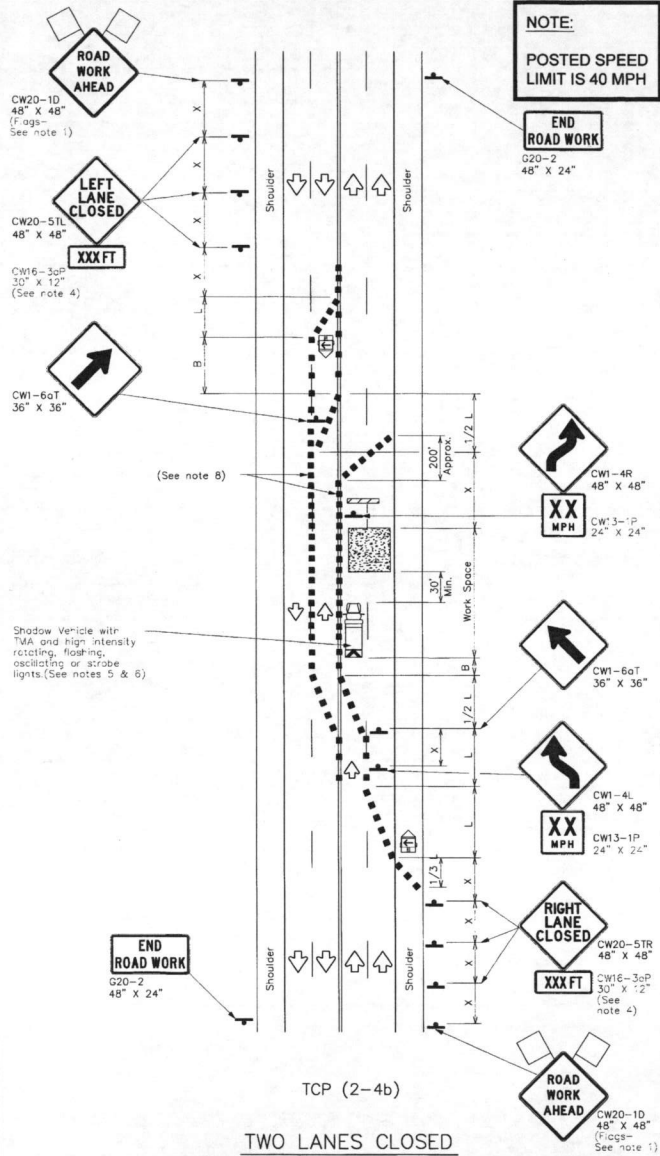
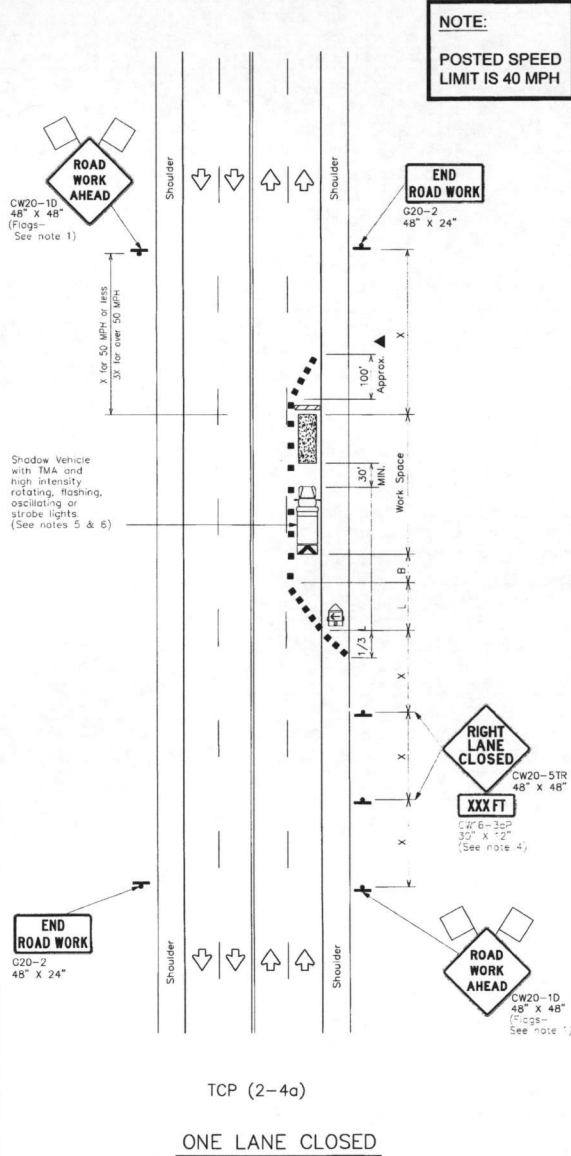
DISCUSSION
DATE
BY

HAIDER ZAMAN WEST BELLFORT WAREHOUSE BUILDINGS
15545 WEST BELLFORT BLVD, SUGAR LAND, TX 77498

C.E.G. FILE #: CIT-575
DETAILED BY: CA
DESIGNED BY: CA
CHECKED BY: CA
APPROVED BY: CA
PAGE TITLE:
TXDOT PED-12A STANDARD DETAILS
SHEET NO.:
C4.4

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DATE: FILE:



1 LANE CLOSURES ARE RESTRICTED TO 9AM - 4PM ; MONDAY THROUGH FRIDAY

LEGEND

	Type 3 Barricade		Channelizing Devices
	Heavy Work Vehicle		Truck Mounted Attenuator (TMA)
	Trailer Mounted Flashing Arrow Board		Portable Changeable Message Sign (PCVS)
	Sign		Traffic Flow
	Flag		Flagger

Posted Speed #	Formula	Minimum Taper Lengths		Suggested Maximum Spacing of Channelizing Devices		Minimum Sign Spacing X Distance	Suggested Longitudinal Buffer Space B	
		10' Offset	12' Offset	1/2 S Taper	Or S Target			
30	L = WS / 60	150'	165'	180'	30'	60'	120'	90'
35		205'	225'	245'	35'	70'	160'	120'
40		265'	295'	320'	40'	80'	240'	155'
45	L = WS	450'	495'	540'	45'	90'	320'	195'
50		500'	550'	600'	50'	100'	400'	240'
55		550'	605'	660'	55'	110'	500'	295'
60	L = WS	600'	660'	720'	60'	120'	600'	350'
65		650'	715'	780'	65'	130'	700'	410'
70		700'	770'	840'	70'	140'	800'	475'
75	L = WS	750'	825'	900'	75'	150'	900'	540'
80		800'	880'	960'	80'	160'	1000'	610'

* Conventional Roads Only
** Taper lengths have been rounded off.
L=Length of Taper(FT) W=Width of Offset(FT) S=Posted Speed(MPH)

TYPICAL USAGE

MOBILE	SHORT DURATION	SHORT TERM STATIONARY	INTERMEDIATE TERM STATIONARY	LONG TERM STATIONARY
		✓	✓	

GENERAL NOTES

- Flags attached to signs when shown, are REQUIRED.
 - All traffic control devices illustrated are REQUIRED, except those denoted with the triangle symbol may be omitted when stated elsewhere in the plans, or for routine maintenance work, when approved by the Engineer.
 - The downstream taper is optional. When used, it should be 100 feet minimum length per one.
 - For short term applications, when post mounted signs are not used, the distance legend may be shown on the sign face rather than on a CW16-3aP supplementary plaque.
 - A Shadow Vehicle with a TMA should be used or, if one can be positioned 30 to 100 feet in advance of the area of crew exposure without adversely affecting the performance or quality of the work, if workers are no longer present but road or work conditions require the traffic control to remain in place, Type 3 Barricades or other channelizing devices may be substituted for the Shadow Vehicle and TMA.
 - Additional Shadow Vehicles with TMAs may be positioned in each closed lane, on the shoulder or off the paved surface, next to those shown in order to protect a wider work space.
- TCP (2-4a)**
7. If this TCP is used for a left lane closure, CW20-51L "LEFT LANE CLOSED" signs shall be used and channelizing devices shall be placed on the centerline to protect the work space from opposing traffic with the arrow board placed in the closed lane near the end of the merging taper.
- TCP (2-4b)**
8. For shorter durations where traffic is directed over a yellow centerline, channelizing devices at an separate two-way traffic should be spaced on tapers at 20' or 15' for posted speeds are 35 mph or slower, and for tangent sections, at 1/2(S) where S is the speed in mph. This tighter device spacing is intended for the area of conflicting markings, not the entire work zone.

For construction or maintenance contract work, specific project requirements for shadow vehicles can be found in the project GENERAL NOTES for Item 502, Barricades, Signs and Traffic handling.

Texas Department of Transportation
Traffic Operations Division

**TRAFFIC CONTROL PLAN
LANE CLOSURES ON MULTILANE
CONVENTIONAL ROADS**

TCP(2-4)-12

REVISED	DATE	BY	JOB NO.	JOB TITLE	JOB NO.
8-85	2-12				
1-87					
4-88					
3-03					
		DIST.	COUNTY	SHEET NO.	

APPROVED: *[Signature]*
Development Coordinator
DATE: 4-13-18

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DR. SUITE B-100
HOUSTON, TX 77036
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Fax: 281.591.0801
info@gecon.com
www.gecon.com



CHAD ATWOOD
98170
State of Texas
Professional Engineer

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY CHAD ATWOOD, P.E. EXP. ON 10/20/2021.

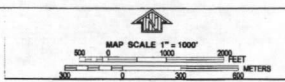
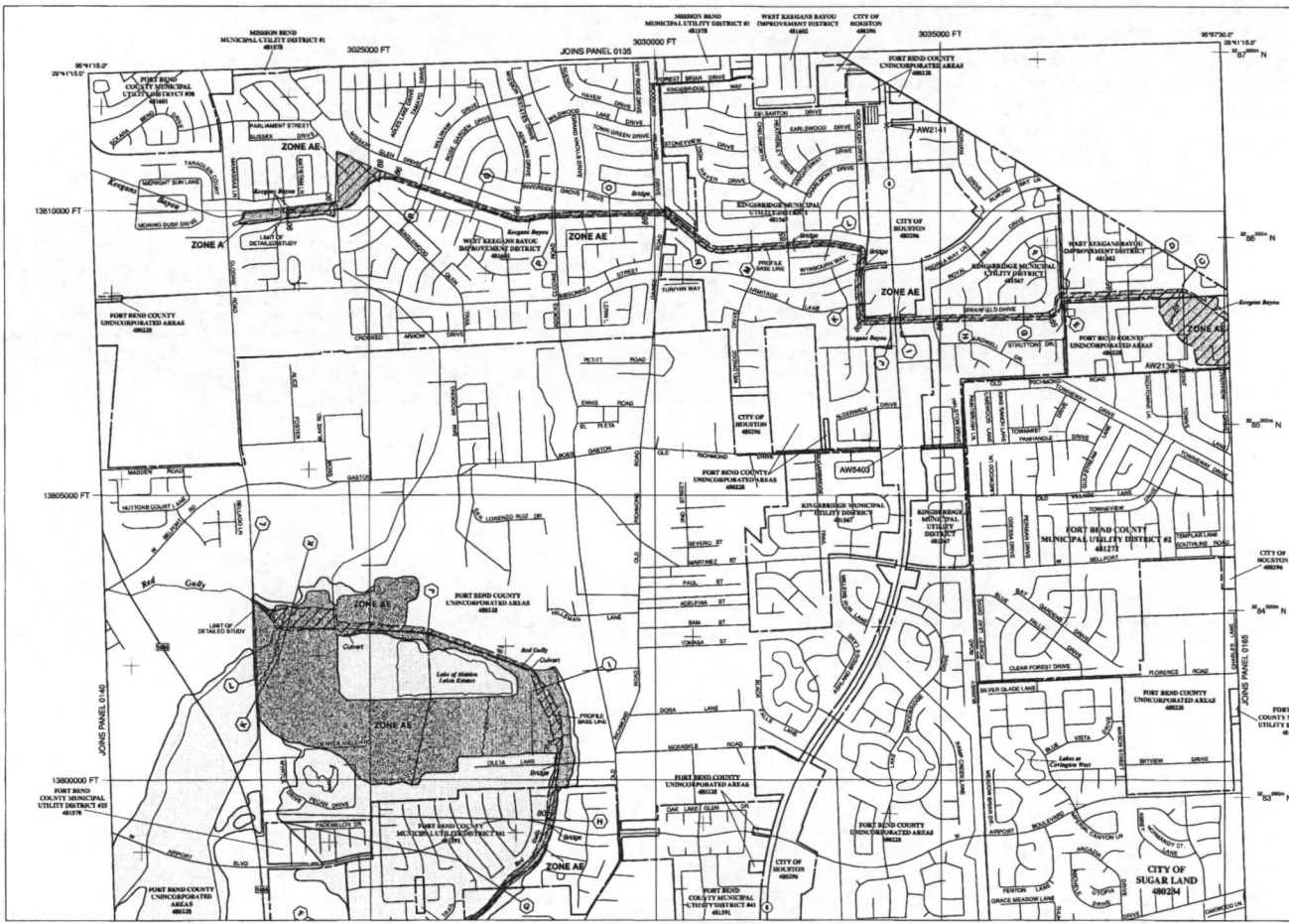
DESCRIPTION	DATE	BY

HAIDER ZAMAN WEST BELLFORT
WAREHOUSE BUILDINGS
15545 WEST BELLFORT BLVD., SUGAR LAND,
TX 77498

PL ENG FILE #: G15-375
DETAILED BY: CA
DESIGNED BY: CA
CHECKED BY: CA
APPROVED BY: CA

PAGE TITLE
TxDOT
APPROVED
TRAFFIC
APPROVED
PLAN (TCP2-4)
SHEET NO.:

C4.5



NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0145L

FIRM FLOOD INSURANCE RATE MAP
FORT BEND COUNTY, TEXAS
AND INCORPORATED AREAS

SEE MAP INDEX FOR FIRM PANEL LAYOUT

PANEL 145 OF 575

COMMUNITY	NUMBER	PANEL	SUFFIX
FORT BEND COUNTY UNINCORPORATED AREAS	481272	0145	L
FORT BEND COUNTY UNINCORPORATED AREAS	481273	0145	L
FORT BEND COUNTY UNINCORPORATED AREAS	481274	0145	L
FORT BEND COUNTY UNINCORPORATED AREAS	481275	0145	L
FORT BEND COUNTY UNINCORPORATED AREAS	481276	0145	L
FORT BEND COUNTY UNINCORPORATED AREAS	481277	0145	L
FORT BEND COUNTY UNINCORPORATED AREAS	481278	0145	L
FORT BEND COUNTY UNINCORPORATED AREAS	481279	0145	L
FORT BEND COUNTY UNINCORPORATED AREAS	481280	0145	L
FORT BEND COUNTY UNINCORPORATED AREAS	481281	0145	L
FORT BEND COUNTY UNINCORPORATED AREAS	481282	0145	L
FORT BEND COUNTY UNINCORPORATED AREAS	481283	0145	L
FORT BEND COUNTY UNINCORPORATED AREAS	481284	0145	L
FORT BEND COUNTY UNINCORPORATED AREAS	481285	0145	L
FORT BEND COUNTY UNINCORPORATED AREAS	481286	0145	L
FORT BEND COUNTY UNINCORPORATED AREAS	481287	0145	L
FORT BEND COUNTY UNINCORPORATED AREAS	481288	0145	L
FORT BEND COUNTY UNINCORPORATED AREAS	481289	0145	L
FORT BEND COUNTY UNINCORPORATED AREAS	481290	0145	L

MAP NUMBER 48157C0145L
 MAP REVISED APRIL 2, 2014

Federal Emergency Management Agency

THIS IS AN OFFICIAL COPY OF THE ABOVE REFERENCED FLOOD MAP. IT WAS EXTRACTED USING FIRM ONLINE. THIS MAP DOES NOT REFLECT ANY AMENDMENTS OR CHANGES THAT MAY HAVE BEEN IMPLEMENTED SUBSEQUENT TO THE FOLLOWING DATE: JANUARY 22, 2018. FOR THE LATEST PRODUCT INFORMATION ABOUT THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD MAPS, PLEASE CHECK THE FEMA FLOOD MAP SERVICE CENTER WEBSITE AT WWW.MSC.FEMA.GOV.

1 FIRM MAP 48157C0145L
 Scale: 1" = 1000'-0"

APPROVED: *Carroll*
 Development Coordinator
 DATE: 4-13-18

1360 OXFORD PARK HOUSTON, TX 77060
 TEL: 281.584.0800
 FAX: 281.584.0800
 info@ceiengineers.com
 www.ceiengineers.com

CEI ENGINEERS
 LICENSED ENGINEERS
 TX FIRM REGISTRATION # 48157

CHAD AYCOB
 88170
 12/21/2012

THE SEAL APPEARING ON THIS DOCUMENT WAS AFFIXED BY CHAD AYCOB P.E. 88170 ON 12/21/2012.

NO.	DATE	DESCRIPTION

HAIDER ZAMAN WEST BELLFORT WAREHOUSE BUILDINGS
 15545 WEST BELLFORT BLVD, SUGAR LAND, TX 77498

ENG. FILE # C11-573
 DESIGNED BY: CA
 CHECKED BY: CA
 APPROVED BY: CA

PAGE TITLE:
FIRM MAP 48157C0145L

SCALE:
 1"=1000'-0"
 SHEET NO.:
C5.0

ADDRESS : 0 WEST BELFORT STREET
SUGAR LAND, TX 77480

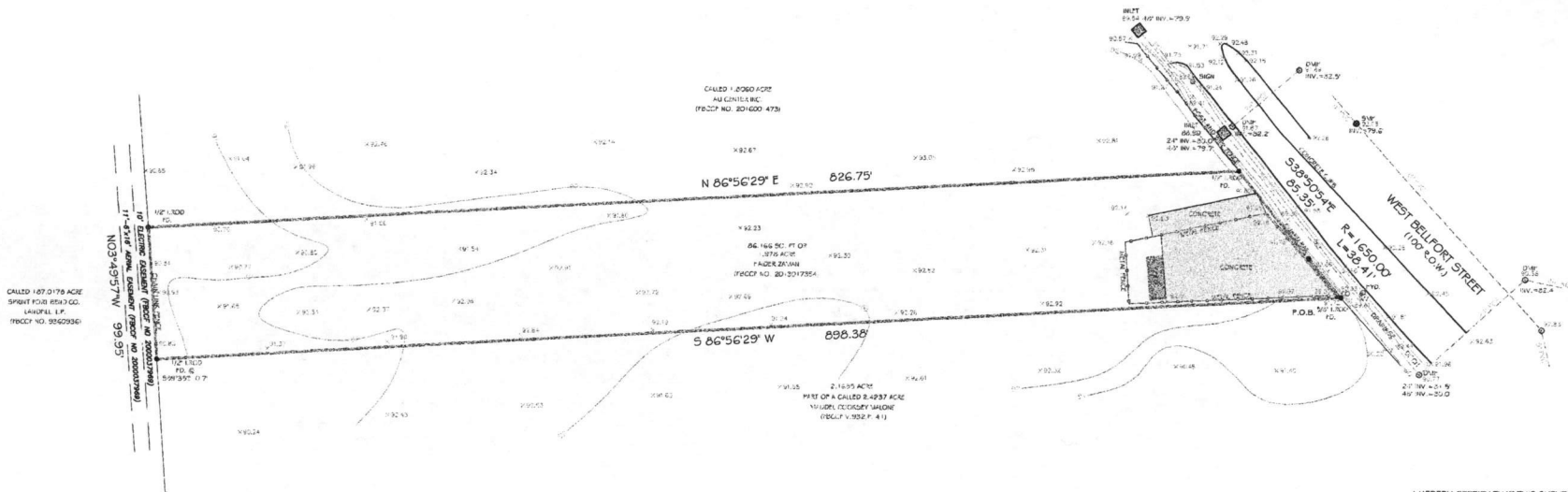
BUYER : ALI CENTER INC.

TITLE CO. : TEXAS AMERICAN TITLE COMPANY

GP NO. : 7910-17-1426

LENDER : N/A

A TOPOGRAPHIC SURVEY OF A 1.978 ACRE TRACT,
AS RECORDED UNDER FILE NO. 2013017354 F.B.C.C.F.
LOCATED IN JOHN LEVERTON SURVEY,
ABSTRACT 402
FORT BEND COUNTY, TEXAS



I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN MADE ON THE GROUND UNDER MY SUPERVISION, AND THAT IT CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF THE SURVEY. THERE WERE NO ENCROACHMENTS APPARENT ON THE GROUND EXCEPT AS SHOWN HEREON.



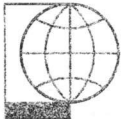
PIOTR A. DEBSKI R.P.L.S. NO. 5902
DOB NO. 17-03-15
DATE: MARCH 07 2017

NOTES:

- 1) ALL BEARINGS SHOWN ARE REFERENCED PER GPS OBSERVATIONS.
- 2) ALL THE ELEVATIONS SHOWN HEREON ARE REF. TO 1580 DATUM, 2001 ADJUSTMENT, AND ARE BASED ON HARRIS COUNTY T&EP RVD4035, ELEVATION = 88.81
- 3) THE OPEN DRAINAGE PIPE ELEVATION IS GIVEN ON THE TOP OF PIPE OPENING
- 4) ALL THE CURB ELEVATIONS ARE GIVEN ON THE BOTTOM OF THE CURB 0.5' HIGH.

FLOOD INFORMATION:

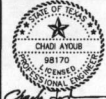
THIS TRACT DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN AND IS IN ZONE "X", AS PER F.E.M.A. FLOOD INSURANCE RATE PLAN NO. 48157CD14SL, DATED APRIL 02 2014.



PIOTR A. DEBSKI
1030 DOMINION DR.
KATY, TX 77450
832-878-6760
pid@sbglobal.net

APPROVED: *Piotr A. Debski*
Development Coordinator
DATE: 4/3/18

2440 ONYX PARK
DR. SUITE 1103
HOUSTON, TX 77062
Tel: 281.584.0800
Fax: 281.584.0801
info@engpoint.com
www.engpoint.com



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY CHAD ATHER #1248170 ON 10/29/2012.

REVISION	DATE	DESCRIPTION

HAIDER ZAMAN WEST BELFORT
WAREHOUSE BUILDINGS
15545 WEST BELFORT BLVD, SUGAR LAND,
TX 77498

C.E.N.G. FILE #: C17-515
DETAILED BY: CA
DESIGNED BY: CA
CHECKED BY: CA
APPROVED BY: CA
PAGE/TITLE:

BOUNDARY
AND
TOPOGRAPHIC
SURVEY

SHEET NO.
C5.2

STATE OF TEXAS
COUNTY OF FORT BEND

We, 15517 West Bellfort, an individual series of a Texas limited liability company, acting by and through Anis Hussain, Manager, Ali Center Inc., a Texas corporation, acting by and through Shahinshah Zaidi, Director, and Haider Zaman, owners hereinafter referred to as Owners of the 5.563-acre tract described in the above and foregoing map of WEST BELLFORT COMPLEX, do hereby make and establish said subdivision and development plan of said property according to all lines, dedications, restrictions, and notations on said map or plat and hereby dedicate to the use of the public forever, all streets (except those streets designated as private streets, or permanent access easements), alleys, parks, water courses, drains, easements and public places shown thereon for the purposes and considerations therein expressed; and do hereby bind ourselves, our heirs, successors and assigns to warrant and forever defend the title on the land so dedicated.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional eleven feet, six inches (11' 6") for ten feet (10' 0") perimeter ground easements or seven feet (7' 0") for fourteen feet (14' 0") perimeter ground easements or five feet, six inches (5' 6") for sixteen feet (16' 0") perimeter ground easements, from a plane sixteen feet (16' 0") above the ground level upward, located adjacent to and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals twenty one feet, six inches (21' 6") in width.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional ten feet (10' 0") for ten feet (10' 0") back-to-back ground easements, or eight feet (8' 0") for fourteen feet (14' 0") back-to-back ground easements or seven feet (7' 0") for sixteen feet (16' 0") back-to-back ground easements, from a plane sixteen feet (16' 0") above ground level upward, located adjacent to both sides and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals thirty feet (30' 0") in width.

FURTHER, Owners do hereby covenant and agree that all of the property within the boundaries of this plat is hereby restricted to prevent the drainage of any septic tanks into any public or private street, permanent access easement, road or alley, or any drainage ditch, either directly or indirectly.

FURTHER, Owners do hereby dedicate to the public a strip of land twenty feet (20' 0") wide on each side of the center line of any and all bayous, creeks, gullies, ravines, draws, sloughs or other natural drainage courses located in said plat, as easements for drainage purposes, giving the City of Houston, Harris County, or any other governmental agency, the right to enter upon said easement at any and all times for the purpose of construction and maintenance of drainage facilities and structures.

FURTHER, Owners do hereby covenant and agree that all of the property within the boundaries of this plat and adjacent to any drainage easement, ditch, gully, creek, or natural drainage way shall hereby be restricted to keep such drainage ways and easements clear of fences, buildings, planting and other obstructions to the operations and maintenance of the drainage facility and that such obting property shall not be permitted to enter upon said easement except by means of an approved drainage structure.

FURTHER, Owner does hereby acknowledge the receipt for the "Order for Regulation of Outdoor Lighting in the Unincorporated Areas of Fort Bend County, Texas" and do hereby covenant and agree and shall comply with this order as adopted by Fort Bend County Commissioners Court on March 23, 2004, and any subsequent amendments.

IN TESTIMONY WHEREOF, the 15517 West Bellfort, an individual series of Texas limited liability company, Ali Center Inc., a Texas corporation has caused these presents to be signed by Anis Hussain, its Manager, and Shahinshah Zaidi, its Director, thereunto authorized, this _____ day of _____, 2017.

WITNESS my hand in the city of Houston, Texas, this _____ day of _____, 2017.

15517 West Bellfort, an individual series of a Texas limited liability company and Ali Center, Inc., a Texas corporation

By: _____
Anis Hussain
Manager

By: _____
Shahinshah Zaidi
Director

By: _____
Haider Zaman
Owner

STATE OF TEXAS
COUNTY OF FORT BEND

BEFORE ME, the undersigned authority, on this day personally appeared Anis Hussain, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein and herein stated, and as the act and deed of said corporation.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 2017.

Notary Public in and for the State of Texas
Print Name: _____
My Commission expires: _____

STATE OF TEXAS
COUNTY OF FORT BEND

BEFORE ME, the undersigned authority, on this day personally appeared Shahinshah Zaidi, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein and herein stated, and as the act and deed of said corporation.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 2017.

Notary Public in and for the State of Texas
Print Name: _____
My Commission expires: _____

STATE OF TEXAS
COUNTY OF FORT BEND

BEFORE ME, the undersigned authority, on this day personally appeared Haider Zaman, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 2017.

Notary Public in and for the State of Texas
Print Name: _____
My Commission expires: _____

I, Piotr A. Debaki, am registered under the laws of the State of Texas to practice the profession of surveying and hereby certify that the above subdivision is true and accurate, was prepared from an actual survey of the property made under my supervision on the ground, that, except as shown all boundary corners, angle points, points of curvature and other points of reference have been marked with iron (or other objects of a permanent nature) pipes or rods having an outside diameter of not less than five eighths (5/8) inch and a length of not less than three (3) feet; and that the plat boundary corners have been tied to the Texas Coordinate System of 1983, south central zone.



Piotr A. Debaki
Texas Registration No. 5902

This is to certify that the Planning Commission of the City of Houston, Texas, has approved this plat and subdivision of WEST BELLFORT COMPLEX in conformance with the laws of the State of Texas and the ordinances of the City of Houston, as shown hereon, and authorized the recording of this plat this _____ day of _____, 2017.

By: _____ (or) _____
Martha L. Stein Chair M. Sonny Garza Vice Chairman

By: _____
Patrick Walsh, P.E.
Secretary

We, Prosperity Bank, owner and holder of a lien against the property described in the plat known as WEST BELLFORT COMPLEX, said lien being evidenced by instrument of record in the Clerk's File No. 2016015151 of the O.P.R.O.P. of Fort Bend County, Texas, do hereby in all things subordinate our interest in said property to the purposes and effects of said plat and the dedications and restrictions shown herein to said subdivision plat and we hereby confirm that we are the present owner of said lien and have not assigned the same nor any part thereof.

By: _____
Print Name: _____
Representative of Prosperity Bank

STATE OF TEXAS
COUNTY OF HARRIS

BEFORE ME, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and considerations therein expressed and in the capacity therein and herein stated, and as the act and deed of said corporation.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 2017.

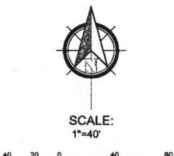
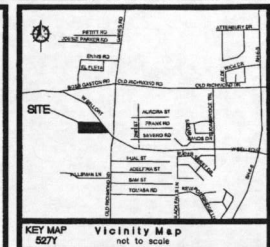
Notary Public in and for the State of Texas
Print Name: _____
My Commission expires: _____

NOTES:

- This survey has not been tied to the official City of Houston Survey monumentation system in accordance with Ordinance No. 69-1978, because a City survey marker has not been established within 2500 ft.
- Unless otherwise indicated, the building line (B.L.), whether one or more, shown on the subdivision plat are established to evidence compliance with the applicable provisions of Chapter 42, Code of Ordinances, City of Houston, Texas, in effect at the time this plat was approved, which may be amended from time to time.
- All property to drain into the drainage easement only through and approved drainage structure.
- The top of all floor slabs shall be a minimum of 93.59 feet above mean sea level. The top of slab elevation at any point on the perimeter of the slab shall not be less than eighteen (18) inches above natural ground.
- The drainage system for the subdivision is designated in accordance with the Fort Bend County Manual which allows street ponding with intense rainfall events.
- This property lies within Houston Extrajurisdictional Jurisdiction.
- There are no existing pipelines or pipeline easements within the limits of the proposed subdivision.
- Vertical Control - City of Houston Survey marker No. 040455 located on the Southwest corner of bridge. Approximately 0.15 miles North from the intersection of Blissonnet Street and Gaines Road. Elevation = 88.81 feet, NAVD 1988, 2001 Adjustment.
- The platred area is located within Zone "X" outside the 100-year flood plain, based on FEMA Flood Insurance Rate Map Panel 48157CD145L, effective April 2, 2014.
- The Lighting Zone code is L3.
- The Coordinates shown hereon are Texas South Central Zone No. 4204 State Plane Grid Coordinates (NAD83) and may be brought to surface by applying the following combined scale of 0.9998025.
- Sidewalks shall be built or caused to be built not less than 5 feet in width on both sides of dedicated rights-of-way within said plat or on contiguous rights-of-way of all perimeter roads surrounding said plat, in accordance with A.D.A. Sidewalks may be a minimum of 4 feet in width when placed in front of single family residential lots with approval of Ft. Bend County Engineer.

I, Chadi Ayoub, a Professional Engineer registered in the State of Texas do hereby certify that this plat meets all requirements of Fort Bend County to the best of my knowledge.

Print Name: _____ P.E.
Registered Professional Engineer No. 98170



I, Richard Stolles, P.E., Fort Bend County Engineer, do hereby certify that the plat of this subdivision complies with all of the existing rules and regulations of this office as adopted by the Fort Bend County Commissioners' Court. However, no certification is hereby given as to the effect of drainage from this subdivision on the intercepting drainage artery or parent stream or on any other area or subdivision within the watershed.

Richard Stolles, P.E.
Fort Bend County Engineer

Approved by the Commissioner's Court of Fort Bend County, Texas, this _____ day of _____, 2017.

Vincent H. Morales, Jr. Grady Prestige
Precinct 1, County Commissioner Precinct 2, County Commissioner

Robert E. Hebert County Judge

W.A. "Andy" Myers James Patterson
Precinct 3, County Commissioner Precinct 4, County Commissioner

I, Laura Richard, County Clerk in and for Fort Bend County, hereby certify that the foregoing instrument with its certificate of authentication was filed for recordation in my office on _____ 20____ at _____ o'clock _____ M. in plat number _____ of the Plat Records of Fort Bend County, Texas.

Witness my hand and seal of office, at Houston, the day and date last above written.

Laura Richard
County Clerk for Fort Bend County, Texas

By: _____
Deputy

WEST BELLFORT COMPLEX
A SUBDIVISION OF A 5.563 ACRE TRACT OF LAND
SITUATED IN THE JOHN LEVERTON SURVEY
ABSTRACT 402
FORT BEND COUNTY, TEXAS

3 RESERVES 1 BLOCK 0 LOTS

OWNERS:

15517 WEST BELLFORT, AN INDIVIDUAL SERIES OF A TEXAS LIMITED LIABILITY COMPANY
15517 WEST BELLFORT, SUGAR LAND, TEXAS 77488
281-961-6161

ALI CENTER, INC., A TEXAS CORPORATION
15006 WEST BELLFORT, SUGAR LAND, TEXAS 77486
832-686-9070

HAIDER ZAMAN
16734 WEST BELLFORT, SUGAR LAND, TEXAS 77488
281-561-6161

DATE: OCTOBER, 2017 SCALE: 1" = 40'

OWENS MANAGEMENT SYSTEMS, LLC
P.O. BOX 86373
HOUSTON, TEXAS 77288
713-643-6333

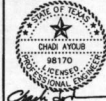
SURVEYOR
PIOTR A. DEBAKI
1022 DORNINGTON DR.
KATY, TEXAS 77450

PAGE 1 OF 2

APPROVED: _____
Development Coordinator

DATE: 4-13-18

1246 OXFORD PARK
DR. SUITE 11-106
HOUSTON, TX 77066
Tel: 281.594.0000
Fax: 281.594.0001
info@omginc.com
www.omginc.com



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY CHAD AYUB, P.E. #98170 ON 10/13/2017.

DESCRIPTION	DATE	BY

HAIDER ZAMAN WEST BELLFORT WAREHOUSE BUILDINGS
15545 WEST BELLFORT BLVD, SUGAR LAND, TX 77498

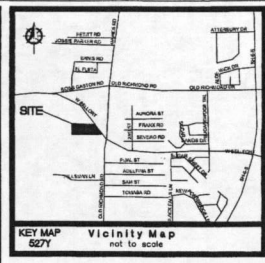
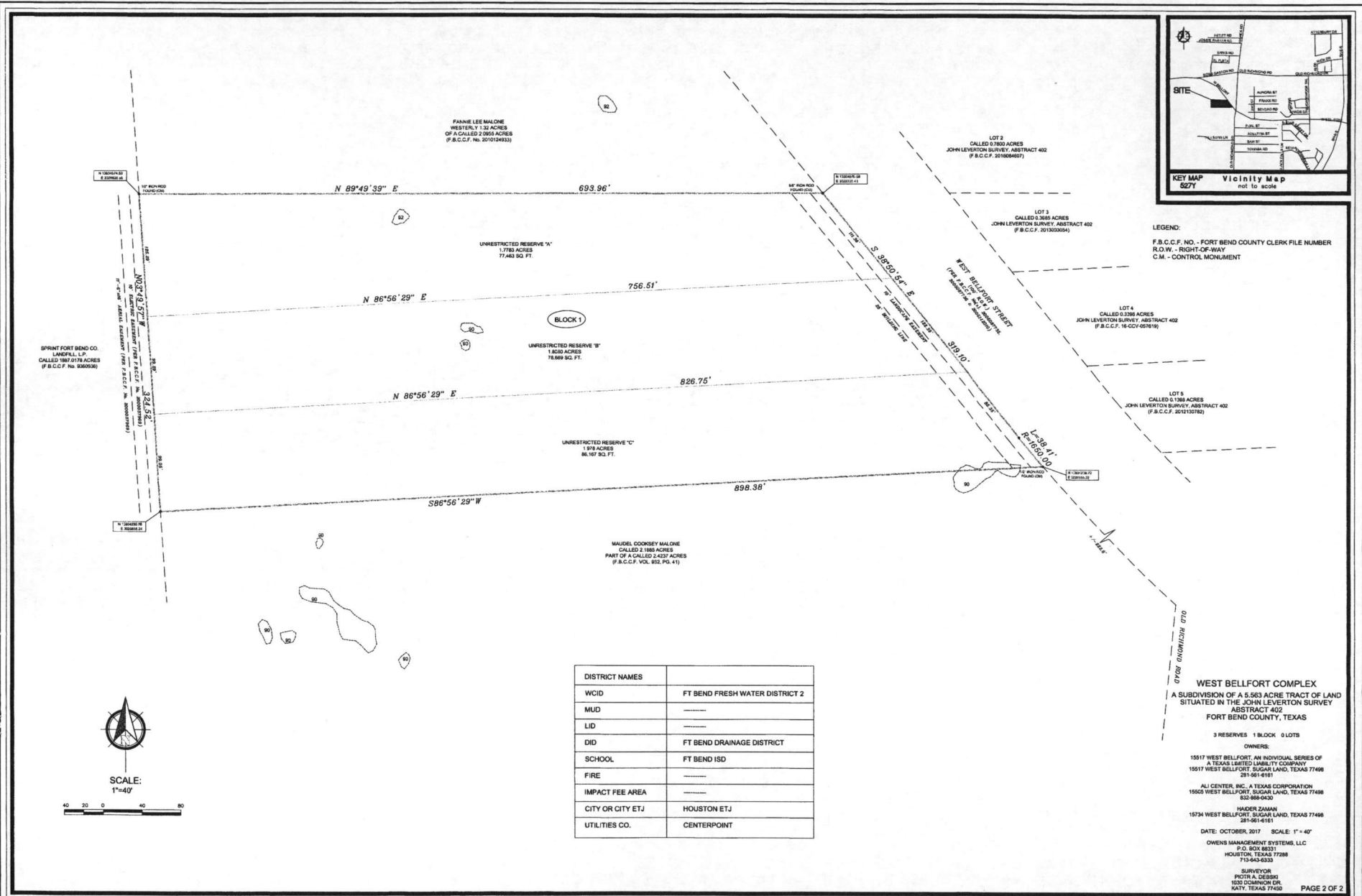
CENG. FILE #: C17-575
DATED BY: CA
DESIGNED BY: CA
CHECKED BY: CA
APPROVED BY: CA

PAGE TITLE:

PLAT:
WEST BELLFORT
COMPLEX
1 OF 2

SHEET NO.:

C5.3



LEGEND:
 F.B.C.C.F. NO. - FORT BEND COUNTY CLERK FILE NUMBER
 R.O.W. - RIGHT-OF-WAY
 C.M. - CONTROL MONUMENT

SPRINT FORT BEND CO.
 LANDFILL LP
 CALLED 1987.0178 ACRES
 (F.B.C.C.F. NO. 936908)

FANNIE LEE MALONE
 WESTERLY 1.32 ACRES
 OF A CALLED 2.2663 ACRES
 (F.B.C.C.F. NO. 2010124933)

UNRESTRICTED RESERVE "A"
 1.7783 ACRES
 77,483 SQ. FT.

UNRESTRICTED RESERVE "B"
 1.8580 ACRES
 78,969 SQ. FT.

UNRESTRICTED RESERVE "C"
 1.978 ACRES
 86,197 SQ. FT.

MAUDEL COOKSEY MALONE
 CALLED 2.1863 ACRES
 PART OF A CALLED 2.4237 ACRES
 (F.B.C.C.F. VOL. 902, PG. 41)

LOT 3
 CALLED 0.7802 ACRES
 JOHN LEVERTON SURVEY, ABSTRACT 402
 (F.B.C.C.F. 2013004697)

LOT 3
 CALLED 0.3683 ACRES
 JOHN LEVERTON SURVEY, ABSTRACT 402
 (F.B.C.C.F. 2013002004)

LOT 4
 CALLED 0.3266 ACRES
 JOHN LEVERTON SURVEY, ABSTRACT 402
 (F.B.C.C.F. 16-CCV-097619)

LOT 5
 CALLED 0.1384 ACRES
 JOHN LEVERTON SURVEY, ABSTRACT 402
 (F.B.C.C.F. 201310706)

WEST BELLFORT COMPLEX
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 SITUATED IN THE JOHN LEVERTON SURVEY
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ALI CENTER, INC., A TEXAS CORPORATION
 15525 WEST BELLFORT, SUGAR LAND, TEXAS 77498
 832-858-0430

HADER ZAMAN
 15734 WEST BELLFORT, SUGAR LAND, TEXAS 77498
 281-561-6161

P.O. BOX 86331
 HOUSTON, TEXAS 77288
 713-643-4333

SURVEYOR
 PIOTR A. DEBSKI
 1032 COMMON DR.
 KATY, TEXAS 77450

PAGE 2 OF 2

DISTRICT NAMES	
WCID	FT BEND FRESH WATER DISTRICT 2
MUD	-----
LID	-----
DID	FT BEND DRAINAGE DISTRICT
SCHOOL	FT BEND ISD
FIRE	-----
IMPACT FEE AREA	-----
CITY OR CITY ETJ	HOUSTON ETJ
UTILITIES CO.	CENTERPOINT

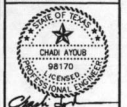


SCALE:
 1"=40'



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 info@ceing.com
 www.ceing.com



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY CHAD A. HADER, P.E. 98170 ON 10/27/2017.

DATE	DESCRIPTION

**HAIDER ZAMAN WEST BELLFORT
 WAREHOUSE BUILDINGS**
 15545 WEST BELLFORT BLVD, SUGAR LAND,
 TX 77498

C.E.N.G. FILE # C17-575
 DETAILED BY: CA
 DESIGNED BY: CA
 CHECKED BY: CA
 APPROVED BY: CA
 PAGE TITLE:

PLAT:
 WEST BELLFORT
 COMPLEX
 2 OF 2

SHEET NO.:
C5.4

APPROVED: *Chad A. Hader*
 Development Coordinator
 DATE: 4-13-18