



**REVIEW BY FORT BEND COUNTY  
COMMISSIONERS COURT**

**Fort Bend County  
Engineering Department**  
301 Jackson Suite 401  
Richmond, Texas 77469  
281.633.7500  
Permits@fortbendcountytexas.gov

☐

Right of Way Permit

☒

Commercial Driveway Permit

Permit No: 2018-19126

**Applicant:** DL Meacham Construction, LP

**Job Location Site:** 23327 Pearl Glen Drive, Richmond, TX 77469

**Bond No.**                      **Date of Bond:** 3/24/2017 **Amount:** \$50,000.00

The above applicant came to make use of certain Fort Bend County property subject to, "The Order Regulating the Laying, Construction, Maintenance, and Repair of Buried Cables, Conduits, and Pole Lines, In, Under, Across or Along Roads, Streets, Highways, and Drainage Ditches in Fort Bend County, Texas, Under the Jurisdiction of the Commissioners Court of Fort Bend County, Texas," as passed by the Commissioners Court of Fort Bend County, Texas, of the Minutes of the Commissioners Court of Fort Bend County, Texas, to the extent that such order is not inconsistent with Chapter 181, Vernon's Texas Statutes and Codes Annotated.

**Notes:**

1. Evidence of review by the Commissioners Court must be kept on the job site and failure to do so constitutes grounds for job shutdown.
2. Written notices are required:
  - a. 48 hours in advance of construction start up, and
  - b. When construction is completed and ready for final inspection, submit notification to Permit Administrator thru MyGovernmentOnline.org portal.
3. This permit expires one (1) year from date of permit if construction has not commenced.

On this 3rd day of April, 2018, Upon Motion of Commissioner Meyer, seconded by Commissioner Morales, duly put and carried, it is ORDERED, ADJUDGED AND DECREED that said notice of said above purpose is hereby acknowledged by the Commissioners Court of Fort Bend County, Texas, and that said notice be placed on record according to the regulation order thereof.

**Signature**

Presented to Commissioners Court and approved.

By:

Rick J Staigle, PE, PTOE  
County Engineer

Date Recorded 4-5-2018

Comm. Court No. 12B

N/A

Clerk of Commissioners Court

By:

Drainage District Engineer/Manager

By:

Ronda Wallis  
Deputy





**PERMIT APPLICATION REVIEW FORM FOR  
CABLE, CONDUIT, AND POLE LINE ACTIVITY  
IN FORT BEND COUNTY**

**Fort Bend County  
Engineering Department**  
301 Jackson Suite 401  
Richmond, Texas 77469  
281.633.7500  
Permits@fortbendcountytexas.gov

- ☐ Right of Way Permit  
☒ Commercial Driveway Permit

Permit No: 2018-19126

The following "Notice of Proposed Cable, Conduit, and/or Pole Line activity in Fort Bend County" and accompanying attachments have been reviewed and the notice conforms to appropriate regulations set by Commissioner's Court of Fort Bend County, Texas.

**(1) COMPLETE APPLICATION FORM:**

- |                                     |  |
|-------------------------------------|--|
| <input checked="" type="checkbox"/> | a. Name of road, street, and/or drainage ditch affected. |
| <input checked="" type="checkbox"/> | b. Vicinity map showing course of directions             |
| <input checked="" type="checkbox"/> | c. Plans and specifications                              |

**(2) BOND:**

- |                                     |  |   |                     |
|-------------------------------------|--|---|---------------------|
| <input type="checkbox"/>            | County Attorney, approval when applicable. |   |                     |
| <input checked="" type="checkbox"/> | Perpetual bond currently posted.           | Bond No: <span style="background-color: black; color: black;">[REDACTED]</span> | Amount: \$50,000.00 |
| <input type="checkbox"/>            | Performance bond submitted.                | Bond No: _____  | Amount: _____       |
| <input type="checkbox"/>            | Cashier's Check                            | Check No: _____   | Amount: _____       |

**(3) DRAINAGE DISTRICT APPROVAL (WHEN APPLICABLE):**

\_\_\_\_\_  
Drainage District Approval

\_\_\_\_\_  
Date

**We have reviewed this project and agree it meets minimum requirements.**

*Rick J. Staigle, PE, PTOE*  
Permit Administrator

3/23/2018

Date



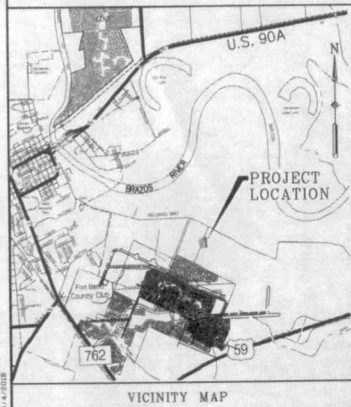
# CONSTRUCTION PLANS FOR WATER, SEWER, DRAINAGE AND PAVING IMPROVEMENTS FOR VERANDA RECREATION CENTER LOCATED IN FORT BEND COUNTY MUD No. 215 FORT BEND COUNTY, TEXAS

## INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION
(1)	COVER SHEET
CO.01 (2)	CIVIL CONSTRUCTION NOTES
CO.02 (3)	CIVIL TOPOGRAPHY
CO.03 (4)	CIVIL WATER & SANITARY LAYOUT
CO.04 (5)	CIVIL STORM SEWER LAYOUT
CO.05 (6)	CIVIL DRAINAGE CALCULATION
CO.06 (7)	CIVIL PAVING LAYOUT
CO.07 (8)	CIVIL GRADING LAYOUT
CO.08 (9)	CIVIL STRIPING & SIGNAGE LAYOUT
CO.09 (10)	CIVIL POLLUTION PREVENTION LAYOUT
CO.10 (11)	CIVIL POLLUTION PREVENTION DETAILS
CO.11 (12)	FORT BEND COUNTY DRIVEWAY DETAIL & TRAFFIC CONTROL
CO.12 (13)	*TxDOT - PEDESTRIAN FACILITIES CURB RAMPS (PED-12A)
CO.13 (14)	CITY OF RICHMOND DETAILS
CO.14 (15)	CITY OF RICHMOND DETAILS
CO.15 (16)	CITY OF RICHMOND DETAILS
CO.16 (17)	CITY OF RICHMOND DETAILS
CO.17 (18)	CITY OF RICHMOND DETAILS
CO.18 (19)	CITY OF RICHMOND DETAILS
CO.19 (20)	CITY OF RICHMOND DETAILS
CO.20 (21)	CITY OF RICHMOND DETAILS
CO.21 (22)	CITY OF RICHMOND DETAILS
CO.22 (23)	CITY OF RICHMOND DETAILS
L.3.01 (24)	LANDSCAPE CONSTRUCTION PLAN
L.3.02 (25)	LANDSCAPE CONSTRUCTION PLAN
L.3.03 (26)	LANDSCAPE CONSTRUCTION DETAILS
L.3.04 (26)	LANDSCAPE CONSTRUCTION SCHEDULES
ES0.01 (27)	LANDSCAPE ELECTRICAL LAYOUT
ES0.02 (28)	ELECTRICAL PHOTO-METRIC PLAN
L.5.01 (29)	LANDSCAPE PLANTING PLAN
L.5.02 (30)	LANDSCAPE PLANTING PLAN
L.5.03 (31)	LANDSCAPE PLANTING DETAILS

### NOTES:

1. ALL BEARINGS ARE BASED ON THE TEXAS STATE PLANE COORDINATE GRID SYSTEM, SOUTH CENTRAL ZONE.
2. PRIOR TO THE CONSTRUCTION OF THESE FACILITIES WITHIN OR BY THE DISTRICT, THE DISTRICT OR ITS ENGINEER WILL GIVE WRITTEN NOTICE BY REGISTERED OR CERTIFIED MAIL TO THE DIRECTOR OF PUBLIC WORKS AND ENGINEERING, CITY OF HOUSTON STATING THE DATE SUCH CONSTRUCTION WILL BE COMMENCED.



VICINITY MAP

JOB NO. 2017-057-233

DATE: AUGUST 2017



FORT BEND COUNTY	
ENGINEER:	<i>Paul J. Stoller, P.E.</i>
DATE:	5/19/18
THESE SIGNATURES ARE VOID IF CONSTRUCTION HAS NOT COMMENCED IN ONE YEAR FROM DATE OF APPROVAL.	
APPROVED:	<i>[Signature]</i>
DATE:	5/19/18

**Costello**



Engineering and Surveying  
9000 Richmond Avenue, Suite 450 N  
Houston, Texas 77042  
(713) 783-7788 (713) 783-5580 Fax  
TSPS FIRM REG. NO. 280  
TSPS FIRM REG. NO. 100406



1/4/2018

SHEET  
No. 1 OF 23





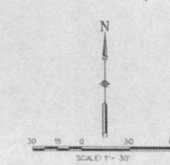
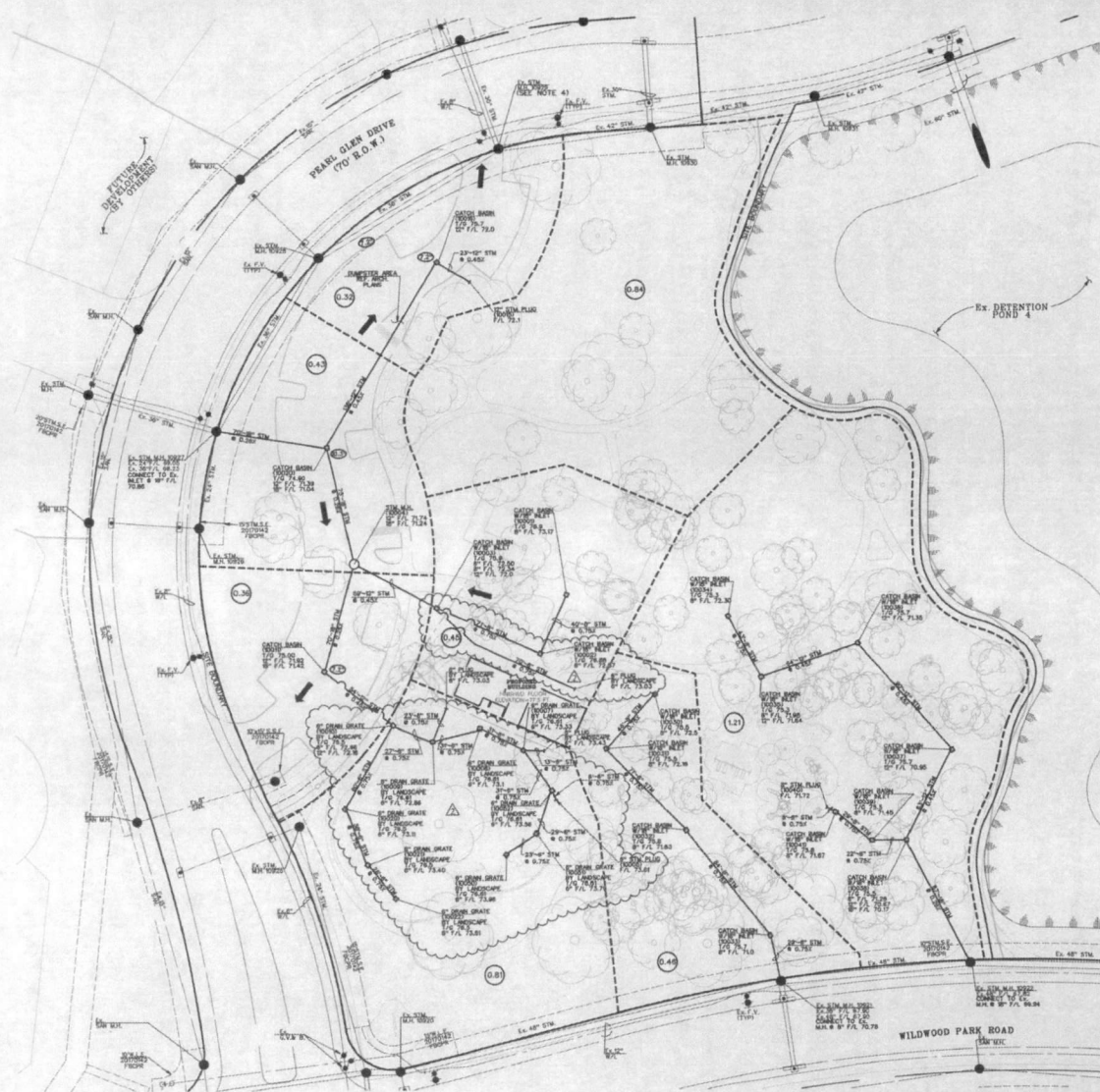












FOR CONTROL, SEE SHEET C0.02

- LEGEND**
- SACK OF PROP. 8-INCH CONC. CURB
  - PROP. STORM SEWER
  - PROP. DRAIN
  - PROP. SANITARY SEWER
  - PROP. WATER LINE
  - EXIST. STORM SEWER
  - EXIST. SANITARY SEWER
  - EXIST. WATER LINE
  - DOWNSPOUT LINE "P" OVER LINE "W"
  - 100-YEAR OVERLAND FLOW
  - DRAINAGE BOUNDARY
  - DRAINAGE AREA, ACRES
  - 100-YR FLOODING DEPTH
  - FLOODING
  - CMAA CONSULTANT
  - CMAA CONSULTANT

- NOTE:**
1. ALL STORM SEWERS ARE HOPE MATERIAL UNLESS OTHERWISE NOTED.
  2. THE CONTRACTOR IS RESPONSIBLE FOR ALL TRANSITIONS FROM STORM SEWER FOR BUILDING TO PROP. TRUNK LINE.
  3. THE CONTRACTOR SHALL RETIE THE ARCHITECTURAL PLANS FOR EACH LOCATION OF DOWNSPOUTS FOR THE ROOF DRAIN.
  4. CONTRACTOR TO ADJUST EX. MANHOLE TO MATCH FINAL GRADE.

**DRAINAGE NOTE:**

100-YEAR STORM RUNOFF WILL PROCEED TO PEARL GLEN DRIVE WHERE IT IS ACCOUNTED FOR WITHIN VERANDA EAST DEVELOPMENT'S STORM SEWER SYSTEM SEE VERANDA SECTION 8 CONSTRUCTION PLANS AND THE DRAINAGE IMPACT ANALYSIS TITLED "DRAINAGE IMPACT ANALYSIS FOR THE DEVELOPMENT OF THE 254.5 AC VERANDA EAST AND UPDATE TO THE PARISH BAYOU MASTER DRAINAGE PLAN" APPROVED AUGUST 1, 2016.

**CONTROL BENCHMARK**

305.40 MSL (10.15' TO 10.16' IN P.C.)  
 CLIENT: VERANDA EAST DEVELOPMENT, L.P.  
 ELEVATION: 10.15' TO 10.16'  
 SITE: TRIM 2004-4-02  
 PROJECT: ON TOP OF WEST CURB OF  
 100' WIDE ST. PROPERTY LINE FROM  
 ELEVATION: 77.28  
 SITE: TRIM 2004-10-1  
 PROJECT: ON NORTH FACE OF PEGAR  
 TRIM 1115 2017  
 ELEVATION: 78.23

**CLARK CONDON**  
 LANDSCAPE ARCHITECTURE  
 1901 BARK LANE  
 HOUSTON, TX 77058  
 T: 713.871.4444 F: 713.871.4088

**CLIENT**  
 HW589 HOLDING, LLC  
 4882 Riverstone Blvd.  
 Houston, TX 77059  
 T: 281.449.8700  
 www.holdingsdevelopment.com

**ARCHITECT**  
 STUDIO RED ARCHITECTS  
 1328 McQueen St.  
 Houston, TX 77004  
 T: 713.622.6333

**ENGINEER**  
 COSTELLO, INC.  
 9900 Richmond Ave.  
 Houston, TX 77046  
 T: 713.783.7788

**POOL CONSULTANT**  
 COUNSILMAN HUNSAKER  
 3428 North Central Expressway Ste. 345  
 Richardson, TX 75080  
 T: 972.375-3740

**MEP ENGINEERS**  
 SALAS O'BRIEN  
 1000 West San Houston Pkwy  
 Houston, TX 77064  
 T: 281.664.1900

**VEGETATION ENGINEER**  
 BEC-LIN ENGINEERING  
 10401 Westfield Drive  
 Houston, TX 77041  
 T: 281.864.8540

**CONSULTANT**  
 JAMES POLE IRRIGATION  
 100 W. Oak St. #100  
 Denton, TX 76201  
 T: 940.343.2364



ISSUE		
1	50% DD FOR REVIEW	05/19/2017
2	PART 1 100% DD FOR REVIEW	06/02/2017
3	PART 1 100% DD FOR PERMIT	08/30/17
4	PART 1 FOR BID	07/27/2017
Δ	ADDENDUM #1	08/10/2017
Δ	REVISION 2	12/18/2017

KEY MAP

VERANDA  
 RECREATION CENTER  
 HOUSTON, TX



APPROVED: *[Signature]*  
 DATE: 01/13/18

Engineering and Surveying  
 9600 Richmond Avenue, Suite 400 N  
 Houston, Texas 77042  
 (713) 783-7788 (713) 783-3580, Fax  
 TROP FIRM REG. NO. 085  
 TROP'S FIRM REG. NO. 100488

DRAWN BY:  
 CHECKED BY:  
 DATE:  
 SCALE:  
 PROJECT #:  
 SHEET  
**C0.04**  
 CIVIL STORM SEWER  
 LAYOUT



For Flow Velocities see Figure 2.6 in the ICM	Flow Peaking Factor	Flow Peaking Factor
--	---------------------------	---------------------------

[illegible]

LANDSCAPE ARCHITECTURE  
10421 Stella Link Dr.  
Houston, TX 77028  
T: 713 871 1414 F: 713 871 0880

CLIENT  
HW589 HOLDING, LLC  
4855 Riverstone Blvd.  
Missouri City, TX 77459  
T: 281 449 8700  
[www.johnsondevelopment.com](http://www.johnsondevelopment.com)

ARCHITECT  
**STUDIO RED ARCHITECTS**  
1320 McGowen St.  
Houston, TX 77004  
T: 713 622 8333

CIVIL ENGINEERS  
**COSTELLO, INC.**  
9900 Richmond Ave  
Houston, TX 77045  
T: 713 783 7788

POOL CONSULTANT  
**COUNSILMAN HUNSAKER**  
2425 North Central Expressway Ste.359  
Richardson, TX 75080  
T. 972-370-3740

MEP ENGINEERS  
**SALAS O'BRIEN**  
10530 West Sam Houston Pkwy  
Houston, TX 77064  
T: 281 654 1900



STRUCTURAL ENGINEERS  
**BEC-LIN ENGINEERING**  
10401 Westoffice Drive  
Houston, TX 77042  
T: 281 684 8440

CONSULTANT &  
**JAMES POLE IRRIGATION**  
100 W Oak St. #100  
Denton, TX 76201  
7-800-343-3884

SEA



● 2008年

- |   |                           |            |
|---|---------------------------|------------|
| 1   | 50% DD FOR REVIEW         | 05.10.2017 |
| 2   | PART 1 100% DD FOR REVIEW | 06.06.2017 |
| 3   | PART 1 100% CD FOR PERMIT | 06.30.17   |
| 4   | PART 1 FOR BID            | 07.27.2017 |
|  | ADDENDUM 01               | 06.10.2017 |
|  | REVISION 2                | 12.15.2017 |

● KEY MAP

• VERANDA  
RECREATION CENTER  
RICHMOND, TX

DRAWN BY:  
CHECKED BY:  
DATE:  
SCALE:  
PROJECT #:

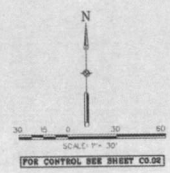
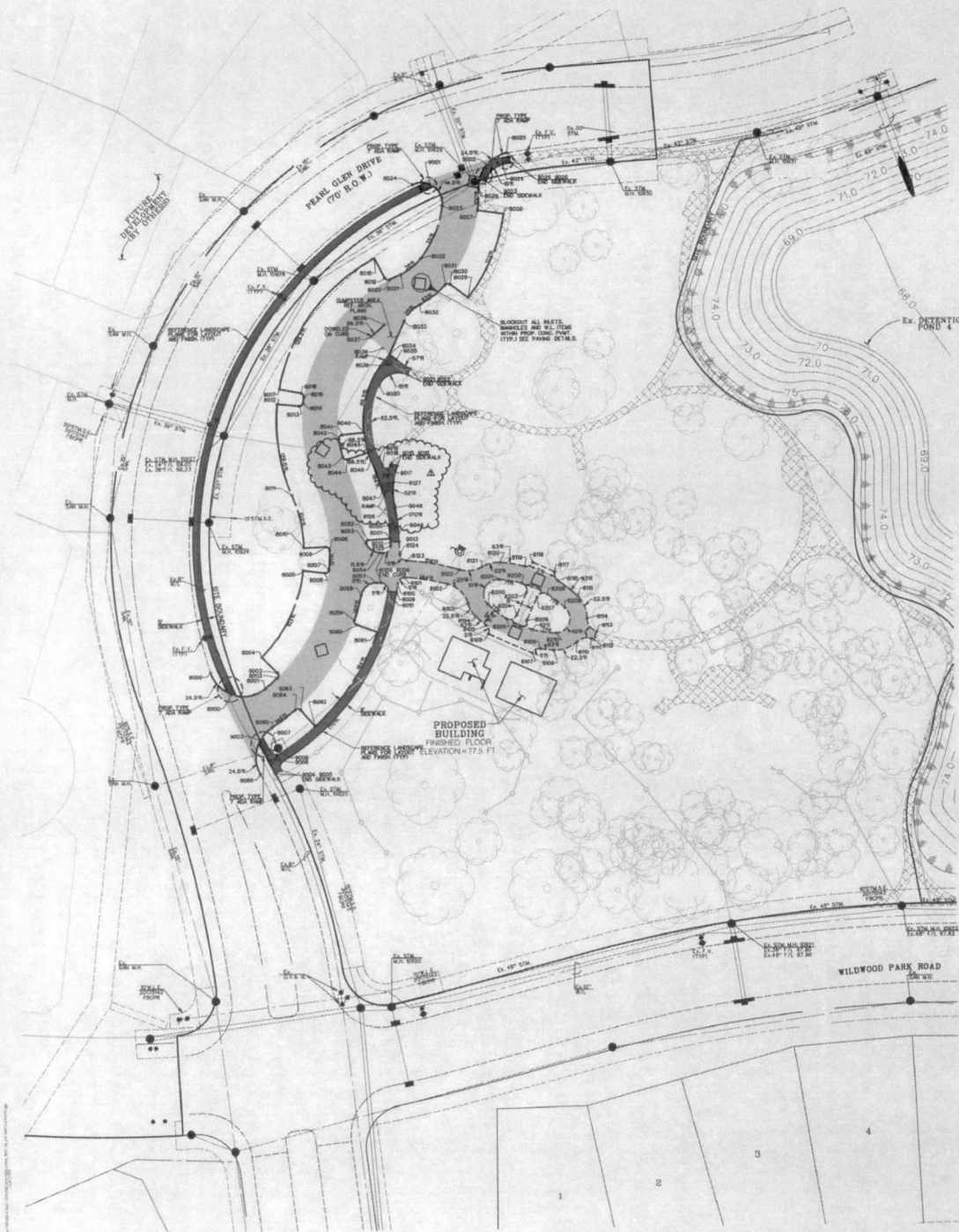
SHEET  
**C0.05**  
CIVIL DRAINAGE  
CALCULATION

**Costello**

Engineering and Surveying  
9990 Richmond Avenue, Suite 45  
Houston, Texas 77042  
(713) 783-7788 (713) 783-3580  
TBE FIRM REG. No. 280

APPROVED: CLB  
DEVELOPMENT COORDINATOR  
DATE: 2/13/18





- LEGEND**
- C&G NUMBER
  - BACK OF PROP. 6-INCH CONC. CURB
  - PROP. STORM SEWER
  - EX. STORM SEWER
  - EX. SANITARY SEWER
  - EX. WATER LINE
  - BACK OF PROP. 6-INCH CONC. CURB
  - PROP. 5-INCH CONCRETE PAVEMENT
  - PROP. 4-INCH CONCRETE PAVEMENT
  - PROP. 3-INCH CONCRETE PAVEMENT
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  - PROP. 0.000000000000000000000000000000000000047019774032877609375000216909809473468750000083593369512518



**OWNER:** HUNTSAKER HOLDINGS, LLC  
 10000 Highway 100, Suite 400  
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 T: 713.871.5414 F: 713.871.9889

**DESIGNER:** CLARK CONDON  
 4888 Riverstone Blvd.  
 Houston, TX 77054  
 T: 281.449.8700  
 www.clarkcondon.com

**DATE:** 11/15/11  
 ELEVATION: 18.33

# CLARK CONDON

LANDSCAPE ARCHITECTURE  
 10000 Highway 100, Suite 400  
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**CIVIL ENGINEERS**  
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**POOL CONSULTANT**  
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**CONSULTANT**  
**JAMES POLE IRRIGATION**  
 160 W. Oak St. #100  
 Denton, TX 76201  
 T: 940.343.2364

ISSUE

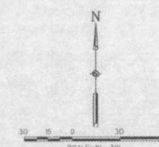
1	85% DD FOR REVIEW	05.19.2017
2	PART 1 100% CD FOR REVIEW	06.06.2017
3	PART 1 100% CD FOR PERMIT	06.30.17
4	PART 1 FOR BIDD	07.27.2017
5	ADDENDUM 01	08.10.2017
6	REVISION 2	12.16.2017
7	PERMIT REVISION 2	01.04.2018

KEY MAP

VERANDA  
 RECREATION CENTER  
 RICHMOND, TX

DRAWN BY:  
 CHECKED BY:  
 DATE:  
 SCALE:  
 PROJECT #:

SHEET  
**C0.07**  
 CIVIL GRADING LAYOUT



## LEGEND

- PROPOSED DIRECTION OF FLOW
- F/F — PROPOSED FINISHED FLOOR
- T/S — PROPOSED TOP OF SIDEWALK/SLAB ELEVATION
- T/C — PROPOSED TOP OF CURB ELEVATION
- T/P — PROPOSED TOP OF PAVEMENT ELEVATION
- M/E — MATCH EXIST PAVEMENT GRADE/FINISHED GRADE
- T/G — PROPOSED TOP OF GRATE ELEVATION
- F/G — PROPOSED FINISHED GRADE ELEVATION
- EXIST. TOP OF CURB/TOP OF PAVEMENT SHOTS
- EXIST. GROUND SHOTS
- EXIST. 6-INCH CONC. CURB
- BACK OF PROP. 6-INCH CONC. CURB
- EDGE OF PROP. PAVEMENT
- PROP. RAMP (TYPE 7 ADA)

FINISHED FLOOR ELEVATION IS AS INDICATED  
 CONTRACTOR IS RESPONSIBLE FOR  
 CONSTRUCTION OF BUILDING PAD.  
 (REFERENCE ARCHITECTURAL FOR  
 CONSTRUCTION DETAILS OF BUILDING PAD).  
 — ALL ELEVATIONS ARE TO TOP OF  
 PAVEMENT UNLESS OTHERWISE NOTED.

## NOTES:

- CONTRACTOR TO PROVIDE PAVEMENT JOINT LAYOUT AS A SUBMITTAL FOR ENGINEER AND ARCHITECT REVIEW AND APPROVAL. 6" AND 8" PAVING JOINT SPACING WILL NOT BE MORE THAN 10'-0" C/C.
- THE JOINTING SHALL BE COORDINATED BY CONTRACTOR TO SUIT HIS VARIOUS CONSTRUCTION NEEDS WITH THE APPROVAL OF THE ENGINEER AND OWNER.
- EXPANSION JOINTS, CONTROL JOINTS AND CONSTRUCTION JOINTS ADJACENT TO A CURB SHOULD EXTEND INTO THE CURB.
- JOINTS SHOULD BE RADIAL TO ALL CURVES AS INDICATED ON THE PAVING DETAILS SHEET.
- CONTRACTOR SHALL MATCH AND CONTINUE ANY EXPANSION JOINTS ALREADY EXISTING AT LOCATIONS WHERE PROPOSED PAVING CONNECTS TO EXISTING STREETS/CONCRETE.
- ALL CONTROL JOINTS MUST BE SAWCUT AND SEALED AS PER THE DETAIL SHEET.
- CONTRACTOR SHALL SET GRADES ON DRIVEWAY SUCH THAT SIDEWALK PORTION OF DRIVEWAY DOES NOT EXCEED A 2% CROSS SLOPE.
- CONTRACTOR SHALL REFERENCE APPROVED LANDSCAPE PLAN.
- CONTRACTOR SHALL ADJUST EXISTING UTILITIES WITHIN THE PAVEMENT AREA TO MATCH PROPOSED PAVEMENT GRADES.



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 9900 Richmond Avenue, Suite 450 N  
 Houston, Texas 77042  
 (713) 783-7788 (713) 783-3585, Fax  
 TRIPLES FROM FIELD, No. 200  
 TRIPLES FROM FIELD, No. 100488

APPROVED: *[Signature]*  
 DEVELOPMENT COORDINATOR  
 DATE: 11/15/11







CONTROL BENCHMARK  
 1985, NEWPORT, 10/1/2017  
 ELEVATION: 69.5, NAVD-83  
 SITE: 1004-6-02  
 DATE: 10/1/2017  
 ELEVATION: 77.26  
 SITE: 1004-6-02  
 DATE: 10/1/2017  
 ELEVATION: 79.23

**CLARK CONDON**  
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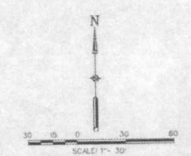
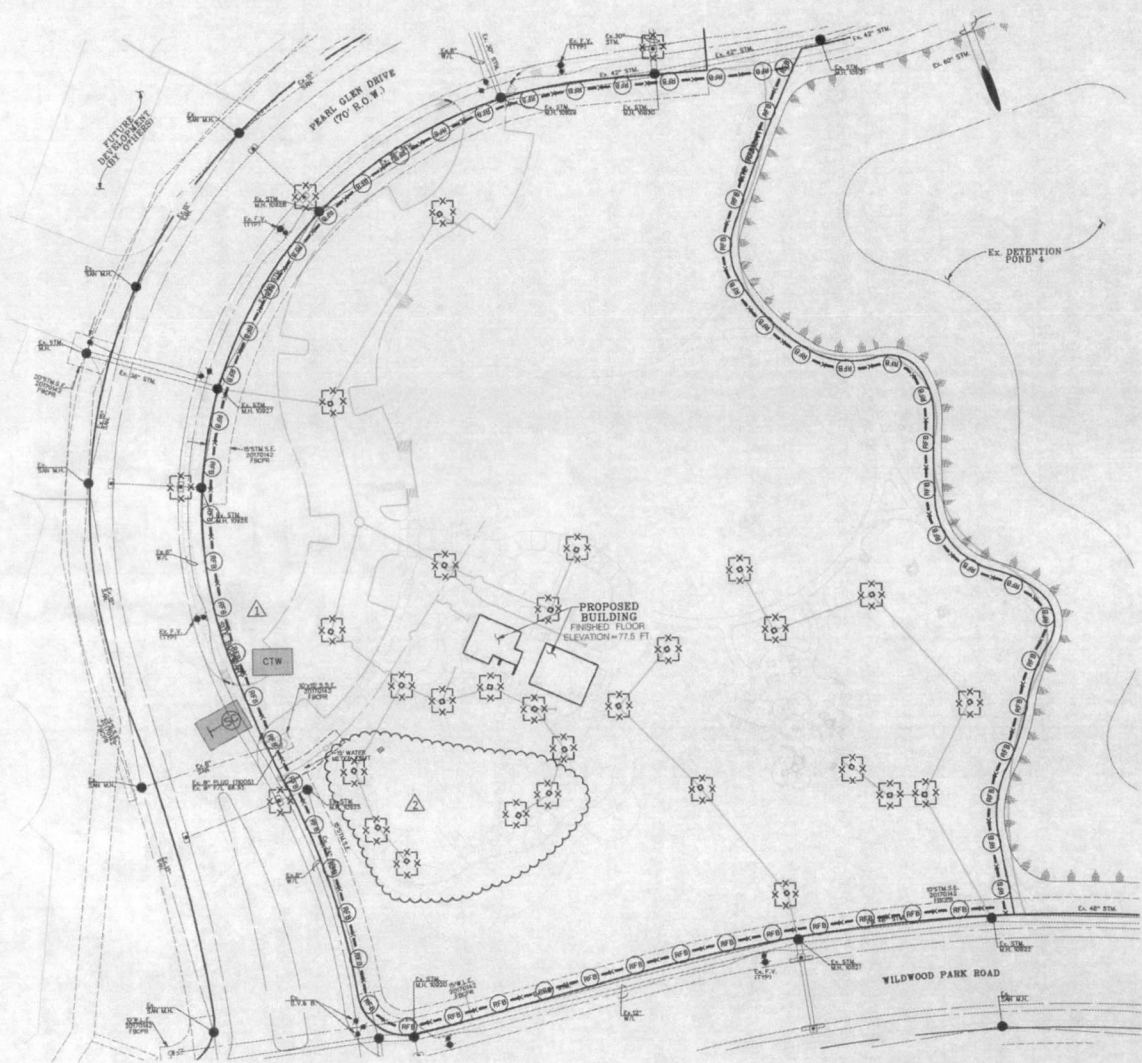
CIVIL ENGINEERS  
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POUL, CORREA & SAMP  
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MEP ENGINEERS  
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STRUCTURAL ENGINEERS  
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CONTRACTOR  
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 Dallas, TX 75201  
 T: 940 243 2364



- LEGEND**
- BACK OF PROP. 6-INCH CONC. CURB
  - PROP. STORM SEWER
  - EX. STORM SEWER
  - FILTER FABRIC FENCE
  - PROPOSED INLET SILT BARRIERS
  - STABILIZED CONSTRUCTION ACCESS
  - CONCRETE TRUCK WASHOUT AREA

- NOTES:**
1. PLACE FILTER FABRIC SILT FENCE 4'-5 FEET AROUND ALL INLETS.
  2. ALL SOIL STOCKPILES OF SIGNIFICANT SIZE SHALL BE ENCOMPASSED BY A SILT FENCE.
  3. ALL PROPOSED SHALES TO BE CONSTRUCTED BY THE CONTRACTOR TO FACILITATE SITE DRAINAGE SHALL HAVE SILT FENCES PLACED ACROSS THE ENTIRE SHALE JUST UPSTREAM OF THE OUTFALL LOCATION.
  4. A VEHICLE WASH-DOWN AREA MAY BE LOCATED BY THE CONTRACTOR TO FACILITATE THE PROJECT. WHILE UTILIZING THE WASH-DOWN AREA, THE CONTRACTOR SHALL PROTECT THE INLET WHERE THE WASH-DOWN WATER IS DIRECTED AS PER APP. TEXT. THE LOCATION OF THE WASH-DOWN IS AT THE CONTRACTOR'S OPTION.
  5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL FACILITIES INDICATED ON THIS PLAN.
  6. THE CONTRACTOR SHALL CONSTRUCT SILT BARRIERS INDICATED ON THIS PLAN IN ADDITION TO CONFORMING WITH ALL ITEMS DISCUSSED IN THE WRITTEN STORMWATER POLLUTION PREVENTION PLAN TEXT.
  7. UPON PROJECT COMPLETION, THE ENTIRE DISTURBED AREA NOT PROPOSED FOR IMMEDIATE RECONSTRUCTION SHALL BE RESEED AS PER THE POLLUTION PREVENTION PLAN.
  8. UPON PROJECT COMPLETION AND FINAL STABILIZATION, ALL SILT FENCE SHALL BE REMOVED AND DISPOSED OF.



ISSUE	DATE	DESCRIPTION
1	05.19.2017	50% DD FOR REVIEW
2	06.08.2017	PART 1 100% DD FOR REVIEW
3	06.08.17	PART 1 100% DD FOR PERMIT
4	07.27.2017	PART 1 FOR BID
5	08.10.2017	ADDENDUM #1
6	12.14.2017	REVISION 2

KEY MAP

VERANDA  
 RECREATION CENTER  
 RICHMOND, TX



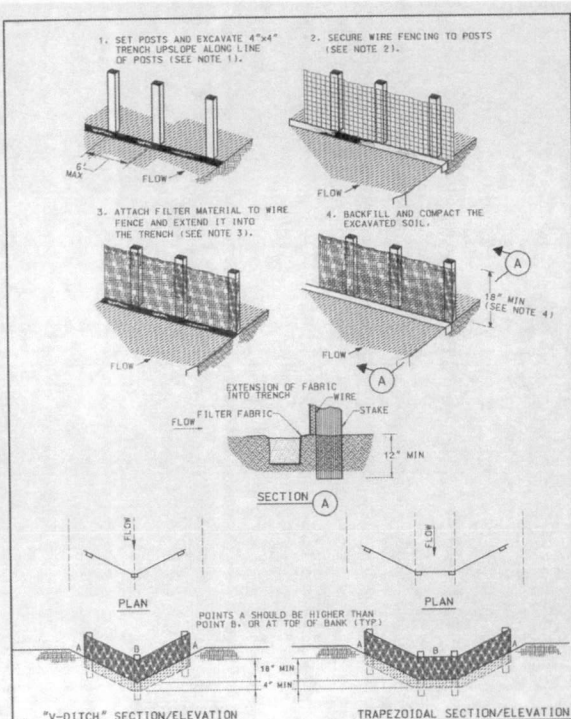
DRAWN BY:  
 CHECKED BY:  
 DATE:  
 SCALE:  
 PROJECT #:

SHEET  
**C0.09**  
 CIVIL POLLUTION  
 PREVENTION LAYOUT

APPROVED: [Signature]  
 DATE: 2/1/18

Engineering and Surveying  
 9900, Richmond Avenue, Suite 450 N  
 Houston, Texas 77042  
 (713) 783-7788 / (713) 783-3000, Fax  
 TPE FIRM REG. No. 290  
 TPE FIRM REG. No. 100496

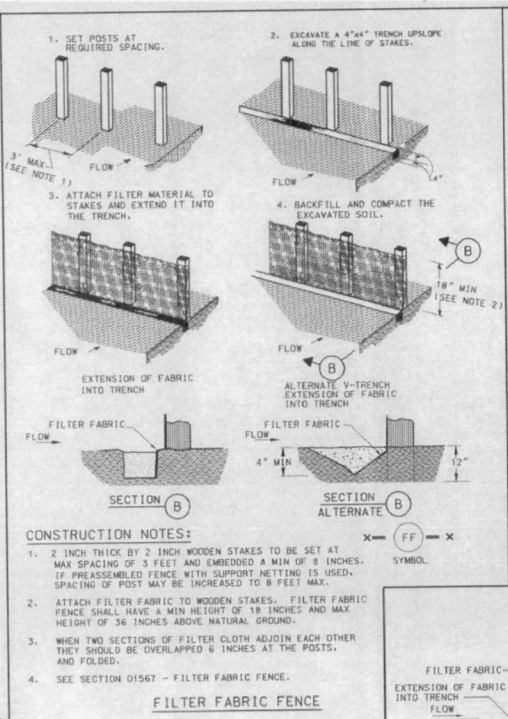
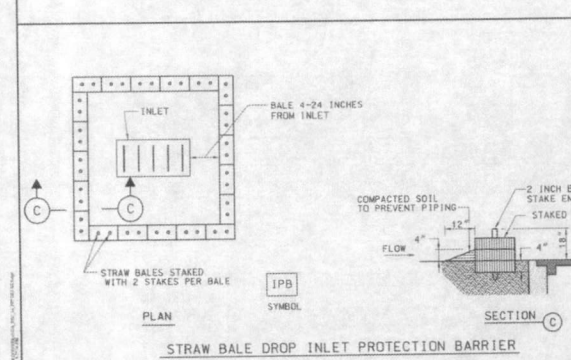




**CONSTRUCTION NOTES:**

1. SET 2 INCH BY 2 INCH WOODEN STAKES SPACED A MAX OF 6 FEET APART AND EMBEDDED A MIN OF 12 INCHES.
2. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH STAPLES.
3. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT TOP AND MIDSECTION.
4. MINIMUM HEIGHT OF FILTER SHOULD BE 18 INCHES AND A MAXIMUM OF 36 INCHES ABOVE NATURAL GROUND.
5. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED 6 INCHES AT THE POSTS AND FOLDED.
6. SEE SECTION 01569 - REINFORCED FILTER FABRIC BARRIER.

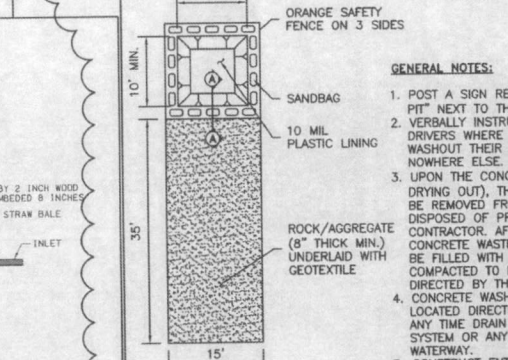
**REINFORCED FILTER FABRIC BARRIER**



**CONSTRUCTION NOTES:**

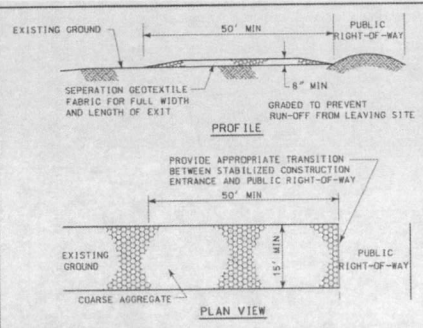
1. 2 INCH THICK BY 2 INCH WOODEN STAKES TO BE SET AT MAX SPACING OF 3 FEET AND EMBEDDED A MIN OF 8 INCHES. IF PREASSEMBLED FENCE WITH SUPPORT NETTING IS USED, SPACING OF POST MAY BE INCREASED TO 6 FEET MAX.
2. ATTACH FILTER FABRIC TO WOODEN STAKES. FILTER FABRIC FENCE SHALL HAVE A MIN HEIGHT OF 18 INCHES AND MAX HEIGHT OF 36 INCHES ABOVE NATURAL GROUND.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHOULD BE OVERLAPPED 6 INCHES AT THE POSTS AND FOLDED.
4. SEE SECTION 01567 - FILTER FABRIC FENCE.

**FILTER FABRIC FENCE**



**GENERAL NOTES:**

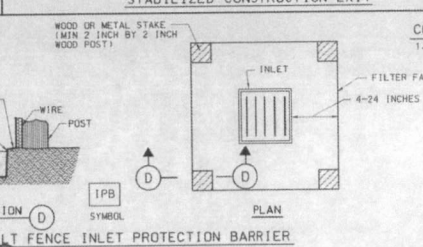
1. POST A SIGN READING "CONCRETE WASHOUT PIT" NEXT TO THE PIT.
2. VERBALLY INSTRUCT THE CONCRETE TRUCK DRIVERS WHERE THE PIT IS AND TO WASHOUT THEIR TRUCKS IN THE PIT AND NOWHERE ELSE.
3. UPON THE CONCRETE SETTING UP (CURING, DRYING OUT), THE CONCRETE WASTE SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF PROPERLY BY THE CONTRACTOR. AFTER REMOVAL OF THE CONCRETE WASTE, THE WASHOUT PIT SHALL BE FILLED WITH CLEAN FILL MATERIAL AND COMPACTED TO IN-SITU CONDITIONS, OR AS DIRECTED BY THE PROJECT SPECIFICATIONS.
4. CONCRETE WASHOUT PITS SHALL NOT BE LOCATED DIRECTLY ADJACENT TO, NOR AT ANY TIME DRAIN INTO THE STORM SEWER SYSTEM OR ANY OTHER SWALE, DITCH, OR WATERWAY.
5. CONSTRUCT ENTRY ROAD AND BOTTOM OF WASHOUT AREA TO SUPPORT EXPECTED LOADINGS FROM TRUCKS EQUIPMENT.



**CONSTRUCTION NOTES:**

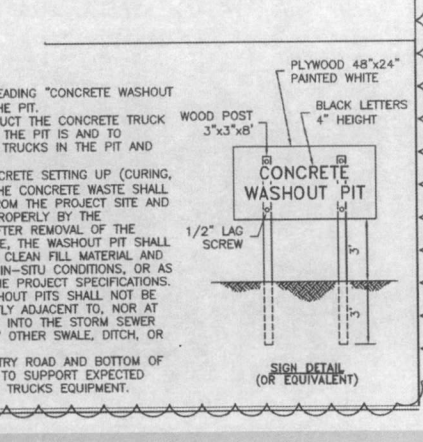
1. LENGTH SHALL BE AS SHOWN ON THE CONSTRUCTION DRAWINGS, BUT NOT LESS THAN 50 FEET.
2. THICKNESS SHALL BE NOT LESS THAN 8 INCHES.
3. WIDTH SHALL BE NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
4. STABILIZATION FOR OTHER AREAS SHALL HAVE THE SAME AGGREGATE THICKNESS AND WIDTH REQUIREMENTS AS THE STABILIZED CONSTRUCTION EXIT, UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION DRAWINGS.
5. STABILIZED AREA MAY BE WIDENED OR LENGTHENED TO ACCOMMODATE A TRUCK WASHING AREA. AN OUTLET SEDIMENT TRAP MUST BE PROVIDED FOR THE TRUCK WASHING AREA.
6. SEE SECTION 01569 - STABILIZED CONSTRUCTION EXIT.
7. STABILIZED CONSTRUCTION EXIT SHALL BE MAINTAINED FREE OF SEDIMENT FOR THE DURATION OF THE PROJECT.

**STABILIZED CONSTRUCTION EXIT**



**CONSTRUCTION NOTE:**

1. SEE CONSTRUCTION NOTES FOR RFB.



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**STRUCTURAL ENGINEER:**  
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**CONSULTANT:**  
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199 91 Oak St. #10  
Dallas, TX 75201  
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**ISSUE**

NO.	DESCRIPTION	DATE
1	ISSUED FOR REVIEW	05.19.2017
2	PART 1 100% CD FOR REVIEW	06.06.2017
3	PART 1 100% CD FOR PERMIT	06.30.17
4	PART 1 FOR BID	07.27.2017
5	ADDENDUM #1	08.08.2017
6	REVISION 2	12.15.2017

**KEY MAP**

**VERANDA**  
RECREATION CENTER  
RICHMOND, TX

**DRAWN BY:**  
**CHECKED BY:**  
**DATE:**  
**SCALE:**  
**PROJECT #:**

**SHEET**  
**C0.10**  
**CIVIL POLLUTION**  
**PREVENTION DETAILS**

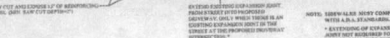
**Costello**  
Engineering and Surveying  
9990 Richmond Avenue, Suite 400  
Houston, Texas 77042  
(713) 783-7788 (713) 783-3550, FAX  
TYPE FIRM REG. NO. 281  
TIDEL FIRM REG. NO. 102466



1. SACK CUT EXISTING CURBS AT EACH END AND KNOCK OUT CURB FROM BEGINNING CUT TO END OF PROPOSED DRIVEWAY.
2. SACK CUT EXISTING PAVEMENT A MINIMUM OF 18" INCHES AWAY FROM BACK OF CURB (GUTTER LINE) AND BREAK OUT TO EXPOSE EXISTING REINFORCEMENT STEEL.
3. COMPACT SUBGRADE FOR PROPOSED DRIVEWAY CONNECTION FROM SACK CUT TO SACK CUT AT EXISTING PAVEMENT TO RIGHT-OF-WAY LINE. COMPACT TO 95% OF STANDARD PROCTER DENSITY (+/- .2% OF 95% OF STANDARD PROCTER). THE COUNTY ENGINEER RESERVES THE RIGHT TO REQUIRE LABORATORY TESTS TO BE CONDUCTED.
4. PLACE AND COMPACT 4" CLEAN BANK SAND.
5. MAINTAIN GUTTER LINE WITH FACE OF EXISTING CURB.
6. PROPOSED DRIVEWAY REINFORCING STEEL IS TO BE TIED TO EXISTING ROADWAY REINFORCING STEEL WITH A MINIMUM LAP OF 12 INCHES.
7. PROPOSED DRIVEWAY REINFORCING STEEL IS TO BE #4 DEFORMED REINFORCING BARS (ASTM A615 GRADE 60, UNLESS NOTED), SPACED AT 24 INCHES C.C., EACH WAY, WITH 12 INCHES MINIMUM LAP (33" IF WE USE AS ALTERNATE ) FROM PROPOSED SACK CUT TO RIGHT-OF-WAY LINE.
8. PROPOSED DRIVEWAY, CURBS, GUTTER LINE, AND GRADE SHALL MATCH EXISTING STREET.
9. PROPOSED DRIVEWAY SHALL BE CONSTRUCTED WITH PORTLAND CEMENT CONCRETE, CLASS "A" STRUCTURAL (REFER TO SPECIFICATION 03301), 7 INCHES THICK FROM PROPOSED SACK CUT TO RIGHT-OF-WAY LINE (PROPERTY LINE).
10. PROPOSED SIDEWALK SHALL BE CONSTRUCTED WITH PORTLAND CEMENT CONCRETE, CLASS "A" STRUCTURAL (REFER TO SPECIFICATION 03301), 4 1/2 INCHES THICK AND 5 FEET WIDE (SEE ATTACHED DRAWING NO. 244 FOR ADDITIONAL INFORMATION AND DETAILS).

DRAWN BY: L. BRDECKA DATE DRAWN: 2-1-94	REVISED BY: N. HATCHER DATE REVISED: 1-1-16
APPROVED BY: L. HOOD DATE: 2-1-94	DRAWING NO. FBC-025B

A. USE FOR ALL PROPOSED EXISTING CURB REMOVAL FOR DRIVEWAYS (PLAN VIEW NOT TO SCALE)

[illegible]

SIDEWALKS & DRIVEWAYS ON CURB TYPE STREETS COMMERCIAL AREA	DRAWN BY: L. BRIDECKA DATE DRAWN: 2-1-84	REVISED BY: N. HATCH DATE REVISED: 1-1-86
	APPROVED BY: L. HOOD DATE: 2-1-84	DRAWING NO. FBC-021

ENGINEERING DEPARTMENT

ENGINEERING DEPARTMENT

ENGINEERING DEPARTMENT

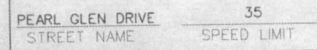


1. Contractor shall maintain all traffic traffic control signs in accordance with state 111 of the Traffic Manual and 111 of Traffic Control signs in 111 of the Traffic Manual and 111 of the Traffic Manual.
2. Contractor shall be responsible for maintaining the signs in accordance with the Traffic Manual and 111 of the Traffic Manual.
3. The contractor shall be responsible for adjusting the signs in accordance with the Traffic Manual and 111 of the Traffic Manual.
4. The contractor shall be responsible for adjusting the signs in accordance with the Traffic Manual and 111 of the Traffic Manual.
5. The contractor shall be responsible for adjusting the signs in accordance with the Traffic Manual and 111 of the Traffic Manual.
6. The contractor shall be responsible for adjusting the signs in accordance with the Traffic Manual and 111 of the Traffic Manual.
7. The contractor shall be responsible for adjusting the signs in accordance with the Traffic Manual and 111 of the Traffic Manual.
8. The contractor shall be responsible for adjusting the signs in accordance with the Traffic Manual and 111 of the Traffic Manual.
9. The contractor shall be responsible for adjusting the signs in accordance with the Traffic Manual and 111 of the Traffic Manual.
10. The contractor shall be responsible for adjusting the signs in accordance with the Traffic Manual and 111 of the Traffic Manual.

1. Plastic drums on merge/lane  $\geq 30$  ft-c with shaven sign  $\geq 40$  ft-c and type "A" warning sign for overnight closure.
2. Plastic drums on downstream lane  $\geq 30$  ft-c.
3. Plastic drums on exit  $\geq 5$  ft-c.
4. Plastic drums on tangent  $\geq 30$  ft-c with vertical sign  $\geq 60$  ft-c and type "A" warning sign  $\geq 70$  ft-c for overnight closure.
5. Plastic drums in transition zone  $\geq 20$  ft-c with vertical sign  $\geq 40$  ft-c and type "A" warning sign  $\geq 40$  ft-c for overnight closure.
6. Concrete traffic barrier (CSB) or low grade concrete traffic barrier (apex with reflections)  $\geq 10$  ft-c.

If pavement drag is more than twice the width of the lane, then an traffic control sign that supersedes the above openings.

\* ENGINEER TO STRIKE THROUGH ALL SPEED LIMITS NOT APPLICABLE



CITY OF HOUSTON	
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING	
TYPICAL TRAFFIC CONTROL	
TYPICAL RIGHT/LEFT CLOSURE	
OF A MULTILANE STREET	
SCALE: PLAN 1/4" = 1'-0"	REFLECTOR SIZE: 12" x 12"
APPROVED BY:	APPROVED BY:
CITY ENGINEER	SUPPLEMENTAL INSTRUCTIONS
OFF DATE: DATE	DWG NO:

LANDSCAPE ARCHITECTURE  
10401 Stella Link Dr.  
Houston, TX 77025  
T: 713.871.1414 F: 713.871.0609

ARCHITECT  
STUDIO RED ARCHITECTS

9990 Richmond Ave  
Houston, TX 77045  
T: 713 783 7788

MEP ENGINEERS  
SALAS O'BRIEN  
10930 West Sam Houston Pkwy

10401 Westoffice Drive  
Houston, TX 77042  
T: 281 664 8440



2	PART 1 100% DD FOR REVIEW	OK
3	PART 1 100% CD FOR PERMIT	OK

REVISION 2

- KEY MAP

DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET 22 11

PORT BEND COUNTY  
DRIVEWAY DETAIL &  
TRAFFIC CONTROL

Engineering and Surveying  
8990 Richmond Avenue, Suite 450  
Houston, Texas 77042

TABLE 1. FROM REE, 1987, 1988



SEAL



ISSUE

1	60% CD FOR REVIEW	08.10.2017
2	PART 1 100% CD FOR REVIEW	08.08.2017
3	PART 1 100% CD FOR PERMIT	08.30.17
4	PART 1 FOR BE	07.27.2017
5	ADDENDUM 01	08.10.2017
6	REVISION 2	12.15.2017

KEY MAP

VERANDA  
RECREATION CENTER  
RICHMOND, TX

DRAWN BY:

CHECKED BY:

DATE:

SCALE:

PROJECT:

SHEET

C0.12

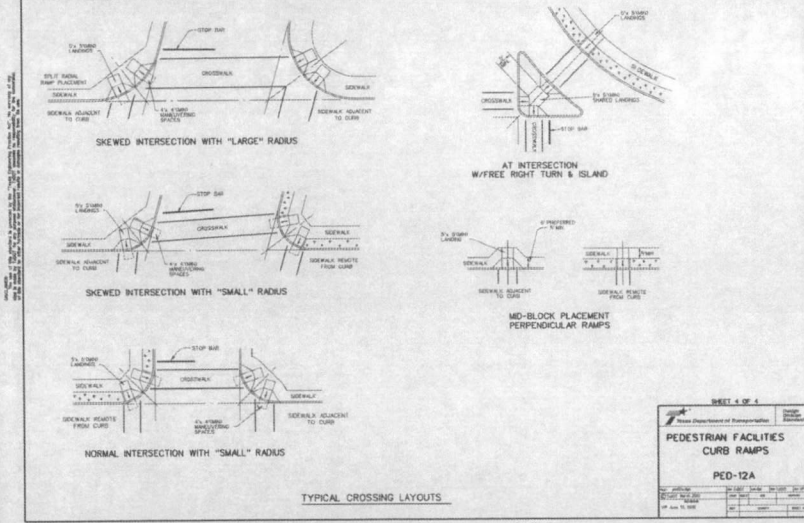
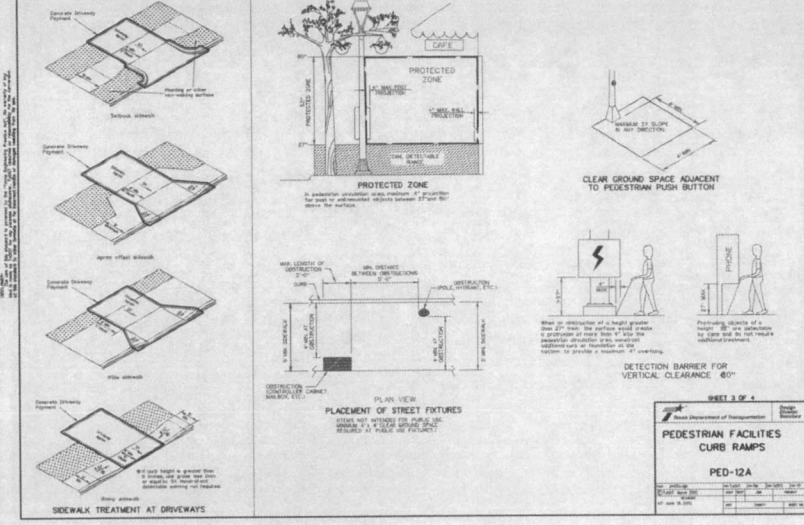
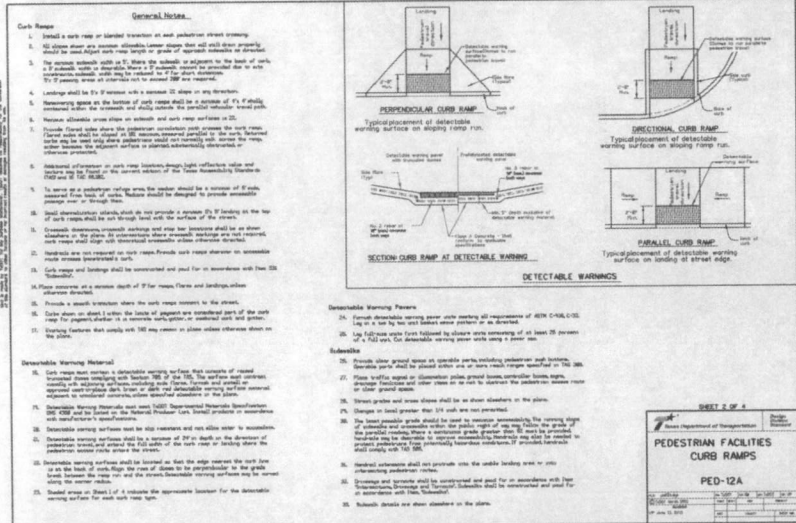
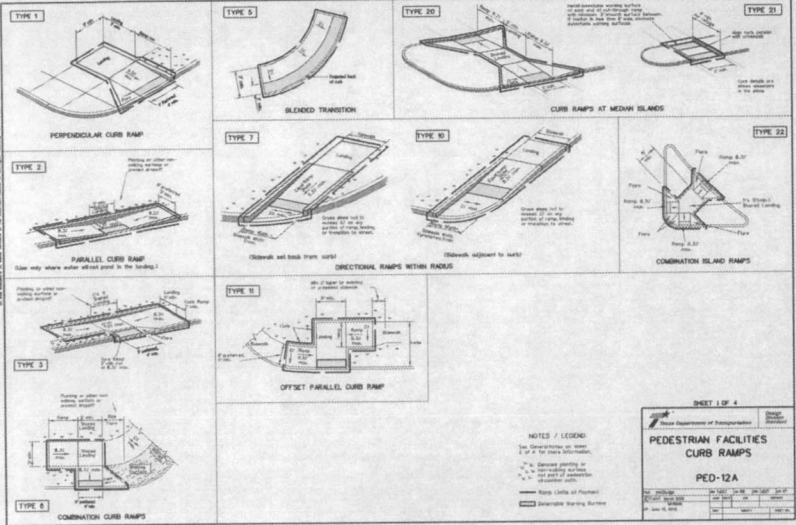
"TxDOT-PEDESTRIAN  
FACILITIES CURB RAMPS  
(PED-12A)"

Costello



Engineering and Surveying  
9990 Richmond Avenue, Suite 450 N  
Houston, Texas 77042  
(713) 783-7788 (713) 783-5580, Fax  
TDP'S FIRM REG. NO. 289  
TDP'S FIRM REG. NO. 100496

APPROVED: [Signature]  
DATE: [Signature]





[illegible]

3-10. CONSTRUCTION SHALL PROVIDE ADEQUATE CONCRETE SURFSET BUSHINGS AT ALL FORCE MAIN JOINTS.

3-11. AT ALL LOTS WHERE TOP OF PIPE IS GREATER THAN 8-FEET BELOW FINISHED GRADE, PROVIDE A DRAINAGE SAFETY RISER AND A COVER. RISERS AND COVERS SHALL BE EXTENDED TO WITHIN 4 FEET OF FINISHED GRADE. STORM SEWER SHALL BE MARKED FOR LOCATION AS INDICATED ON THE DETAILS.

3-12. FORCE MAINS SHALL BE LAYED WITH MINIMUM SLOPE LAD AT 4" PER 100 FEET. THE DETENTION TIME MUST EXCEED THE TIME RECOMMENDED IN THE 1.5 FOOT MIN. LETTERS, REPLACED CONTINUOUSLY FOR THE EXISTING LENGTH OF THE FORCE MAIN.

**STORM SEWER NOTES**

**SPECIAL NOTES**

SW-1. BEFORE THE INITIAL WALK-THROUGH IS COMPLETED:

SW-2. RESIDUAL BIOLOGICAL RESULTS FOR PUBLIC WATER SAMPLES MUST BE SUBMITTED TO PUBLIC WORKS

SW-3. SATISFACTORY WALKING, HYDROSTATIC, LEAKAGE, AND THE WALKABLE WALKER TEST MUST BE COMPLETED

SW-4. THE VERMIL SYSTEM MUST BE COMPLETELY CLEARED FOR A LAWN INSPECTION BEFORE ON THE DAY OF THE

rust was and durable was to indicate the formula is the faster on the phone

SALE. CEMENT COLLECTED FROM NATIONAL BULK (ENTER A NUMBER OF TWENTY-FOUR FIGURES (24)) FROM THE OUTSIDE WALL OF ALL STRUCTURES. (2 BAGS OF CEMENT PER TON OF SHALE)

---

\_\_\_\_\_



# CLARK CONDON

LANDSCAPE ARCHITECTURE  
19011 Maple Lane Dr.  
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T: 713 871 1457 / 713 871 0888

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BEC-LIN ENGINEERING  
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CONSULTANT  
JAMES POLE IRRIGATION  
100 W Oak St. #106  
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SEAL



ISSUE

NO.	DESCRIPTION	DATE
1	50% DD FOR REVIEW	05.18.2017
2	PART 1 100% DD FOR REVIEW	06.08.2017
3	PART 1 100% DD FOR PERMIT	06.30.17
4	PART 1 FOR BID	07.27.2017
5	ADDENDUM #1	08.10.2017
6	REVISION 2	12.15.2017

KEY MAP

VERANDA  
RECREATION CENTER  
RICHMOND, TX

DRAWN BY:  
CHECKED BY:  
DATE:  
SCALE:  
PROJECT #:

SHEET  
C0.14  
CITY OF RICHMOND DETAILS



Engineering and Surveying  
9060 Richmond Avenue, Suite 450 N  
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(713) 783-7788 / (713) 783-5553, Fax  
TBP# FIRM REG. NO. 290  
TBP# FIRM REG. NO. 100496

APPROVED  
DATE: 12/15/17

**1. WATER LINE BEDDING**

MINIMUM BEDDING SHALL BE 18" OF 1/2" SAND OR LEAST EQUIVALENT. BEDDING SHALL BE PLACED IN LAYERS OF 6" OR LESS. BEDDING SHALL BE COMPACTED TO 95% RELATIVE DENSITY. BEDDING SHALL BE PLACED UNDER AND WITHIN 5' OF THE PIPE. BEDDING SHALL BE PLACED UNDER AND WITHIN 5' OF THE PIPE. BEDDING SHALL BE PLACED UNDER AND WITHIN 5' OF THE PIPE.

**2. THRUST BLOCK**

THRUST BLOCK SHALL BE 18" OF 1/2" SAND OR LEAST EQUIVALENT. THRUST BLOCK SHALL BE PLACED UNDER AND WITHIN 5' OF THE PIPE. THRUST BLOCK SHALL BE PLACED UNDER AND WITHIN 5' OF THE PIPE. THRUST BLOCK SHALL BE PLACED UNDER AND WITHIN 5' OF THE PIPE.

**3. GATE VALVE AND BOX**

MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE. MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE. MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE. MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE.

**4. FIRE HYDRANT**

MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE. MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE. MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE. MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE.

**5. 2" BLOWOFF VALVE ASSEMBLY**

MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE. MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE. MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE. MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE.

**6. WATER PIPE OFFSET ASSEMBLY**

MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE. MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE. MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE. MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE.

**7. WATER LINE CASING**

MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE. MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE. MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE. MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE.

**8. VALVE LOCATION PLAN**

MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE. MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE. MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE. MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE.

**9. BLOWOFF LOCATION PLAN**

MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE. MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE. MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE. MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE.

**10. AIR RELEASE VALVE**

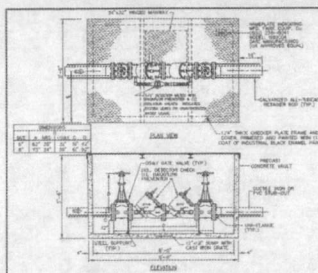
MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE. MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE. MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE. MINIMUM WALL THICKNESS SHALL BE 1/2" FOR 12" PIPE.

CITY OF RICHMOND  
STANDARD CONSTRUCTION DETAILS  
WATER-1

SCALE: HORIZONTAL 1" = 100' VERTICAL 1" = 10'

DATE: 7/26/17  
JOB NO.  
SHEET NO.  
R-2-17

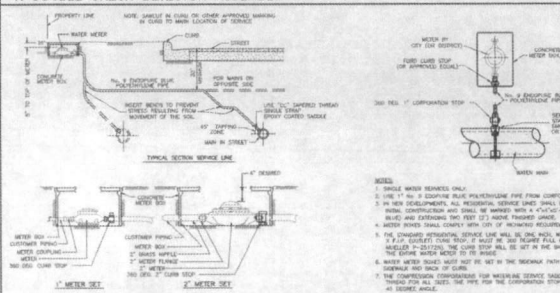




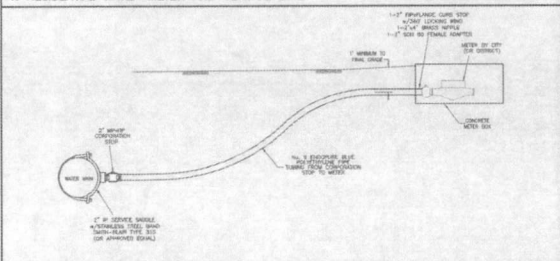
**1. DOUBLE CHECK DETECTOR ASSEMBLY**

Specifications: Class 150 cast iron with design strength of 4000 psi at 250 deg. F. and is of maximum application in fire and non-fire service. It shall be installed in a vertical position. It shall be installed in a vertical position. It shall be installed in a vertical position.

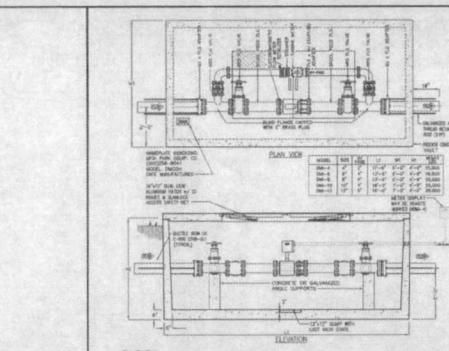
#### 1. DOUBLE CHECK DETECTOR ASSEMBLY



#### 4. RESIDENTIAL WATER METER AND SERVICE LINE



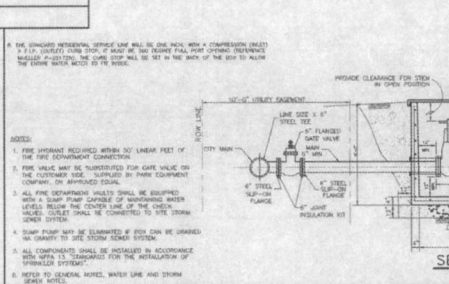
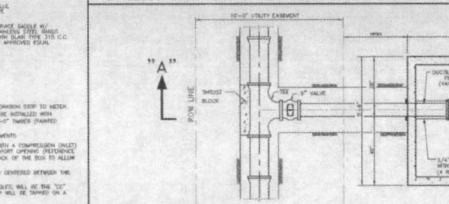
#### 5. 2" WATER SERVICE CONNECTION



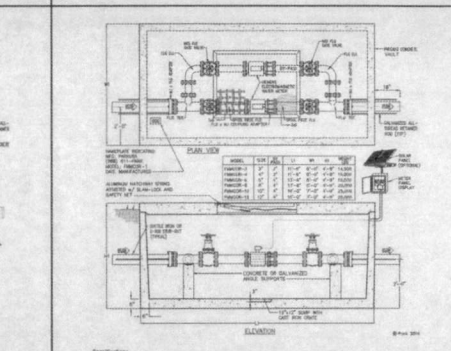
**2. ELECTROMAGNETIC WATER METER WITH METERED BY-PASS**

Specifications: Class 150 cast iron with design strength of 4000 psi at 250 deg. F. and is of maximum application in fire and non-fire service. It shall be installed in a vertical position. It shall be installed in a vertical position. It shall be installed in a vertical position.

#### 2. ELECTROMAGNETIC WATER METER WITH METERED BY-PASS



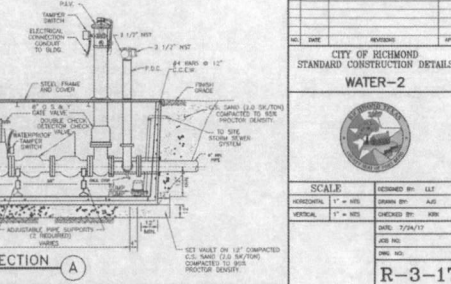
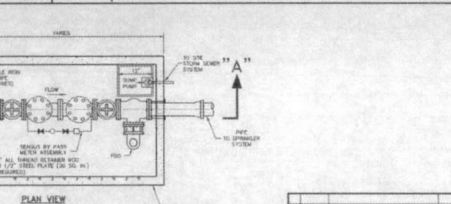
#### 6. TYPICAL FIRE SERVICE METER



**3. FIRE/DOMESTIC WATER MAG METER ASSEMBLY 3" THRU 12"**

Specifications: Class 150 cast iron with design strength of 4000 psi at 250 deg. F. and is of maximum application in fire and non-fire service. It shall be installed in a vertical position. It shall be installed in a vertical position. It shall be installed in a vertical position.

#### 3. FIRE/DOMESTIC WATER MAG METER ASSEMBLY 3" THRU 12"



### CLARK CONDON

LANDSCAPE ARCHITECTURE  
14010 Bella Vista Dr.  
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CLARK  
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SEED ENGINEERS  
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Houston, TX 77042  
713 884 1900

STRUCTURAL ENGINEERS  
BEC-LIN ENGINEERING  
15401 Westchase Drive  
Houston, TX 77042  
713 864 8400

CONSULTANT  
JAMES POLE IRRIGATION  
100 W Oak St. #106  
Houston, TX 77001  
713 840 2434

SEAL



ISSUE

1	50% DD FOR REVIEW	05.18.2017
2	PART 1 100% DD FOR REVIEW	08.04.2017
3	PART 1 100% CD FOR PERMIT	08.30.17
4	PART 1 FOR BID	07.27.2017
5	ADDENDUM 01	08.10.2017
6	REVISION 2	12.15.2017

KEY MAP

VERANDA  
RECREATION CENTER  
RICHMOND, TX

DRAWN BY:  
CHECKED BY:  
DATE:  
SCALE:  
PROJECT #

SHEET  
**C0.15**  
CITY OF RICHMOND DETAILS



Engineering and Surveying  
8050 Richmond Avenue, Suite 450 N  
Houston, Texas 77042  
(713) 783-7788 (713) 783-3580, Fax  
TBP'S FIRM REG. NO. 000  
TBP'S FIRM REG. NO. 10488

APPROVED: *[Signature]*  
DATE: 11/15/17



# CLARK CONDON

LANDSCAPE ARCHITECTURE  
18011 Bella Lisa Dr.  
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T: 713 871 5414 F: 713 871 0880

CLIENT:  
HVC88 HOLDING, LLC  
4888 Riverstone Blvd.  
Houston, TX 77049  
T: 281 449 8700  
www.hvc88development.com

ARCHITECT:  
STUDIO RED ARCHITECTS  
1320 McGowan St.  
Houston, TX 77004  
T: 713 822 8333

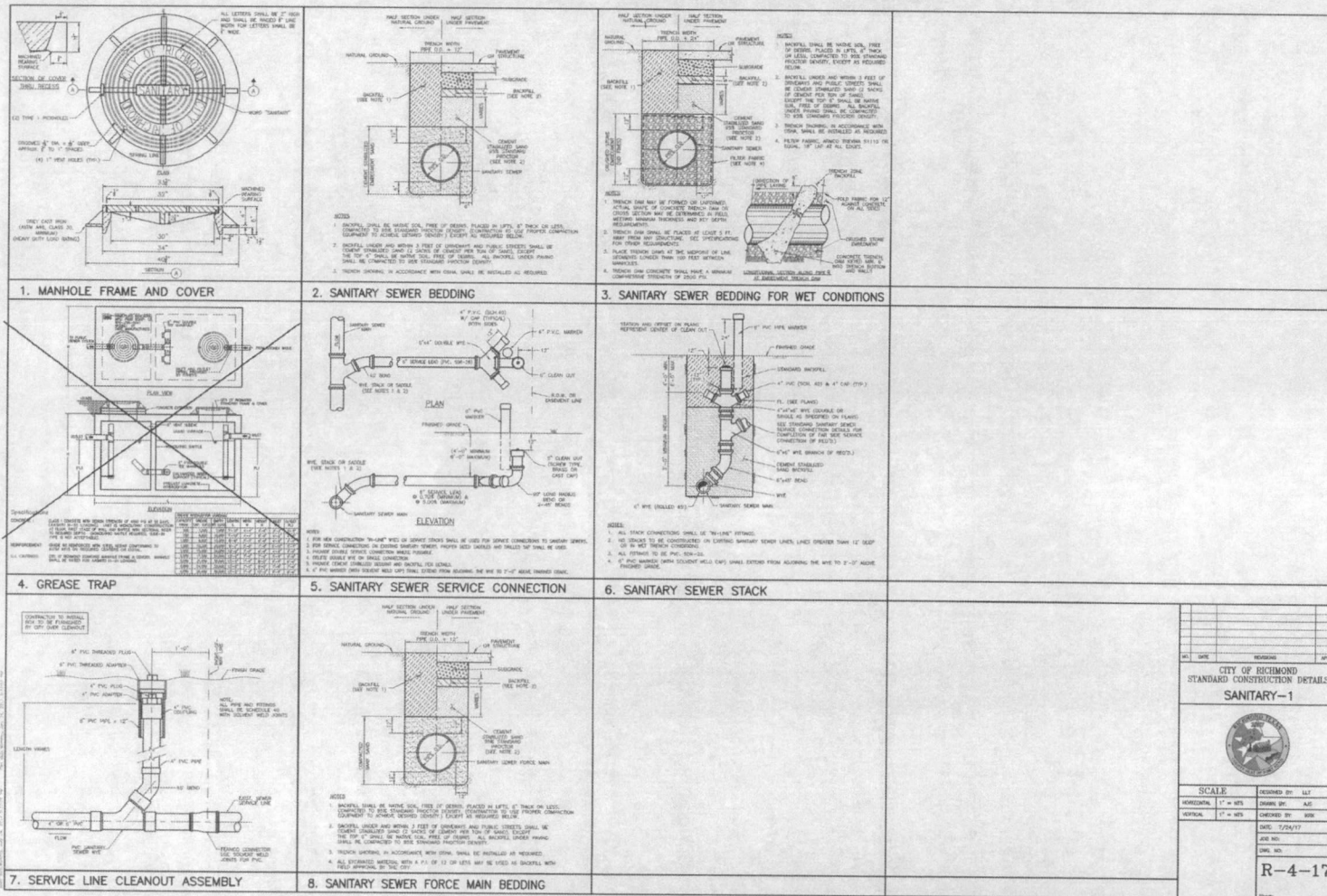
CIVIL ENGINEER:  
COSTELLO, INC.  
9900 Richmond Ave.  
Houston, TX 77048  
T: 713 783 7788

POOL CONSULTANT:  
COUNSILMAN HUNSAKER  
3428 North Central Expressway Ste. 300  
Richardson, TX 75080  
T: 972 370 3740

MEP ENGINEER:  
SALAS O'BRIEN  
10930 West Sam Houston Pkwy  
Houston, TX 77064  
T: 281 664 1500

STRUCTURAL ENGINEER:  
BEG-LIN ENGINEERING  
16401 Westchase Drive  
Houston, TX 77042  
T: 281 664 6440

CONCRETE SPECIALIST:  
JAMES POLE IRRIGATION  
108 W Oak St. #108  
Denton, TX 76201  
T: 840 243 2364



SEAL



ISSUE

NO.	DATE	DESCRIPTION	BY
1	05.19.2017	SUB DD FOR REVIEW	
2	06.08.2017	PART 1 100% DD FOR REVIEW	
3	06.30.17	PART 1 100% CD FOR PERMIT	
4	07.27.2017	PART 1 FOR BID	
5	08.15.2017	ADDENDUM 01	
6	12.15.2017	REVISION 2	

KEY MAP

NO.	DATE	REVISION	APP.
CITY OF RICHMOND STANDARD CONSTRUCTION DETAILS SANITARY-1			
SCALE		DESIGNED BY: GLT	
HORIZONTAL: 1" = 40'		CHECKED BY: AUC	
VERTICAL: 1" = 4'		DRAWN BY: GMS	
DATE: 12/20/17		JOB NO.	
DWN. NO.		REV. NO.	
R-4-17			

VERANDA  
RECREATION CENTER  
RICHMOND, TX

DRAWN BY:  
CHECKED BY:  
DATE:  
SCALE:  
PROJECT #

SHEET  
C0.16  
CITY OF RICHMOND DETAILS



Engineering and Surveying  
9900 Richmond Avenue, Suite 450 N  
Houston, Texas 77042  
(713) 783-7788 (713) 783-3080, Fax  
BUREAU FIRM REG. No. 780  
TDP'S FIRM REG. No. 10406

APPROVED:   
DATE: 12/15/17



# CLARK CONDON

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10401 Santa Linda Dr.  
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PEEL CONSULTANTS  
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100 W Oak St. #106  
Denton, TX 76201  
T: 940 243 2264



DATE	REVISION	BY
05.19.2017	1	30% CD FOR REVIEW
06.06.2017	2	PART 1 100% CD FOR REVIEW
06.30.17	3	PART 1 100% CD FOR PERMIT
07.27.2017	4	PART 1 FOR BD
08.10.2017	5	ADDENDUM 01
12.15.2017	6	REVISION 2

KEY MAP

VERANDA  
RECREATION CENTER  
RICHMOND, TX

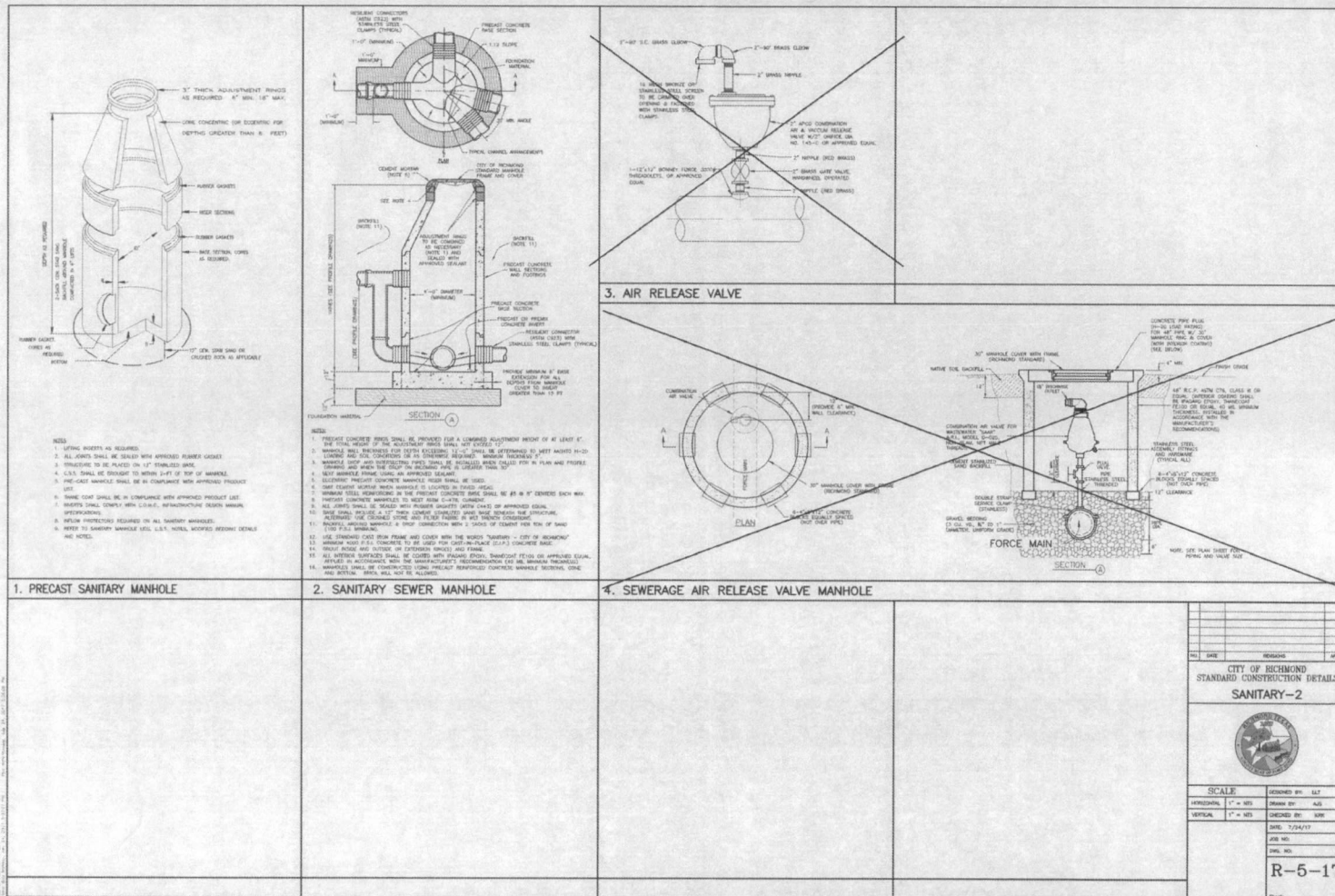
DRAWN BY:  
CHECKED BY:  
DATE:  
SCALE:  
PROJECT #

SHEET  
C0.17  
CITY OF RICHMOND DETAILS



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9900 Richmond Avenue, Suite 450 N  
Houston, Texas 77042  
(713) 783-7788 (713) 783-5560; FAX  
TBP&P FIRM REG. NO. 290  
TBP&P FIRM REG. NO. 100486

APPENDIX  
DEVELOPMENT CONSTRUCTION  
DATE: 3/21/17









# CLARK CONDON

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2425 North Central Expressway Ste. 389  
Richardson, TX 75080  
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Houston, TX 77064  
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STRUCTURAL ENGINEER  
BEC-LIN ENGINEERING  
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T: 281.664.8445

CONSULTANT  
JAMES POLE IRRIGATION  
100 W Oak St. #106  
Denton, TX 76201  
T: 840.343.2564

SEAL



ISSUE

1	30% DD FOR REVIEW	05.19.2017
2	PART 1 100% DD FOR REVIEW	06.08.2017
3	PART 1 100% DD FOR PERMIT	06.30.17
4	PART 1 FOR BID	07.27.2017
ADDITIONAL D1		08.10.2017
REVISION 2		12.15.2017

KEY MAP

VERANDA  
RECREATION CENTER  
RICHMOND, TX

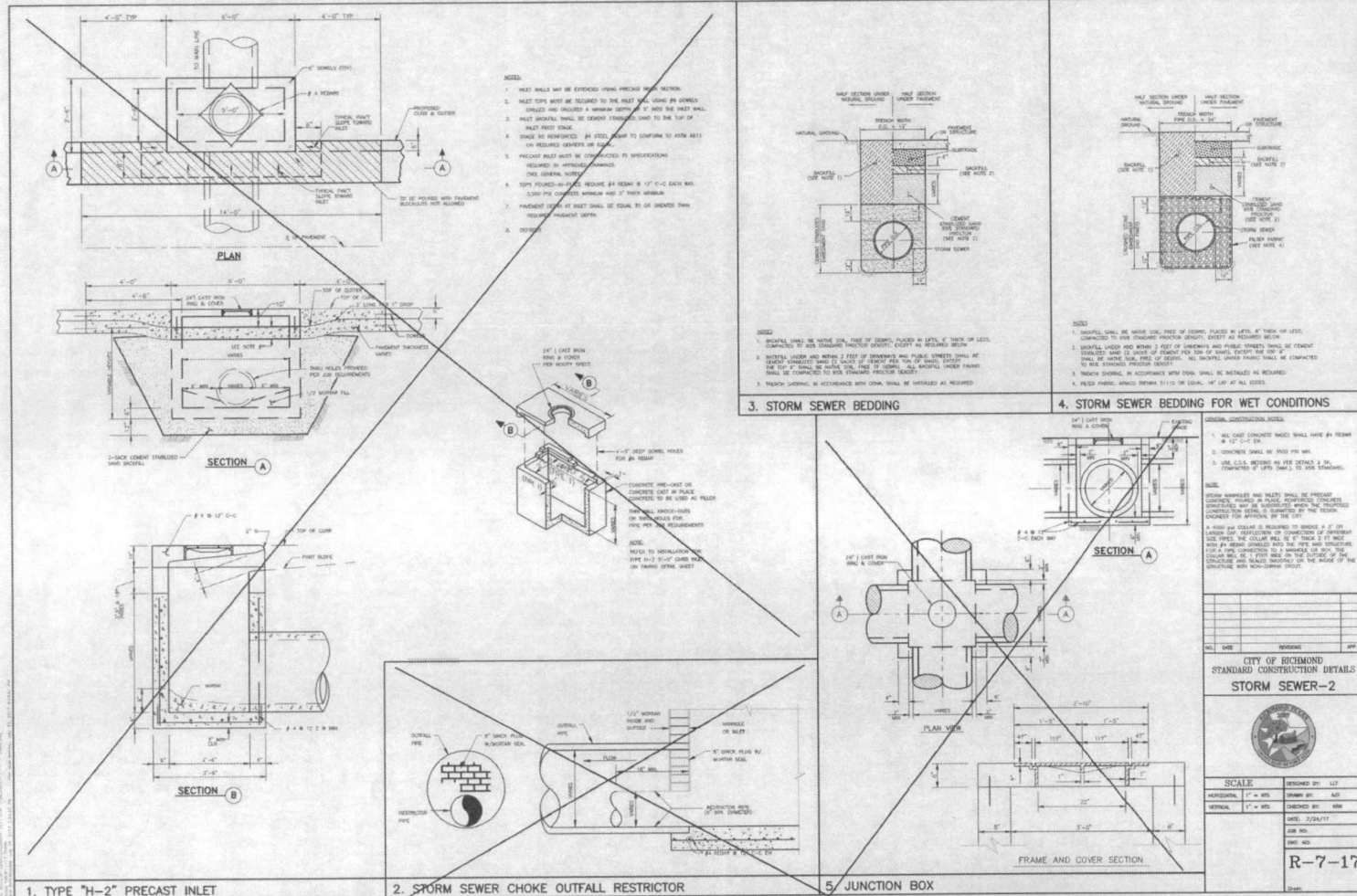
DRAWN BY:  
CHECKED BY:  
DATE:  
SCALE:  
PROJECT #:

SHEET  
C0.19  
CITY OF RICHMOND DETAILS





Engineering and Surveying  
9900 Richmond Avenue, Suite 450 N  
Houston, Texas 77042  
(713) 765-7788 (713) 765-5980 Fax  
TYPE FIRM REG. NO. 280  
TOLPLS FIRM REG. NO. 100480

APPROVED: [Signature]  
DATE: 7/11/18  
DEVELOPMENT COORDINATOR





ISSUE		
1	50% DD FOR REVIEW	05.19.2017
2	PART 1 100% DD FOR REVIEW	06.08.2017
3	PART 1 100% CD FOR PERMIT	06.30.17
4	PART 1 FOR BID	07.27.2017
	ADDENDUM 01	08.10.2017
	REVISION 2	12.15.2017

12

- VERANDA RECREATION CENTER  
RICHMOND, TX

DRAWN BY:  
CHECKED BY:  
DATE:  
SCALE:  
PROJECT #:

SHEET  
**C0.20**  
CITY OF RICHMOND DETAILS

**Costello**

Engineering and Surveying  
9990 Richmond Avenue, Suite 450 N  
Houston, Texas 77042  
(713) 783-7788 (713) 783-3580, Fax  
TBPE FIRM REG. No. 280  
TBPLS FIRM REG. No. 100486

APPROVED: CAG  
DEVELOPMENT COORDINATOR  
DATE: 2/13/14

[illegible]



# CLARK CONDON

LANDSCAPE ARCHITECTURE  
10001 TRAIL LANE DR.  
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T: 713.871.1447 F: 713.871.0888

CLIENT  
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Houston, TX 77056  
T: 281.448.8700  
www.photomicrodevelopment.com

ARCHITECT  
STUDIO RED ARCHITECTS  
1328 Richmond St.  
Houston, TX 77004  
T: 713.622.6333

CIVIL ENGINEERS  
CASTELLO INC.  
9990 Richmond Ave.  
Houston, TX 77056  
T: 713.783.7785

POOL CONSULTANT  
COUNSLMAN HUNSAKER  
2425 North Central Expressway Ste.300  
Richardson, TX 75080  
T: 972.310.5140

MFP ENGINEERS  
SALAS O'BRIEN  
10030 West Sage Houston Plany  
Houston, TX 77064  
T: 281.664.1900

MECHANICAL ENGINEER  
BECKMAN ENGINEERING  
10401 Westoffice Drive  
Houston, TX 77042  
T: 281.664.6440

CONSULTANT  
JAMES POLE IRRIGATION  
100 W Oak St. #100  
Denton, TX 76201  
T: 840.343.2564

SEAL



REVISION

1	SOA CD FOR REVIEW	06.10.2017
2	PART 1 100% CD FOR REVIEW	06.08.2017
3	PART 1 100% CD FOR PERMIT	06.30.17
4	PART 1 FOR BID	07.27.2017
5	ADDENDUM 01	08.15.2017
6	REVISION 2	12.15.2017

KEY MAP

VERANDA  
RECREATION CENTER  
RICHMOND, TX

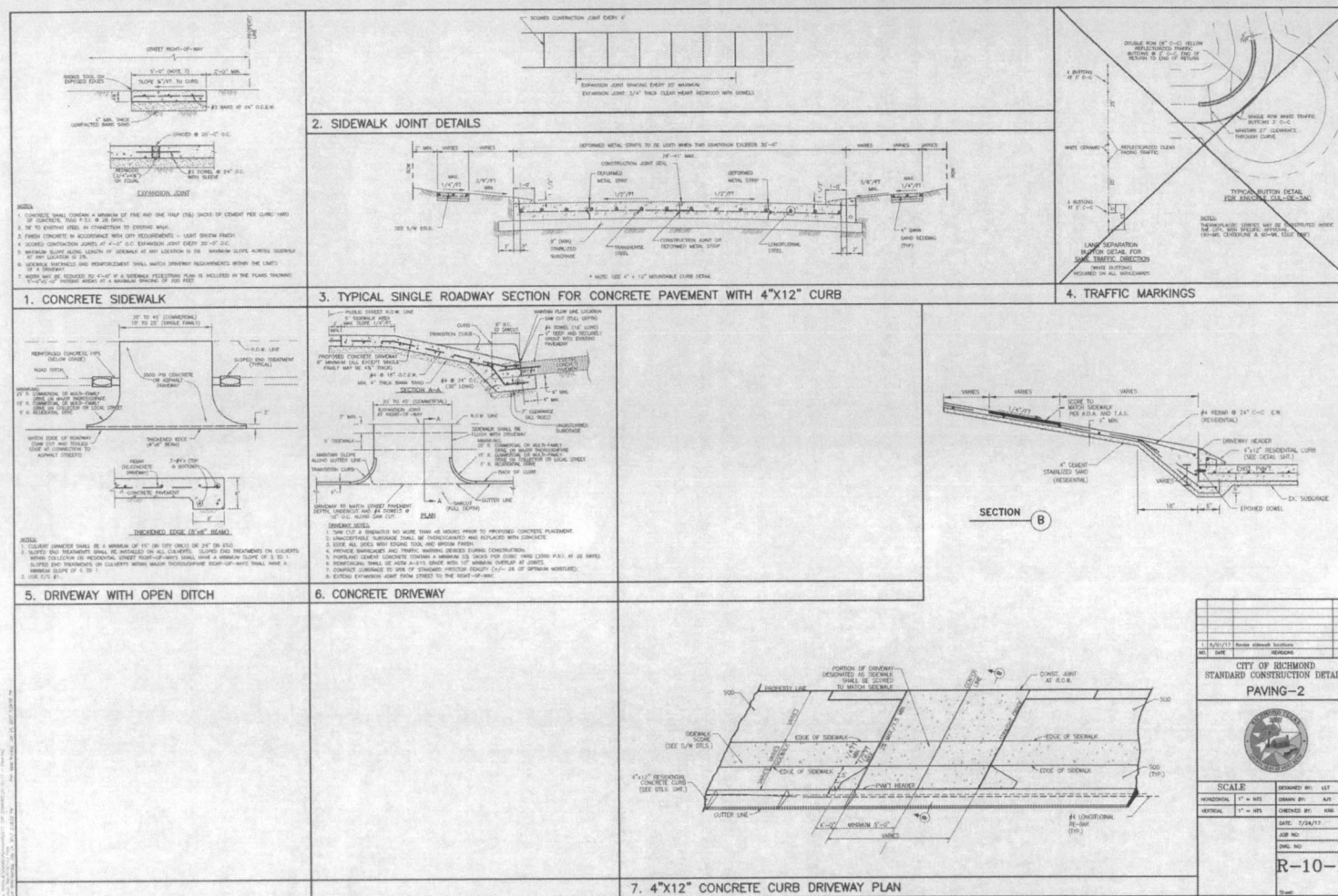
DRAWN BY:  
CHECKED BY:  
DATE:  
SCALE:  
PROJECT #:

SHEET  
C0.21  
CITY OF RICHMOND DETAILS



Engineering and Surveying  
6990 Richmond Avenue, Suite 650 N  
Houston, Texas 77042  
(713) 763-7788 (713) 763-3080 Fax  
TBPB FIRM REG. No. 380  
TBPB FIRM REG. No. 100486

APPROVED: [Signature]  
DATE: 2/12/17  
DEVELOPMENT CONSULTANT





# CLARK CONDON

LANDSCAPE ARCHITECTURE  
1322 Richmond St.  
Houston, TX 77004  
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HVS589 HOLDING, LLC  
4865 Riverstone Blvd.  
Missouri City, TX 77459  
T: 281.449.8700  
www.hvs589.com

ARCHITECT  
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Houston, TX 77004  
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ENGINEER  
COSTELLO INC.  
9900 Richmond Ave.  
Houston, TX 77042  
T: 713.783.7788

POOL CONSULTANT  
COUNSLMAN HUNSAKER  
2426 North Central Expressway Ste.309  
Richardson, TX 75080  
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MEP ENGINEER  
SALAS O'BRIEN  
19820 West Bay Houston Pkwy  
Houston, TX 77064  
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STRUCTURAL ENGINEER  
BEC-LIN ENGINEERING  
18401 Westoffice Drive  
Houston, TX 77042  
T: 281.664.6440

CONSULTANT  
JAMES POLE IRRIGATION  
169 W Oak St #100  
Denton, TX 76201  
T: 840.243.2844

SEAL



REVIEW

1	80% CD FOR REVIEW	08.10.2017
2	PART 1 100% CD FOR REVIEW	08.10.2017
3	PART 1 100% CD FOR PERMIT	08.10.17
4	PART 1 FOR BID	07.27.2017
5	ADDENDUM 01	08.10.2017
6	REVISION 2	12.16.2017

KEY MAP

VERANDA  
RECREATION CENTER  
RICHMOND, TX

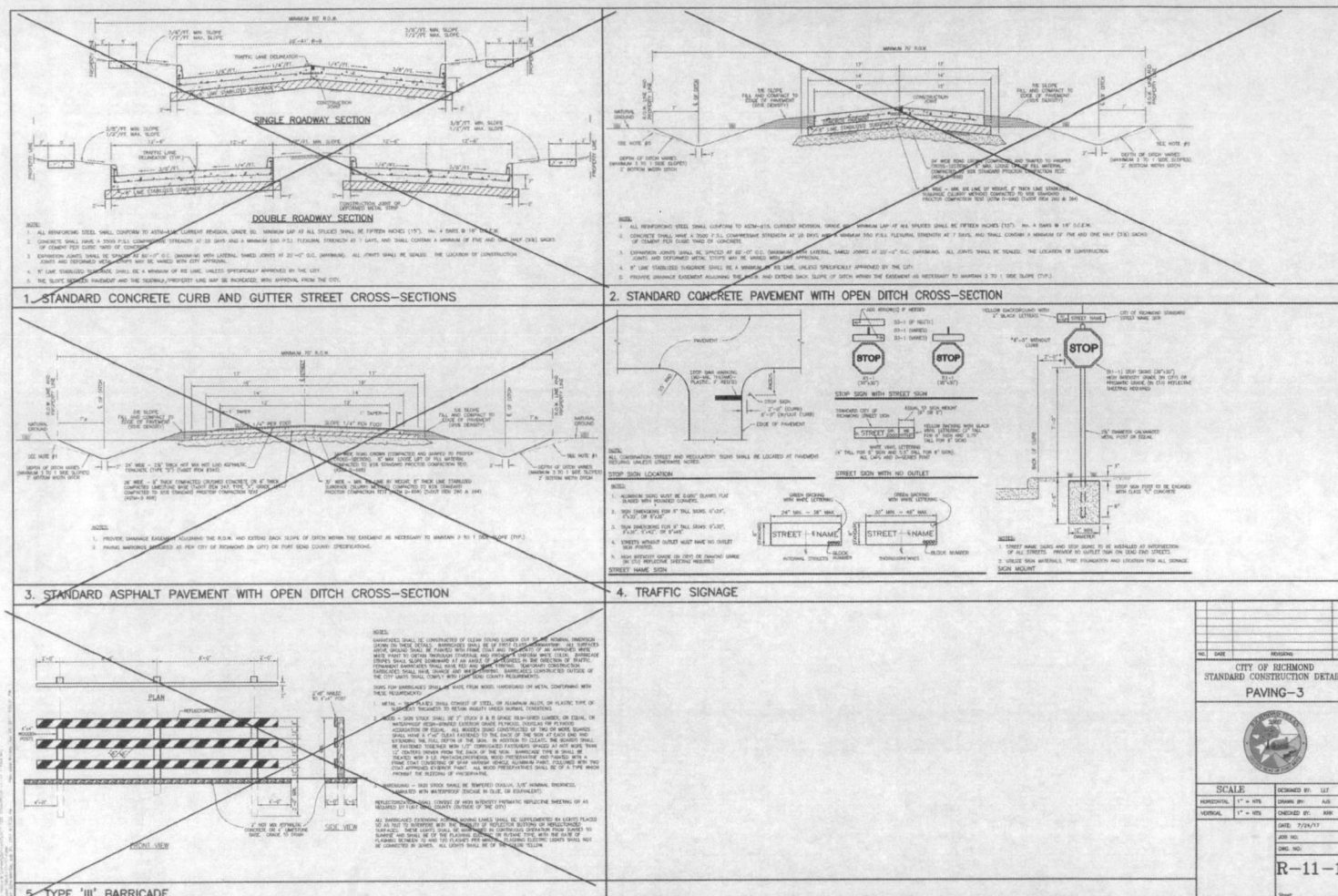


Engineering and Surveying  
9900 Richmond Avenue, Suite 450 N  
Houston, Texas 77042  
(713) 783-7788 (713) 783-5960, Fax

DRAWN BY:  
CHECKED BY:  
DATE:  
SCALE:  
PROJECT #:

SHEET  
C0.22  
CITY OF RICHMOND DETAILS

APPROVED: *[Signature]*  
DATE: 7/24/14  
DEVELOPMENT COORDINATOR





# CLARK CONDON

LANDSCAPE ARCHITECTURE  
19001 Bella Vista Dr  
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T: 713.871.1414 F: 713.871.1987

CLIENT  
**HW589 HOLDINGS, LLC**  
4800 Springdale Road  
Houston, TX 77058  
T: 281.438.8700  
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ARCHITECT  
**STUDIO RED ARCHITECTS**  
1338 Westchase Blvd.  
Houston, TX 77060  
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CIVIL ENGINEERS  
**COSTELLO**  
5800 Westchase Avenue  
Houston, TX 77062  
T: 713.922.1555

POOL CONSULTANT  
**COUNSILMAN HUNSAKER**  
2405 North Central Expressway Ste. 300  
Richardson, TX 75081  
T: 972.375.3743

MEP ENGINEERS  
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10000 West Loop South  
Houston, TX 77042  
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STRUCTURAL ENGINEERS  
**BEC-LIN ENGINEERING**  
4501 West Loop South  
Houston, TX 77042  
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CONSULTANT  
**JAMES POLE IRRIGATION**  
100 N. Oak St. #100  
Houston, TX 77002  
T: 281.242.2384

SEAL



## LEGEND

EXPANSION JOINT  
RE: AL3.02

## NOTES

### REVISION

1	FOR REVIEW	06.19.2017
2	FOR REVIEW	06.19.2017
3	FOR REVIEW	06.19.2017
4	FOR REVIEW	07.27.2017
5	FOR REVIEW	08.16.2017

### KEY MAP

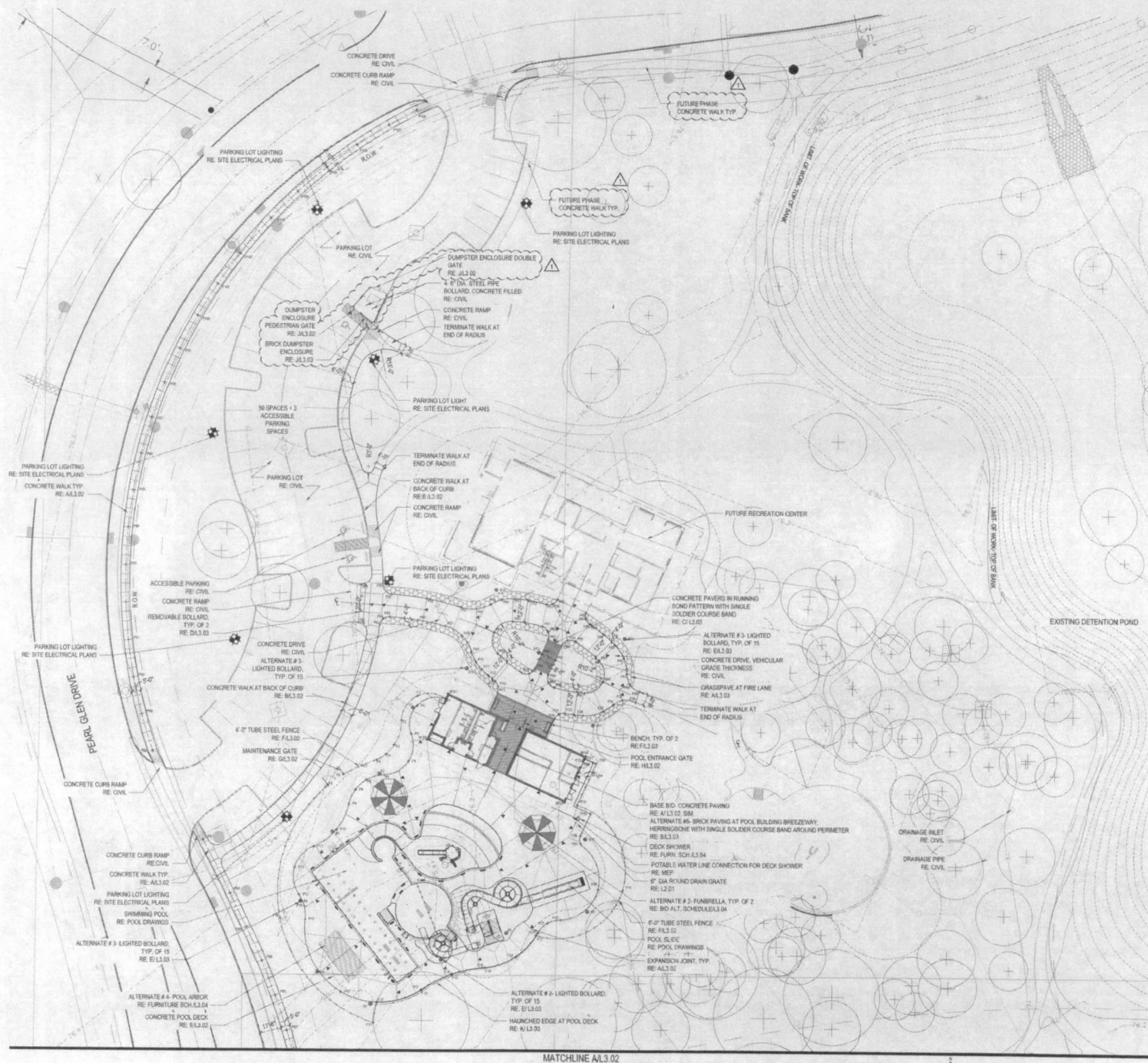
VERANDA PH.1  
RECREATION CENTER  
RICHMOND, TX

CONSTRUCTION PLAN

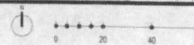
DRAWN BY: ADH, APT  
CHECKED BY: SJS  
DATE: 07.27.17  
SCALE: 1"=20'-0"  
PROJECT #: 115-000

SHEET  
**L3.01**

APPROVED: *[Signature]*  
DEVELOPMENT COORDINATOR  
DATE: 7/13/19

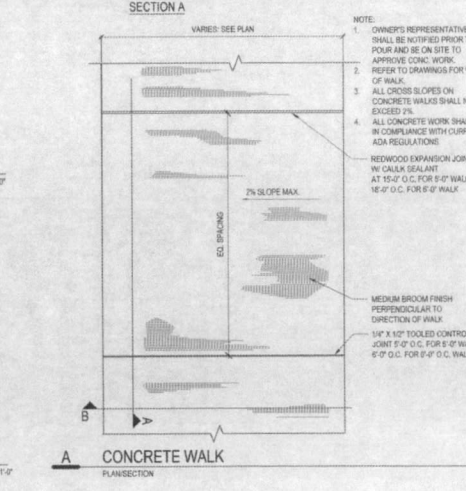
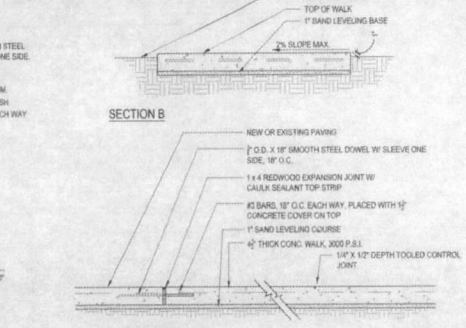
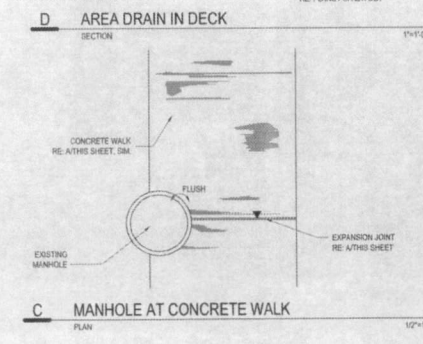
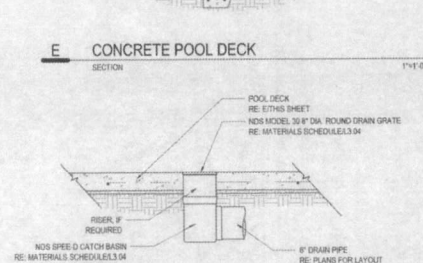
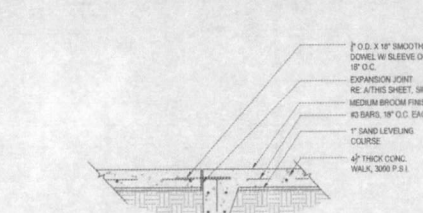
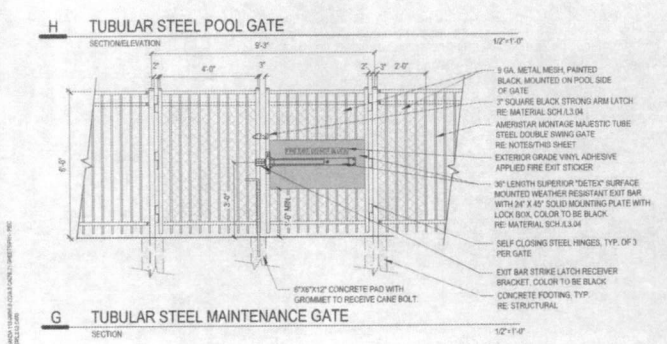
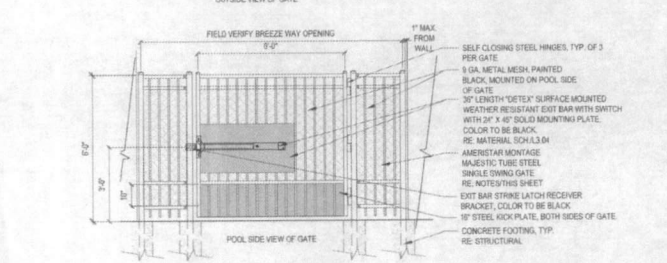
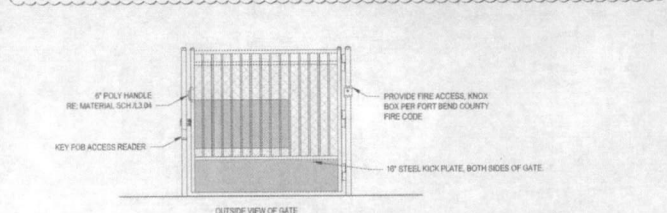
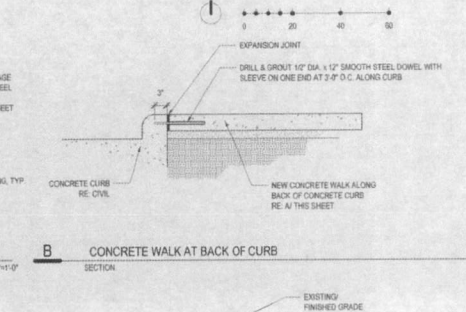
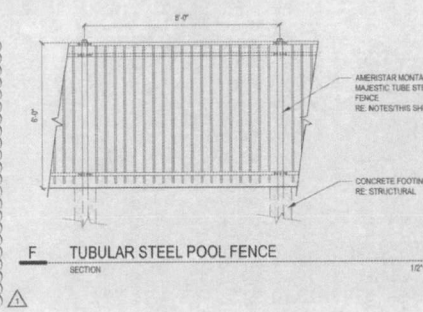
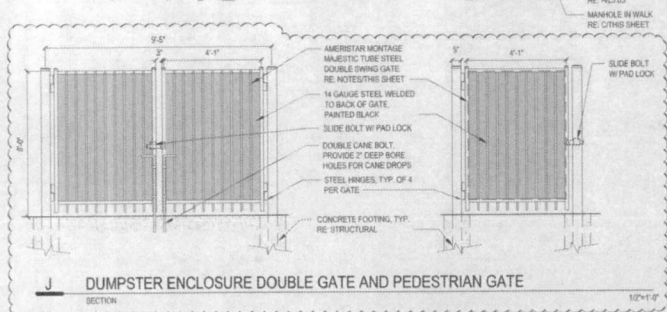
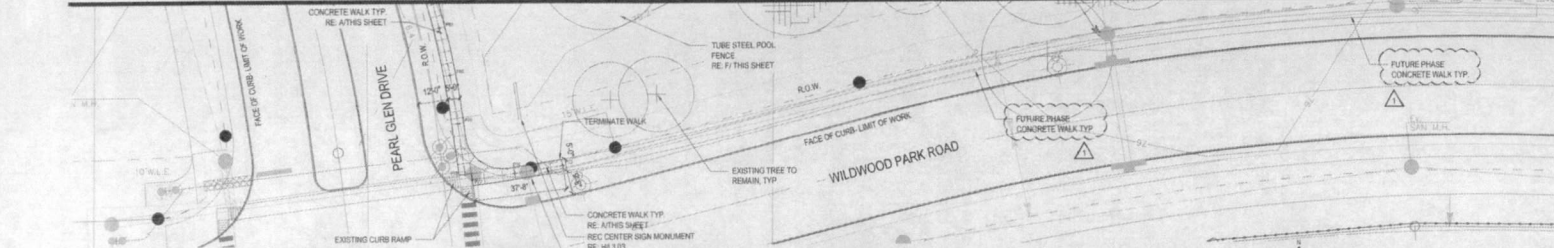


MATCHLINE AL3.02





MATCHLINE A/L3.01



LEGEND

NOTES

- OWNER TO PROVIDE CONTROL STAKING ONE TIME FOR CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL EXISTING GRADES DAMAGED DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR REPLACING ANY DAMAGED UTILITIES AT NO ADDITIONAL COST TO THE OWNER.
- EXISTING UNDERGROUND UTILITIES ARE NOT SHOWN. CONTRACTOR TO CONTACT B11 A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION TO HAVE UTILITIES FIELD LOCATED.
- ALL CONSTRUCTION TO COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
- CONTRACTOR TO COORDINATE WORK WITH OTHER TRADES ON THE PROJECT.
- CONTRACTOR SHALL BE FAMILIAR WITH ACTUAL SITE CONDITIONS BEFORE PROCEEDING WITH WORK.
- ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE IN A TIMELY MANNER TO NOT ADVERSELY AFFECT PROGRESS OF WORK.

TUBULAR STEEL FENCE AND GATE NOTE:  
1. INSTALL GATE TO MANUFACTURER'S SPECIFICATIONS. CONTRACTOR SHALL PROVIDE SIGNED AND SEALED SHOP AND FOOTING DRAWINGS FOR APPROVAL PRIOR TO INSTALLATION. COLOR TO BE BLACK.

CLARK CONDON

LANDSCAPE ARCHITECTURE  
STATE: TEXAS, JCD  
HOUSTON, TX 77060  
T: 713.871.8447 F: 713.871.8888

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4805 Richmond Road  
Houston, TX 77060  
T: 281.468.8700  
www.hws89.com/management.com

ARCHITECT  
STUDIO RED ARCHITECTS  
1333 West Loop South  
Houston, TX 77060  
T: 713.871.1414

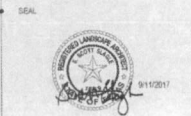
CIVIL ENGINEERS  
COSTELLO  
1333 West Loop South  
Houston, TX 77060  
T: 713.871.8300

POOL CONSULTANT  
COUNSLMAN HUNSAKER  
1401 North Central Expressway Ste. 205  
Houston, TX 77060  
T: 832.235.3340

MEP ENGINEERS  
SALAS O'BRIEN  
1000 West Loop South  
Houston, TX 77060  
T: 281.884.1600

STRUCTURAL ENGINEERS  
BEC-LIN ENGINEERING  
1333 West Loop South  
Houston, TX 77060  
T: 281.884.1600

CONTRACTOR  
JAMES POLE IRRIGATION  
10019 Oak St. #100  
Houston, TX 77060  
T: 281.343.2344



REVISION	DATE
1. FOR REVIEW	06.15.2017
2. FOR REVIEW	06.20.2017
3. FOR REVIEW	06.20.2017
4. FOR REVIEW	07.20.2017
5. FOR REVIEW	08.10.2017

KEY MAP

VERANDA PH.1  
RECREATION CENTER  
HOUSTON, TX

CONSTRUCTION PLAN

DRAWN BY: AEH, APT  
CHECKED BY: SSS  
DATE: 07/27/17  
SCALE: 1/8"=1'-0"  
PROJECT #: 15-000

SHEET  
L3.02

APPROVED: *[Signature]*  
DATE: 2/13/17







DESCRIPTION	NORTHING		EASTING		
81	X 306655.21	Y 137748.06	P34	X 300726.28	Y 137764.62
82	X 306655.21	Y 137748.06	P35	X 300726.28	Y 137764.61
83	X 306655.21	Y 137748.06	P36	X 300726.28	Y 137764.61
84	X 306655.21	Y 137748.06	P37	X 300726.28	Y 137762.88
85	X 306655.21	Y 137748.06	P38	X 300726.28	Y 137762.88
86	X 306655.21	Y 137748.06	P39	X 300726.28	Y 137762.88
87	X 306655.21	Y 137748.06	P40	X 300726.28	Y 137762.88
88	X 306655.21	Y 137748.06	P41	X 300726.28	Y 137762.88
89	X 306655.21	Y 137748.06	P42	X 300726.28	Y 137762.88
90	X 306655.21	Y 137748.06	P43	X 300726.28	Y 137762.88
91	X 306655.21	Y 137748.06	P44	X 300726.28	Y 137762.88
92	X 306655.21	Y 137748.06	P45	X 300726.28	Y 137762.88
93	X 306655.21	Y 137748.06	P46	X 300726.28	Y 137762.88
94	X 306655.21	Y 137748.06	P47	X 300726.28	Y 137762.88
95	X 306655.21	Y 137748.06	P48	X 300726.28	Y 137762.88
96	X 306655.21	Y 137748.06	P49	X 300726.28	Y 137762.88
97	X 306655.21	Y 137748.06	P50	X 300726.28	Y 137762.88
98	X 306655.21	Y 137748.06	P51	X 300726.28	Y 137762.88
99	X 306655.21	Y 137748.06	P52	X 300726.28	Y 137762.88
100	X 306655.21	Y 137748.06	P53	X 300726.28	Y 137762.88
101	X 306655.21	Y 137748.06	P54	X 300726.28	Y 137762.88
102	X 306655.21	Y 137748.06	P55	X 300726.28	Y 137762.88
103	X 306655.21	Y 137748.06	P56	X 300726.28	Y 137762.88
104	X 306655.21	Y 137748.06	P57	X 300726.28	Y 137762.88
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106	X 306655.21	Y 137748.06	P59	X 300726.28	Y 137762.88
107	X 306655.21	Y 137748.06	P60	X 300726.28	Y 137762.88
108	X 306655.21	Y 137748.06	P61	X 300726.28	Y 137762.88
109	X 306655.21	Y 137748.06	P62	X 300726.28	Y 137762.88
110	X 306655.21	Y 137748.06	P63	X 300726.28	Y 137762.88
111	X 306655.21	Y 137748.06	P64	X 300726.28	Y 137762.88
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116	X 306655.21	Y 137748.06	P69	X 300726.28	Y 137762.88
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118	X 306655.21	Y 137748.06	P71	X 300726.28	Y 137762.88
119	X 306655.21	Y 137748.06	P72	X 300726.28	Y 137762.88
120	X 306655.21	Y 137748.06	P73	X 300726.28	Y 137762.88
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126	X 306655.21	Y 137748.06	P79	X 300726.28	Y 137762.88
127	X 306655.21	Y 137748.06	P80	X 300726.28	Y 137762.88
128	X 306655.21	Y 137748.06	P81	X 300726.28	Y 137762.88
129	X 306655.21	Y 137748.06	P82	X 300726.28	Y 137762.88

2

2

[illegible]







# CLARK CONDON

LANDSCAPE ARCHITECTURE  
10401 Bellaire Blvd.  
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T: 713.871.1841 F: 713.871.0885

CLIENT  
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CLARK CONDON  
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COSTELLO  
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Houston, TX 77056  
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10401 Bellaire Blvd.  
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CONSULTANTS  
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DESIGN



ISSUE

1	ISSUED FOR REVIEW	05.16.17
2	PHASE 1 - ISSUED FOR REVIEW	06.02.17
3	PHASE 1 - WORK CENTER DESIGN	06.30.17

KEY MAP

VERANDA PH.1  
RECREATION CENTER  
RICHMOND, TX

## PHOTOMETRIC SITE PLAN

DRAWN BY: AEM/APT  
CHECKED BY: EBB  
DATE: 05.16.17  
SCALE:  
PROJECT # 115-000

SHEET

ES0.02

Component Schedule	Label	Amount	Notes	Unit	Notes
1	1.0	1.0	1.0	1.0	1.0

Material Summary	Quantity	Unit	Notes	Unit	Notes
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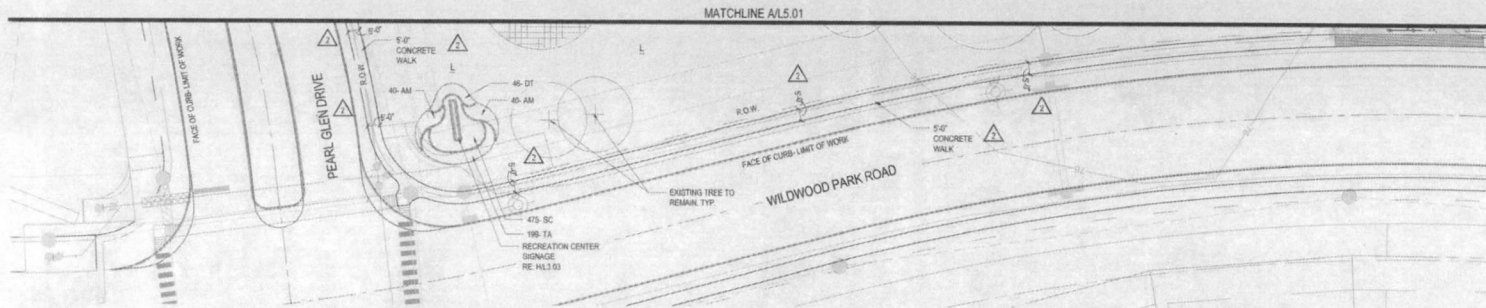
1 PHOTOMETRIC SITE PLAN - VERANDA AMENITIES CENTER

04/20/18









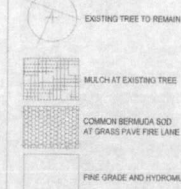
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
4	MS	MAQUONIA GRANDIFLORA	SOUTHERN MAQUONIA	65 GAL	12'-12" HT. 6" DBH. 3'-3" CAL. RE. JUL 08
2	MM	MACHINE MOVED TREE	MACHINE MOVED	65 GAL	BY OTHERS. COORDINATE INSTALLATION WITH EDC
7	QV	QUERCUS VIRGINIANA	LIVE OAK	65 GAL	12'-15" HT. 6" DBH. 3'-3" CAL. FULL AND EVEN BRANCHING, STRAIGHT TRUNK, MATCHING
3	PM	PLATANUS MEXICANA	MEXICAN SYCAMORE	65 GAL	12'-14" HT. 7" DBH. 3'-3" CAL. BRANCH AT EYE LEVEL
487	AA	ADONIS AFRICANUS	LILY OF THE NILE	3 GAL	18" HT. 18" SPR. MN. 8 BBS PER POT. BLUE & WHITE MIX (50 / 50), 24" O.C.
162	CC	CALLISTEMON CITRINUS LITTLE JOHN	LITTLE JOHN BOTTLEBRUSH	3 GAL	18" HT. 18" SPR. FULL ROUNDED FORM. 30" O.C.
54	EC	ERIODENDRON A. COOPERSTONE	COOPERSTONE LOCUST	7 GAL	18" HT. 18" SPR. FULL POT. WELL ROOTED, 30" O.C.
52	PK	PHILODENDRON A. VANADU	PHILODENDRON VANADU	3 GAL	12" HT. 18" SPR. FULL POT. WELL ROOTED, 30" O.C.
148	PA	PLUMBAGO AURICULATA	CAPE PLUMBAGO	3 GAL	18" HT. 12" SPR. WELL ROOTED, FULL POT. 30" O.C.
311	RI	RAPHANOLEPS INDICA CLARA	INDIAN HAWTHORN	3 GAL	18" HT. 18" SPR. FULL ROUNDED FORM. 30" O.C.
22	RE	RUSSELLIA EQUESTIFORMIS	FIRECRACKER PLANT	5 GAL	18" HT. 18" SPR. FULL POT. WELL ROOTED, 30" O.C.
77	RK	ROSA SPP. 'KNOCK OUT'	KNOCK OUT ROSE	3 GAL	18" HT. 18" SPR. FULL ROUNDED FORM. 30" O.C.
636	AM	ASHPHRAUS DENSIFLORUS MEYERH	FOXTAIL FERN	1 GAL	12" HT. 12" SPR. FULL POT. WELL ROOTED, 18" O.C.
367	DT	DANIELLA TAMARICA VAR. VAGATA	VARIATED TAMARISK FLAX LILY	1 GAL	12" HT. 12" SPR. FULL POT. WELL ROOTED, 18" O.C.
137	DB	DIERIS BICOLORE	BICOLORE BEE	3 GAL	18" HT. 18" SPR. FULL POT. WELL ROOTED, 30" O.C.
173	LMB	LIROPE MUSCARI 'BIG BLUE'	BIG BLUE LIROPE	1 GAL	12" HT. 12" SPR. FULL POT. WELL ROOTED, 24" O.C.
207	MC	MULLENBERGIA CAPILLARIS GULF COAST	GULF COAST MURRAY	3 GAL	18" HT. 18" SPR. FULL POT. WELL ROOTED, 30" O.C.
688	SC	SEASONAL COLOR	SEASONAL COLOR	4" POTS	8" O.C. SEASONALLY APPROPRIATE MIX
259	TA	TRACHELOSPERMUM ASIATICUM	ASIAN JASMINE	1 GAL	8" HT. 8" SPR. FULL POT. WELL ROOTED, 12" O.C.
5			FINE GRADE AND HYDROMULCH COMMON BERMUDA		

- PLANTING NOTES**
1. LOCATE ALL UTILITIES ON THE SITE PRIOR TO COMMENCING ANY WORK. ANY DAMAGE DONE TO EXISTING OR NEW UTILITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
  2. STAKE OUT ALL TREE LOCATIONS AND PLANTING BED EDGE CONFIGURATIONS APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. BED EDGES SHALL HAVE SMOOTH, EVEN LINES AS SHOWN ON THE DRAWINGS. LOCATE AS DIMENSIONED ON PLANS.
  3. COORDINATE WORK WITH THE WORK OF OTHER TRADES ON THE SITE. ENTIRE SITE SHALL BE GRADED TO FINISH GRADE PRIOR TO SCHEDULING PLANTING INSTALLATION.
  4. COORDINATE WITH APPLICABLE UTILITY COMPANIES AS REQUIRED DURING THE COURSE OF THE INSTALLATION.
  5. APPLY FOR AND PROCURE REQUIRED PERMITS PRIOR TO COMMENCING WORK.
  6. PLANTS SHALL BE SPECIMEN QUALITY. FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE. SHRUBS SHALL BE FULL TO GROUND.
  7. PROVIDE SAMPLES OF EACH SHRUB AND GROUND COVER SPECIES FOR APPROVAL BY THE OWNER PRIOR TO DELIVERY TO THE SITE. PROVIDE PHOTOGRAPHS WITH SCALE PLAINERS FOR TREES OR SAMPLE TREES FROM NURSERY FOR APPROVAL BY THE OWNER PRIOR TO DELIVERY TO THE SITE.
  8. ORGANIZE WITH LOCAL SOURCES FOR NURSERY VISITS FOR TAGGING OF ALL TREES AND PLANT MATERIAL AS SOON AS POSSIBLE TO ENSURE AVAILABILITY AT TIME OF CONSTRUCTION.
  9. PLANT MATERIAL OF THE SAME SPECIES SHALL BE MATCHING IN CHARACTER AND SIZE AND OBTAINED FROM THE SAME SOURCE.
  10. ALTERNATE SPACING OF PLANT MATERIAL WHEN PLANTING IN LARGE MASSES, UNLESS OTHERWISE NOTED.
  11. REFER CLOSELY TO SPECIFICATIONS FOR PLANTING WORK REQUIREMENTS.
  12. CALIPER OF MULTI-TRUNK TREES DENOTES MINIMUM CALIPER OF MAJOR TRUNKS. OTHER TRUNKS MUST BE 1/2 SIZE OF MAJOR TRUNK OR LARGER.
  13. WHERE AREAS ARE MARKED AS HYDROMULCH, IT SHALL MEAN BERMUDA GRASS HYDROMULCH UNLESS OTHERWISE NOTED. LANDSCAPE CONTRACTOR SHALL FINE GRADE AND HYDROMULCH ALL AREAS DAMAGED BY CONSTRUCTION.
  14. HAND GRADE ENTIRE SITE PRIOR TO SEEDING. MEDIAN AREAS SHALL BE RAISED AT CENTER, TYPICAL, WITH APPROXIMATELY 3 PERCENT SLOPE TO EDGES PRIOR TO GRASSING.

# LEGEND

MS	SOUTHERN MAQUONIA 65 GAL
MM	MACHINE MOVED TREE BY OTHERS
QV	QUERCUS VIRGINIANA
PM	PLATANUS MEXICANA
AA	ADONIS AFRICANUS
CC	CALLISTEMON CITRINUS LITTLE JOHN
EC	ERIODENDRON A. COOPERSTONE
PK	PHILODENDRON A. VANADU
PA	PLUMBAGO AURICULATA
RI	RAPHANOLEPS INDICA CLARA
RE	RUSSELLIA EQUESTIFORMIS
RK	ROSA SPP. 'KNOCK OUT'
AM	ASHPHRAUS DENSIFLORUS MEYERH
DT	DANIELLA TAMARICA VAR. VAGATA
DB	DIERIS BICOLORE
LMB	LIROPE MUSCARI 'BIG BLUE'
MC	MULLENBERGIA CAPILLARIS GULF COAST
SC	SEASONAL COLOR
TA	TRACHELOSPERMUM ASIATICUM
5	FINE GRADE AND HYDROMULCH

MACHINE MOVED TREES TO BE PROVIDED BY OTHERS AND NOT INCLUDED IN CONTRACT WITH EXISTING TREES TO REMAIN



# NOTES

- 1. ISSUE
- 2. ISSUE
- 3. ISSUE
- 4. ISSUE
- 5. ISSUE
- 6. ISSUE
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- 8. ISSUE
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- 99. ISSUE
- 100. ISSUE

# CLARK CONDON

LANDSCAPE ARCHITECTURE  
10015 SW 15th St.  
Miami, FL 33155  
772.871.1414 or 772.871.1400

## CLIENT

HW589 HOLDINGS, LLC  
10015 SW 15th St.  
Miami, FL 33155  
772.871.1414 or 772.871.1400

## ARCHITECT

STUDIO RED ARCHITECTS  
10015 SW 15th St.  
Miami, FL 33155  
772.871.1414 or 772.871.1400

## CIVIL ENGINEER

COSTELLO  
8800 Southwest Avenue  
Miami, FL 33155  
772.871.1414 or 772.871.1400

## PECA CONSULTANT

COUNSILMAN HUNSAKER  
10015 SW 15th St.  
Miami, FL 33155  
772.871.1414 or 772.871.1400

## MEP ENGINEER

SALAS O'BRIEN  
10015 SW 15th St.  
Miami, FL 33155  
772.871.1414 or 772.871.1400

## STRUCTURAL ENGINEER

BEC-LIN ENGINEERING  
10015 SW 15th St.  
Miami, FL 33155  
772.871.1414 or 772.871.1400

## CONSULTANT

JAMES POLE IRRIGATION  
10015 SW 15th St.  
Miami, FL 33155  
772.871.1414 or 772.871.1400



10/09/2018

## ISSUE

1	ISSUE	05/10/2017
2	ISSUE	05/10/2017
3	ISSUE	05/10/2017
4	ISSUE	05/10/2017
5	ISSUE	05/10/2017
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96	ISSUE	05/10/2017
97	ISSUE	05/10/2017
98	ISSUE	05/10/2017
99	ISSUE	05/10/2017
100	ISSUE	05/10/2017

## KEY MAP

VERANDA PH.1  
RECREATION CENTER  
RCH-64ND, TX

## PLANTING PLAN, NOTES, AND SCHEDULE

DRAWN BY: AEM, APT  
CHECKED BY: SSS  
DATE: 07/27/17  
SCALE: 1/8" = 1'-0"  
PROJECT #: 115-002

## SHEET

L5.02

APPROVED: DATE: 7/13/18



SEAL



## ISSUE

1	10% SUB FOR REVIEW	06.16.2017
2	PART 1: 50% SUB FOR REVIEW	06.28.2017
3	PART 1: 100% SUB FOR REVIEW	06.28.2017
4	PART 1: 100% SUB	07.27.2017
5	PART 1: 100% SUB	11.16.2017

## KEY MAP

VERANDA PH.1  
RECREATION CENTER  
HOUSTON, TX

## PLANTING DETAILS

DRAWN BY: ADH / APT  
CHECKED BY: SSS  
DATE: 01/27/17  
SCALE: AS SHOWN  
PROJECT # 115-060

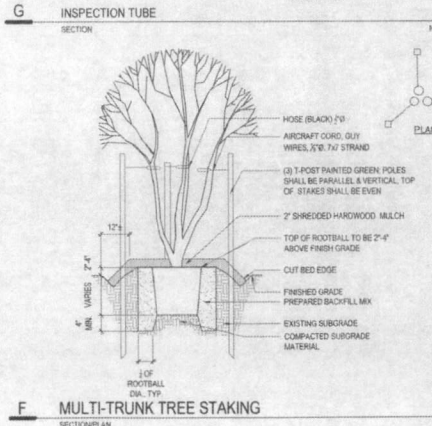
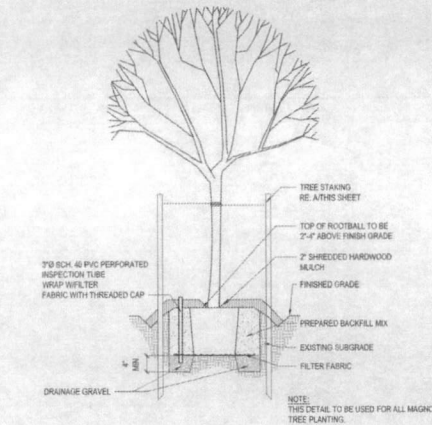
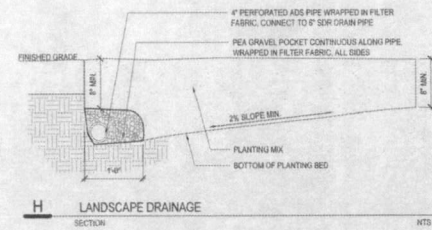
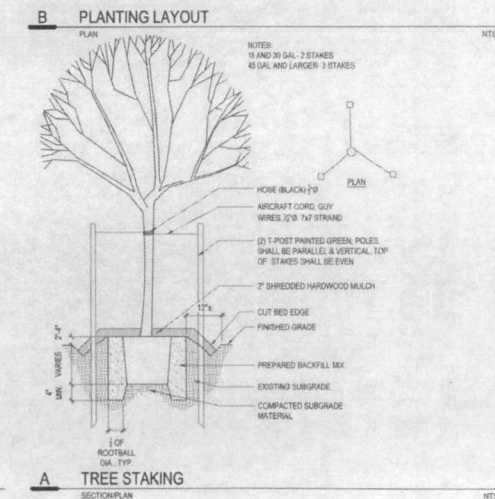
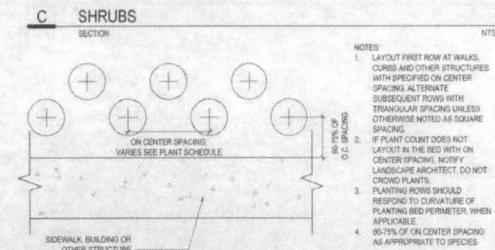
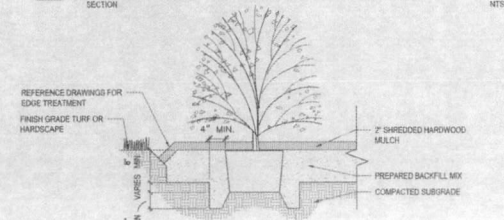
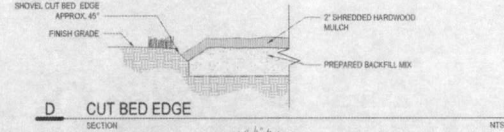
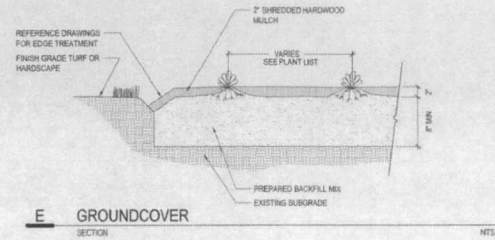
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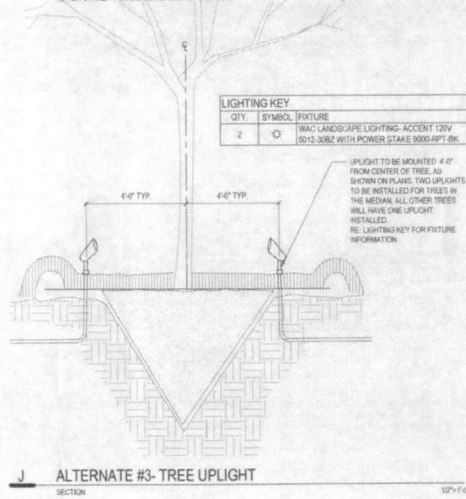
## LEGEND

## NOTES

- NOTES:
- LAYOUT FIRST ROW AT WALKS, CURBS AND OTHER STRUCTURES WITH SPECIFIED ON CENTER SPACING. ALTERNATE SUBSEQUENT ROWS WITH TRIANGULAR SPACING UNLESS OTHERWISE NOTED AS SQUARE SPACING.
  - IF PLANT COUNT DOES NOT LAYOUT IN THE BED WITH ON CENTER SPACING, NOTIFY LANDSCAPE ARCHITECT. DO NOT CROWD PLANTS.
  - PLANTING ROWS SHOULD RESPOND TO CURVATURE OF PLANTING BED PERMETER, WHEN APPLICABLE.
  - 90-75% OF ON CENTER SPACING AS APPROPRIATE TO SPECIES.



- TREE UPLIGHT NOTES:
- TREE UPLIGHT TO BE WAC LANDSCAPE LIGHTING - ACCENT 120V 30W2
  - CONTACT SAMANTHA RUSSELL AT OW LIGHTING 713.806.1020, 306 JAMEEL RD. SUITE 110, HOUSTON, TX 77056
  - ALL LIGHTING AND ELECTRICAL TO BE INSTALLED PER LOCAL CODES
  - LOCATE EXISTING CONDUIT RUN AND WIRE TO CONNECT TO LIGHT FIXTURE, UNLESS OTHERWISE NOTED ON PLANS
  - CONTRACTOR TO PROVIDE MALE NIPPLE FOR CONNECTION BETWEEN LIGHT FIXTURE AND POWER STAKE. PROVIDE METAL COLOR TO MATCH



QTY	SYMBOL	FIXTURE
2		WAC LANDSCAPE LIGHTING - ACCENT 120V 30W2 WITH POWER STAKE 3000-RPT-BK

UPLIGHT TO BE MOUNTED 4\"/>