

REVIEW BY FORT BEND COUNTY COMMISSIONERS COURT

Fort Bend County Engineering Department 301 Jackson Suite 401

301 Jackson Suite 401 Richmond, Texas 77469 281.633.7500 Permits@fortbendcountytx.gov

Right of Way	Permit									
	Oriveway Permit									
Permit No: 2018-19	126									
Applicant: DL Meacham Construction, LP										
Job Location Site: 23327 Pearl Glen Drive, Richmon	d, TX 77469									
Bond No. Date of Bond: 3/24/	/2017 Amount: \$50,000.00									
Laying, Construction, Maintenance, and Repair of Buried Roads, Streets, Highways, and Drainage Ditches in Fort B Commissioners Court of Fort Bend County, Texas," as pas Texas, of the Minutes of the Commissioners Court of For	The above applicant came to make use of certain Fort Bend County property subject to, "The Order Regulating the Laying, Construction, Maintenance, and Repair of Buried Cables, Conduits, and Pole Lines, In, Under, Across or Along Roads, Streets, Highways, and Drainage Ditches in Fort Bend County, Texas, Under the Jurisdiction of the Commissioners Court of Fort Bend County, Texas," as passed by the Commissioners Court of Fort Bend County, Texas, of the Minutes of the Commissioners Court of Fort Bend County, Texas, to the extent that such order is not not not consistent with Chapter 181, Vernon's Texas Statutes and Codes Annoted.									
grounds for job shutdown. 2. Written notices are required: a. 48 hours in advance of construction	d ready for final inspection, submit notification to Permit Online.org portal.									
	d carried, it is ORDERED, ADJUDGED AND DECREED that said the Commissioners Court of Fort Bend County, Texas, and									
Signature	Presented to Commissioners Court and approved.									
By: Rid Staigle 1E, PTOE County Engineer	Date Recorded 4-5-2018 Comm. Court No. 12B									
N/A By: Drainage District Engineer/Manager	Clerk of Commissioners Court By: Deputy Deputy									
	ı									



PERMIT APPLICATION REVIEW FORM FOR CABLE, CONDUIT, AND POLE LINE ACTIVITY IN FORT BEND COUNTY

Fort Bend County

Engineering Department
301 Jackson Suite 401
Richmond, Texas 77469
281.633.7500 Permits@fortbendcountytx.gov

X Commercial Driveway Permit Permit No: 2018-19126	Rigi	nt of Way Permit	
The following "Notice of Proposed Cable, Conduit, and/or Pole Line activity in Fort Bend County" and accompanying attachments have been reviewed and the notice conforms to appropriate regulations set by Commissioner's Court of Fort Bend County, Texas. (1) COMPLETE APPLICATION FORM: X	X Con	nmercial Driveway	Permit
attachments have been reviewed and the notice conforms to appropriate regulations set by Commissioner's Court of Fort Bend County, Texas. (1) COMPLETE APPLICATION FORM:	Permit No	2018-19126	
X Drainage District Approval Date	attachments have been reviewed and the notic		
b. Vicinity map showing course of directions c. Plans and specifications (2) BOND: County Attorney, approval when applicable. X Perpetual bond currently Bond No: Amount: \$50,000.00 posted. Performance bond submitted. Bond No: Amount: Cashier's Check Check No: Amount: (3) DRAINAGE DISTRICT APPROVAL (WHEN APPLICABLE): Drainage District Approval Date We have reviewed this project and agree it meets minimum requirements.	(1) COMPLETE APPLICATION FORM:		
(2) BOND: County Attorney, approval when applicable. X Perpetual bond currently Bond No: Amount: \$50,000.00 posted. Performance bond submitted. Bond No: Amount: Cashier's Check Check No: Amount: The province of the pr	X a. Name of road, street, and/or	r drainage ditch affe	cted.
County Attorney, approval when applicable. X Perpetual bond currently posted. Performance bond submitted. Bond No: Amount: \$50,000.00 Cashier's Check Check No: Amount: Orainage District Approval Date	X b. Vicinity map showing course	of directions	
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Drainage District Approval Date We have reviewed this project and agree it meets minimum requirements.	Cashier's Check	Check No:	Amount:
		EN APPLICABLE):	Date
Red Stargle 16, PTOE 3/23/2018 Permit Administrator Date			quirements.
Permit Administrator Date	Rid & Staigle, 18, PTOE		3/23/2018
	Permit Administrator		Date

CONSTRUCTION PLANS FOR WATER, SEWER, DRAINAGE AND PAVING IMPROVEMENTS FOR VERANDA RECREATION CENTER

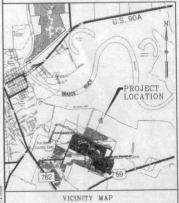
LOCATED IN
FORT BEND COUNTY MUD No. 215
FORT BEND COUNTY, TEXAS

INDEX OF DRAWINGS

SHEET NO. DESCRIPTION

	(1)	COVER SHEET
CO.01	(2)	CIVIL CONSTRUCTION NOTES
CO.02	(3)	CIVIL TOPOGRAPHY
CO.03	(4)	CIVIL WATER & SANITARY LAYOUT
CO.04	(5)	CIVIL STORM SEWER LAYOUT
CO.05	(6)	CIVIL DRAINAGE CALCULATION
CO.06	(7)	CIVIL PAVING LAYOUT
CO.07	(8)	CIVIL GRADING LAYOUT
CO.08	(9)	CIVIL STRIPING & SIGNAGE LAYOUT
CO.09	(10)	CIVIL POLLUTION PREVENTION LAYOUT
CO.10	(11)	CIVIL POLLUTION PREVENTION DETAILS
CO.11	(12)	FORT BEND COUNTY DRIVEWAY DETAIL & TRAFFIC CONTROL
CO.12	(13)	*TxDOT - PEDESTRIAN FACILITIES CURB RAMPS (PED-12A
CO.13	(14)	CITY OF RICHMOND DETAILS
CO.14	(15)	CITY OF RICHMOND DETAILS
CO.15	(16)	CITY OF RICHMOND DETAILS
CO.16	(17)	CTIY OF RICHMOND DETAILS
CO.17	(18)	CITY OF RICHMOND DETAILS
CO.18	(19)	CITY OF RICHMOND DETAILS
CO.19	(20)	CITY OF RICHMOND DETAILS
CO.20	(21)	CITY OF RICHMOND DETAILS
CO.21	(22)	CITY OF RICHMOND DETAILS
CO 22	(23)	CITY OF RICHMOND DETAILS
1.3.01	(24)	LANDSCAPE CONSTRUCTION PLAN
L3.02	(25)	LANDSCAPE CONSTRUCTION PLAN
1.3.03	(25)	LANDSCAPE CONSTRUCTION DETAILS
1.3.04	(26)	LANDSCAPE CONSTRUCTION SCHEDULES
ES0.01	(27)	LANDSCAPE ELECTRICAL LAYOUT
ES0.03	2 (28)	ELECTRICAL PHOTOMETRIC PLAN
L5.01	(29)	LANDSCAPE PLANTING PLAN
1.5.02	(30)	LANDSCAPE PLANTING PLAN

LANDSCAPE PLANTING DETAILS



OTES:

1. ALL BEARINGS ARE BASED ON THE TEXAS STATE PLANE COORDINATE GRID SYSTEM, SOUTH CENTRAL ZONE.

2. PRIOR TO THE CONSTRUCTION OF THESE FACILITIES WITHIN OR BY THE DISTRICT, THE DISTRICT OR ITS ENGINEER WILL GIVE WRITTEN NOTICE BY REGISTREED OR CERTIFIED MAIL TO THE DIRECTOR OF PUBLIC WORKS AND ENGINEERING, CITY OF HOUSTON STATING THE DATE SUCH CONSTRUCTION WILL BE COMMENCED.









JOB NO. 2017-057-233

L5.03 (31)

DATE: AUGUST 2017

GENERAL CONSTRUCTION NOTES

- CONTRACTOR SHALL CONTACT THE CITY OF RICHMOND CITY ENGINEER (RELLY KALLEZ 281-341-0808), FORT BEIND COUNTY BROINCERING DEPTARTMENT AT RAMAL CONTRIBUCTION/REPERENCOS/MICTICS/COY AND COSTRULO, INC. [MARK JANEER 713-788-7188] 48 HOURS PRIOR TO THE START OF ANY
- IN THE EVENT OF A CONFLICT BETWEEN THE CONSTRUCTION PLANS AND ANY TECHNICAL SPECIFICATION, THE PLANS SHALL SUPERCIDE THE TECHNICAL SPECIFICATIONS. IN ALL SITUATIONS WHERE "SPECIAL PROVISION ARE INDICATED IN THE TECHNICAL SPECIFICATION, THE SPECIAL PROVISION WILL
- ALL WORK SHALL BE COMPLETED TO THE SATISFACTION OF THE COUNTY OF FORT BEND, THE CITY OF RICHMOND, THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY AND THE MULD. ENGINEER.
- 4. ALL IMENTIFICATION AND/OR WASTE MATERIAS INCLUDING VIGITATION DOORS STREPPING, CONCRETE, AND DESIS SHALL BEHALD OF STEEP FOR EACH STREET, CORRESTOR, ALL TREETS AND BRUSH MAY BOT SE WORLD'TO. OH THE CORRESTOR, ALL TREETS AND BRUSH MAY BOT SE WORLD'TO. OH THE STEEP AND OFFERMEN THE CORRESTOR OF THE COVERATION OF THE COVERANT OF THE COVERAN
- 5. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AT ALL TIMES DURBNA CONSTRUCTION OF PROPOSED FACULTIES. AS SITE PREPARATION IS UNDERWAY, SURGADASS SHALL BE SUPPLY TO DRAIN AND THE SUBGRADES SHALL BE STALLD BY COMPACTING WITH A SUBBRETIME HOLLER AT THE END OF EACH DAY OR WINENAMUS IMMERENT.
- 6. ALL SOSTING UTURISS MAY NOT PER INDICATED, THE CONTRACTOR SHALL WRISTY LOCATION, AND ELECTRON DE EXISTING FACILITIES ROBER TO CONSTRUCTION OF PROPOSED FACURES. THE CONTRACTOR SHALL NOTIFICITIES ARE ROBER TO COMMENCEMENT OF CORRESPONDED, CONTRACTOR SHALL SHALL NOTIFICIAL SHALL SHALL
- ALL EXISTING LANDSCAPING, SIDEWALKS, FENCES, UTILITIES AND OTHER DISTING FACILITIES WHICH SHALL REMAIN AND ARE DIAMAGED DURRING CONSTRUCTION WILL BE REPLACED OR REPARED TO THEIR ORIGINAL CONDITIONS THE CONTRACTOR AT HIS EXPENSE.
- IL ALL WORK SHALL BE COMPLETED TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL CONFINE ALL WORK WITHIN THE DESIGNATED AREA (BOUNDARY AND EASEMENTS SHOWN ON PLANS) UNLESS SPECIFICALLY ALTHORIZED BY OWNER. EXTREME CARE SHOULD BE EXERCISED BILAR ADJACENT PROPERTY TO PROTECT ANY DISSINGTRESS AND PROPERTY.
- 10. ALL CONSTRUCTION WHICH HINDERS TRAFFIC OR REQUIRES TRAFFIC DIVERSION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- 11.IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO AUGN THE GRATE TOPS HORIZONTALLY TO CONFORM TO THE PROPOSED PARKING ROWS AS INDICATED
- ON THE DRAWINGS.

 12. MAINTAIN A MINIMUM OF 12-INCH CLEARANCE BETWEEN ALL UTILITIES UNLESS
- OTHERWISE INDICATED ON THE CORSTRUCTION PLANS.

 13. PRIOR TO COMMENCIONS WHER IR ANY AREA, THE CONTRACTOR SHALL MOW
 AND STRIP THE VEGETATION HAS LAREAS WHERE WORK IS TO BE PREVIOUND.

 OR IS ANY LOCATION WHERE CONSTRUCTION MACHINES OR TRUCKS ARE TO BE
 COMMENTAL RESPONSIBLE.
- OR MANY LOCATION WHITE CONSTRUCTION IMMORPS OR TRUCKS AND TO BE OFFERINGED. A LAGAS REPORTED TO BE DISTURBED HAM PERSON ARE TO BE STREPPED. STREPPED IS DEPIRED AS REMOVINGE ALL GRASS AND THE OFFERING COME IS, MIRRISAND OF A REMOVED THE STREPPED IS AND THE DISTURBED OF THE CONTRACTOR. AND THE DISTURBED HAVE TO BE REMOVED INFORM THE REMOVES THE OWN DELICITATION AND THE OWN THAT OF THE CONTRACTOR. AS EXCESS EXCAVATED MATERIAL SPAIL RECORDER TO THE CONTRACTOR. AS EXCESS EXCAVATED MATERIAL SPAIL RECORDER TO THE CONTRACTOR.
- JA-THE CONTRACTOR SHALL EXECUTE THE REQUIRED POLLUTION PREVENTION PLAN PPP) AND ASSOCIATIO NOTICE OF HITTEN HOR) FORM FOR THE PROBECT AND SHALL BE REPORTISHE FOR CONTRIBUTION, MAINTAINEN, REPECTION AND PILOVIONIC WRITTEN REPORTS FOR ALL TIEMS IDENTIFIED IN THE PRP UNIT, THIS PROJECT IS SUBSTANTIALLY COMPAITT. THE CONTRACTOR SHALL REPORTS WITCH EMPSYCHOLARISON AS INCURRED BY THE PRP.
- 15. CONTRACTOR IS TO OBTAIN ALL REQUIRED FORT BEND COUNTY PERMITS PRIOR
- BE SET AT FOUR-INCHES ABOVE FINISHED GRADE (I.E. AFTER LANDSCAPING IS COMPLETE). ALL MANIFICE TOPS WITHIN PAVEMENT ARE TO BE SET TURSH WITH PROPOSED PAVEMENT. THIS MOTE SHALL GOVERN SHOULD A CONFUCT ARISE WITHELEVATIONS INDICATED ON THE PLAN SHEETS.
- 37. ALL CEMENT STABILIZED SAND UTBIZED ON THIS PROJECT SHALL CONFORM WITH THE TECHNICAL SPECIFICATIONS (2 SACKS PER TON).
- 18. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS TO VERIFY
- 29 ALL SOI. TO MAKE GRADE FOR PROPRIES PARRISING MEMORYMMENTS SHALL SE DETRIBUTION PROVINCES URLET/PARRISED EXCURSION OF REALIZED TO THE STEE OF THE CONTRACTOR. ANY MATERIAL HALLED TO THE STEE MASS FOR A TEMPORAL PROPRIES OF THE MASS FOR A STANDARD SHAP AND A STANDARD SHAP THAN AND ALL PILL SHALL SE PLACED IN MAXIMUM SHIPCH LODGE SETS AND COMPACTED TO A MINISHAD OF STANDARD SHOCKED MAXIMUM DIST. DESIGN AT A MOSTUME CONTENT WITHIN 2 PRECENTAGE POINTS OF OUTSIANS AND STORMANDED THE ATMINISHED.
- 20.REFERENCE IS MADE IN SUBSCILLENT NOTES AND DETAILS REGADING THE
 PLACEMENT OF CEMENT STABLIZED SAND UNDER OR WITHIN 3 FEET OF
 PROGNSSIO OF PUTURE PAYMEMENT, OF DEFINITION, HIS MADES ALL AREAS,
 REHEATH OR WITHIN STEET OF PAYMEMENT BY ADDITION TO A LINE STARTING AT
 3 FEET FROM PAYMEMENT AND EXTENDING AWAY FROM THE PAYMEMENT ON A
 DOWNWARDAN DAYS OF OR HE FOOT SHEEDOWN LONG TOWN SHEED OF OTHER FOOT SHEED.
- 21. THESE HANS, PREVANDE RECOTRESS, DISC, OF ROSE DETHIND TO OR INCLUDED OF DESIGNED OS STOTAM PERTURNATION THE MERTER OF THE CONTINUE PREVENTION AND PROVINCE THE WASHINGTON AND PROVINCE THE WASHINGTON AND PREVENTION AND PREVENTANCE AND PREVENTION AND PREVENTIO

GENERAL CONSTRUCTION NOTES CONT.

- 23 THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY TRANSITION FITTINGS FOR THE PROPOSED UNDERGROUND UTILITIES AT THE POINTS OF CONNECTION TO THE BUILDING STUB-OUTS.
- 24.ALL EXCESS PAVING AND UTILITY EXCAVATION SHALL BE BECOME PROPERTY O
- 25 CONTRACTOR SHALL NOTIFY THE FORT BEND COUNTY ENGINEERING
 DEPARTMENT FORTY-EIGHT (48) HOURS IN ADVANCE OF COMMENCING
 CONSTRUCTION VIA RAMAL AT CONTRUCTION/BEFORTER/DOCUMENTYX.GOV.
- 26 IF THERE IS A DISCREPANCY BETWEEN COSTELLO INC.'S NOTES, FORT BEND COUNTY GENERAL NOTES AND THE CITY OF RICHMOND'S MOTES OR DETAILS. THE MORE STRINGENT WILL APPLY, (I.C. 2-SACK CEMENT STABILIZED SAND PER TOM)
- 27. CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT ALL POINTS OF CROSSING OR CONNECTION TO DETERMINE IF CONFLICTS EXIST BEFORE COMMENCING ANY CONSTRUCTION. NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICT.

FIRE/WATER MAIN CONSTRUCTION NOTES

- 1. UNLESS MOTED OTHERWISE OIR THE PLAN SHEETS, WATER MARINS SHALL HAVE A MARINALACOPRE OF FOUR TEST FROM TO OF FRIBITIZED PAYMANT TO RANGE AGAINGT TO THE OF PHE. WATER SEAVE LEADS SHALL HAVE A MARINAMA COPRED FRIBE ED HEET. IF HE PHOPOSED FILL TO A PAYMANT OR BUILDING AND SHOT THE HEAT AT THE TIME OF CONSTRUCTION, THE CONTINUATION SHALL MARINAMATIC PART AT THE TIME OF CONSTRUCTION, THE CONTINUATION SHALL MARINAMATIC PART OF HIRSE FILE TO SEAVE AND THE MARTIN HE FOO OF THE WATER USE OF THE SEAT OF THE S
- WATER MAINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FORT NEND CO. MUD 215 & TICEQ DESIGN STANDARDS AS CURRENTLY AMENDED, UNLESS OTHERWISE INDICATED ON THE CONSTRUCTION PLANS OR TECHNICAL SPECIFICATIONS. ALL VALVES ARE TO BE COUNTER CLOCKWISE OPENING.
- 1. ALL WATTE LINES, AFTER MEDICALIZINE, SHALL BE INNOCIONED GOINNETCO. ACCORDING TO AN AN A STANDARD CES AND HIGH HULBER SHOPE REVISE PLACED INTO SERVICE. WHATTE SAMPLES BULL BE COLLECTOR FOR MEDICAL PROCESSOR AND HAS HAVE AND HE COLLECTOR FOR MEDICAL PLACED AND HE COLLECTOR FOR MEDICAL PLACED THE REQUESTED FOR SERVICE UNIT, WATTE SAMPLES MEDIT THE REQUESTED FOR THE TOTAL SEPARTMENT OF HEALTH A TELETOR FOR SERVICE HE PROGRESSION FOR WATCH AND HE PROGRESSION FOR THE TOTAL OF THE SAMPLE HOUSED FOR FOR THE MEDICAL PROCESSOR AND HE WAS THE COLLECTION AND SUMMETTED FOR SAMPLE FOR SEAL PRINCIPLES OF THE STANDARD FOR THE OWNER AND HEST OF SEATE CHEETING AND SUMMETTED FOR SAMPLES FOR SEAL PRINCIPLES OF THE STANDARD FOR THE SAMPLES FOR SEATE CHEETING SAMPLES OF THE SAMPLES OF THE STANDARD FOR THE SAMPLES OF THE
- 4. MAINTAIN MINIMUM NINE (9) FOOT HORIZONTAL CLEARANCE BETWEEN OUTSIDE OF SANITARY SEWER MANHOLES AND WATERLINE.
- ALL WATER-LINES SHALL BE ENCASED WITHG-INCHES BANK SAND ALL AROUND.
 WATER LINE TRENCHES LOCATED UNDER OR WITHIN 3-FEET OF PROPOSED OR FUTURE PAVEMENT SHALL BE BACKFILLED WITH CEMERAT STABILIZED SAND TO PAVEMENT LINEBADE.
- THE EXTERIOR FIRE LINE AND DETECTOR CHECK VALVE ASSEMBLY SHALL BE HYDROSTATICALLY TESTED AT 200 psi FOR 2-HOURS PRIOR TO ACCEPTANCE.
- I. UNLESS OTHERWISE NOTED ON CONSTRUCTION FLANS, 6-INCN WATER LINES SHALL BE P.V.C. CLASS 200 06-14 CONFORMING TO A.W.W.A. STAMDARD C-900 AS CURRENTE NEWSED. ALL INDOSTATIC WATER STESS SHALL CONFORD THE A.W.W.A. C-905 AS CLARENTLY REVISED, OR WITH NOTE 7, WHICHEVER IS WORD CENTRAL OF THE PROPERTY O
- ALL 6-INCH WATER LINE FITTINGS SHALL BE DUCTRE BION COMPACT FITTINGS AS PER A.W.W.A. C. 353. ALL FITTINGS SHALL BE POLYETHYLINE WRAPPED AND FURNISHED WITH BITUMINOUS OR CEMENT MONTAR UNING AS PER A.W.W.A. C. 104 (ANSIAZ). 41
- 10. ALL GATE VALVES ARE TO BE RESILIENT-SEATED GATE VALVES AS PCR A.W.W.A.
- 11. WATER LINE SHALL NOT BE LAID IN WATER OR PLACED WHERE IT CAN BE
- 12 THE OPENING AND CLOSING OF ALL VALVES ON EXISTING WATER LINES MUST BE PERFORMED BY F.B.C. M.U.D. NO 235 DISTRICT OPERATOR, ENVIRONMENTAL DEVELOPMENT PARTINESS AT (181) 655-0180
- IL MONEROUSE A WATERANIC CROSSES A SANETARY SEAVED, ONE JOHN OF WATER
 SHALL BE LIGHTED OVER THE SEAVE SUCH THAT THE JOHNS OF THE
 WATER LINK ARE COLUMNISTAN AND AT LEAST SHINE SID HET HORIZONIALLY
 CROSS THE CHITTENEN OF THE SEAVEN, WHINNIVER A SHATHARY SEAVEN
 CAUSES A WATERAINE ONE DOWN OF THE SEAVEN SHALL BE CHRITICED UNDER
 THE WATERIANE SCHOOL THAT THE LOOSE OF THE SEAVEN AS ROUGHTAINT AND
 AT LEAST SHINE SID HET HORIZONIALLY FROM THE CHRITICISHE OF THE
 WATERIANE THE WATER SHALL BE REACCURED. WITH CHRISTISHE OF THE
 WATERIANE THE WATER SHALL BE REACCURED. WITH CHRIST THAT RELITED SHAD
 CONTAINING 21/2 SAGES OF CAMBRIT FREQUENCY OF THE TOTAL LINETING
 OF ONE JOHN OF SOME REALY THAT LEGY IZE WATER SHOOT ONE THOST OF
- 14. WATER MAIN FITTINGS SHALL BE SUPPORTED WITH CONCRETE THRUST BLOCKING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ADEQUACY OF THE BLOCKING SO AS TO PREVENT LATERAL MOVEMENT OF SUCH FITTING WHEN THE WATER LINE OF RESISTING TESTED AND PLIT INTO OPERATION.
- 13. THE 3-INCH DOMESTIC WATER LINE SHALL BE CONSTRUCTED OF TYPE "K" COPPER TUBING AS PER ASTM BBB, WITH COMPRESSION CONECTION SERVICE PITTINGS MANUFACTURED AND TESTED IN ACCORDANCE WITH ANSI/AWWA C800 FOR APPROVED FOULD BY THE ENGINEES.
- 17 CONTRACTOR SHALL MAINTAIN A MINIMUM OF 12 INCHES OF CLEARANCE
- I.E. ALL PLASTIC PIPE MUST BEAR THE NATIONAL SANITATION FOUNDATION SEAL OF APPROVAL AS REQUIRED BY SECTION 250 445,027 OF THE TEXT RULE, PIPE SHALL NOT BE 44.00 M WATER OF PLACED WHERE IT ON BE FLOODED WITH WATER OR SEWACE DURING ITS STORAGE OR INSTALLATION AS REQUIRED BY SECTION 250.46(1)(1) OF THE TEXT RULES.

FIRE/WATER MAIN CONSTRUCTION NOTES CONT.

- 19 NO PPE WHICH IS TO BE USED FOR ANY PURPOSE OTHER THAN THE CONVIVANCE OF DISHRING WATER SHALL BE ACCEPTED OR BELLOCATED FOR USE MAY PULLED CHRISTIAN MATER SUPPLY. THE USE OF PIPES AND PRESENTINGS THAT CONTAIN MODE THAN 6.2% LIAO IS PROHESTED IN THE FOLLOWING CINCLASS AND FLUX THAT CONTAINS MODE THAN 0.2% LEAD IS PROHESTED IN THE FOLLOWING CINCLASS AND STATE OF THE PROHESTED IN THE FOLLOWING CINCLASS AND STATE OF THE PROHESTED IN THE FOLLOWING CINCLASS AND STATE OF THE PROHESTED IN THE FOLLOWING CINCLASS AND STATE OF THE PROHESTED IN THE FOLLOWING CINCLASS AND STATE OF THE PROHESTED IN THE FOLLOWING CINCLASS AND STATE OF THE PROHESTED IN THE FOLLOWING CINCLASS AND STATE OF THE PROHESTED IN THE FOLLOWING CINCLASS AND STATE OF THE PROHESTED IN THE FOLLOWING CINCLASS AND STATE OF THE PROHESTED IN THE FOLLOWING CINCLASS AND STATE OF THE PROHESTED IN THE FOLLOWING CINCLASS AND STATE OF THE PROHESTED IN THE FOLLOWING CINCLASS AND STATE OF THE PROHESTED IN THE FOLLOWING CINCLASS AND STATE OF THE PROHESTED IN THE FOLLOWING CINCLASS AND STATE OF THE PROHESTED IN THE FOLLOWING CINCLASS AND STATE OF THE PROHESTED IN THE FOLLOWING CINCLASS AND STATE OF THE PROHESTED OF TH
- A. FOR INSTALLATION OR REPAIR OF ANY PUBLIC WATER SUPPLY, AND.
- 6. FOR DISTALLATION OR REPAIR OF ANY PLUMBING IN A SESIDENTIAL OR NON RESIDENTIAL FACILITY PROVIDING WATER FOR HUMAN CONSUMPTION AND COMMECTED TO A PUBLIC DRINKING WATER SUPPLY SYSTEM.

THE WATER SYSTEM IS TO BE DESIGNED TO MAINTAIN A MIRIMIUM PRESSURE OF 40 PSI AT ALL POINTS WITHIN THE DISTRIBUTION NETWORK AT FLOW RATES OF AT LEAST LS GALLOWS PER MINISTE PER CONNECTION NO AIR RELEASE DIVICES ARE REQUIRED FOR THIS SYSTEM.

20. THE CONTRACTOR SHALL NOTIFY THE F.B.C. M.U.D NO.215 DISTRICT OPERATOR

DOMESTIC AND HRIGGITION WATER SERVICE TAP AND WATER METER TO BE INSTALLED BY FICHIUD No. 21S OPERATOR AFTER PAYMENT OF REQUIRED FEES. CONTACT ENVIRONMENTAL DEVELOPMENT PARTNERS AT (281) 655-0180, FOR FEESCHEDULE

STORM SEWER CONSTRUCTION NOTES

- STORM SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FORT BEND COUNTY DRAINAGE DISTRICTS DESIGN STANDARDS AS CURRENTLY AMENDED UNIESS SPECIFIED OTHERWISE ON PLANS OR TECHNICAL SPECIFICATIONS.
- 2. ALL STOMM STORE 2 AND LAND CIRCLET IN DUMBTED SHALL BE FOR PURES' OF THE PRIMARY DESCRIPTION OF THE PRIMARY DESCRIPTION AND SHEETING HE MICKEGRANCE WITH CITY OF RICHARDON DESIGN STANDARDS, UNITES OTHERWISH SHOCKED NO HARDS OF THE PRIMARY SHAUL SHALL PRIMARY SHALL STOMM SHAMES SHALL HAVE PURES OF ADDRESS AND SHALL STOMM SHAMES SHALL HAVE PURES AND SHALL STOMM SHAMES SHALL HAVE SHALL SHAME SHALL SHAMES SHALL HAVE SHALL SHALL SHALL SHALL SHAMES SHALL SHAMES SHALL SHAMES SHALL SHAMES SHAME SHALL SHAMES SHALL SHA
- 3. ALL STORM SEWERS UNDER OR WITHIN THREE (3) FEET OF PROPOSED OR FUTURE PAVEMENT SHALL BE RACKFILLED WITH CEMENT STABILIZED SAND TO PAVEMENT STABILIZED SAND TO
- 4. STORM SEWER MANHOLE COVERS SHALL BE STANDARD CITY OF RICHMONO CAST BION, TRAPFIC BEARING TIPE RING AND COVER WITH WORDS "STORM SEWER" CAST RITO THE COVER, GRATE PARTS SHALL ASSO NAVE THE CITY OF RICHMOND WORDING CAST INTO THE COVER AS SUPPLIED BY EAST RORDAN
- 5. ALL STORM SEWER INJETS SHALL BE OF THE TYPE INDICATED ON THE PLANS. ALL CATCH BARRIES SHALL BE PRECAST OR CAST-IN-PLACE AND DESIGNED FOR H-73 LOADING, ALE BLETS AND GRAFT FOR SHALL BEST AT THE ALLIGNMENT AND ORIENTATION INDICATED ON THE PLANS. ALLIGNMENTS NOT NOTED ARE PARABILLETO THE BASISLINE, OH IS ONCURVES, ARE RADIAL TO THE CURVE WITH THE LONG BUT ANGERT TO THE CLUTP.
- IMMEDIATELY UPON INITIATING CONSTRUCTION OF STORM SEWER WHISTS, THE CONTRACTOR SHALL CONSTRUCT INSET SILT BRABERS FOR EACH WHET. THE UTILITY CONTRACTOR IS RESPONSIBLE FOR CLEANING AND MAINTAINING THE INLET SILT BARBIER FOR THE DURATION OF THE WSD PORTION OF THE PROJECT.
- 7. ALL TIE-INS TO INLETS AND MANHOLES WILL BE SEALED WITH NON-SHRINK

SANITARY SEWER CONSTRUCTION NOTES

- ALL SANITARY SEWERS SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH TCEO. AND F.R.C. MALD. NO.215 DESIGN STANDARDS WITH LATEST REVISIONS, AMENDMENTS, AND SPECIAL PROVISIONS THERETO, UNLESS SPECIFIC OTHERWISE ON FLANS O
- ALL SANITARY SEWERS SHALL HAVE CLASS "A-A" BEDDING UNLESS MODIFIED "A-A" REDDING IS RECURRED DUE TO POOR SOIL CONDITIONS.
- ALL SANITARY SEWERS UNDER OR WITHIN THREE (3) FEET OF PROPOSED OR FUTURE PAYEMENT SHALL BE BACKFILLED WITH CEMENT STABILIZED SAND TO PAYEMENT SUBGRADE.
- 4. ALL SANITARY SEWERS SHALL BE COLORED GREEN CONSTRUCTED OF PVC SOR 28 PF 100 CONFORMANC TO ASTAN D-2241. ALL SONITS SHALL CONFORM TO ASTAN D-3135, JOINTS SHALL BE BELL AND SPIGOT TYPE WHITE RUBBER GASKET CONFORMING TO ASTAM P-477. CHEMICALLY WELDED PVC PIPE SOINTS ARE NOT ACCESTABLE.
- PRE-CAST SANITARY SEWER MARHOLES ORLY. ALL ADJUSTMENTS FOR MANNOLE FOPS MUST BE MADE USING CONCRETE RINGS. THE MAXIMUM CHAMPLY HEIGHT IS TWO FEET. THE CONTRACTOR SHALL ALLOW FOR ONE FOOT ADJUSTMENT UP OR DOWN AFTER SETTING MANNOLETO FIRM, GRADE.
- L WORSTONER & WATTERINE CHOCKS A NAMITARY SWARF, ONE CHOIR OF WATER HER SHALL BE CREETED OVER THE SWEEP SUCH HAIT THE CORN'S OF THE WATTER LISE AND EXCEPTION OF THE SWEEP SHALL BE CREETED OVER THE SWEEP SHALL BE CREETED OVER AN ALTERIANE. ONE SHALL BE CREETED OVER SHALL BE CREETED OVER AN ALTERIANE. ONE SHALL BE CREETED OVER AN ALTERIANE. THE SWEEP SHALL BE EXCRETED WHITE SHALL BE CREETED OVER AN ALTERIANE. THE SWEEP SHALL BE EXCRETED WHITE CONTRIBUTION OF THE CREETE OVER SHALL BE EXCRETED WHITE CONTRIBUTION OF THE SWEET AND EXCRETE OVER SHALL BE EXCRETED WHITE CONTRIBUTION OF THE SWEET SHALL BE EXCRETED.
- 7. WHEN MAKING A TIE TO AN EXISTING SANITARY SEWER MANHOLE, THE CONTRACTOR SHALL PLUG THE DOWNSTREAM ERD OF THE PROPOSED SANITARY SEWER LINE. THE STORM SHALL REMAIN IN PLACE UNITY ERMAI INDEPCTION BY THE MULD. OPERATION, THE 3 TO EXISTING MANHOLES SHALL BE MAKE BY CORE AND SHALL HAVE MECHANICAL SEAS.
- B. IN-FLOW PROTECTORS ARE REQUIRED FOR ALL PROPOSED SANITARY SEWER MANNOUSS. IN-FLOW PROTECTOR SHALL BE "NO FLOW IN-FLOW DISH" AS SUPPLIED BY CONTRACTOR SPECIALITIES & SUPPLY CO., SAN ANTONIO, IX (22)01497-4407 OR APPROVED EQUIAL.
- 9. THE CONTRACTOR SHALL NOTIFY THE F.B.C. M.U. D NO.215 DISTRICT OPERATOR

AVING CURNING DUM MUTES

- PAVING SHALL BE CONSTRUCTED IN ACCORDANCE WITH FORT BEND COUNTY DESIGN STANDARD AS CURRENTLY AMENDED UNLESS SPECIFIED OTHERWISE ON PLANS OR TECHNICAL SPECIFICATIONS.
- ON PLANS OR TECHNICAL SPECIFICATION'S.

 2. TC INDICATES TOP OF CURB. TP INDICATES TOP OF PAVEMENT. TS INDICATES
- 5. FOLLOWING STREPPING, THE PROVEMENT SUBGRADE SHALL BE PROOF GOLDS. TO LOCATE SORT SIGNS AND FINDS WE HAS SUBGRADE AS WILL AS 2008 SO DERISH AND HOSSIGNAMEN'S SHALL BE CONVINTED TO FIRM SOAT AND REPRACTION WITH STRUCTURA, THAT OF THE CONVINTE AND IN THE MARKET SOCIORIES OF THE CONVINTE AND THE MARKET SOCIORIES AND THE SHALL PAYMENT SUBGRADE SHALL BE SCARRED TO A CIPTUDE SOCIES, MOSTURE CONCENTIONIO, TERRISICS PAY ACCOMMENDATION OF THE GOTOCHARCE AND POST STREAMSTOR ANTE.
- A ALL SPECIA SHIP CONCESTE ANY MANNEY DOUGLE ERROPOCKTOWN THIN AS A BASE AT 18-HOLD C. ALL SP HOND CONCESTE PANAMENT SHALE REPROSENCE OWN THIS A BASE AT 18-HOLD C. ALL FIFE WIGH CONCESTE PANAMENT SHALE REPROSENCE C. THE WIGH CONCESTE PANAMENT SHALE PANAMENT SHA

EXPANSION JOINTS AND CONTROL/CONSTRUCTION ARE AS FOLLOWS:

- A. CONTRACTOR SHALL PROVIDE A JOINT LAYOUT PLAN FOR SUBMITTAL FOR ENGINEER AND ARCHITECT REIVEW & APPROVAL, BEFORE PAVING FORMS ARE SET.
- ALL JOINTS WILL BE SPACED NO MORE THAN 12.5" FOR 5"PAVING, 15" FOR 6" PAVING AND 17 5" FOR 7" PAVING, UNIT SS APPROVED BY ENGINEER.
- C. ANY JOINT LENGTH WILL NOT BE LESS THAN 12".
- D. JOINTS TEMINATING AT CURVES WILL BE ORIENTED PERPENDICULAR TO THE LANGENT OF THE CURVE.
- E. RUNNING JOINT LINES ARE NOT TO BE LOCATED COINCIDENT ALONG DRAINAGE FLOW LINES.
- S. LOCATIONS OF VARIOUS CONCRETE PAVEMENT THICKNESSES ARE NOTED OF
- ALL ROUNDED HILL MANTENAL SHALL SE FRACTO OF PREMATED SURVICES IN LOOSE LAYERS FOR EXCELLING SAMPLES THE CARROLL OF SHALL SHAL
- 8. THE CONTRACTOR SHALL NOTIFY THE COUNTY OF FORT BEND AND THE ENGINEER AT LEAST 48 HOURS PRIOR TO COMMERCEMENT OF WORK, PRIOR TO ALL TESTING OF PAVEMENT SUBGRADE, AND PRIOR TO PLACEMENT OF CONCRETE.
- IL, WHITE PROPOSED PAYMENDS METS DISTING PAYMENTS WITHIN THE WHITE PAYMENTS WITHIN THE SHALL BE RECITED WITHIN FROM PAYMENTS WHITE PAYMENTS WHITE PAYMENTS WHITE PAYMENTS WHITE PAYMENTS WHITE DISTINGS AND THE DISTINGS WITHIN FAST, OR IS IN WHITE PAYMENTS WHITE PAYMENTS WHITE PAYMENTS WHITE PAYMENTS WHITE PAYMENTS WITHIN PAYMENTS WHITE PAYMENTS WITHIN PAYMENTS WITHI
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 COVE GRAVINGES INDICATE CAST THE WATER, EVERY AND DEMANGE FACILITIES

 TO BE AGUSTIST. THE CONTRACTOR SHALL COORDINATE SHAVE WORK WITH
- 11. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS CONCERNING SPECIFIC DETAILS FOR SLEEVING, SCREEN WALLS AND RETAINING
- 12. ALL SIDEWALKS AND SIDEWALK RAMPS SHALL COMPLY WITH THE STANDARDS OF THE AMERICANS WITH DISABILITIES ACT (ADA).
- 13. IT IS THE RESPONSIBILITY OF THE PAVING CONTRACTOR TO ARRANGE FOR THE PURCHASE OF ANY CONSTRUCTION WATER. INCLUDE THE PRICE FOR SUCH WATER IN OTHER ITEMS OF THE CONTRACT. THERE WILL BE NO SEPARATE PAY.
- 14 ALL SAWCUTS REQUIRED TO CONNECT TO EXISTING PAVEMENT SHALL BE FULL DEPTH SAWCUTS.

TWO DETENDED AND THE CONTROL OF THE

1

- FORT SEND COUNT MUST BE INVITED TO THE PRIC CONSTRUCTION METERNS.
 CONTRACTORS SHALL MOTHER FORT SEND COUNTY ENGINEERING DEPARTMENT.
 HIS HOURS PROFIT TO COMMENCE CONSTRUCTION AND 4H HOUR MOTICE TO
 ANY CONSTRUCTOR ACTIVITY. WITHIN THE LIMITS OF THE PAVING AT
 CONSTRUCTION ACTIVITY. WITHIN THE LIMITS OF THE PAVING AT
 CONSTRUCTION SHALL PROFIT SHA
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FROM
 FORT BEND COUNTY PRIOR TO COMMENCING CONSTRUCTION OF ANY
 IMPROVEMENTS WITHIN COUNTY ROAD RIGHT OF WAYS.
- A. ALL PAYING IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FORT BEND COUNTY BULES, REQUIATIONS AND REQUIREMENTS BELATING TO THE APPROVAL AND ACCEPTANCE OF IMPROVEMENTS IN SUDVISIONS AS CURRENTLY AMENDED.
- ALE ROAD WIDTHS, CURB RADH AND CURB ALIGNMENT SHOWN INDICATES BACK OF CURB.
- 6. CONTINUOUS LONGITUDINAL REINFORCING BAR SHALL BE USED IN THE CURBS.
- ALL CONCRETE PAVEMENT SHALL BE 5 1/2 SACK CEMENT WITH A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI AT 28 DAYS. TRANSVERSE EXPANSION JOINTS SHALL BE IDSTALLED AT EACH CURB RETURN AND AT A MAXIMUM.
- 8. ALL WEATHER ACCESS TO ALL EXISTING STREETS AND DRIVEWAYS SHALL BE
- 4"x12" REINFORCED CONCRETE CURB SHALL BE PLACED IN FRONT OF SINGLE FAMILY LOTS ONLY. ALL OTHER AREAS SHALL BE 6" REINFORCED CONCRETE
- 10.AT ALL INTERSECTION LOCATIONS, TYPE 7 RAMPS SHALL BE PLACED IN ACCORDANCE WITH TXDOT PED-12A STANDARD DETAIL SHEET. A.D.A. HANDICAP RAMINS SHALL BE INSTALLED WITH STREET PAYING AT ALL DETERMINED PROMISSION COMPUTED SHEET D. D. REGINATIONS.
- 11. CURB HEADERS ARE REQUIRED AT CURB CONNECTIONS TO HANDICAP RAMPS.
 WITH NO CONSTRUCTION JOINT WITHIN 5" OF RAMPS.
- 12.ALL INTERSECTIONS UTILIZING TRAFFIC CONTROL MEASURES SHALL HAVE
- 13. GUIDEUNES ARE SET FORTH IN THE TEXAS MAREJAL ON URBIDAM TRAFFIC CONTROC. DEVICES. AS CURRENTLY ARRHORD, SHALL BE OBSERVED. THE CONTRACTOR SHALL BE RESPONSILE FOR PROVIDING ADEQUATE FLAGMEN. SIGHING, STRIPPIG AND WARRING DEVICES, ETC., DURING CONSTRUCTION POTULINA AND WEST.
- 14. ALL RS-1 STOP SIGNS SHALL BE 30"X30" WITH DIAMOND GRADE SHEETING PER TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

15.STREET NAME SCHAGE SHALL BE ON A 9" HIGH SIGN FLAT BLADE WITH REFLECTIVE GREEN BRACKGROUND. STREET MANNES SHALL BE LIPPES AND LOWERCASE LETTERING WITH UPPERCASE LETTER OF & THIS MANNEAUM. THE LETTERS OF 3" LIPPES OF A STREET SHALL BE REFLECTIVE WHITT. STREET NAME SIGNS SHALL BE MOUNTED ON STOP

16.A BLUE DOUBLE REFLECTORIZED BUTTON SHALL BE FLACED AT ALL FIRE HYDRANT LOCATIONS. THE BUTTON SHALL BE FLACED 12 INCHES OFF OF THE CENTERLINE OF THE STREET ON THE SAME SIDE AS THE HYDRANT.

INCIE: FORT ARRO COUNTY MORTS MARRISTON ANY CONNECTION MORTH (INCIDENCE). AND ANY CONNECTION ANY ANY CONNECTION AND ANY CONNECT

NOTE:

REFER TO SIGNAGE ON SHEET 8.

CLARK CONDON

10401 Statis Link Dr. Houston, TX 77025

CLENT HW589 HOLDING, LLC 4855 Riverstone Blvd. Missouri City, TX 77459 T: 261 449 8700

ARCHITECT STUDIO RED ARCHITECTS 1320 McGowen St. Houston, TX 77004 T: 713 622 5333

COSTELLO, INC. 9990 Richmond Ave Houston, TX 77048 T: 713 783 7788

POOL CONSULTANT
COUNSILMAN HUNSAKER
2425 North Central Expressway Sto.359
Richardson, TX 75060
T: 972-370-3740

MEP ENGINEERS SALAS O'BRIEN 10930 West Sam Houston Plo Houston, TX 77064 T: 251 664 1900

STRUCTURAL ENGINEERS
BEC-LIN ENGINEERING
10401 Westoffice Drive
Houston, TX 77042
T; 281 664 8440

CONSULTANT 6
JAMES POLE IRRIGATION
100 W Oak St. #108
Denton, TX 78201
T: 940 243 2384

SEAL



| 89% DO FOR REVIEW | 05.19.2017 | 2 | PART 1 100% DO FOR REVIEW | 05.52017 | 3 | PART 1 100% CO FOR REVIEW | 05.0217 | 4 | PART 1 100% CO FOR REPRES | 02.27.207 | 4 | PART 1 100% CO FOR DO FOR REVIEW | 05.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217 | 0.0217

KEYMAP

VERANDA RECREATION CENTER



Engineering and Surveying 9990 Richmond Avenue, Suite 450 N Houston, Texas 77042 (713) 783-7788 (713) 783-3580, Fax TBPE FIRM REG. No. 280 TBPLS FIRM REG. No. 100486

DEVELOPMENT COMMUNATOR

DATE:
SCALE
PROJECT#

SHEET

CO.01

CIVIL CONSTRUCTION
NOTES



CONTROL BENCHMARK
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DEMOLITION LEGEND

MORCATES SAWCUT

MOICATES EXISTING CURB TO BE REMOVED

SAWCUT NOTES: SAWCUT EXISTING PAVEMENT AND THE PROPOSED PAVEMENT TO EXISTING, SEE PAVING NOTE 9 SHEET CO.1

2. LINLESS OTHERWISE NOTED ON THE PLANS, ALL TREES AND LANDSCAPING WITHIN THE PARKING LOT AREA ARE TO BE REMOVED. DEMOVED TREES SHALL HAMP ENTER ROOT BALL REMOVED FROM THE SIT



below.

Byou dig

WARNING

POWER LINES
OVERHEAD

APPROVED: DEVELOPMENT COOKS THATON



Engineering and Surveying 9960 Richmond Avenue, Sude 450 N Houston, Texas 77042 (713) 783-7788 (713) 783-3590, Fax TBPE FIRM REG. No. 280 TBPLS FIRM REG. No. 100486

CLARK CONDON

LANDSCAPE ARCHITECTURE 10401 Seelle Link Dr. Houston, TX 77925 T: 713 871 1414 F: 713 871 6888

ARCHITECT STUDIO RED ARCHITECTS 1320 McGowen \$t. Houston, TX 77004 T: 713 622 5333

GIVIL ENGINEERS
COSTELLO, INC.
9990 Richmond Ave
Houston, TX 77046
T: 713 783 7788

T: 713 783 7788
POOL CONSULTANT
COUNSILMAN HUNSAKER
2428 North Central Expressway Stc.358
Richardson, TX 75080
T: 972-370-3740

MEP ENGINEERS
SALAS O'BRIEN
10930 Weet Sam Houston Pkwy
Houston, TX 77084
T: 281 684 1900

STRUCTURAL ENGINEERS BEC-LIN ENGINEERING 10401 Westoffice Drive Housston, TX 77042 T: 281 664 8440

CONSULTANT 6
JAMES POLE IRRIGATION
100 W Oak St. 8106
Destion, TX 76201
T: 940 243 2384

SEAL



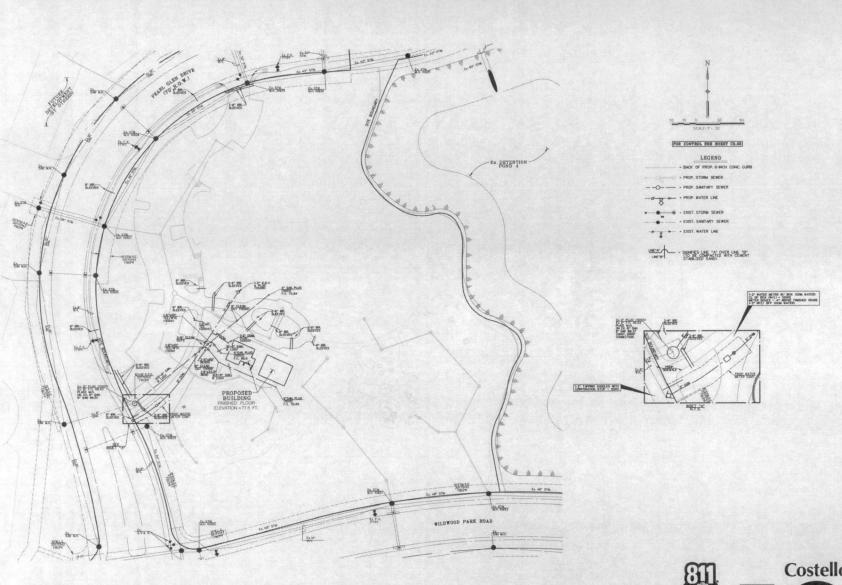
ISSUE		
1	50% DD FOR REVIEW	05.19.2017
2	PART I 100% DD FOR REVIEW	06.06.2011
3	PART 1 100% CD FOR PERMIT	06.50.17
4	PART 1 FOR BID	07.27.2017
Δ	ADDENOUM 01	06.10.201
Δ	REVISION 2	12.15.2017

KEY MAP

VERANDA RECREATION CENTER RICHMOND, TX

DRAWN BY: CHECKED BY: DATE: SCALE: PROJECT #:

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CIVIL TOPOGRAPHY &
DEMOLITION PLAN



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CLARK CONDON

T: 713 622 6333
CIVIL ENGINEERS
COSTELLO, INC.
9990 Richmond Ave
Houston, TX 77045
T: 713 783 7785

POOL CONSULTANT COUNSILMAN HUNSAKER 2425 North Central Expressway Ste.369 Richardson, TX 75080 T: 972-370-3740

MEP ENGINEERS
SALAS O'BRIEN
10330 West Sam Houston Pkwy
Houston, TX 77064
T: 281 664 1960

STRUCTURAL ENGINEERING BEC-LIN ENGINEERING 10401 Wastoffice Drive Houston, TX 77042 Y: 281 664 8440

CONSILTANT 8
JAMES POLE IRRIGATION
100 W Oak St. #106
Denton, 1X 78201
T: 940 243 2364

SEAL



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1 80% CO FOR REVIEW 08 93/017
2 PART 1 50% CO FOR REVIEW 98.05.2017
3 PART 1 50% CO FOR REVIEW 98.05.2017
4 PART 1 50% CO FOR REVIEW 98.05.2017
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Δ REVIEWON 21 2.2.2017

KEY MAP

VERANDA RECREATION CENTER RICHMOND, TX

DRAWN BY: CHECKED BY: DATE: SCALE: PROJECT #:

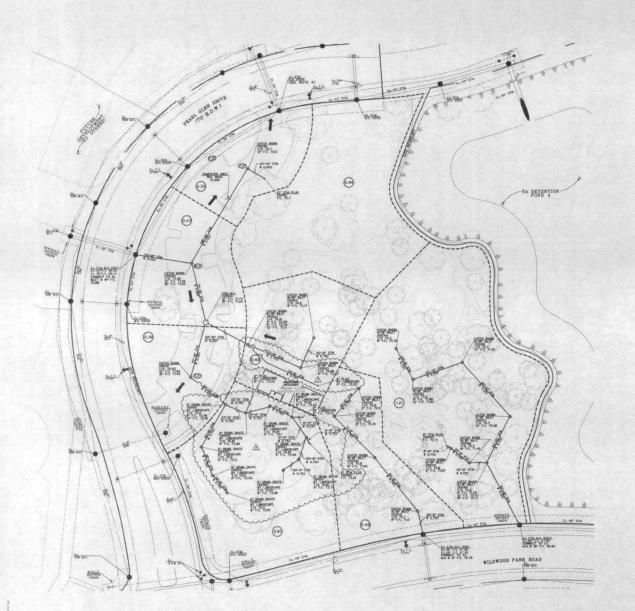
SHEET CO.03
CIVIL WATER & SANITARY LAYOUT





PPROVED! GEVELOPMENT COORDINATOR







FOR CONTROL SEE SHEET CO.O2

LEGEND

- PROP. SWALS - PROP. SANTANY SEWER - PROP. WATER LINE - EUST, WATER LINE PONONG OFS COMPLATING

I, ALL STORM SEWERS ARE HOPE MATERIAL UNLESS OTHERWISE NOTED. 2. THE CONTRACTOR IS RESPONSIBLE FOR ALL TRANSITIONS FROM STORM SEWER FOR BUILDING TO PROP. TRUNK LINE.

3. THE CONTRACTOR SHALL REFER THE ARCHITECTUAL PLANS FOR EXACT LOCATION OF DOWNSPOUTS FOR THE ROOF DRANS. 4. CONTRACTOR TO ADJUST Ex. MANHOLE TO MATCH FINAL GRADE.

EXI-YEAR STORM RUNOFF WILL PROCEED TO PEARL GLEN DRIVE WHERE IT IS ACCOUNTED FOR WITHOUT VICENDA EAST DEVELOPMENT'S STORM STREET SYSTEM SET VICANDA SECTION 9 CONSTRUCTION IT AND TO CONSTRUCTION IT AND THE CALLY AGREE VICANDA EAST AND LEPOATE TO THE RABIS BLYOU MASTER DRIANGE PLAY APPROVED AND THE CALLY AGREE VICANDA EAST AND LEPOATE TO THE RABIS BLYOU MASTER DRIANGE PLAY APPROVED AND THE CALLY AGREED BLYOU MASTER DRIANGE PLAY APPROVED THE CALLY AGREED THE CALLY ARREST BLYOU MASTER DRIANGE PLAY APPROVED THE CALLY ARREST BLYOU APPROVED THE CALLY APPROVED THE CAL



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CLIENT HVV589 HOLDING, LLC 4855 Riverstores Blvd. Missouri City, TX 77459 T: 281 449 8709 SLEVATIONS 27-28
SITE TOWN 2662-78-1
BOACH TIE IN MORTH FACE OF PECAN
THEE (TAG MAIT)

ARCHITECT STUDIO RED ARCHITECTS 1329 McGowen St. Houston, TX 77004 T: 713 622 5333

CLARK CONDON

COSTELLO, INC. 9990 Richmond Ave Houston, TX 77045 1: 713 783 7766

POOL CONSULTANT COUNSILMAN HUNSAKER 2425 North Central Expressway Sts. 369 Richardson, TX 75080 T: 972-370-3740

MEP ENGINEERS SALAS O'BRIEN 10930 West Sam Houston Houston, TX 77084 T: 281 664 1900

BEC-LIN ENGINEERING Houston, TX 77042 T: 281 664 8440

JAMES POLE IRRIGATION 100 W Oak St. #106 Denton, TX 76201 T: 940 243 2364



PART 1 100% DD FOR REVIEW 06.06.2017 07:27:2017 12.15.2017

VERANDA RECREATION CENTER RICHMOND, TX







Engineering and Surveying 9990 Richmond Avenue, Suite 450 N Houston, Texas 77042 (713) 783-7788 (713) 783-3580, Fax TBPE FIRM REG. No. 280 TBPLS FIRM REG. No. 100488

CHECKED BY: DATE: SCALE: PROJECT #:

> SHEET C0.04 CIVIL STORM SEWER LAYOUT

STORM MEN'N CALDICATIONS POST SEND COUNTY CETTERA Storm Event : S-YEAR DE Project : VERANDA Dele : ARRUST S 99 : US	MC CENTER		F	Commonte	Arm I	Note for	mily Arran		ED & CONTROLL Corvers L2 &4		Page		Developed 1	Nati Africa	NOTIAL T ₂ Calm In O ₂ for y score Use T ₂ Min = 16 For Move Welsel In the ECM	melin 2.71		3 Year How Pasking	yad 10°cci yad 10°cci yad 10°cci 23 Year Feeting Feeting															one in Special LE CO Special Special						Plant Carb Height (8 Schot (P)			
School Rooms Septem	A SECON N.J. S	TO MAKE &	- Carrelle	Curve No tunell Caeff. (Factor (or/br)		Cornell Coefficient Coefficient (incline)	Qualinga Area		hrew	Green Barrell coeff Coef	Cores to Runnell Coeff. O Sector (n/for)	o. 3 c 0.30 Dramage Aran (acl			Contributing Strainage fore "g," "Nation Test (sec) (se	Com	godie O	"GP 1 (S) Computed Standill France Transill France Transil	1.55 Tomo tr Conception	-	- A	Chinal or Things I stope	Confficien	X-duct Area at at	Hydrautic Antiqu	Grange 1	Chief Design Design (Nagal 100g) (cfs	3 2	not in Type Shirt, specific Groups (NT) (NS)	Pipe Goodes	200	Tipe Sapitire Elec U/S (ft)	ution Vi		3-Year D Popular Gradin Sings Shork (%)	Headle	Mydrauli Cla	C Scalle Line cration D/S (8)	Teg uf	Gotter	Natural Ground @ R.O.W.	Gutter @ troops	Shor Hill. Check ghicket Lecation
Typob 2 Trook 2 Trook 3 Trook 5 Trook 6 Trook 6 Trook 2 Trook 2 Trook 5 Trook 5 Trook 5 Trook 5 Trook 6	1-90590 1-90915 1-90006 1-90007 1-90006 1-90007 1-90007 1-90007 1-90007 1-90007 1-90007	+ 10051 + 10050 1-1006 1-1006 1-1006 1-1006 1-1006 1-1006 + 10006 1-1006 1-1006 1-1006 1-1006 1-1006		2,00 2,05 1,00 2,05 2,05 2,05 2,05 2,00 1,50 1,50 1,55 1,71	1.34 1.40	1,77 1,73 1,49 1,48 1,67 1,67 1,65 3,64 3,84 1,30		1,30 1,37 1,36 1,34 1,34 1,31 1,32 1,32 1,32		1,34 1,53 5,42 1,31 3,53 1,07 1,08 1,08 1,08	0.89 9.85 9.90 0.90 0.88 9.80 0.86 1.87 0.95 6.49	0.00 0.00 0.00 0.00 0.00 0.00 0.00	0.58 0.57 0.56 0.59 0.50 0.55 0.50 0.51 0.51		0.08 0.0 0.08 0.1 0.08 0.7 0.08 0.7 0.09 0.4 0.09 0.4 0.17 0.7 0.30 1.1 0.80 1.4 0.80 1.4	0.331 4 5.60 2 5.60 1 0.89 6 0.99 1 0.90 7 1,17	0.52 0.92 0.91 0.91 0.90 0.90 0.90 1.23 1.56 3.36	9,09 0.15 0.21 0.29 0.27 0.44 0.73 3.46 3.21 6.36	0.9 0.6 0.5 0.7 0.7 0.3 0.3 0.3 13.1 1.0	12.0 11.3 12.0 12.0 12.0 12.0 12.0 13.0 14.1 15.0 16.3		6 HEAP 6 HEAP 6 HEAP 6 HEAP 14 HEAP 12 HEAP 12 HEAP 15 HEAP 15 HEAP	9 0.008 9 0.008 9 0.003 9 0.003 9 0.003 9 0.003	0.30 0.20 0.20 0.20 0.20 0.25 0.25 0.25 0.2	Q143 Q125 Q125 Q125 Q125 Q125 Q350 Q373 Q375	0.750 0.750 0.750 0.750 0.750 0.750 0.450 0.250 0.250 0.250 0.250	25 0.0 25 0.0 25 0.0 25 0.0 25 0.0 25 0.0 50 2.7 10 5.8 10 5.8		0.15 0.000 0.72 0.000 0.21 0.000 0.23 0.000 0.23 0.000 0.25 0.000 0.25 0.000 0.25 0.000 0.26 0.000 0.16 0.000	78.76 78.76 73.35 78.30 72.86 72.60 72.60 73.61 71.42 71.34	70.79 70.36 75.45 75.45 75.60 72.66 72.64 71.74 71.04 71.06 71.66	74.28 74.06 73.89 79.60 79.20 74.10 72.62 72.34	76,05 78,00 78,60 72,60 72,56 72,16 72,76 72,76 72,76	8.76 W 1.18 W 1.30 W 1.67 W 4.28 W 6.90 W 6.81 W	H OK S200 H OR S200 H OR S11H H OK S27 H OK S4F H OR S21 H OK S21 H OK S21 H OK S21 H OK S21	0 0.626 6 0.066 5 0.060 7 0.332 1 0.060 2 0.023 9 0.023 4 0.033	74.85 74.85 74.76 74.70 74.55 74.40 74.85 74.35	74.85 74.88 74.79 74.70 74.65 74.40 74.40 74.36 74.31	76.63 76.63 76.63 76.63 76.63 76.63 76.60 76.00 76.00 76.00	76-65 76-85 76-85 76-85 76-85 76-85 76-95 75-95 76-95 76-95 76-95 76-95	76.41 76.41 76.62 76.61 76.61 76.62 76.50 76.50 76.50 76.50	-1.705 -1.709 -1.700 -1.428 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1.643 -1	GR G
Truck 3 Yeb truck 3 Yeb Truck 3 Yeb	+ 10050 + 70057 + 80057	1 10003 1 50000 1 50000		2.66 2.60 2.61		179 185 166		136 135 134		1,59 1,14 1,11	637 6.% 0.89	0.06 0.08 0.08	1154		0.00 0.0 0.08 0.1 0.08 0.3	010	6.92 1.93 8.91	0.0F 0.35 9.33		10.0	16 21 18	6 150P 5 150P 6 150P	6,012		0.125	0.700	25 6.6 25 6.6 25 6.6		0.27 0.000 0.20 0.000 0.67 0.000	73.34	75.13	73.84	73.69	0.78 W	el CIE 0.05 el CIE 0.06 el-CIE 0.35		76.52	74,50 74,60 74,40	79.41 79.41 75.41	76.61 76.61	76-61 76-61 76-61	2.00E 2.00E -2.113	ON ON OK
Truck 3 Tide Inselt 5 Tide Seart 1 Tide	-1000 -10000 -10000	+ 10062 + 10061		7.08 3.05 1.08		1.73 1.71 1.69	0.15	5.57		5.34 3.57 6.31	0.51 0.51 0.50		0.58 0.57 0.56		6.15 0.1 5.25 0.1 0.15 0.6	6 173	675 177 175	8.32	69 64		40 71 59	# 1604 # 1604 12 HOR	6.013	9,16 6,21 6,29	0.167 0.167 0.250	0.750 0.750 0.450	10 10 10 10 10 43	9 3	0.30 0.000 0.50 0.000 0.27 0.383	72.82	72.67 72.36 71.34	73.54	79.00	1.48 W	# OK 0,04 # OK 9.18 # OK 0.06	6 0.019 8 0.190 9 9:000	74.52	74.52 74.59 74.55	76.00 76.00 75.00		76.80 76.80 76.80	-2.361 -2.359 -1.308	OK.
Trusk 5 Tolk	1,0001	1-10040		126		1.73	0.14	1.19		1.14	6.92	0.64	0.54		1.24	W 135	1.35	133	- 8	1883	136	14 100	e e e e	9.79	0.150	5.600	3.0 2.3		0,61 0,000	72.00	73.29	73.00	72.39	1.60 %	4-0x 0.18	0 5,190	74.52	74.89	76.70	75.20	75.70	0.00	OK .
Stank 2 Triple 2 Triple 2 Triple 2	13000 13001 13001 130012 130113	FX. Mov 10021 1-00012 FX. Mov 10021		3,00 3,01 1,96 1,93		1.75 1.67 2.63 7.63		1.89 1.34 1.39 1.29		3,16 3,10 1,10 1,06	0.14 6.99 0.83 0.66	0.13 0.32 0.12 9.13	0.54		6.12 6. 6.12 6. 6.13 6. 6.13 8.	1 1189	6 92 6 93 4471 0.86	6.51 6.27 9.51 9.62	2.4 5.9 5.5	143	M	8 140F 8 160F 8 140F 8 140F	9 0,763 H H,215		0.167 0.167 0.167 0.167	0.739 0.739 0.750 0.750	10 10 10 10 10 10 10 10		0.85 0.666 0.50 0.669 0.03 0.000 0.22 0.000	72.34 71.65	71.60	(),60 72.19	72,2H YLB6	9.62 W	W-CH 0100 W-GH 0:07 W-GH 0:07	0 0,000 2 5,000 1 5,000 4 9,000	74.60 74.61 74.62 73.90	74,04 74,03 71,96 73,97	75.50 75.50 75.40 75.70	73,50 73,50 29,60 25,70	75.50 75.50 75.80 75.70	3.498 3.401 3.789 3.864	OX OX OX
Trank 2 Trank 3 Trank 3 Trank 3 Trank 3	1-00054 1-0000 1-0000 1-00007 1-00007	1-25005 2-20095 1-20097 1-20098 (3), heri 1092		2.08 2.00 2.01 1.82 1.85		5.73 1.72 1.68 5.64 1.62		1,39 1,32 1,34 1,31 1,50		134 1.13 1.31 1.00 1.07	0.92 0.91 0.99 0.87 0.86	0.44 0.12 0.13 0.13 0.13			0.47 Av 2.13 0.7 0.16 0.7 0.86 1.7 0.16 1.7	6 05L 6 039 9 146	0.92 0.92 0.92 1.31 3.09	9.40 9.52 9.63 3.30 1.31	95		64 64 90 61 67	13 HON 12 HON 12 HON	4 0.013 4 0.013 4 0.013	9.35 6.79 0.79 0.76 1.77	0.167 9.290 9.290 9.290 9.250 0.475	U.250 0.400 0.400 0.400 0.250	5.0 1.0 5.0 2.3 3.0 2.3 3.0 2.1 8.0 3.3	0 1	d.30 0.660 0.29 9.700 0.41 0.000 0.28 0.600 0.20 0.500	71,64 73.35 70.85	73.85 70.90 70.67	77.64 79.35 71.90	72.35 72.95 73.87		#-OK 0.30 #-OK 0.00 #-OK 0.00 #-OK 0.33			73.99 73.97 73.59 73.89 73.80	75.30 75.30 75.30 75.30 75.50	75.30 75.30 75.10 75.70 75.90	75.80 79.80 75.70 75.70 75.50	-1.266 -1.711 -1.727 -1.795 -1.626	OK OK OR OK
Tourid & Trife Trumit & Trife	1-0041 3-79088	1-1000W 1-1000C		2.08 2.06		1.79				1.14	0 FC (100)		0.54 0.57			9 L73				10-12 20-2	29	8 HD8	ng 0.013				36 3.0 10 1.0		5,22 6,000 0,17 0,000			13.73 14.30			N-CK 0.38 N-CK 0.34				75.50 75.50	75.80 75.90	75.80 75.50	1,814 13,524	

LANDSCAPE ARCHITECTURE 10401 Stella Link Dr. Houston, TX 77028 T: 713 871 1414 F: 713 871 9888

CLIENT
HV/S89 HOLDING, LLC
4855 Riverstone Bivd.
Missouri City, 1X 77459
1: 221 448 8790
www.johnsondevelopment.com

ARCHIEGT RED ARCHITECTS
1320 McGowen St.
Houston, TX 77004
T: 712 622 5333

CIVIL ENGINEERS
COSTELLO, INC.
9990 Richmond Ave
Houston, TX 77046
T: 713 783 7788

Proof. CONSULTANT COUNSILMAN HUNSAKER 2425 North Central Expressway Ste. 359 Richardson, TX 75080 T: 972-379-3740

MEP ENONNEERS SALAS O'BRIEN 10530 West Sam Houston Pkwy Houston, TX 77064 T: 281 864 1900

STRUCTURAL ENGINEERS
BEC-LIN ENGINEERING
10401 Westoffice Drive
Houston, TX 77042
T: 281 664 8440

COMBURTANT 6
JAMES POLE IRRIGATION
100 W Oak St. #100
Denton, TX 76201
T: 940 243 2364

SEAL



4			
	ISSUE		
	1	50% DD FOR REVIEW	06.19.2013
	2	PART I 190% OD FOR REVIEW	08,08.2017
1	3	PART 1 100% CD FOR PERMIT	06.30.17
1	4	PART 1 FOR BID	07.27.2017
1	A	ADDENOUM 01	08.10.2017
	A	REVISION 2	12.15.2017
38			

KEY MAP

VERANDA
 RECREATION CENTER
 RICHMOND, TX

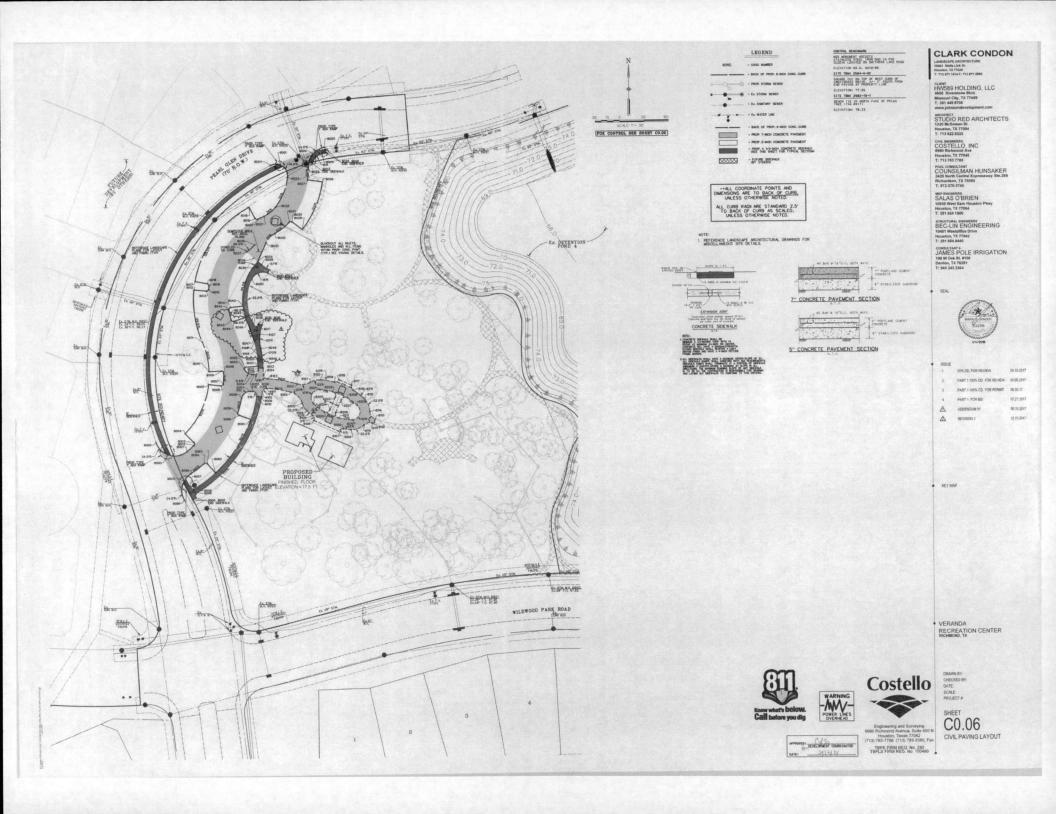


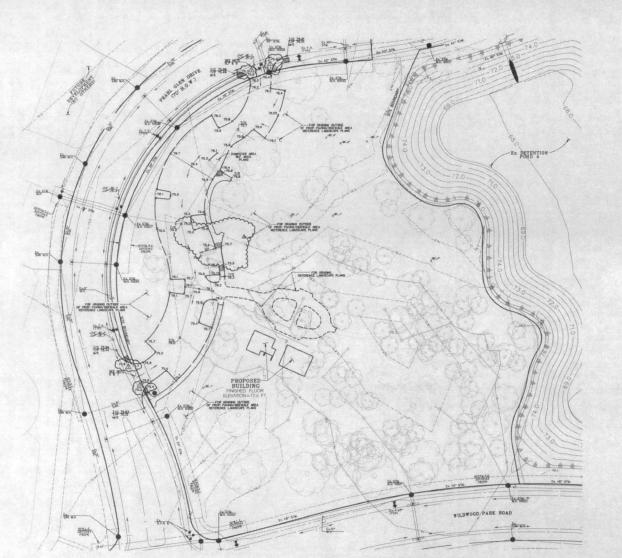
Engineering and Surveying 5990 Richmond Averuse. Suite 450 N Houston. Texas 77042 (713) 763-7786 (713) 783-3580. Fax TBPE FIRM REG. No. 280 TBPLS FIRM REG. No. 100496

DRAINN BY:
CHECKED BY:
DATE:
SCALE:
PROJECT 8:
SHEET
CO.05
CIVIL DRAINAGE
CALCULATION

STATES OF THE SECURE OF STATES OF STATES OF

APPROVED: CYS
DEVELOPMENT COORDINATOR
DATE: 2/12/18





CONTROL BENCHMARK

NOS MENHAMENT HOCSOTZ

\$13,00,005 STIEL HON HOD IN PVC

\$4,000 (COATED ON SMITHERS LAKE HOME ELEVATION 68.G. MAYO-68
SITE TBMS 2584-6-02
SQUARE CUT ON 12P OF WEST CLIPS OF
SQUARE CUT ON 12P OF WEST CLIPS OF
SQUEEN FROM
END PAYING AT PROPERTY LINE

ELEVATIONS 77.28 SITE TONS 2662-78-1 HCMCH TIE IN NORTH FACE OF PECAN TREE (TAD MAIT)



- PROP. DIRECTION OF FLOW

- PROP. FINISHED FLOOR

- PROP. TOP OF SIDEWALK/SLAB ELEVATION

- PROP. TOP OF CURB ELEVATION

- MATCH EXIST PAVEMENT GRADE/FINSHED GRADE

. PROP. TOP OF GRATE ELEVATION

- PROP. FINISHED GRADE ELEVATION

- EXIST, TOP OF CURB/TOP OF PAVEMENT SHOTS

- BACK OF PROP. 6-INCH CONC. CURB

---- - EDGE OF PROP. PAVEMENT

* PROP. RAMP (TYPE 7 ADA)

FINSHED FLOOR ELEVATION IS AS INDICATED CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF BUILDING PAO, (REFERENCE ARCHITECTULA, FOR CONSTRUCTION DETAILS OF BUILDING PAO).

"ALL ELEVATIONS ARE TO TOP OF PAVEMENT, UNLESS OTHERWISE NOTED.

- 1. CONTRACTOR TO PROVIDE PAYEMENT JOINT LAYOUT AS A SUBMITTAL FOR ENGINEER AND ARCHITECT REVIEW AND APPROVAL, 5" AND 6" PAYING JOINT SPACING WILL NOT BE MOSE THAN 19 C-1.
- THE JOINTING SHALL BE COORDINATED BY CONTRACTOR TO SUIT HIS VAIGED CONSTRUCTION NEEDS WITH THE APPROVAL OF THE ENGINEER AND OWNER.
- 3. EXPANSION JOINTS, CONTROL JOINTS AND CONSTRUCTION JOINTS ADJACENT TO A CURB SHOULD EXTEND INTO THE CURB.
- 4. JOHTS SHOULD TE RADIALLY TO ALL CURVES AS INDICATED ON THE PAYING DETAILS, SHEET
- 5. CONTRACTOR SHALL MATCH AND CONTRUE ANY EXPANSION JOINTS ALREADY EXSTRAG AT LOCATIONS WHERE PROPOSED PARKING COMMECTS TO EXISTING STREETS/CONCRETE.
- 6. ALL CONTROL JONIS MUST BE SAWOUT AND SEALED AS PER THE DETAIL SHEET.
- 7. CONTRACTOR SHALL SET GRADES ON DRIVEWAY SUCH THAT SDEWALK PORTION OF DRIVEWAY DOES NOT EXCEED A 2X CROSS SLOPE.
- 8. CONTRACTOR SHALL REFERENCE APPROVED LANDSCAPE PLAN.
- 9. CONTRACTOR SHALL ADJUST EXISTING UTILITIES WITHIN THE PAYEMENT AREA TO MATCH PROPOSED PAYEMENT GRADES.





TBPE FIRM REG. No. 280 TBPLS FIRM REG. No. 100486

CLARK CONDON

CLIENT HW589 HOLDING, LLC 4856 Riversions Bivd. Missouri City, TX 77459 T: 281 449 8700

ARCHITECT STUDIO RED ARCHITECTS 1320 McGowen St. Houston, TX 77004 T: 713 622 6333

COSTELLO, INC. 9996 Richmond Ave Houston, TX 77045 T: 713 783 7788

POOL CONSULTANT COUNSILMAN HUNSAKER 2425 North Central Expressway \$46.389 Richardson, TX 75080 T: 972-370-3740

SALAS O'BRIEN 10930 West Sam Ho Houston, TX 77084 T: 281 664 1900

STRUCTURAL ENGINEERS
BEC-LIN ENGINEERING 10401 Westoffice Dri Houston, TX 77042 T: 281 664 8440

COMBULTANT 6
JAMES POLE IRRIGATION
100 W Oak St. #106
Deuton, TX 74201
T: 940 243 2364



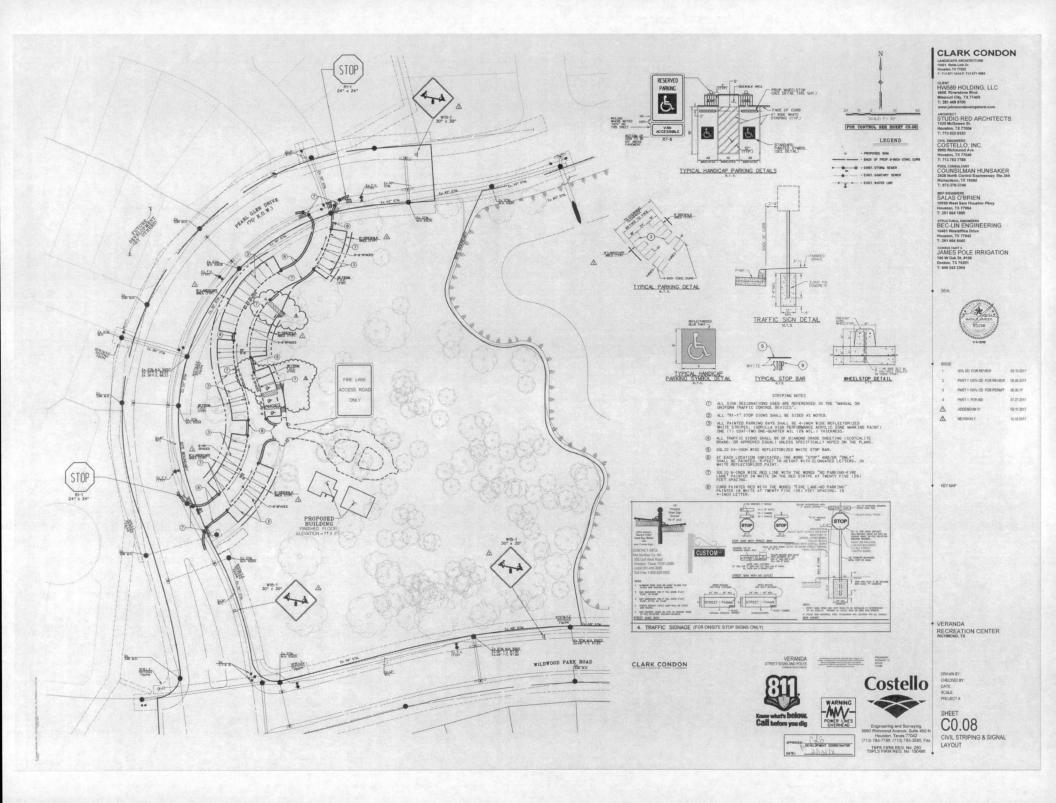
50% DD FOR REVIEW 05.19.2017 PART 1 100% CD: FOR PERMIT 06:30-17 A ACCENDAM 01 08,10,2017 Δ Δ PERMIT REVISION 2 01.04.2018

KEY MAP

VERANDA RECREATION CENTER

SHEET C0.07





CONTROL BENCHMARK
HOS MENUSHENT HOCSDIT?
STAINLASS STEEL INCO. ROO IN PYC.
STAINLASS STEEL INCO. ROO IN PYC.
STAINLASS STEEL INCO. ROOT IN PYC.
STEEL (COATTO ON SMITTHERS LAKE ROAD SITE TBM: 2584-4-02
SQUARE CUT ON TOP OF MEST CLIRE OF SHETTGHASS DRIVE, +-- 2 SQUITH FROM SIDE PAYING AT PROPERTY LIMIT SITE THAN 2682-78-4
BENCH TIE IN MORTH FACE OF PECAN
THEE ITAG MAIT!

CLARK CONDON LANDSCAPE ARCHITECTURE 19601 Stolla Link Or. Houston, TX 77025

HW589 HOLDING, LLC 4865 Riverstone Blvd.

ARCHITECT STUDIO RED ARCHITECTS 1320 McGowan St. Houston, TX 77004 T: 713 822 5333

POOL CONSULTANT COUNSILMAN HUNSAKER 2425 North Central Expressway 8te.359 Richardson, TX 75980 T: 572-370-3740 MEP ENGINEERS SALAS O'BRIEN 10930 West Sam Houston Houston, TX 77064 T: 281 664 1900 STRUCTURAL ENGINEERS
BEC-LIN ENGINEERING
10401 Westoffice Drive
Houseton, TX 77042
T: 281 664 8440

CONSULTANT 8
JAMES POLE IRRIGATION
100 W Oak St. #106
Deuton, Tx 78201
T: 940 243 2364

PART 1 100% CD FOR PERMIT 06.90.17

PART 1 FOR BID

A

Δ

KEY MAP

07.27.2917

08.10,2017

12.15.2017

Missouri City, TX 77459 T: 281 449 8700

COVE ENGINEERS
COSTELLO, INC.
9990 Richmond Ave
Houston, TX 77045
T: 713 783 7786



POR CONTROL SEE SHEET CO.02

. STABILIZED CONSTRUCTION ACCESS

Ex. DETENTION POND 4

WILDWOOD PARK ROAD

- 1. PLACE FILTER FABRIC SILT FENCE +/- 5 FEET AROUND ALL INLETS.

- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL FACILITIES INDICATED ON THIS PLAN.
- UPON PROJECT COMPLETION. THE ENTIRE DISTURBED AREA NOT PROPOSED FOR IMBEDIATE RECONSTRUCTION SHALL BE RESEEDED AS PER THE POLLUTION PREVENTION PLAN.
- UPON PROJECT COMPLETION AND FINAL STABILIZATION. ALL SILT FENCE SNALL BE REMOVED AND DISPOSED OF.



LEGEND

- PROP. STORM SEWER

認



2. ALL SOIL STOCKPILES OF SIGNIFICANT SIZE SHALL BE ENCOMPASSED BY A SILT FENCE.

3. ALL PROPOSE SMALES TO BE CONSTRUCTED BY THE CONTRACTOR TO FACILITATE SITE ORLINANCE SHALL HAVE SILLY FENCES PLACED ACROSS THE ENTIRE SMALE JUST UPSTREAM OF THE COLITER. LOCATION.

THE CONTRACTOR SHALL CONSTRUCT SILT BARRIERS INDICATED ON THIS PLAN IN ADDITION TO CONFORMING WITH ALL ITEMS DISCUSSED IN THE WRITTEN STORMAKTER POLLUTION PREVENTION PLAN TEXT.

VERANDA RECREATION CENTER RICHMOND, TX







TBPE FIRM REG. No. 280 TBPLS FIRM REG. No. 100486

DRAWN BY: CHECKED BY: DATE: SCALE: PROJECT #:

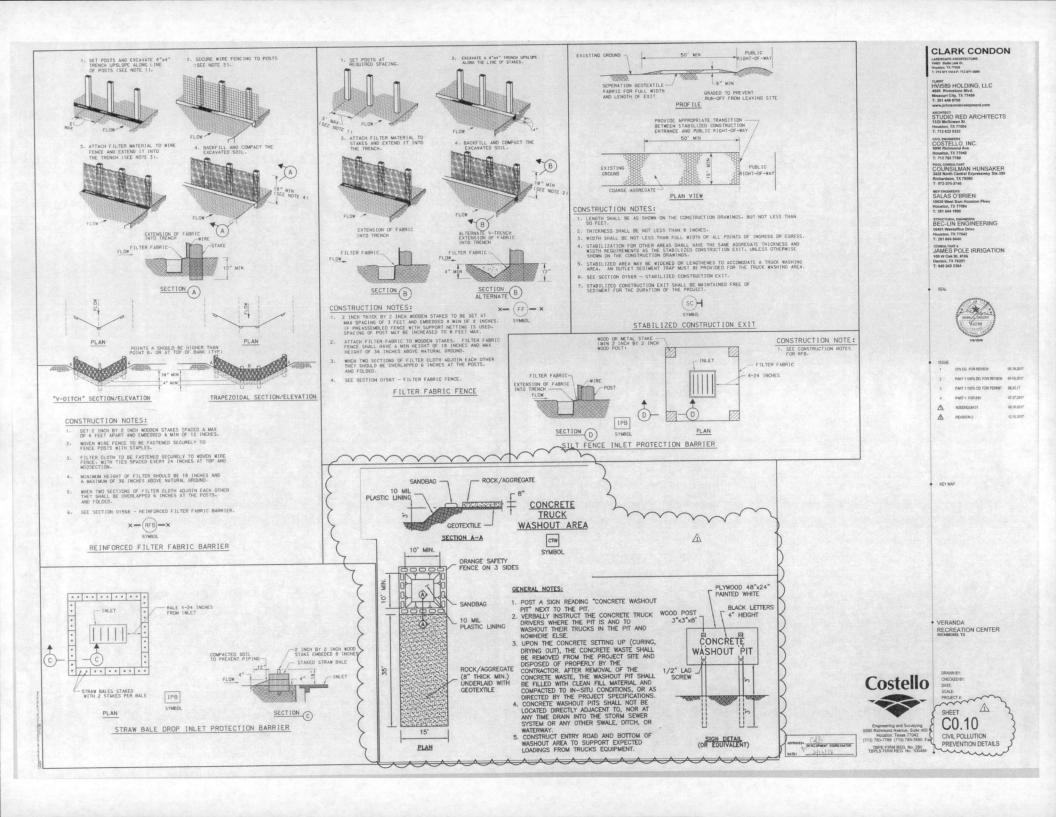
SHEET C0.09 CIVIL POLLUTION PREVENTION LAYOUT



APPROVED! DEVELOPMENT COORDINATOR

20 TM S F-

Shr we



GENERAL NOTES FOR SIDEWALKS AND DRIVEWAYS

- SAW CUT EXISTING CURB AT EACH END AND KNOCK OUT CURB FROM BEGINNING TO END OF PROPOSED DRIVEWAY.
- COMPACT SUBGRADE FOR PROPOSED DRIVENAY CONNECTION FROM PROPOSED SAW CUT AT EXISTING PAPEMENT TO RIGHT-OF-WAY LINE. COMPACT TO 95% OF STANDARD PROCTER DENSITY (*/~ 25 OP!) MOISTURE). THE COUNTY EXIGHER RESERVES THE ROOM TO REQUIRE LABORATORY TESTS TO SE COMPUTED.
- 4. PLACE AND COMPACT 4" CLEAN BANK SAND.
- 5. MAINTAIN GUTTER LINE WITH FACE OF EXISTING CURB.
- PROPOSED DRIVEWAY REINFORCING STEEL IS TO BE #4 DEFORMED RE-NOTORCING BARS (ASTM AG15 GRADE BO, UNILESS NOTED) SPACED AT 24 BICHES CC., EACH WAY, WITH 12 INCHES MINIMUL MAY (6" X 6" W6 X W6 AS ALTERNATE) FROM PROPOSED SAW CUT TO RIGHT-OF-WAY-LINE.
- 8. PROPOSED DRIVEWAY, CURB, GUTTER LINE, AND GRADE SHALL MATCH EXISTING STREET.
- PROPOSED DRIVEWAY SHALL BE CONSTRUCTED WITH PORTLAND CEMENT CONCRETE, CLASS 'A' STRUCTURAL (REFER TO SPECIFICATION 03301), 7 NOVES THICK, FROM PROPOSED SAW CUT TO RIGHT-OF-WAY LINE (PROPERTY LINE).
- 10. PROPOSED SIDEWALK SHALL BE CONSTRUCTED WITH PORTLAND CEMENT CONCRETE, CLASS "A" STRUCTURAL (REFER TO SPECIFICATION 03301), 4 1/2 INCHES THICK AND 5 FEET MINIMUM WIDTH. SEE DRAWING NO. FBC 24A FOR ADDITIONAL INFORMATION AND DETAILS.

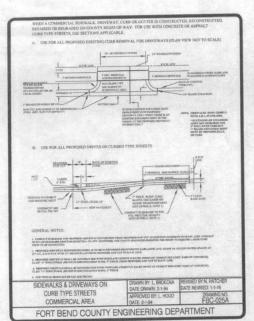
CONSTRUCTION NOTES FOR SIDEWALKS & DRIVEWAYS WITH CURB TYPE STREETS COMMERCIAL AREA

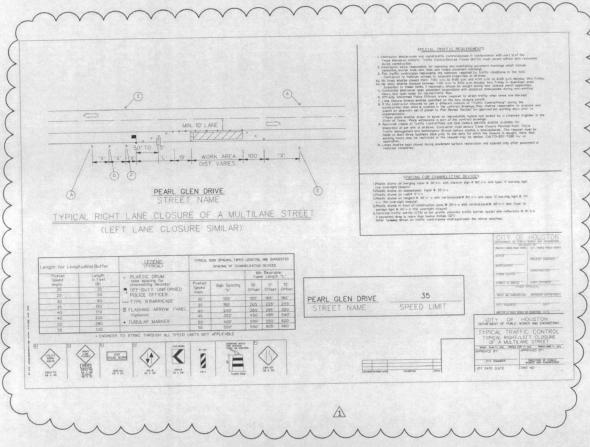
DRAWN BY: L. BRDECKA REVISED BY: N. HATCHE DATE DRAWN: 2-1-94 DATE REVISED: 1-1-16

APPROVED BY: L. HOOD DRAWING NO. DATE: 2-1-94

FBC-025B

FORT BEND COUNTY ENGINEERING DEPARTMENT





CLARK CONDON

LANDSCAPE ARCHITECTURE 10401 Stells Link Dr. Housson, TX 77025

HW589 HOLDING, LLC Missouri City, TX 77459 T: 281 449 8700

ARCHITECTS
STUDIO RED ARCHITECTS
1320 McGowen St. Houston, TX 77064 T: 713 622 5333

COSTELLO, INC. Houston, TX 77045 T: 713 783 7788

POOL CONSULTANT COUNSILMAN HUNSAKER 2425 North Central Expressway Ste. 359 Richardson, TX 75080 T: 972-370-3740

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JAMES POLE IRRIGATION 100 W Oak St. #106 Denton, TX 76201 T: 940 243 2364



05.19.2017 PART 1 100% DO FOR REVIEW 08.08.2017 PART 1 100% CD FOR PERMIT 06.36.17

07.27.2017 PART 1 FOR BID Δ ADDENDUM 01 08 10 2017

12.15.2017 A REVISION 2

KEY MAP

RECREATION CENTER

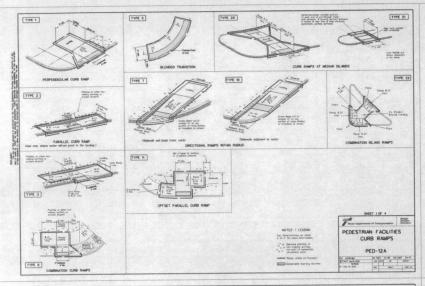


Engineering and Surveying 9990 Richmond Avenue, Suite 450 N Houston, Texas 77042 (713) 783-7788 (713) 783-3580, Fax TBPE FIRM REG. No. 280 TBPLS FIRM REG. No. 100488

CHECKED BY: DATE: SCALE: 1 SHEET C0.11 FORT BEND COUNTY DRIVEWAY DETAIL &

TRAFFIC CONTROL ~~~

MPPROVED : DEVELOPMENT COORDINATOR



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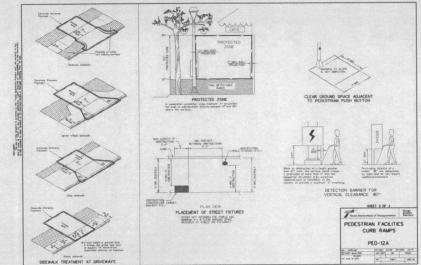
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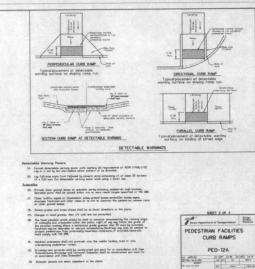
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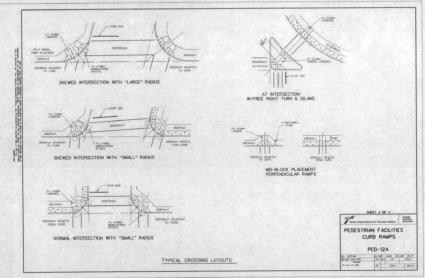
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CLARK CONDON

CLIENT
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Missouri City. TX 77459
T: 281 449 8700
www.iohrsondavelogreent.com

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Houston, TX 77004 T: 713 622 5333 COSTELLO, INC. Houston, TX 77045 T: 713 783 7788

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50% DD FOR REVIEW

PART 1 100% CD FOR PERMIT DE 30 17 05.10.2017

05.10.2017

12,15,2017

ADDENDUM 01 4

KEY MAP

· VERANDA RECREATION CENTER



APPROVEDS DEVELOPMENT COORD SHATON

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(PED-12A)

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"-18 INL CONCRETE PLACES SHALL BE UNFORMEY SHALKED WITH A MEMBRANE COMPOUND (TAKES DIRECTOR).
THE Z. MINTEL. COMPOUND SHALL BE APPLIED IN ACCORDANCE WITH TOOM STANDARD SHIEDWILLDOWN. 1-TO CHECKER CAMPACE FRANCISCO (RET OF A). BLOOK AND AND EXPENSABLED BERT AND REQUIRED FOR EACH LIST FRANCISCO LAST FLACT FOR THE RESIDENCE A MORRISH OF ONE OFF OF SHAPELET IN RESIDENCE FICE CONCACT. MILES AND CONTRACTOR AND RESIDENCE RESIDENCE STORAGE. TOTAL

*2. Projects invalidate basis, seek close commercial basis policy into commercial efficiency indicates among the project designs, and project designs are projected as a commercial effect of the P-22 PROPER RELIANCE AND LANGUAGES (DOCUMENTATION OF RECORD). FALLIER TO MEET THE GOMEON PROGRESS OF RECORDS AND MEET THE GOMEON PROGRESS OF RECORDS AND MEET TO COMMON AND MEET TO COMM

P-25. CHACKS 1766 NOW ON LANCEY AND NOT ACCEPTABLE IN NOW PARAMENT. CRACKS 1/16 NOW OF LESS WILL BE ACCORDING HE ROMADIAL BASIS, SUBJECT TO APPROPRIA, OF BEACHERS. 2-36 JOSEPT AME DANS SOUL OF LOCATED AT ALL REDISTRIBUTED CONTRACTED DANK WHEN STREET BASE WITH RECORDED PAIR JOSEPT SIDNEY AND OTHER WARRY SHANNED SHALL BE PLAND IN ACCOUNTED WITH THE PLAND AND THE "MEAS MANNAL IN HISTORY REPORT CONTROL TOWNED."

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TO "NEXCHARM) A SECTION" HARD NAT REQUIRE AN ADDITIONAL JOS DE THE EFFORMED LANS ANDLAS. SAND OF THE STREET, MANA COCCUR AT HEARS PRIOR NO THE WITHIN HAPPERSON. IN SUBSTANCE SENDINGS SHALL OF SITHERED IN THE EXECUTION OF A 1 BOOK RY OF ORGANIZATION SHARL OF IN SIZE CASH THE AMERICA AND TRANSPORT SHALL IN SUBSTANCES IN SUBSTITUTION OF A THE RESEARCH OF THE AMERICAN SHARL HOUSE OF CHARLES "MANUFACTURE SHARLES SHALL BE RESIDENT OF CONSISTENT AND STORT HALLOSS SHARLES SHARLES AND SHARLES SHARLES AND SHARLES SH

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TEXAS COMMISSION ON ENVIRONMENTAL QUALITY WATER DISTRIBUTION SYSTEM GENERAL CONSTRUCTION NOTES

TOTALS COMMISSION ON ENVIRONMENTAL QUALITY BASEN DESTRUCTION SYSTEM GENERAL CONSTRUCTION NOTES

1. Do soler distribution against must be mechanised in description with the content for the content of the c

2. An appointed engineer pitot voiling in writing the local EXX's Regional Other when combination will sent themse from a month that quere completion in the writer series white, series to incompletion and extensive series which is the series of the completion of extensive to be useful to the service the work to the completion extensively volumely to the place and reverse months out the work to the completion as registed in 32 TeV EXPLOSED. SET.

4. Plastic sipia for use in public easter applicate must prior the flasticist Sentration Foundation force of approved DOM per-Cly and have to ACR6 design, pressure resting of a least 100 pail or or element of the control of the

5. We pipe which has been used for this purpose other Yest We conveyance of debling and the special are selected for since in the public debling which supplys as required by 30 Tay 5200 AREAS 3. 5. Water transcribed and distribution from shot by hastelet in occurrance with the majorisched's achievations, Spared: the tigs of the writer the month to install below this took like only in the case shot the top of the voter fine to layer that tid achiev below proceduration, or required by 50 TeV. \$500 and \$40(50). Presunt to 30 TAC \$(90).41(4(5)), the substants leavage rate shall not proceed the amount aboved or recommended by the most parted AMRA formulas for PVC plus, coal from and duction ran plus. Student the standard in the nation on the place.

5 This increasable backage rate for propolar district (PVC) pipe and operation-way did not exceed the provided dissect or endopmended by provided to begin their thing think accordance (Lamba) (1-805 or regained to 30 TAC \$203.44(LVC). This is there is the formula for the calculation is noticed, and that cannot formula in a value.

Q = the quantity of ordered explains for Proof. L = the health of the pays excition being revised in their. D = the controls discovered or the gaps in bules, and P = the energy last present during the hydrostotic heal as

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6. Projects contributed on an other January 4, 2014 must beingly with changes to the Sam Distance Malar Act Tout 14-Back the Assembles allowable level contact of agent, page 6. The system errort he designed to ensolvable a observor preserve of 35 put at all passes within the distribution reclaims, at they rolled as it is sept 10 pattern per intenda are interestable. Most the system is entended to provide integriting reporting, to most device the contraction when the system is entered as the designed to received as entered particular and observed and observed as the designed to receive the entered particular particular at 30 per under countered the uses designed as the designed as the contract of the uses designed as the designed as the

). Parasipt to 30 TAC \$290.48(χ)(4), assured with notes and as provided larvate connections and motes locations should be above as the plane. 12. Pursuint to 30 TM, \$290.44(g(h), sufficient values and bleeche to name regions. The Anglewants specified establish critical for this deep.

1. Perhand 1s 30 TeC \$200.14(d)(3), the paylon shall be designed to other delication recording to make a paylon shall be designed to other designed to other any other and the particular of dead enis 40 technical strong and the particular control of controls and the required that design of their paylon of controls and the required that design if they and in a control or the first three dead on excessing one or beginn to the graphs, they dead to knowled and control or the paylon. They are the financial and control or the paylon, they are the financial and control or the paylon.

To find processing the Strict EDR 445(3). See computing distinct from a publish examine to the Strict EDR 445(3). See computing distinct from a publish examine the safety of the Strict Policy Reported to distinct secret for solved the problem exists and a secret from the safety of the same of the same of the safety of the same of the same

 Furnish to 30 IAC \$200.66(x)(5). For hydrotraholi not be installed within other had wintigly or harismalate of any explanation than expression being, or wallengthm. 17. Aureupet in 30 TAC \$290.44(e)(T), sporture miss to peopliny equipment shall not received motion, exclavable belieful, or valutinate accide these files value largely than shall not be basisfied white file fiest of stry this in valuable action on only value files applicable strategies action for

IS, Parsued to 32 CSC \$290.64(x)(5), extension stell not be insighed closer than has head to exactly have discharge. 19. Pursuant to 30 TAC 9290.64(1)(1), the confector shall not place the pipe in order or share it can be Rooded with water or sessing duting the storage or incodedium. 20. Pursular to 50 TAC \$290.44(0(2), when withviews are had under any flowing or interceitself disease or west-personnel. Pully of water this voter main shall be installed in a seperate waterful pipe advancement. Young must be precised on each sale of the prosping with foliables to older the underwithin portion of the spines or to insulated and

Tested.

The contribute whill district the one water made in operations with ASMA Standard C-SSS and Shar from and among the first before sales proced on among contributions of contributions of the standard contributions and the contributions of the contributions and the contributions of the contributi



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PPROVED EX VELOPMENT COORD INATOR

VERANDA RECREATION CENTER

CLARK CONDON 10401 Stella Link Dr. Houston, TX 77026 T: 713 871 5414 F: 712 874 0888 HW589 HOLDING, LLC Missouri City, TX 77469 T: 281 449 8700 ARCHITECT STUDIO RED ARCHITECTS 1320 McGowen St.

1320 McGowen St. Houston, TX 77004 T: 713 622 6333

Houston, TX 77645 T: 713 783 7786

Richardson, TX 75080 T: 972-370-3740

SALAS O'BRIEN

Houston, TX 77042 T: 281 664 8440

Denton, TX 78201 T: 940 243 2364

Δ ADDENDUM 01

Δ REVISION 2

COSTELLO, INC.

POOL CONSILMANT
COUNSILMAN HUNSAKER
2425 North Central Expression 359

STRUCTURAL ENGINEERS
BEC-LIN ENGINEERING

JAMES POLE IRRIGATION

PART 1 100% CD FOR PERMIT 06 30 17

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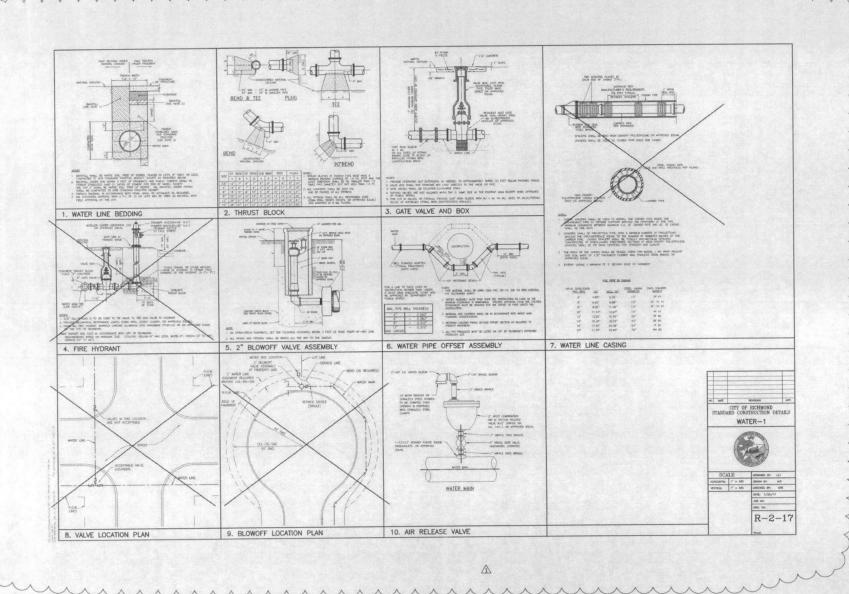
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TBPE FIRM REG, No. 280 TBPLS FIRM REG, No. 100486

C_{0.13} CITY OF RICHMOND DETAILS

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LAMPSCAPE ARCHITECTURE 10401 Statle Link Dr. Houston, TX 77025 T-713 871 3454 P. TV3 873 0888

CLENT HW589 HOLDING, LLC 4855 Riverstone Blvd. Missouri City, TX 77459 T: 291 449 8700

ARCHITECT STUDIO RED ARCHITECTS 1320 McGowen 58. Houston, TX 77004 T: 713 622 6333

CONTELLO, INC.

Houston, TX 77045 T: *13 783 7788 POCL CONSULTANT COUNSILMAN HUNSAKER 2425 North Central Expressway Ste.359 Richardson, TX 78080 T: 972-370-3740

MEP ENGINEERS
SALAS O'BRIEN
10930 West Sam Houston Plowy
Houston, TX 77064
T: 281 664 1900

STRUCTURAL EMONHERS
BEC-LIN ENGINEERING
10401 Westoffice Drive
Houston, TX 77042
T: 281 644 8440

JAMES POLE IRRIGATION 100 W Oak 8t, #104 Denton, TX 76201 7: 940 243 2364

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	1	50% DD FOR REVIEW.	68.19.2017
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VERANDA RECREATION CENTER RICHMOND, TX

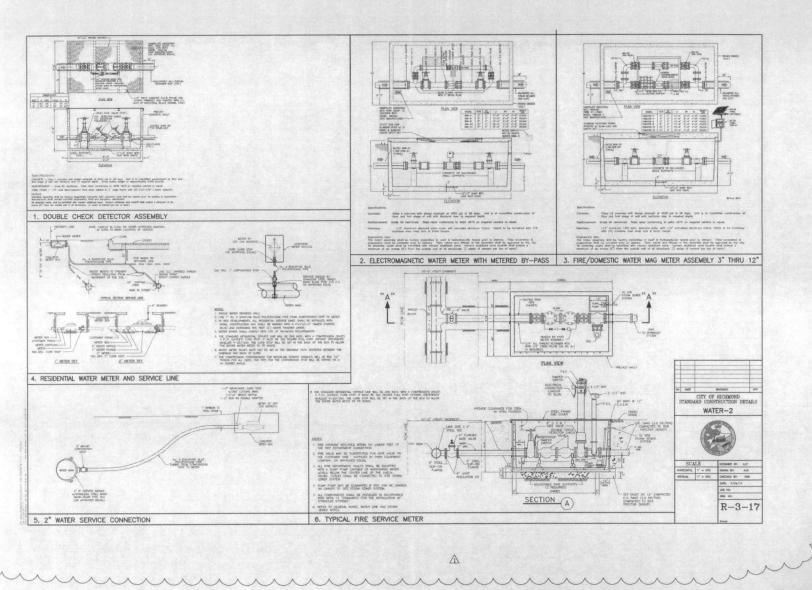
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CITY OF RICHMOND DETAILS

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CLIENT HW589 HOLDING, LLC 4858 Riversione Bivd. Missouri City, TX 77459 T: 281 449 8700

ARCHITECT STUDIO RED ARCHITECTS 1320 McGowson St. Houston, TX 77604 T: 713 622 5333

CONTELLO, INC. 9990 Richmond Ave Houston, TX 77045 T: 713 783 7788

POOL CONSULTANT COUNSILMAN HUNSAKER 2425 North Central Expressway Ste. 358 Richardson, TX 75080 T: 972-370-3740

SALAS O'BRIEN

BEC-LIN ENGINEERING

JAMES POLE IRRIGATION



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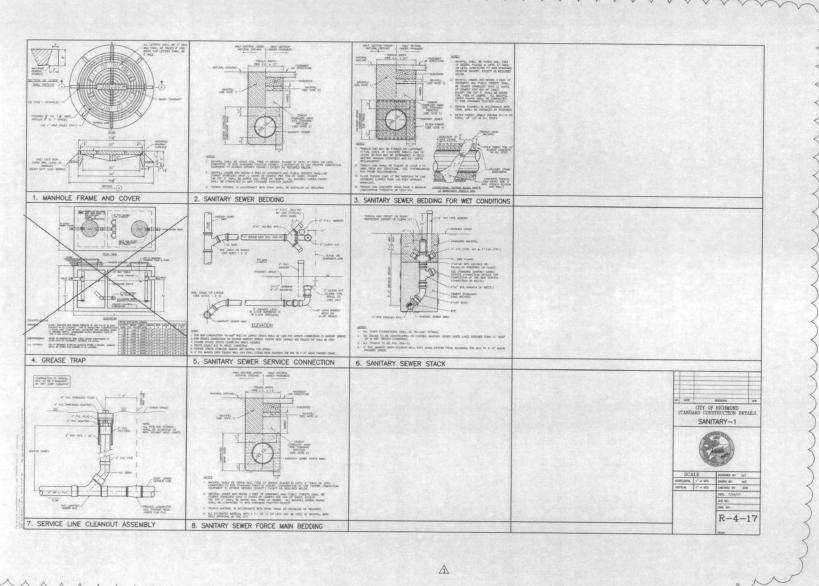
· VERANDA RECREATION CENTER

SHEET C0.15 CITY OF RICHMOND DETAILS

Engineering and Surveying 9990 Richmond Avenue, Suite 450 N Houston, Texas 77042 (713) 783-7788 (713) 783-3580, Fax

APPROVED SEVELOPMENT COORDINATOR

TBPE FIRM REG. No. 260 TBPLS FIRM REG. No. 100486



LANDSCAPE ARCHITECTURE 19401 Breits Lick Or. Howeton, TX 77025 T: 713 871 1414 F: 763 871 0688

CLENT
HW589 HOLDING, LLC
4855 Riverstone Bitvd.
Missouri City, TX 77459
T: 281 449 8700
www.iohonondevstonzenet com

STUDIO RED ARCHITECTS Houston, TX 77004 T: 713 622 6333

CIVIL ENGINEERS
COSTELLO INC
9890 Richmond Ave
Houston, TX 77045
T: 713 783 7788

POOL CONSULTANT
COUNSILMAN HUNSAKER
2428 North Central Expression Ste. 369 Richardson, TX 75080 Y: 972-370-3740

SALAS O'BRIEN 10930 West Sam Houston Houston, TX 77064 7: 281 664 1900

BEC-LIN ENGINEERING 16401 Westoffice Drive Houston, TX 77642 T: 281 664 8440

COMBULTANT 8
JAMES POLE IRRIGATION
100 W Oak St. #106
Denton, TX 75201
7: 940 243 2364



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1	50% DD FOR REVIEW	05.19.2017
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3	PART 1 100% CD FOR PERMIT	06.30,17
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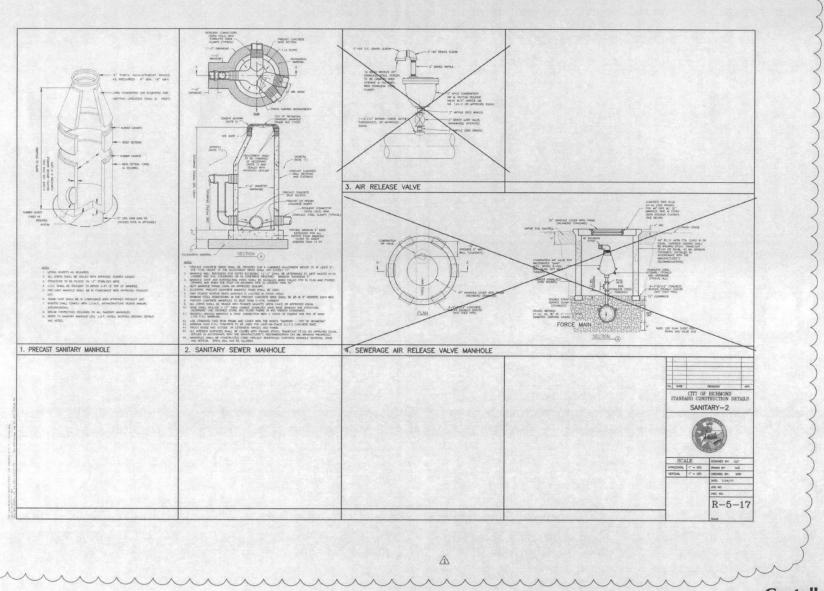
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DEVELOPMENT COORD INATOR



CLIENT
HW589 HOLDING, LLC
4855 Riverstone Bivd.
Missouri City, TX 77459
T: 281 449 8700
www.johnsondevetopment.com

ARCHITECT STUDIO RED ARCHITECTS 1326 McGowen St. Houston, TX 77804 T: 713 622 6333

CVS. EVOIMEERS COSTELLO, INC. 9990 Richmond Ave Houston, TX 77045 T: 713 783 7788

POOL COMSULTANT
COUNSILMAN HUNSAKER
2428 North Central Expressway Ste. 359
Richardson, TX 75080
T: 972-370-3740

MEP ENGINEERS SALAS O'BRIEN 10930 West Sain Houston Houston, TX 77064 T: 281 664 1800

STRUCTURAL ENGINEERS
BEC-LIN ENGINEERING 10401 Westoffice Drive Houston, TX 77042 T: 281 664 8440

CONBULTANT 6
JAMES POLE IRRIGATION
100 W Oak St. #106
Dention, TX 78201
T: 940 243 2364



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KEY MAP

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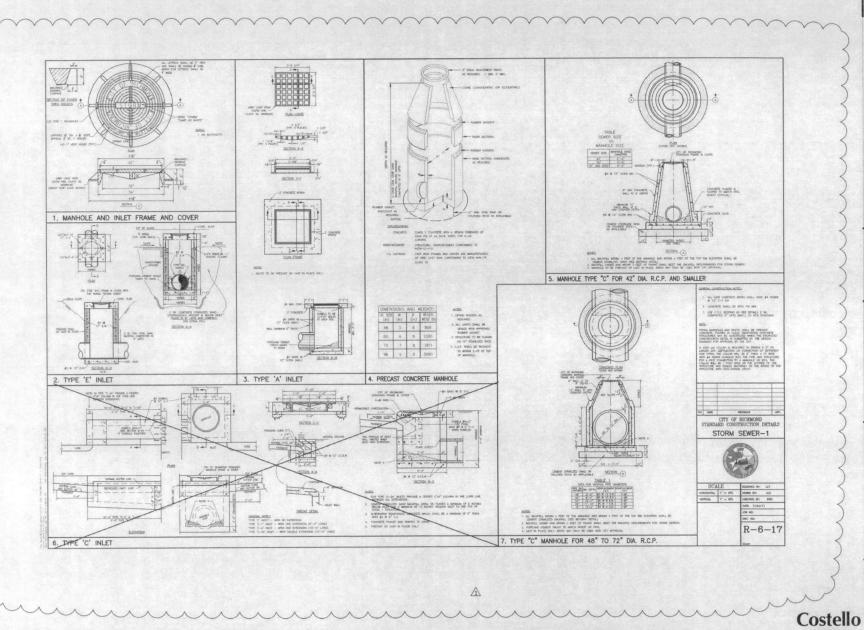
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10401 Stella Link Dr. Houeton, TX 77625

T. 713 971 1414 P. 713 871 0888

CLENT
HW589 HOLDING, LLC
4855 Riverstone Bivd.
Missouri City, TX 77459
T: 281 449 8700

T: 281 449 8700
www.johnsondevelopment.com
ARCHITECY
STUDIO RED ARCHITECTS

1320 McGowen St. Houston, TX 77004 T: 713 622 8333 Core. Enouecens COSTELLO, INC. 9990 Richmond Ave Houston, TX 77046 T: 713 783 7788

T: 713 783 7788
POOL CORSILIMAN HUNSAKER
2425 North Central Expressively Ste.359
Richardson, TX 75080
T: 972-379-3740

SALAS O'BRIEN
19930 West Sam Houston Pkwy
Houston, TX 77064
1: 281 664 1900

STRUCTURAL ENGINEERS
BEC-LIN ENGINEERING
10401 Westorfice Drive
Houston, TX 77042
T: 281 664 8440

CONSULTANT 6
JAMES POLE IRRIGATION
100 W Oak St. #106
Denton, TX 76201
T: 940 243 2344

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· KEY MAP

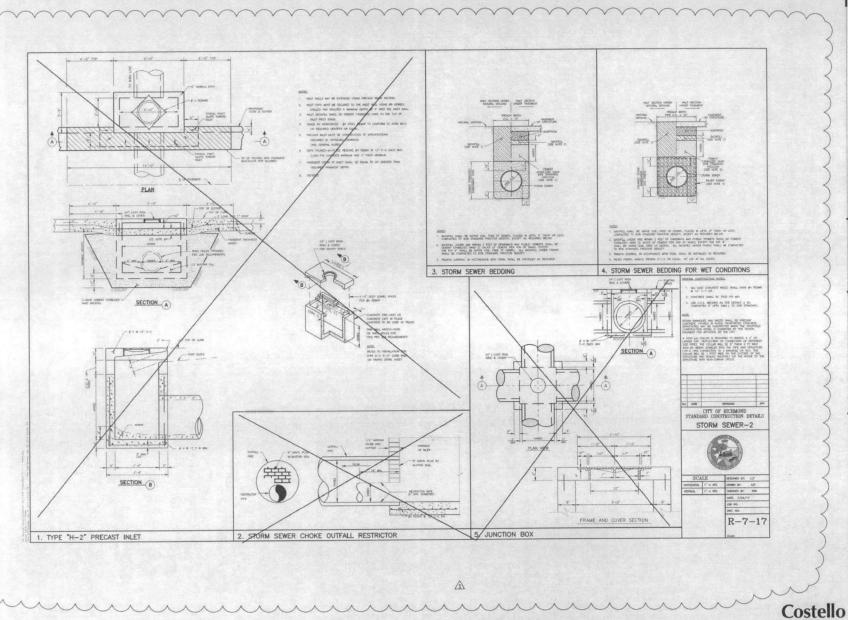
VERANDA
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LANDSCAPE ARCHITECTURE 10601 Stalls Link Dr. Houston, TX 77025

CLIENT HW589 HOLDING, LLC 4555 Riverstone Blvd. Missouri City, TX 77459 T: 281 449 6700

ARCHITECT STUDIO RED ARCHITECTS 1320 McGowen St. Houseton, 7x 77004 Y: 713 622 5333

COVE ENGINEERS
COSTELLO, INC.
9990 Richmond Ave
Houston, TX 77045
T: 712 763 7788

POOL CONSULTANT COUNSILMAN HUNSAKER 2425 North Central Expressway Sts. 359 Richardson, TX 19080 T: 972-370-3740

MEP ENGINEERS
SALAS O'BRIEN
10930 West Sam Houston Pawy
Houston, TX 77064
T: 281 864 1800

STRUCTURAL ENGINEERS
BEC-LIN ENGINEERING
10401 Westoffice Drive
Houston, TX 77042
7: 281 684 8446

COMBUSTANT 6
JAMES POLE IRRIGATION
100 W Oak 81.8106
Denton, TX 78201
T: 940 243 2364

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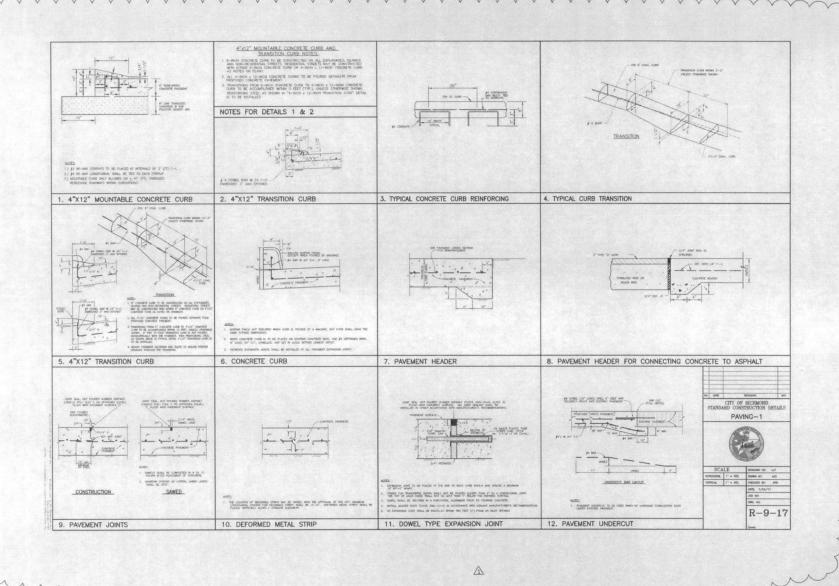
VERANDA
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RICHMOND, TX

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CITY OF RICHMOND DETAILS

APPROVED: DEVELOPMENT COORD SHATOR DATES 212018

Engineering and Surveying 9690 Richmond Avenue, Suite 450 N Houston, Texas 77042 (713) 783-7788 (713) 783-3580, Fax TBPE FIRM REG, No. 280 TBPLS FIRM REG, No. 100488



ANDSCAPE ARCHITECTURE (8401 Stolic Link Dr. fouston, TX 77028 (1: 713 671 1414 F: 713 871 0888

CLENT
HW589 HOLDING, LLC
4855 Riverstone Bivd.
Missouri City, 1% 17459
T: 281 449 8700
www.johnsorulevelopment.com

ARCHITECTS
TUDIO RED ARCHITECTS
1320 McGowen 8t.
Houston, TX 77904
T: 713 622 8333

CIVIL ENGINEERS
COSTELLO INC.
8990 Richmond Ave
Houston, TX 77045
T: 713 783 7788

T: 713 783 7788
POOL CONSULTANT
COUNSILMAN HUNSAKER
2425 North Central Expressway Ste.369
Richardson, TX 75080
T: 972-370-3740

MOP ENGINEERS
SALAS O'BRIEN
10930 West Sam Houston Plow
Houston, TX 77084
T: 281 864 1900

STRUCTURAL ENGINEERS
BEC-LIN ENGINEERING
10401 Westoffice Drive
Houston, 7X 77042
T: 281 664 8440

CONSULTANT 8
JAMES POLE IRRIGATION
100 W Oak St. 8106
Denton, TX 78201
T: 540 243 2364

SEAL



12.15.2017

⚠ REVISION 2

. KEY MAP

VERANDA RECREATION CENTER

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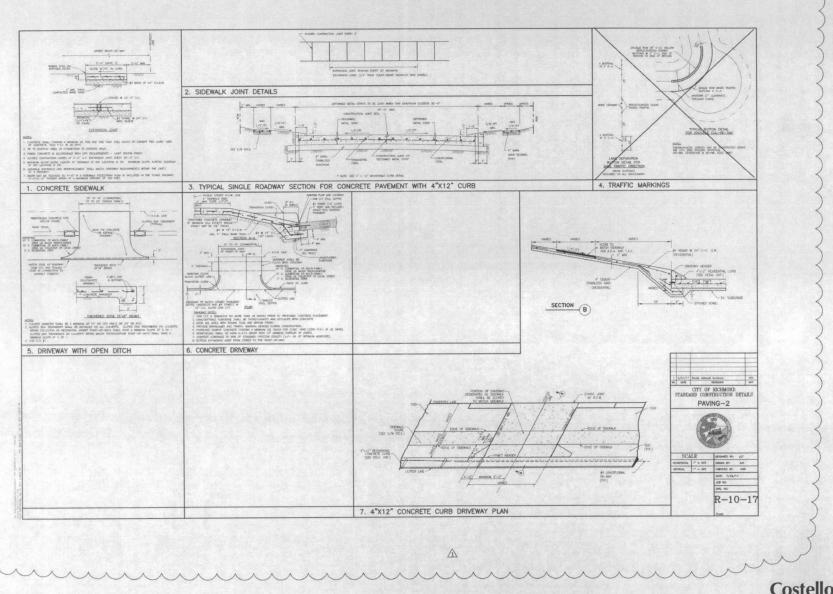
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HOUSTON TOWNS 77047

(713) 783-7788 (713) 783-3580, Fax

TBPE FIRM REG. No. 200

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CLENT HW589 HOLDING, LLC 4858 Riverstone Bivd. Missouri City, TX 77459 T: 281 449 8700

ARCHITECT STUDIO RED ARCHITECTS 1320 McGowen 5t. Houston, TX 77004 T: 713 622 6339

CIVIL ENGINEERS
COSTELLO, INC.
9990 Richmond Ave
Houston, TX 77045
T: 713 783 7788

POOL CONSULTANT COUNSILMAN HUNSAKER 2428 North Central Expressivary Sta. 358 Richardson, TX 76060 Y: 972-370-3740

MEP ENGINEERS SALAS O'BRIEN 10930 West Sam Hot Houston, TX 77064 T: 281 664 1900

STRUCTURAL ENGINEERS
BEC-LIN ENGINEERING 10401 Westoffice Dri Houston, TX 77042 T: 281 664 8440

JAMES POLE IRRIGATION 100 W Oak St. #106 Denton, TX 76201 T: 940 243 2364



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	A	REVISION 2	12,15,2017

KEY MAP

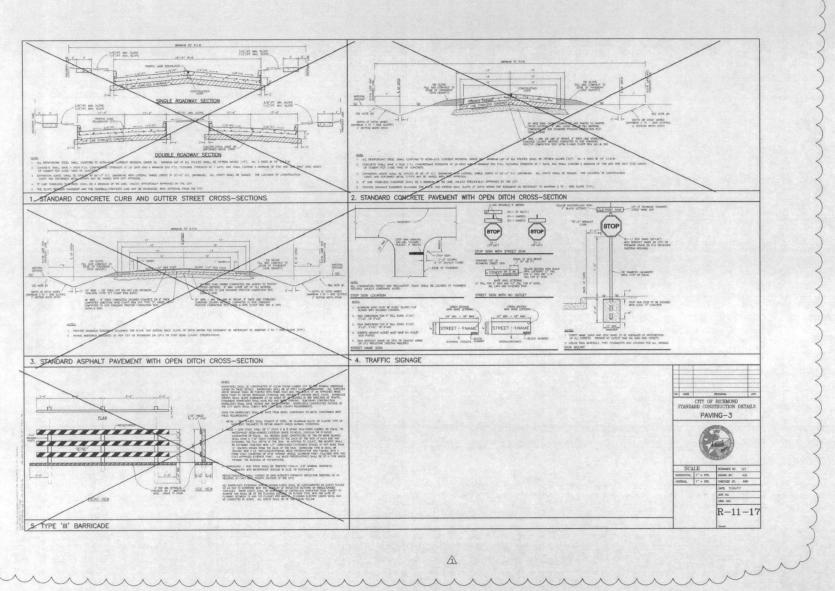
VERANDA RECREATION CENTER

PROJECT #:

SHEFT C0.21 Engineering and Surveying 9990 Richmond Avenue, Suite 450 N Houston, Texas 77042 (713) 783-7788 (713) 783-3580, Fax CITY OF RICHMOND DETAILS TBPE FIRM REG. No. 280 TBPLS FIRM REG. No. 100486

APPROVED DEVELOPMENT COORDINATOR

2/13/18



ANDSGAPE ARCHITECTURE 6401 Stelle Link Dr. founter, TX 77026 1: 713 871 1414 F: 713 871 9888

CLIENT HW589 HOLDING, LLC 4955 Riverstone Bivd. Missouri City, TX 77469 T: 281 449 8700

ARCHITECT STUDIO RED ARCHITECTS 1320 McGowen St. Houston, TX 77084 7: 713 422 6333

COVIL ENGINEERS
COSTELLO, INC.
9990 Richmond Ave
Houston, TX 77046
T: 713 783 7788

POOL CONSULTANT COUNSILMAN HUNSAKER 2426 North Central Expressway 5ts. 359 Richardson, TX 75089 T: 972-370-3740

MEP ENGINEERS SALAS O'BRIEN 10930 West Sem Houston Pkwy Houston, TX 77084

STRUCTURAL ENGINEERS
BEC-LIN ENGINEERING
10401 Westoffice Drive
Houston, TX 77042
T: 281 664 8440

COMBULTANTS
JAMES POLE IRRIGATION
100 W Oak St. 9106
Denton, TX 76201
T: 940 243 2384

SEA



	ISSUE		
I	- 1	50% DD FOR REVIEW	05.19.2017
1	2	PART 1 100% DD FOR REVIEW	06.06.2017
1	3	PART 1 100% CD FOR PERMIT	06,30.17
	4	PART 1 FOR BID	07,27,2017
1	Δ	ADDENDUM 01	08.10.2017
1	A	REVISION 2	12.16.2017

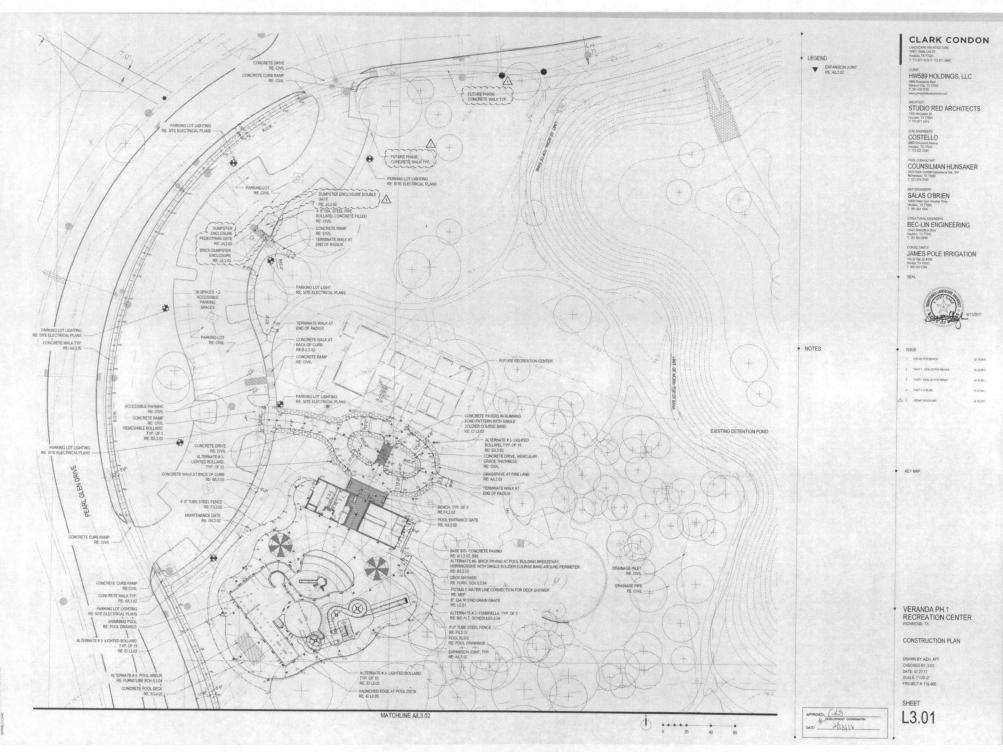
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VERANDA
 RECREATION CENTER
RICHMOND, TX

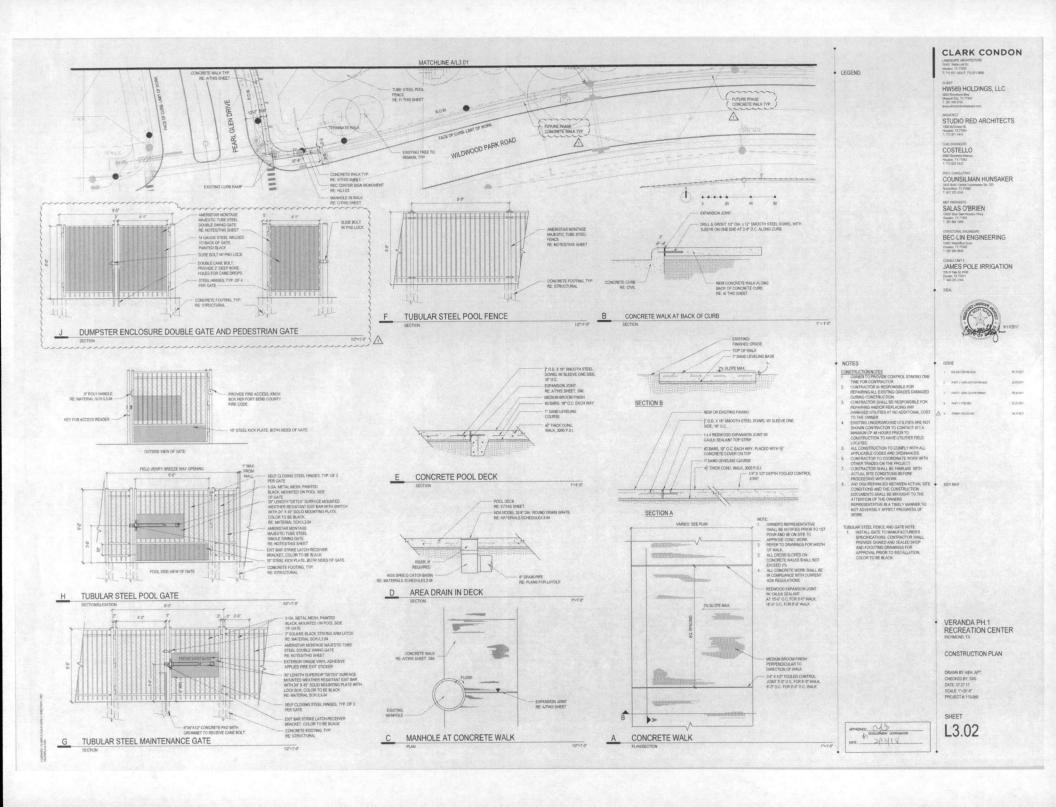
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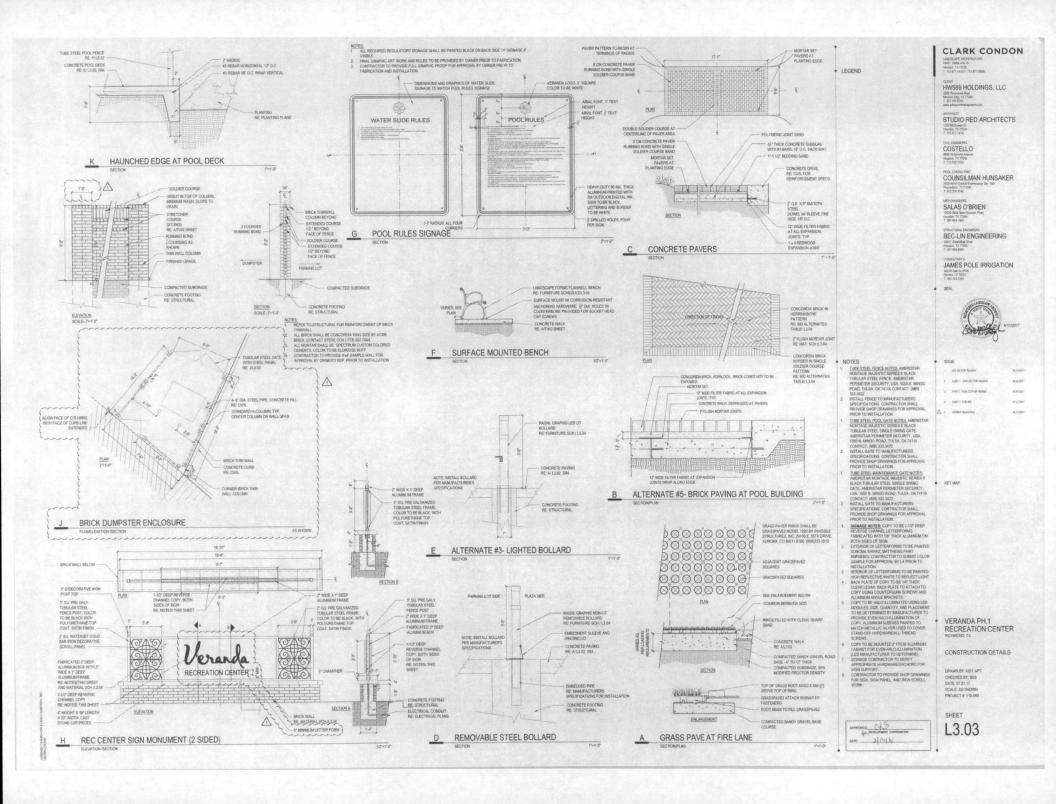
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CITY OF RICHMOND DETAILS



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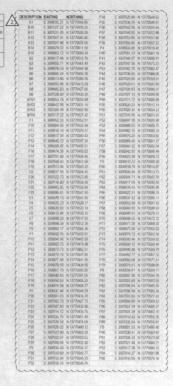


FU	RNIT	NITURE SCHEDULE										
13		ITEM	MANUFACTURER PRODUCT NAME	MODEL NUMBER	DESCRIPTION							
	2	BENCH	LANDSCAPE FORMS	PLANWELL BENCH	25'X 12' X 32' LANDSCAPE FORMS PLAINWELL BENCH WITHOUT CENTER ARMS METAL COLOR TO BE BLACK, WOOD TO BE IPE, NO FINISH.	LANDSCAPE FORMS 2122 TRINITY MANOR LN. RICHMOND, TX 77489						
	2	REMOVABLE BOLLARDS	RAGNI LIGHTING	GRA 101	INTERNAL LOCKING REMOVABLE BOLLARDS & DIA CONTRACTOR TO INSTALL BOLLARD TO MANUFACTURERS SPECIFICATIONS AND INSTRUCTIONS COLOR TO BE BLACK.	CW LIGHTING, CONTACT: SAMANTHA RUSSEM, 713-696-9320						
	+	SHOWER TOWER	MOST DEPISIOABLE FOUNTAINS	590 SM	4 SPIGOT OUTDOOR DECK SHOWER, COLOR TO BE DETERMINED, CONTRACTOR TO SUBMIT MANUFACTURER'S FULL RANGE OF COLOR OFTIONS FOR SELECTION AND APPROVAL BY OWNER PRIOR TO FABRICATION AND INSTALLATION.							

3/2

MATERIAL SCHEDULE					
пем	ТҮРЕ	DESCRIPTION	MANUFACTURER/ SUPPLIER		
ENTRANCE SIGN	1-1/2" DEEP REVERSE CHANNEL LETTER FORMS	EXTERIOR OF LETTERFORMS TO BE PAINTED IMPRISOS SYNCMA SHIPAZ, SATIN FINISH, CONTRACTOR TO SUBMIT COLOR SAMPLES FOR APPROVIA, BY LA PRIOR TO FABRICATION AND INSTALLATION.	NEC NEON ELECTRIC COMPANY 1122 LAUDER ROAD, HOUSTON, TX 77039, CONTACT		
MONUMENT- METAL LETTER FORM, METAL SIGN PANEL, AND DECORATIVE IRON PANELS	FABRICATED 2" DEEP ALUMINUM BOX AND 2" WIDE X 1" DEEP ALUMINUM FRAME	EXTERIOR OF METAL PANIEL TO BE PAINTED. FINAL COLOR TO BE DETERMINED BY LA. CONTRACTOR TO SUBMIT 12*XZ*Z*COLOR SUAR-LES FOR FINAL APPROVAL BY LA PRIOR TO FARRICATION AND INSTALLATION. FINAME TO BE PAINTED BLACK, SATIN FIRSH	- ANTHONY RICHARDS 281-967-1144: PAINT COLORS- MATHEWS PAINT 1-100-123-6593		
	DECORATIVE IRON SCROLL PANELS	IRON SCROLL PANEL + SQ, WATERJET SOLID BAR IRON DECORATIVE SCROLL PANEL IRON RAILING TO BE PRE GALV. TUBULAR STEEL RAIL. COLOR TO BE BLACK WITH POLYURETHANE TOP COAT, SATIN FRISH	IRON ACCESS 3815 HOLLISTER, HOUSTON, TX 77080, CONTACT NEAL HORNER 713-864-1229 X 307		
CONCRETE PAVER-ADA TRUNCATED DOME PAVER	IPC HOLLAND STONE	PC 4"X8" CONCRETE PAVER WITH ADA COMPLIANT TRUNCATED DOMES, 60 MM, COLOR TO BE: CHARDOAL	IPC BUILDING PRODUCTS: 10202 SYNOTT. SUGAR LAND, TX 77498, GREG SHEPHERD		
CONCRETE PAVERS AT ENTRANCE PLAZA	IPC HOLLAND STONE, RUMNING BOND PATTERN PAVER FIELD WITH SINGLE SOLIDER COURSE BAND	IPC 4"X8" CONCRETE PAVER, 80 MM, FIELD COLOR TO BE, MARCON, BAND COLOR TO BE, CHARCON,	832-266-7116		
BRICK	CONCORDIA	BUILDER SPECIAL SIZE 2 } THOOMESS X 2 } HEIGHT X 8 F LENGTH, COLOR TO BE CONCORDIA, NO FRODS	ACME BRICK, 5020 ACORN, HOUSTON, TX, 7709 STEVE COX, 713-602-7044		
CAST STONE CAP	CUSTOM CAP	CAP SIZES 27/327/35-1/2" AND 36/36/36/35 COLOR TO MATCH TOMBALL STORE TAN. CONTRACTOR TO SUBMIT COLOR SAMPLE FOR APPROVAL BY LA PRIOR TO FABRICATION AND INSTALLATION. CONTRACTOR TO PROVIDE SHOP DRAININGS FOR APPROVAL BY L	TOMBALL STONE & GRAPHICS, 7400 BREEN DR, HOUSTON, TX 77089, 281-734-2712		
MORTAR FOR SIGN	ELDRIDGE BLFF	SPECTRUM CUSTOM COLORED PORTLAND AND LIME CEMENT, COLOR TO BE ELDRIDGE SUFF.	AHI SUPPLY, 2800 NORTH GORDEN, ALVIN, TX 77511, 281-331-0086		
DRAMAGE GRATE	6" NDS ROUND BATIN BRASS GRATE WITH STYRENE COLLAR	918B. ROUND SATIN BRASS DRAIN COVER, 2" H. 6-11/16" DIAMETER	NDS PRODUCTS, INC. 111 ANDERSON ST. PASADENA, TX 77506, 1-888-825-4716		
POOL ENTRANCE GATE SYSTEM	EXIT BAR, DOOR HANDLE, STRIKE PLATE, AND MOUNTING PLATE	0005-06 DETEX SURFACE MOUNT EXIT BAR WITH SWITCH COLOR TO BE BLACK, 906A-8 6" POLY HANDLE, COLOR TO BE BLACK, 900A-8 STRIRE LATCH RECEIVER BRACKET, COLOR TO BE BLACK, 500A-8 DETEX PLATE, COLOR TO BE BLACK.	DAC INDUCTRES 600 ELEVENTH STREET, N.W.		
MAINTENANCE GATE SYSTEM	EXT BAR WITH LOCK RIT. STRONG ARM LATCH	9045-838 35" SUPERIOR EXIT BAR KIT. DETEX EXIT BAR, MOUNTING PLATE, LOCK BOX, RECEIVER BRACKET WITH STRIKE, COLOR TO BE BLACK, 4390-B SLACK STRONG ARM FOR SQUARE PIPE.	GRAND RAPIDS, MI 49504, 1-800-8888-6768		

BID ALTERNATES			
DESCRIPTION	OESCRIPTION	COLOR	MANUFACTURER/SUPPLIER
ALTERNATER 1- SUNDEK COATING		COLOR TO BE DETERMINED, CONTRACTOR TO SUBMIT MANUFACTURER'S FULL PANGE OF COLOR OPTIONS FOR SELECTION AND APPROVAL BY OWNER PRIOR TO FABRICATION AND HISTALLATION.	SUNDEK: BULLION COATINGS, CONTACT: 281-859-4896
ALTERNATE #2- PUNBRELLA POOL UMBRELLAS, TYP OF 2	20 DIA. CLASSIC WITH GROUND SLEEVES AND CAPS	COLOR TO BE DETERMINED CONTRACTOR TO SUBMIT MANUFACTURER'S FULL RANGE OF COLOR OFTICMS FOR SELECTION AND APPROVAL BY OWNER PRIOR TO FABRICATION AND INSTALLATION.	FUNDRELLA: ANCHOR INDUSTRIES TENTS & CLEAR SPAN STRUCTURES, CONTACT: STEVE LIPKING, 812467-4626
UGHTING-LIGHTED	RAGNI LIGHTING GRAPHIS LED LIMINOUS BOLLARD F724M-4-X-X-120V-8LACK, 39 LIGHTED BOLLARD WAC LANDBCAPE LIGHTING, TREE UPLIGHT-ACCENT 120V 5012-308Z WITH PUWER STAYE 1000-98T-8K	COLOR TO BE BLACK	CW LIGHTING, CONTACT: SAMANTHA PLUSSEM, 713-690-9320
ALTERNATE #4- ARBOR AT POOL, TYP: OF 1	FREESTANDING WILLIAMSBURG FIBERGLASS PERGOLA, 12/20/ WITH 10" XIF SO, FIBERGLASS COLUMNS, CONCRETE MOUNTING	COLOR TO BE CW-WHITE	STRUCTUREWORKS FABRICATION; CONTACT: GREG SMITH, 877-489-8064



LEGEND

B - BOLLARD BF - BUILDING FOOTPRINT P - PAVING F - PENCE

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CLARK CONDON

HW589 HOLDINGS, LLC

STUDIO RED ARCHITECTS

COSTELLO 0000 Richmond Avenue Houston, TX 77042 TC 793 922 5553

COUNSILMAN HUNSAKER 2K2S Morth-Central Expres Richardson, TX 75080 T: 972 370 3740

SALAS O'BRIEN

BEC-LIN ENGINEERING

JAMES POLE IRRIGATION 100 W Osa St. #10 Dentire. TX 76261 T: 940 243 2364



NOTES

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		SMS DO FOR REMEN	15.15.201					
	2	6461 1 10062D YUK HEVEN	Online Silv					
	3	HARTS-1905-CO-FOR-PERSON	8.8.01					
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		COLOR FOR CONSTRUCTION	11 12 201					
0	5	REVISION 2	9,15,20					

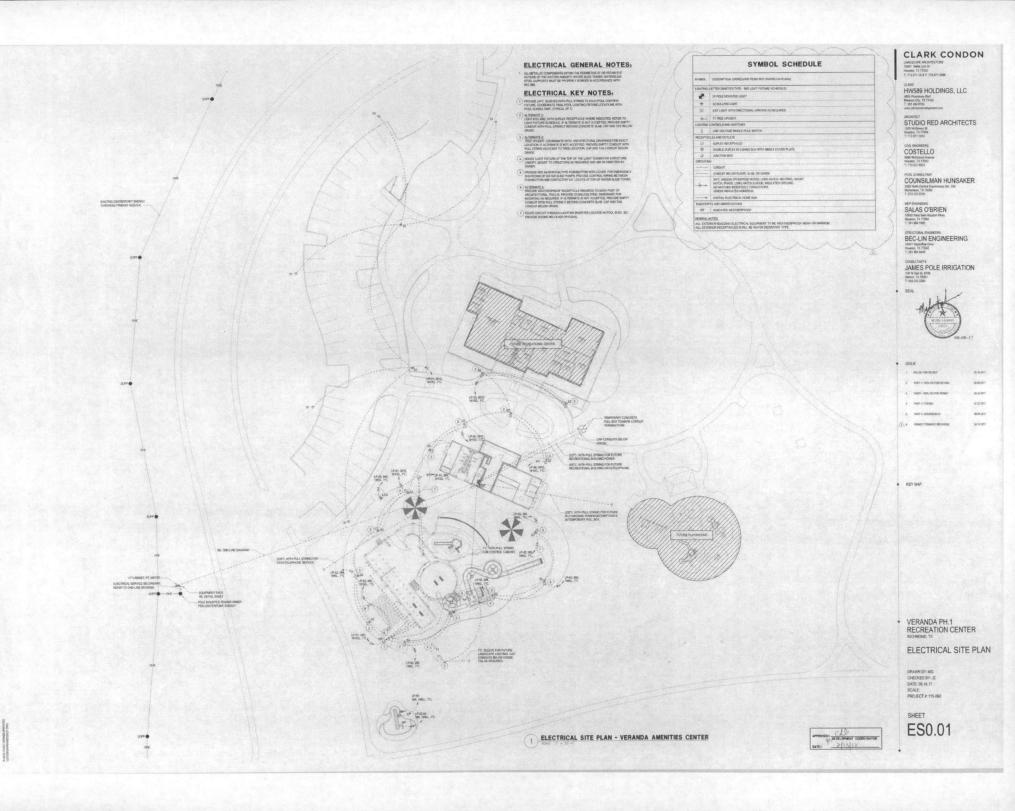
VERANDA PH.1 RECREATION CENTER

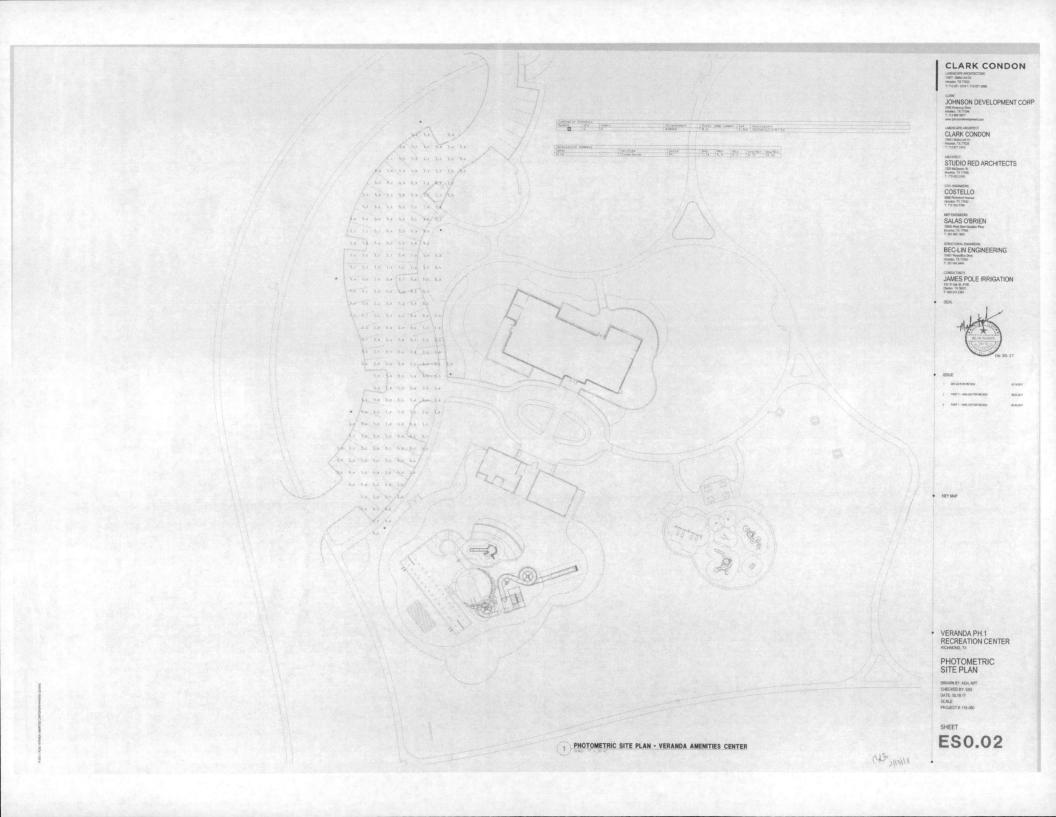
MATERIAL, FURNITURE, AND BID ALTERNATE SCHEDULES

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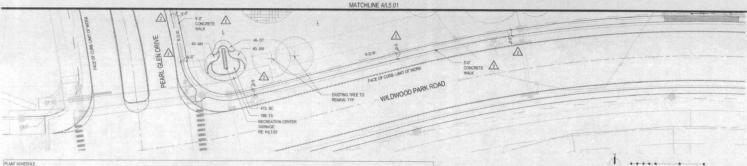
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APPROVED I DEVELOPMENT COORDINATOR DATE: 21/3/14









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QTY.	KEY	SOTANICAL NAME	COMMON NAME	SIZE	REMARKS		
TREES							
4	MG	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	65 GAL	10'-12' HT, 5'-8' SPR, 3"-3 1/2' CAL; RE: JL5:06		
2	MM	MACHINE MOVED TREE		MACHINE MOVED	BY OTHERS COORDINATE INSTALLATION WITH EDI		
7	QV	QUERCUS VIRGINIANA	LIVE OAK	65 GAL	13-15" HT , 6"-6" SPR , 3"-35/" CAL . FULL AND EVEN BRANCHING. STRAIGHT TRUNK, MATCHING		
3	PM	PLATANUS MEXICANA	MEXICAN SYCAMORE	85 GAL	12-14" HT, 7-9" SPR, 2\"-3\" CAL, BRANCH AT EYE LEVEL		
SHRUBS							
467	AA	AGAPANTHUS AFRICANUS	LILY OF THE NILE	3 GAL	18" HT., 18" SPR., MIN. 5 BIBS PER POT, BLUE & WHITE MIX (50 / 50), 24" O.C.		
185	CC	CALLISTEMON CITRINUS 'LITTLE JOHN'	LITTLE JOHN BOTTLEBRUSH	3 GAL	18" HT., 18" SPR., FULL ROUNDED FORM, 30" O.C.		
54	EC	ERIOBOTRYA X 'COPPERTONE'	COPPERTONE LOQUAT	7 GAL	18" HT, 18" SPR, FULL POT, WELL ROOTED, 36" OC		
52	PX	PHILODENDRON X "XANADU"	PHILODENDRON 'XANADU'	3 GAL	12" HT., 18" SPR., FULL POT, WELL ROOTED, 30" O.C.		
112	PA	PLUMBAGO AURICULATA	CAPE PLUMBAGO	3 GAL	18" HT , 12" SPR. WELL ROOTED, FULL POT, 36" O.C.		
311	Rt	RAPHIOLEPIS INDICA 'CLARA'	INDIAN HAWTHORN	3 GAL	18" HT., 18" SPR., FULL ROUNDED FORM, 30" O.C.		
732	RE	RUSSELIA EQUISETIFORMIS	FIRECRACKER PLANT	5 GAL	18" HT., 18" SPR., FULL POT, WELL ROOTED, 28" O.C.		
77	RK.	ROSA SPP. KNOCK OUT	KNOCK OUT ROSE	3 GAL	18" HT., 18" SPR, FULL ROUNDED FORM, 35" Q.C.		
GROUNDO	OVER						
638	AM	ASPARAGUS DENSIFLORUS WEYERSII'	FOXTAIL FERN	1 GAL	12" HT, 12" SPR, FULL POT, WELL ROOTED, 18" O.C.		
391	DY	DIANELLA TASMANICA VARIAGATA	VARIEGATED TASMANIAN FLAX LILY	1 GAL	12"-18" HT, 12"-18" SPR, FULL POT, WELL ROOTED, 18" O.C.		
137	DB	DIETES BICOLOR	BICOLOR IRIS	3 GAL	15"-18" HT, 10" SPR, FULL POT, WELL ROOTED, 24" O.C.		
173	LMB	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LIRIOPE	1 GAL	12"-18" HT & SPR, FULL POT, WELL ROOTED, 24" O.C.		
207	MC	MUHLENBERGIA CAPILLARIES 'GULF COAST'	GULF COAST MUHLY	3 GAL	18" HT, 18" SPR, FULL POT, WELL ROOTED, 36" OC		
689	SC		SEASONAL COLOR	4° POTS	9" O.C., SEASONALLY APPROPRIATE MIX		
259	TA	TRACHELOSPERMUM ASIATICUM	ASIAN JASMINE	1 GAL	6" HT., 9" SPR., FULL POT, WELL ROOTED, 12" O.C.		
	4	FINE GRADE AND HYDROMULCH: COMMON BERMUDA					

PLANTING HOTES

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CLARK CONDON

HW589 HOLDINGS, LLC 4855 Riverstone Stind Miseouth City, TX 77456 T; 381 499 2700

STUDIO RED ARCHITECTS

COSTELLO Houston, TX 77042 T; 713 627 6333

COUNSILMAN HUNSAKER

SALAS O'BRIEN

BEC-LIN ENGINEERING

Honoton, TX 77042 T; 291 964 8440

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· NOTES

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A s HAMP REVISIONS 13200 131309

· KEY MAP

VERANDA PH.1 RECREATION CENTER

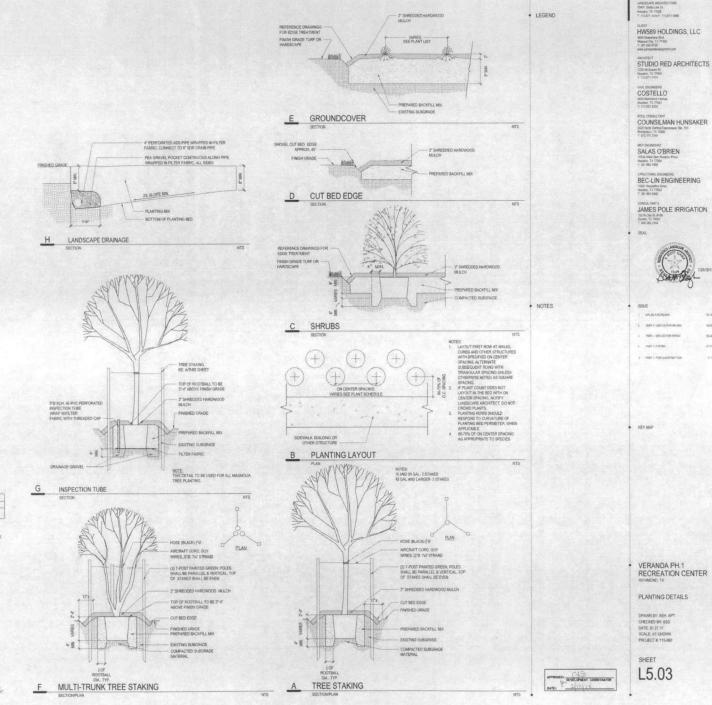
PLANTING PLAN, NOTES, AND SCHEDULE

DRAWN BY AEH, APT CHECKED BY: SSS DATE: 07:27:17 SCALE: 1*20'-0" PROJECT #: 115-060

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CONTRACTOR TO PROVIDE MALE INFORMED FOR CONNECTION BETWEEN LIGHT FIXTURE AND FORMED THE PROVIDE CHILD.

LIGHTING KEY GTY. SYMBOL FIXTURE

WAC LANDSCAPE LIGHTING- ACCENT 120V S012-30BZ WITH POWER STAKE 9000-RPT-8K

ALTERNATE #3- TREE UPLIGHT

CLARK CONDON

HW589 HOLDINGS, LLC

COUNSILMAN HUNSAKER

BEC-LIN ENGINEERING

JAMES POLE IRRIGATION



RECREATION CENTER