

DJH RANCHING LP
 12 Main Street, Suite 1900
 Houston, Texas 77002-3220
 Attention: Ed Knight

CAT HIL FULSHEAR, LLC
 1000 Louisiana, Suite 7000
 Houston, Texas 77002
 Attention: William B. Harrison

December 12, 2017

Fort Bend County, Texas
 Attention: County Judge
 401 Jackson Street, 1st Floor
 Richmond, Texas 77469

Re: Terms for any potential relocation by Fort Bend County, Texas, a political subdivision of the State of Texas (the "County"), of existing overhead utility lines and facilities currently located on the south side of the currently existing FM 1093 right-of-way, to the property owned by DJH Ranching LP, a Texas limited partnership ("DJH"), and CAT HIL FULSHEAR, LLC, a Texas limited liability company ("CAT," and together with DJH, "Grantors").

Gentlemen:

In the event that, due to construction of the future improvements on the FM1093/Westpark Corridor, the existing overhead utility lines and facilities (collectively, the "Utility Lines"), currently located on the south side of the currently existing FM 1093 right-of-way, are required to be relocated to the south side of the property described on **Exhibit A** attached hereto and incorporated herein (the "Fulshear Ranch ROW"), the Deed of the Fulshear Ranch ROW requires that the Utility Lines be relocated underground. In the event of such underground relocation or, alternatively, relocation of the Utility Lines in an above ground or underground configuration on the property described on **Exhibit B** attached hereto and incorporated herein (the "Adjacent Property"), the County will only be responsible for the cost of the relocation of the Utility Lines, based on applicable law and the County's pro rata share of overhead utility costs only, to relocate them in an overhead configuration within the Fulshear Ranch ROW, and Grantors will be obligated to pay any additional cost (attributable to the County, but not the utility provider) of such relocation over and above the amount required to be paid by the County. The obligations and the acceptance of the terms stated herein shall bind and benefit the parties hereto and their respective successor and assigns.

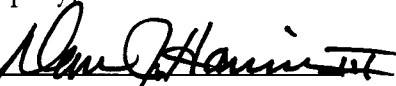
Please confirm the County's agreement to the terms above by signing in the space provided below and returning the executed version of this Letter Agreement.

[signatures follow]

Sincerely,

DJH RANCHING LP, a Texas limited partnership

By: DJH Ranching GP LLC, a Texas limited liability
company, General Partner

By: 

Daniel J. Harrison III, Manager

CAT HIL FULSHEAR, LLC, a Texas limited
liability company

By: _____
William B. Harrison, Manager

Sincerely,

DJH RANCHING LP, a Texas limited partnership

By: DJH Ranching GP LLC, a Texas limited liability
company, General Partner

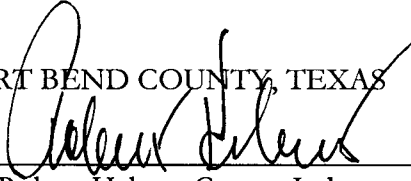
By: _____
Daniel J. Harrison III, Manager

CAT HIL FULSHEAR, LLC, a Texas limited
liability company

By: _____
William B. Harrison, Manager

ACCEPTED this 12 day of December, 2017.

FORT BEND COUNTY, TEXAS

By: 

Robert Hebert, County Judge

PURSUANT TO RESOLUTION/ORDER DATED December 12, 2017.

APPROVED AS TO FORM:

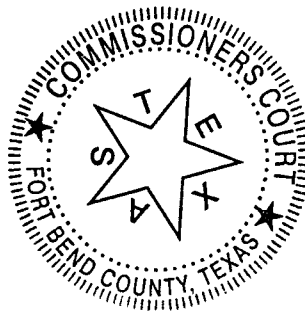


Marcus D. Spencer, First Assistant County Attorney

ATTEST:

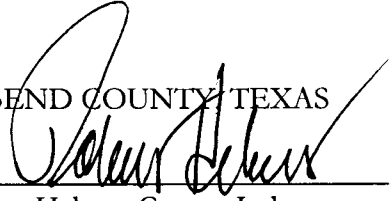
By: 

Laura Richard, County Clerk



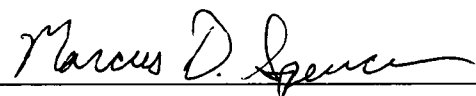
ACCEPTED this 12 day of December, 2017.

FORT BEND COUNTY, TEXAS

By: 
Robert Hebert, County Judge

PURSUANT TO RESOLUTION/ORDER DATED December 12, 2017.

APPROVED AS TO FORM:


Marcus D. Spencer, First Assistant County Attorney

ATTEST:

By: 
Laura Richard, County Clerk



EXHIBIT A

Fulshear Ranch ROW

(see attached)

EXHIBIT A

County: Fort Bend
Highway: F.M. 1093
Project Limits: West of Fulshear to FM 1463 / FM 359
RCSJ: 0543-02-071

Property Description for Parcel 500

Being a 22.081 acre (961,827 square feet) parcel of land, out of the E. Latham Survey A-50, Morris & Cummings Survey A-294, J.C. McDonald Survey A-290 and the R.H. Kuykendahl Survey A-274, Fort Bend County, Texas, and being part of and out of that certain 564.69 acre (calc) tract of land described in a Deed dated September 9, 1983, from Dan J. Harrison Jr. and David Harrison III to Harrison Interests, LTD. filed in the Official Public Records of Fort Bend County, Texas (O.P.R.F.B.C.) in Volume 1289, Page 624, said 23.614 acre parcel being more particularly described as follows:

COMMENCING at a 5/8 inch iron rod set for the southeast corner of said 564.69 acre tract and in the west line of F.M. 359 (80 feet wide) as described in Volume 243, Page 159 of the Fort Bend County Deed Records (F.B.C.D.R.) Fort Bend County, Texas, thence as follows:

North 01°44'04" West, a distance of 3,043.12 feet, along the west line of said F.M. 359 and along the east line of said 564.69 acre tract to a 5/8-inch iron rod with TxDOT aluminum cap set in the proposed south right-of-way line of FM 1093 (width varies) for the southeast corner and POINT OF BEGINNING of the herein described parcel, said point having Coordinates of N=13,815,220.59 and E=2,970,089.92;**

- 1) THENCE, North 49°22'04" West, a distance of 47.17 feet, along the proposed south right-of-way line of FM 1093 to a 5/8-inch iron rod with TxDOT aluminum cap set for an angle point of the herein described parcel;**
- 2) THENCE, South 82°59'56" West, a distance of 182.75 feet, along the proposed south right-of-way line of FM 1093 to a 5/8-inch iron rod with TxDOT aluminum cap set for an angle point and the beginning of a curve to the left;**
- 3) THENCE, in a southwesterly direction, with the proposed south right-of-way line of said F.M. 1093, with said curve to the left having a radius of 5000.00 feet, a central angle of 07°25'54" and chord which bears South 79°17'00" West, 648.07 feet, for an arc length of 648.53 feet to a 5/8-inch iron rod with TxDOT aluminum cap set in the proposed north right-of-way line of said F.M. 1093 and for the beginning of a curve to the right;**

EXHIBIT A

- 4) THENCE, in a westerly direction, with the proposed south right-of-way line of said F.M. 1093, with said curve to the right having a radius of 5000.00 feet, a central angle of $07^{\circ}25'54''$ and chord which bears South $79^{\circ}17'00''$ West, 648.07 feet, at an arc length of 515.58 feet passing a set 5/8-inch iron rod with TxDOT aluminum cap marking Engineers Station 285+00.00 and continuing for a total arc length of 648.53 feet to a 5/8-inch iron rod with TxDOT aluminum cap set in the proposed north right-of-way line of said F.M. 1093 and for an angle point of the herein described parcel;**
- 5) THENCE, South $82^{\circ}59'56''$ West, at a distance of 1,376.89 feet passing a set 5/8-inch iron rod with TxDOT aluminum cap marking Engineers Station 270+00.00, continuing at a distance of 2,876.89 feet passing a set 5/8-inch iron rod with TxDOT aluminum cap marking Engineers Station 255+00.00, continuing at a distance of 4,376.89 feet passing a set 5/8-inch iron rod with TxDOT aluminum cap marking Engineers Station 240+00.00, continuing at a distance of 5,876.89 feet passing a set 5/8-inch iron rod with TxDOT aluminum cap marking Engineers Station 225+00.00 and continuing for a total distance of 6,256.72 feet, along the proposed south right-of-way line of FM 1093 to a 5/8-inch iron rod with TxDOT aluminum cap set for an angle point of the herein described parcel;**
- 6) THENCE, South $40^{\circ}08'09''$ West, a distance of 51.31 feet, along the proposed south right-of-way line of FM 1093 to a 5/8-inch iron rod with TxDOT aluminum cap set for an angle point of the herein described parcel;**
- 7) THENCE, South $02^{\circ}43'38''$ East, a distance of 24.34 feet, along the proposed south right-of-way line of FM 1093 to a 5/8-inch iron rod with TxDOT aluminum cap set for an angle point of the herein described parcel;**
- 8) THENCE, South $87^{\circ}16'22''$ West, a distance of 176.00 feet, along the proposed south right-of-way line of FM 1093 to a 5/8-inch iron rod with TxDOT aluminum cap set for an angle point of the herein described parcel;**
- 9) THENCE, North $02^{\circ}43'38''$ West, a distance of 11.19 feet, along the proposed south right-of-way line of FM 1093 to a 5/8-inch iron rod with TxDOT aluminum cap set for an angle point of the herein described parcel;**
- 10) THENCE, North $49^{\circ}51'51''$ West, a distance of 47.62 feet, along the proposed south right-of-way line of FM 1093 to a 5/8-inch iron rod with TxDOT aluminum cap set for an angle point of the herein described parcel;**

EXHIBIT A

- 11) THENCE, South 82°59'56" West, at a distance of 873.68 feet, passing a set 5/8-inch iron rod with TxDOT aluminum cap marking Engineers Station 210+00.00 and continuing for a total distance of 1,926.09 feet along the proposed south right-of-way line of FM 1093 to a 5/8-inch iron rod with TxDOT aluminum cap set for an angle point of the herein described parcel;**
- 12) THENCE, South 27°59'26" West, a distance of 38.55 feet, along the proposed south right-of-way line of FM 1093 to a 5/8-inch iron rod with TxDOT aluminum cap set for an angle point of the herein described parcel;**
- 13) THENCE, South 82°58'34" West, a distance of 203.08 feet, along the proposed south right-of-way line of FM 1093 to a 5/8-inch iron rod with TxDOT aluminum cap set for an angle point of the herein described parcel;**
- 14) THENCE, North 17°00'34" West, a distance of 19.68 feet, along the proposed south right-of-way line of FM 1093 to a 5/8-inch iron rod with TxDOT aluminum cap set for an angle point of the herein described parcel;**
- 15) THENCE, South 62°00'34" West, a distance of 1.00 feet, along the proposed south right-of-way line of FM 1093 to a 5/8-inch iron rod with TxDOT aluminum cap set in the east line of a 3.01 acre tract of land described in Deed dated October 22, 2008 to Prototype Machine Co., Inc. filed in the O.P.R.F.B.C. at Clerk's File No. 2008112545 and in the west line of said 564.69 acre tract for the southwest corner of the herein described parcel;**
- 16) THENCE, North 02°31'13" West, a distance of 111.88 feet, along the east line of said 3.01 acre tract and along the west line of said 564.69 acre tract to a 3/4-inch iron pipe found in the south right-of-way line of Fort Bend County Tollroad Authority Corridor (100' wide) as described under Clerks File No.'s 2015058468, 2015058447, 2015058441, filed in the O.P.R.F.B.C., for the northeast corner of said 3.01 acre tract, for the northwest corner of a said 564.69 acre tract and marking the northwest corner of the herein described parcel;
- 17) THENCE, North 82°58'36" East, a distance of 16.03 feet, along the north line of said 564.69 acre tract and along the existing south right-of-way line of said Fort Bend County Tollroad Authority Corridor to an angle point of the herein described parcel;
- 18) THENCE, North 82°59'56" East, a distance of 10,146.50 feet, along the north line of said 564.69 acre tract and along the existing south right-of-way line of said Fort Bend County Tollroad Authority Corridor to a point in the existing west right-of-way line of said F.M. 359 and marking the northeast corner of the herein described parcel;

EXHIBIT A

19) THENCE, South 01°44'04" East, a distance of 51.07 feet, along the existing west right-of-way line of said F.M. 359 and the east line of said 564.69 acre tract to the POINT OF BEGINNING and containing 22.081 acres (961,827 square feet) parcel of land.

NOTE: All bearings are based on the Texas coordinate system, NAD 83 (1993 Adj.), South Central Zone. All coordinates shown are surface and may be converted to grid by Dividing by TxDOT conversion factor of 1.00013.

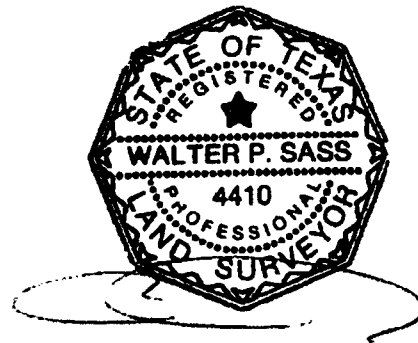
All coordinates shown hereon are established from TxDOT Control Monuments, H-3, H-4, H-5, and H-13 prepared by Costello, Inc. dated February 23, 2000 and TxDOT Control Monuments H-5A and H-5B prepared by Weisser Engineering Company dated October 2006.

** The monument described and set in this call may be replaced with a TxDOT Type II Right of Way marker upon completion of the highway construction project under the supervision of a Registered Professional Land Surveyor, either employed or retained by TxDOT.

Access will be permitted to the remainder property abutting the highway facility.

NOTE: A parcel plat of even date was prepared in conjunction with this property description.

Compiled by:
Weisser Engineering Company
TBPLS Firm Reg. No. 100518-00
19500 Park Row, Suite 100
Houston, Texas 77084
(281) 579-7300
July, 2015



Parcel 500 Revised 3-31-16.txt

*-----
 * Prepared by: Weisser Engineering Company
 * Routine: Area Summary Coord File: EG676.crd 3/31/16 11:21:23
 * Input Scale Factor: 1.000000000 Output Scale Factor: 1.000000000
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Parcel 500 Revised 3-31-16

Point ID	Ang Rt	Bearing	Distance	Point ID	Northing	Easting
(POC)51470		N 01°44'04"W	3043.12	55287	13815220.59	2970089.92

(POB)55287		N 49°22'04"W	47.17	55288	13815251.31	2970054.12
55288 227°38'00"		S 82°59'56"W	182.75	55289	13815229.04	2969872.73
CURVE DEF: Arc				CURVE DIR: CCW		
RAD: 5000.00	LEN: 648.53	TAN: 324.72		CEN. ANG: 7°25'54"		
CHORD: 648.07	MO: 10.51	EXT: 10.53		DEGREE: 1°08'45"		
SEG: 4542	TRI: 1616779	SEC: 1621321				
55289 270°00'00"	S 07°00'04"E	5000.00	55290	13810266.32	2970482.16	
55290 7°25'54"	N 14°25'57"W	5000.00	55291	13815108.52	2969235.96	
55289 183°42'57"	S 79°17'00"W	648.07	55291	13815108.52	2969235.96	
CURVE DEF: Arc				CURVE DIR: CW		
RAD: 5000.00	LEN: 648.53	TAN: 324.72		CEN. ANG: 7°25'54"		
CHORD: 648.07	MO: 10.51	EXT: 10.53		DEGREE: 1°08'45"		
SEG: 4542	TRI: 1616779	SEC: 1621321				
55291 93°42'57"	N 14°25'57"W	5000.00	55292	13819950.73	2967989.75	
55292 352°34'06"	S 07°00'04"E	5000.00	55293	13814988.01	2968599.19	
55291 180°00'00"	S 79°17'00"W	648.07	55293	13814988.01	2968599.19	
55293 176°17'03"	S 82°59'56"W	6256.72	51314	13814225.40	2962389.12	
51314 222°51'47"	S 40°08'09"W	51.31	51315	13814186.17	2962356.04	
51315 222°51'47"	S 02°43'38"E	24.34	51316	13814161.86	2962357.20	
51316 90°00'00"	S 87°16'22"W	176.00	51317	13814153.48	2962181.40	
51317 90°00'00"	N 02°43'38"W	11.19	51318	13814164.66	2962180.87	
51318 227°08'13"	N 49°51'51"W	47.62	51319	13814195.36	2962144.46	
51319 227°08'13"	S 82°59'56"W	1926.09	55294	13813960.59	2960232.73	
55294 235°00'30"	S 27°59'26"W	38.35	55295	13813926.72	2960214.73	
55295 125°00'52"	S 82°58'34"W	203.08	55296	13813901.89	2960013.17	
55296 99°59'08"	N 17°00'34"W	19.68	55297	13813920.71	2960007.41	
55297 225°00'00"	N 62°00'34"W	1.00	55285	13813921.18	2960006.53	
55285 120°30'39"	N 02°31'13"W	111.88	51323	13814032.95	2960001.61	
51323 94°30'11"	N 82°58'36"E	16.03	51489	13814034.91	2960017.52	
51489 179°58'40"	N 82°59'56"E	10146.50	51312	13815271.64	2970088.37	
51312 84°44'00"	S 01°44'04"E	51.07	55287	13815220.59	2970089.92	

Perimeter: 20607.85 Cumulative Perimeter: 20607.85

Sq. Feet: 961827 Acres: 22.0805

Total - Sq. Feet: 961827 Acres: 22.0805

Parcel 500 kuykendahl Survey 4-4-16.txt

*-----
 * Prepared by: Weisser Engineering Company
 * Routine: Area Summary Coord File: EG676.crd 4/04/16 16:05:35
 * Input Scale Factor: 1.000000000 Output Scale Factor: 1.000000000
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Parcel 500 kuykendahl Survey 4-4-16

Point ID	Ang Rt	Bearing	Distance	Point ID	Northing	Easting
51312		S 01°44'04"E	51.07	55287	13815220.59	2970089.92
55287	47°38'00"	N 49°22'04"W	47.17	55288	13815251.31	2970054.12
55288	227°38'00"	S 82°59'56"W	182.75	55289	13815229.04	2969872.73
CURVE DEF: Arc				CURVE DIR: CCW		
RAD: 5000.00		LEN: 648.53	TAN: 324.72	CEN. ANG: 7°25'54"		
CHORD: 648.07		MO: 10.51	EXT: 10.53	DEGREE: 1°08'45"		
SEG: 4542		TRI: 1616779	SEC: 1621321			
55289	270°00'00"	S 07°00'04"E	5000.00	55290	13810266.32	2970482.16
55290	7°25'54"	N 14°25'57"W	5000.00	55291	13815108.52	2969235.96
55289	183°42'57"	S 79°17'00"W	648.07	55291	13815108.52	2969235.96
CURVE DEF: Arc				CURVE DIR: CW		
RAD: 5000.00		LEN: 470.57	TAN: 235.46	CEN. ANG: 5°23'32"		
CHORD: 470.40		MO: 5.53	EXT: 5.54	DEGREE: 1°08'45"		
SEG: 1736		TRI: 1174690	SEC: 1176426			
55291	93°42'57"	N 14°25'57"W	5000.00	55292	13819950.73	2967989.75
55292	354°36'28"	S 09°02'25"E	5000.00	51495	13815012.84	2968775.39
55291	181°01'11"	S 78°15'49"W	470.40	51495	13815012.84	2968775.39
51495	80°43'25"	N 02°27'36"W	97.14	51494	13815109.89	2968771.22
51494	94°32'27"	N 82°59'56"E	1327.04	51312	13815271.64	2970088.37

Perimeter: 2824.27 Cumulative Perimeter: 2824.27
 Sq. Feet: 61149 Acres: 1.4038
 Total - Sq. Feet: 61149 Acres: 1.4038

Parcel 500 McDonald Survey 4-4-16.txt

*-----
 * Prepared by: Weisser Engineering Company
 * Routine: Area Summary Coord File: EG676.crd 4/04/16 16:10:01
 * Input Scale Factor: 1.000000000 Output Scale Factor: 1.000000000
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Parcel 500 McDonald Survey 4-4-16

Point ID	Ang Rt	Bearing	Distance	Point ID	Northing	Easting
51493		N 02°27'36"W	100.31	51492	13814558.57	2964281.75
51492	94°32'27"	N 82°59'56"E	4523.20	51494	13815109.89	2968771.22
51494	85°27'33"	S 02°27'36"E	97.14	51495	13815012.84	2968775.39
CURVE DEF: Arc				CURVE DIR: CW		
RAD: 5000.00			LEN: 177.96	TAN: 88.99		
CHORD: 177.95			MO: 0.79	EXT: 0.79		
SEG: 94			TRI: 444802	SEC: 444896		
51495	6°34'49"	N 09°02'25"W	5000.00	55292	13819950.73	2967989.75
55292	357°57'39"	S 07°00'04"E	5000.00	55293	13814988.01	2968599.19
51495	95°33'38"	S 81°58'46"W	177.95	55293	13814988.01	2968599.19
55293	178°58'49"	S 82°59'56"W	4345.53	51493	13814458.35	2964286.06

Perimeter: 9244.14 Cumulative Perimeter: 9244.14
 Sq. Feet: 452132 Acres: 10.3795
 Total - Sq. Feet: 452132 Acres: 10.3795

Parcel 500 Latham Survey 4-4-16.txt

*-----
 * Prepared by: Weisser Engineering Company
 * Routine: Area Summary Coord File: EG676.crd 4/04/16 16:07:48
 * Input Scale Factor: 1.000000000 Output Scale Factor: 1.000000000
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Parcel 500 Latham Survey 4-4-16

Point ID	Ang Rt	Bearing	Distance	Point ID	Northing	Easting
51323		N 82°58'36"E	16.03	51489	13814034.91	2960017.52
51489	179°58'40"	N 82°59'56"E	2385.51	51491	13814325.68	2962385.25
51491	85°12'29"	S 02°12'33"E	100.35	51314	13814225.40	2962389.12
51314	137°39'18"	S 40°08'09"W	51.31	51315	13814186.17	2962356.04
51315	222°51'47"	S 02°43'38"E	24.34	51316	13814161.86	2962357.20
51316	90°00'00"	S 87°16'22"W	176.00	51317	13814153.48	2962181.40
51317	90°00'00"	N 02°43'38"W	11.19	51318	13814164.66	2962180.87
51318	227°08'13"	N 49°51'51"W	47.62	51319	13814195.36	2962144.46
51319	227°08'13"	S 82°59'56"W	1926.09	55294	13813960.59	2960232.73
55294	235°00'30"	S 27°59'26"W	38.35	55295	13813926.72	2960214.73
55295	125°00'52"	S 82°58'34"W	203.08	55296	13813901.89	2960013.17
55296	99°59'08"	N 17°00'34"W	19.68	55297	13813920.71	2960007.41
55297	225°00'00"	N 62°00'34"W	1.00	55285	13813921.18	2960006.53
55285	120°30'39"	N 02°31'13"W	111.88	51323	13814032.95	2960001.61

Perimeter: 5112.45 Cumulative Perimeter: 5112.45
 Sq. Feet: 257449 Acres: 5.9102
 Total - Sq. Feet: 257449 Acres: 5.9102

Parcel 500 Cummings Survey.txt

*-----
 * Prepared by: Weisser Engineering Company
 * Routine: Area Summary Coord File: EG676.crd 9/10/15 7:51:50
 * Input Scale Factor: 1.000000000 Output Scale Factor: 1.000000000
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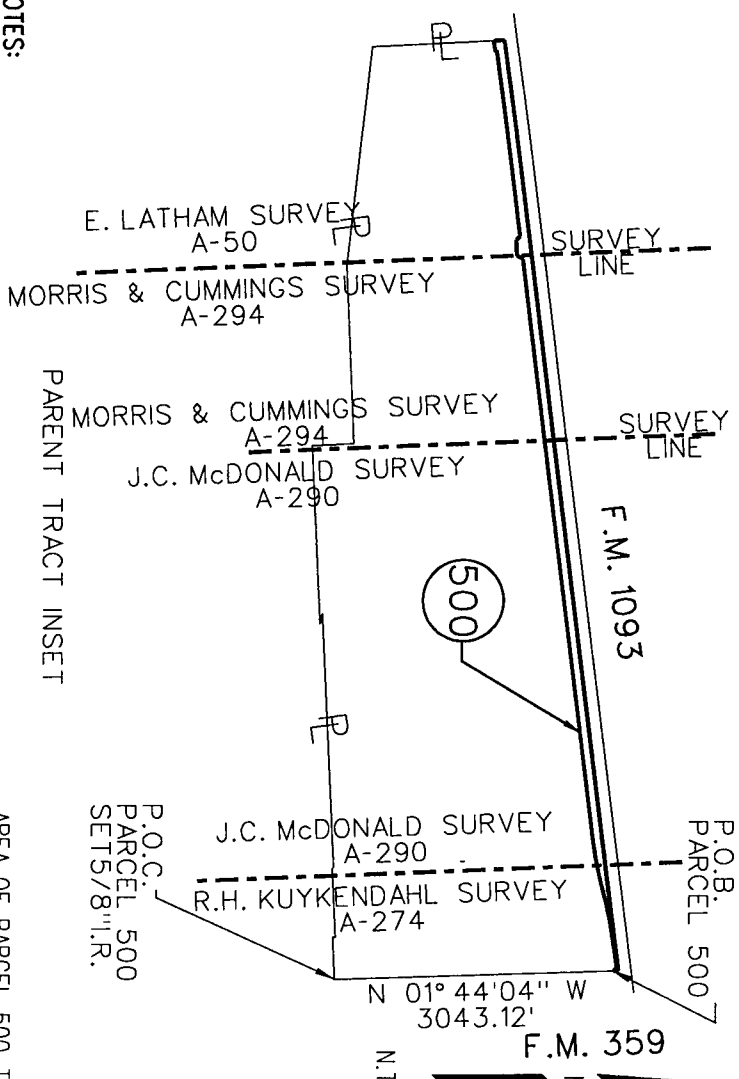
Parcel 500 Cummings Survey

Point ID	Ang Rt	Bearing	Distance	Point ID	Northing	Easting
51314		N 02°12'33"W	100.35	51491	13814325.68	2962385.25
51491	94°47'31"	N 82°59'56"E	1910.75	51492	13814558.57	2964281.75
51492	85°27'33"	S 02°27'36"E	100.31	51493	13814458.35	2964286.06
51493	94°32'27"	S 82°59'56"W	1911.19	51314	13814225.40	2962389.12

Perimeter: 4022.61 Cumulative Perimeter: 4022.61

Sq. Feet: 191097 Acres: 4.3870

Total - Sq. Feet: 191097 Acres: 4.3870



CONVENTIONAL SIGNS:

- EXISTING RIGHT-OF-WAY LINE
- ACCESS DENIAL LINE
- PROPOSED RIGHT-OF-WAY LINE
- PROPERTY LINE
- SURVEY LINE
- DENOTES PARCEL No.
- DENOTES BEARING AND DISTANCE NOTE No.

- N.T.S. SET $\frac{5}{8}$ " I.R. W/TXDOT ALUM. CAP (SEE NOTE 2)
- SET $\frac{5}{8}$ " I.R. W/TXDOT ALUM. CAP (STAMPED "ADL")
- FOUND $\frac{5}{8}$ " I.R. W/TXDOT ALUM. CAP
- SET (AS INDICATED)
- FOUND (AS INDICATED)

LEGEND:

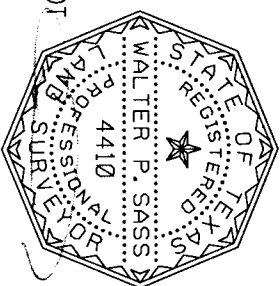
- C.F. NO. - CLERK'S FILE NUMBER
- F.C. NO. - FILM CODE NUMBER
- O.P.R.F.B.C. - OFFICIAL PUBLIC RECORDS OF FORT BEND COUNTY
- F.B.C.P.R. - FORT BEND COUNTY PLAT RECORDS
- F.B.C.D.R. - FORT BEND COUNTY DEED RECORDS
- F.B.C.C.R. - FORT BEND COUNTY COURT RECORDS
- F.B.C.D.C.R. - FORT BEND COUNTY DISTRICT COURT RECORDS

NOTES:

1. A PROPERTY DESCRIPTION OF EVEN DATE WAS PREPARED IN CONJUNCTION WITH THIS PARCEL PLAT.
2. ** THE MONUMENT DESCRIBED AND SET MAY BE REPLACED WITH A TXDOT TYPE II RIGHT-OF-WAY MARKER UPON COMPLETION OF THE HIGHWAY CONSTRUCTION PROJECT UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL LAND SURVEYOR, EITHER EMPLOYED OR RETAINED BY TXDOT.
3. ALL BEARINGS AND COORDINATES ARE BASED ON THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD 83 (1993 ADJ.). ALL DISTANCES AND COORDINATES SHOWN ARE SURFACE AND MAY BE CONVERTED TO GRID BY DIVIDING BY A COMBINED ADJUSTMENT FACTOR OF 1.00013.
4. ALL COORDINATES AND ELEVATIONS SHOWN HEREON ARE ESTABLISHED FROM TXDOT CONTROL MONUMENTS H-3, H-4, H-5, AND H-13 PREPARED BY COSTELLO, INC. DATED FEBRUARY 23, 2000 AND CONTROL MONUMENTS H-5A AND H-5B PREPARED BY WEISSER ENGINEERING COMPANY DATED OCTOBER 2006.
5. ABSTRACTING PERFORMED BY: POSTLE PROPERTY SERVICES 12/2013 TO 01/2014 AND UPDATED ON 07/2015.
6. GROUND SURVEY PERFORMED 03/2012, 09/2014 & 07/2015.

AREA OF PARCEL 500 TAKING BY SURVEY/ABSTRACT:

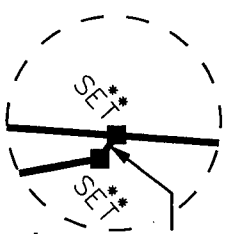
E. LATHAM SURVEY, ABSTRACT NO. 50	5.910 ACRES (257,449 SQ.FT.)
MORRIS & CUMMINGS SURVEY, ABSTRACT NO. 294	4.387 ACRES (191,097 SQ.FT.)
J.C. McDONALD SURVEY, ABSTRACT NO. 290	10.380 ACRES (452,132 SQ.FT.)
R.H. KUYKENDahl SURVEY, ABSTRACT NO. 274	1.404 ACRES (61,149 SQ.FT.)
TOTAL	22.081 ACRES (961,827 SQ.FT.)



19500 Park Row, Suite 100
Houston, Texas 77084
(281) 579-7300
TBPLS Firm Reg No. 100518-00

EXISTING	TAKING AC/SF	REMAINING
564.69	22.081 AC	542.61 RT.
(CALC)	961,827 SF	

DATE: 07/2015	SCALE: N.T.S.	JOB No.: EG676
RCSJ No.: 0543-02-072		DWG. No.: P-500-01
RCSJ No.: 0543-02-071		



N 62° 00' 34" W-1.00'
POT 198+00.00

F.M. 1093
(120' R.O.W.)
VOL. 243, PG. 201
F.B.C.D.R.

EXISTING R.O.W.

DETAIL "A"
N.T.S.

100'

N 82° 59' 56" E
BASELINE

200+00

FORT BEND COUNTY TOLLROAD
AUTHORITY CORRIDOR

F.C. NO. 2015058468
F.C. NO. 2015058447
F.C. NO. 2015058441

FND. 5/8" I.R.

FND. 3/4" I.P.

N 82° 58' 36" E-16.03'

N 82° 59' 56" E-10,146.50'

CITY LIMIT LINE

CITY OF FULSHEAR

EXISTING R.O.W.

(500)

CITY OF FULSHEAR

N 02° 31' 13" W
111.88'

S/O 197+18.27
195.05' RT

S/O 197+19.09
195.62' RT

SEE DETAIL "A"
THIS SHEET

N 17° 00' 34" W
19.68'

S 82° 58' 34" W-203.08'

S/O 197+22.51, 215.00' RT



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Houston, Texas 77084
(281) 579-7300
TBP's Firm Reg No. 100518-00

TRACT NO. 1
PROTOTYPE MACHINE CO., INC.
FILE NO. 2008112545
DATE: OCTOBER 22, 2008
O.P.R.F.B.C.T.

564.69 ACRES (CALC)
HARRISON INTERESTS, LTD.
VOL. 1289 PG. 624
DATE: SEPTEMBER 9, 1983,
O.P.R.F.B.C.

564.69 ACRES (CALC)
HARRISON INTERESTS, LTD.
VOL. 1289 PG. 624
DATE: SEPTEMBER 9, 1983,
O.P.R.F.B.C.

SHEET 6 OF 30

MATCH LINE SEE SHEET 7

SCALE IN FEET
0 25 50
1 INCH = 50 FEET

DATE: 07/2015	SCALE: 1" = 50'	JOB No.: EG676
RCSJ No.: 0543-02-072		DWG. No.: P-500-02
RCSJ No.: 0543-02-071		
PARCEL PLAT SHOWING PARCEL 500 FM 1093, FORT BEND COUNTY, TEXAS		

F.M. 1093
 (120' R.O.W.)
 VOL. 243, PG. 201
 F.B.C.D.R.



MATCH LINE SEE SHEET 6

MATCH LINE SEE SHEET 8

EXISTING R.O.W. N 82° 59' 56" E

BASELINE

FORT BEND COUNTY TOLLROAD
 AUTHORITY CORRIDOR
 F.C. NO. 2015058468
 F.C. NO. 2015058447
 F.C. NO. 2015058441

N 82° 59' 56" E - 10,146.50'

EXISTING R.O.W.

CITY OF FULSHEAR

CITY LIMIT LINE

(500)

S 82° 59' 56" W - 1,926.09'

PROPOSED R.O.W.

564.69 ACRES (CALC)
 HARRISON INTERESTS, LTD.
 VOL. 1289 PG. 624
 DATE: SEPTEMBER 9, 1983,
 O.P.R.F.B.C.

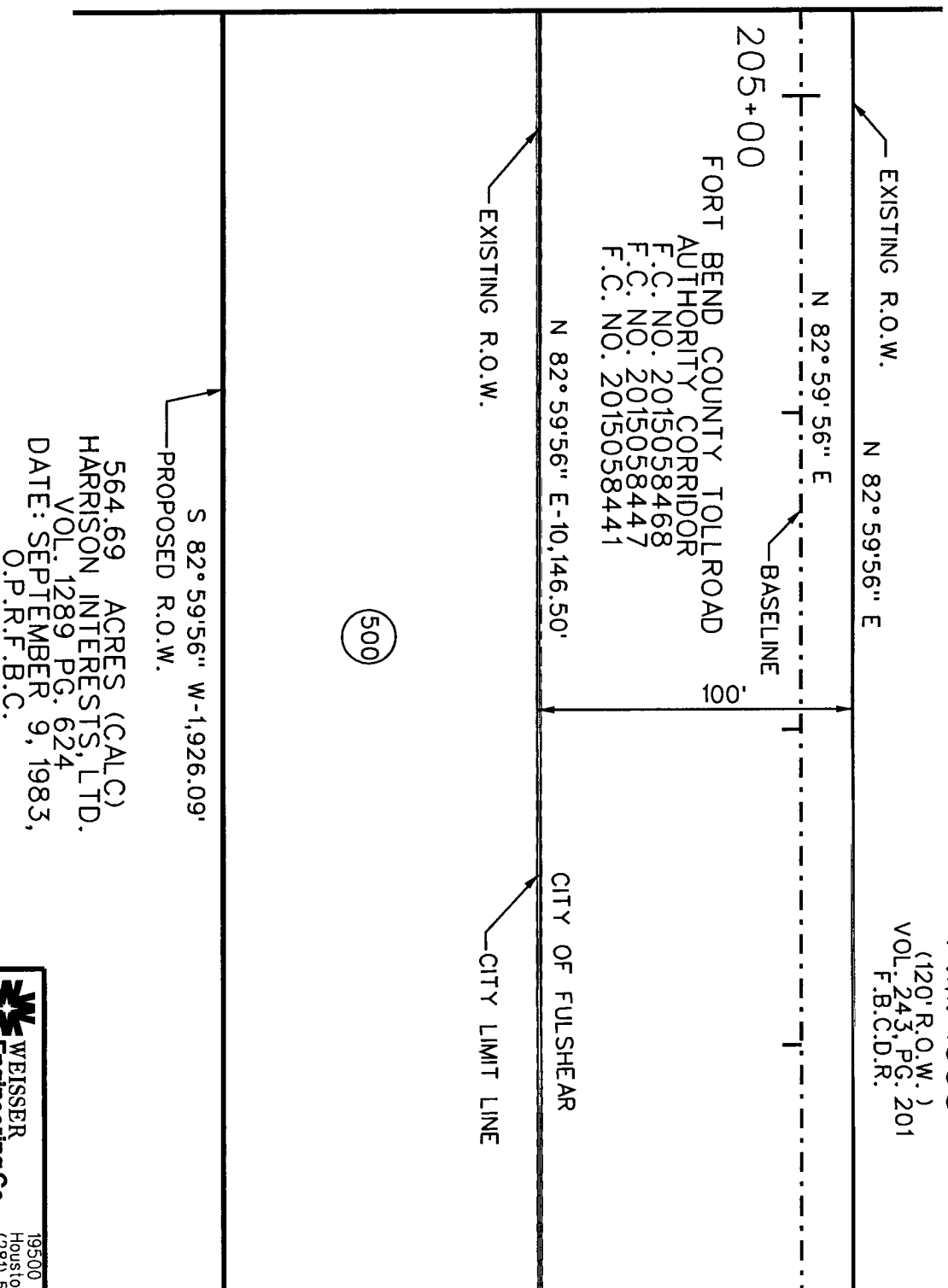


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 (281) 579 - 7300
 TBPLS Firm Reg No. 100518-00

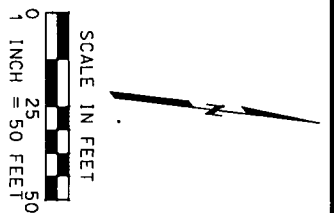
PARCEL PLAT SHOWING
 PARCEL 500
 FM 1093, FORT BEND COUNTY, TEXAS

DATE: 07/2015 SCALE: 1" = 50' JOB No.: EG676
 RCSJ No.: 0543-02-071 DWG. No.: P-500-03

MATCH LINE SEE SHEET 7



F.M. 1093
(120' R.O.W.)
VOL. 243, PG. 201
F.B.C.D.R.



MATCH LINE SEE SHEET 9

564.69 ACRES (CALC)
HARRISON INTERESTS, LTD.
VOL. 1289 PG. 624
DATE: SEPTEMBER 9, 1983,
O.P.R.F.B.C.



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TBPLS Firm Reg No. 100518-00

PARCEL PLAT SHOWING

PARCEL 500

FM 1093, FORT BEND COUNTY, TEXAS

DATE: 07/2015 SCALE: 1" = 50' JOB No.: EG676

RCSJ No.: 0543-02-071 DWG. No.: P-500-04

SHEET 8 OF 30

MATCH LINE SEE SHEET 8

EXISTING R.O.W.

F.M. 1093

210+00

BASELINE

100

N 82° 59' 56" E

FORT BEND COUNTY TOLLROAD
AUTHORITY CORRIDOR
F.C. NO. 2015058468
F.C. NO. 2015058447
F.C. NO. 2015058441

CITY OF FULSHEAR

CITY LIMIT LINE

N 82° 59' 56" E-10,146.50'

EXISTING R.O.W.

(500)

873.68'

S 82° 59' 56" W-1,926.09'

PROPOSED R.O.W.

S/O 210+00.00, 183.50' RT

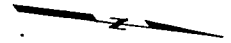
SET

564.69 ACRES (CALC)
HARRISON INTERESTS, LTD.
VOL. 1289 PG. 624
DATE: SEPTEMBER 9, 1983,
O.P.R.F.B.C.

SHEET 9 OF 30

MATCH LINE SEE SHEET 10

SCALE IN FEET
0 25 50
1 INCH = 50 FEET



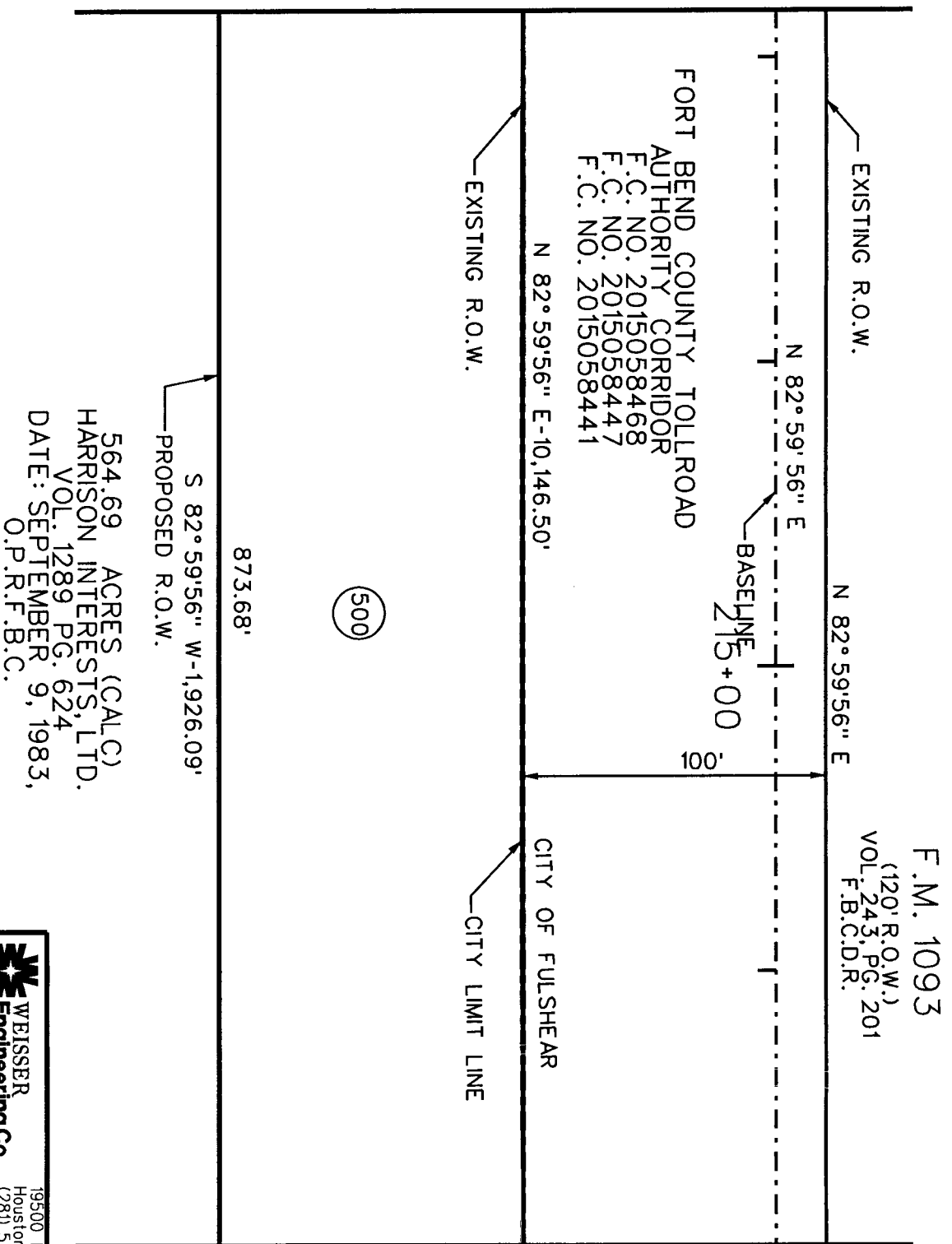
19500 Park Row, Suite 100
Houston, Texas 77084
(281) 579-7300
TBPLS Firm Reg No. 100518-00

PARCEL PLAT SHOWING

FM 1093, FORT BEND COUNTY, TEXAS

DATE: 07/2015 SCALE: 1" = 50' JOB No.: EG676
RCSJ No.: 0543-02-071 DWG. No.: P-500-05

MATCH LINE SEE SHEET 9



F.M. 1093
(120' R.O.W.)
VOL. 243, PG. 201
F.B.C.D.R.

SCALE IN FEET
0 25 50
1 INCH = 50 FEET

564.69 ACRES (CALC)
HARRISON INTERESTS, LTD.
VOL. 1289 PG. 624
DATE: SEPTEMBER 9, 1983,
O.P.R.F.B.C.



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Houston, Texas 77084
(281) 579-7300
TBPLS Firm Reg No. 100518-00

PARCEL PLAT SHOWING
PARCEL 500
FM 1093, FORT BEND COUNTY, TEXAS

DATE: 07/2015 SCALE: 1" = 50' JOB No.: EG676
RCSJ No.: 0543-02-071 DWG. No.: P-500-06

SHEET 10 OF 30

F.M. 1093

(120' R.O.W.)
VOL. 243, PG. 201
F.B.C.D.R.

EXISTING R.O.W.

N 82° 59' 56" E

N 82° 59' 56" E

BASELINE

FORT BEND COUNTY TOLLROAD
AUTHORITY CORRIDOR

F.C. NO. 2015058468
F.C. NO. 2015058447
F.C. NO. 2015058441

CITY OF FULSHEAR

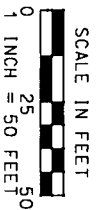
CITY LIMIT LINE

N 82° 59' 56" E - 10,146.50'

EXISTING R.O.W.

SURVEY LINE

220+00



MATCH LINE SEE SHEET 10

MATCH LINE SEE SHEET 12

500

S/O 219+06.08, 218.40' RT

S/O 218+73.68, 183.50' RT

873.68'

S 82° 59' 56" W - 1,926.09'

PROPOSED R.O.W.

N 49° 51' 51" W - 47.62'

N 02° 43' 38" W - 11.19'

S/O 219+05.24, 229.56' RT

S 82° 59' 56" W
6,256.72'

S/O 221+20.17, 183.50' RT

S/O 220+82.57, 218.40' RT

S 02° 43' 38" E - 24.34'

S/O 220+80.75, 242.68' RT

S 87° 16' 22" W - 176.00'

S 40° 08' 09" W
51.31'

564.69 ACRES (CALC)
HARRISON INTERESTS, LTD.
VOL. 1289 PG. 624
DATE: SEPTEMBER 9, 1983
O.P.R.F.B.C.



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Houston, Texas 77084
(281) 579-7300
TBPUS Firm Reg No. 100518-00

PARCEL PLAT SHOWING

PARCEL 500

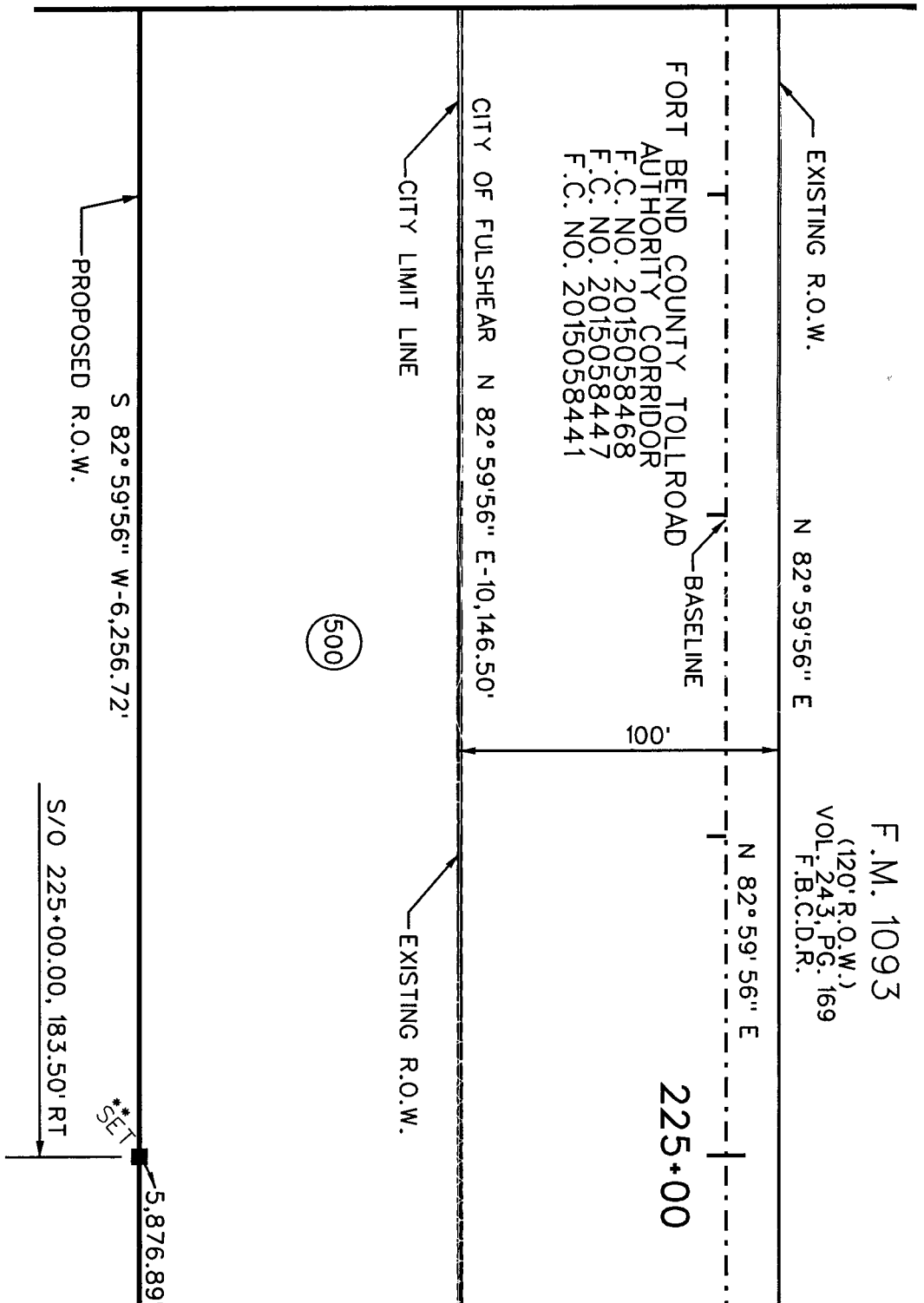
FM 1093, FORT BEND COUNTY, TEXAS

DATE: 07/2015 SCALE: 1" = 50' JOB No.: EG676

RCSJ No.: 0543-02-071 DWG. No.: P-500-07

SHEET 11 OF 30

MATCH LINE SEE SHEET 11

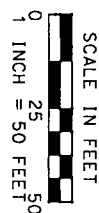


564.69 ACRES (CALC)
HARRISON INTERESTS, LTD.
VOL. 1289 PG. 624
DATE: SEPTEMBER 9, 1983,
O.P.R.F.B.C.

F.M. 1093
(120' R.O.W.)
VOL. 243 PG. 169
F.B.C.D.R.

225+00

MATCH LINE SEE SHEET 13



SHEET 12 OF 30

 WEISSER Engineering Co.	
19500 Park Row, Suite 100 Houston, Texas 77084 (281) 579 - 7300 TBPLS Firm Reg No. 100518-00	
PARCEL PLAT SHOWING PARCEL 500 FM 1093, FORT BEND COUNTY, TEXAS	
DATE: 07/2015	SCALE: 1" = 50'
RCSJ No.: 0543-02-071	JOB No.: EG676 DWG. No.: P-500-08

MATCH LINE SEE SHEET 12

EXISTING R.O.W.

F.M. 1093
(120° R.O.W.)
VOL. 243, PG. 169
F.B.C.D.R.

N 82° 59' 56" E

N 82° 59' 56" E

-BASELINE

FORT BEND COUNTY TOLLROAD
AUTHORITY CORRIDOR
F.C. NO. 2015058468
F.C. NO. 2015058447
F.C. NO. 2015058441

CITY OF FULSHEAR N 82° 59'56" E-10,146.50'

CITY LIMIT LINE

-EXISTING R.O.W.

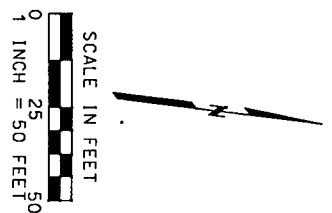
500

5,876.89'

S 82°59'56" W-6,256.72'

564.69 ACRES (CALC)
HARRISON INTERESTS, LTD.
VOL. 1289 PG. 624
DATE: SEPTEMBER 9, 1983,
O.P.R.F.B.C.

MATCH LINE SEE SHEET 14



**WEISSER
Engineering Co.**

19500 Park Row, Suite 100
Houston, Texas 77084
(281) 579 - 7300
IBPLS Firm Reg No. 100518-00

PARCEL PLAT SHOWING
PARCEL 500
FM 1093, FORT BEND COUNTY, TEXAS

DATE: 07/2015	SCALE: 1" = 50'	JOB No.: EG676
RCSJ No.: 0543-02-071		DWG. No.: P-500-09

MATCH LINE SEE SHEET 13

F.M. 1093
(120' R.O.W.)
VOL. 243, PG. 169
F.B.C.D.R.

N 82° 59' 56" E

N 82° 59' 56" E

BASELINE

230+00

FORT BEND COUNTY TOLLROAD
AUTHORITY CORRIDOR
F.C. NO. 2015058468
F.C. NO. 2015058447
F.C. NO. 2015058441

N 82° 59' 56" E -10,146.50'

EXISTING R.O.W.

CITY OF FULSHEAR

CITY LIMIT LINE

(500)

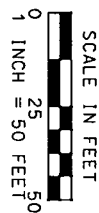
Transcontinental Pipeline
Right-of Way Agreement
Vol. 272, Pg. 225
F.B.C.D.R.

5,876.89'

S 82° 59' 56" W -6,256.72'

PROPOSED R.O.W.

564.69 ACRES (CALC)
HARRISON INTERESTS, LTD.
VOL. 1289 PG. 624
DATE: SEPTEMBER 9, 1983,
O.P.R.F.B.C.



MATCH LINE SEE SHEET 15

WEISSER
Engineering Co.

19500 Park Row, Suite 100
Houston, Texas 77084
(281) 579 - 7300
TBPLS Firm Reg No. 100518-00

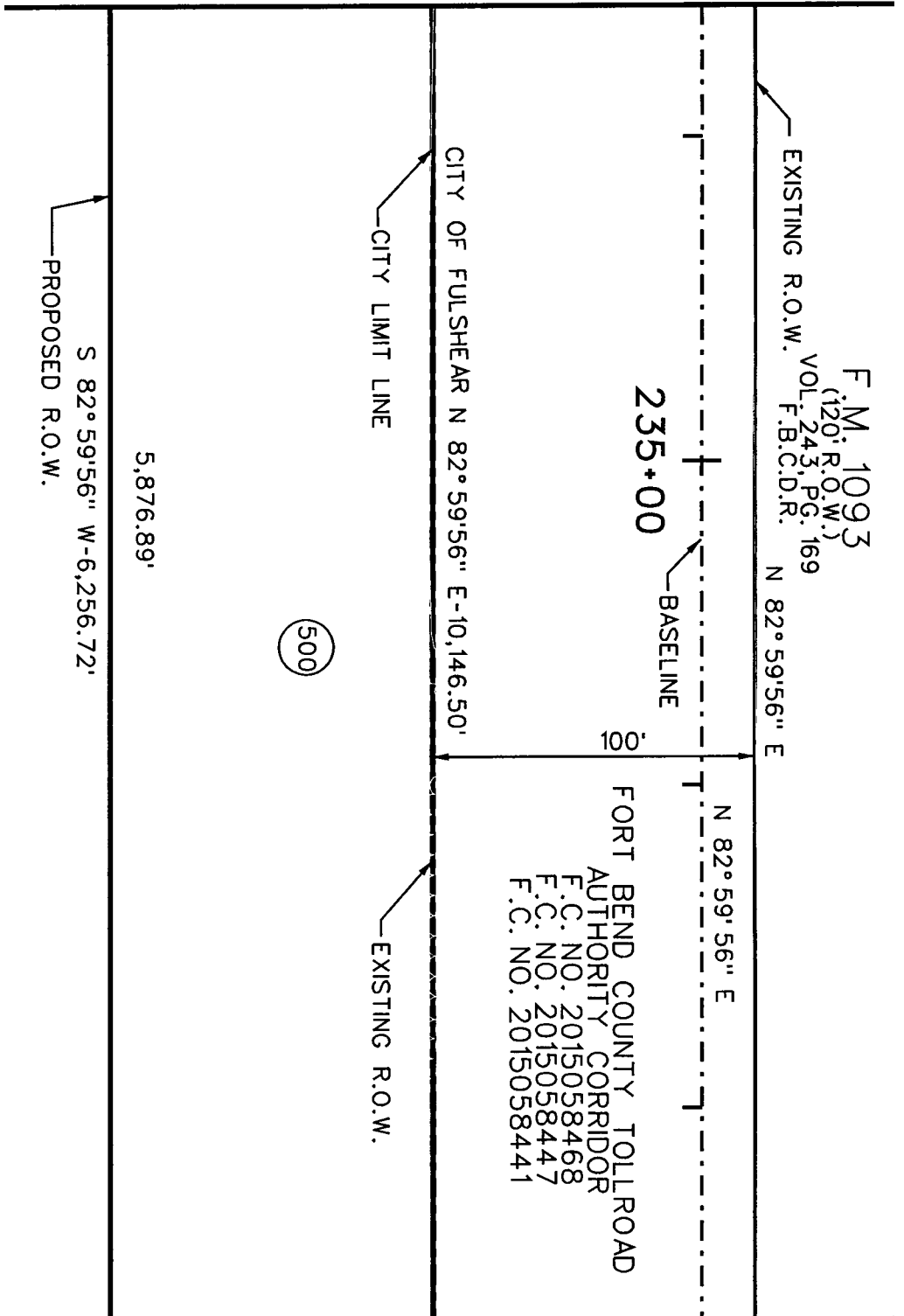
PARCEL PLAT SHOWING

PARCEL 500
FM 1093, FORT BEND COUNTY, TEXAS

DATE: 07/2015 SCALE: 1" = 50' JOB No.: EG676
RCSJ No.: 0543-02-071 DWG. No.: P-500-10

SHEET 14 OF 30

MATCH LINE SEE SHEET 14



564.69 ACRES (CALC)
HARRISON INTERESTS, LTD.
VOL. 1289 PG. 624
DATE: SEPTEMBER 9, 1983,
O.P.R.F.B.C.

FORT BEND COUNTY TOLLROAD
AUTHORITY CORRIDOR
F.C. NO. 2015058468
F.C. NO. 2015058447
F.C. NO. 2015058441

SCALE IN FEET
0 25 50
1 INCH = 50 FEET

MATCH LINE SEE SHEET 16

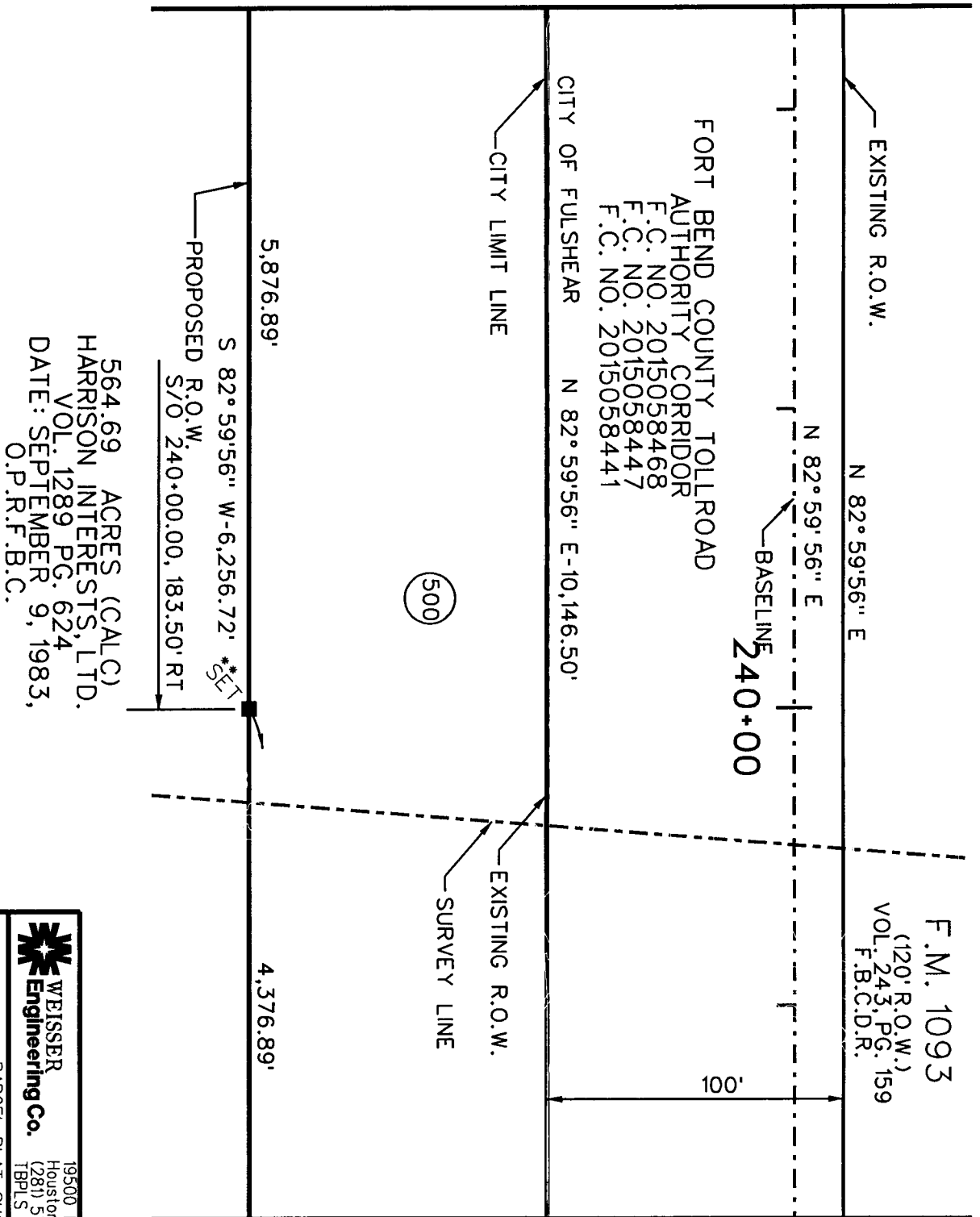
SHEET 15 OF 30

WEISSER Engineering Co.
19500 Park Row, Suite 100
Houston, Texas 77084
(281) 579 - 7300
TIFLS Firm Reg No. 100518-00

PARCEL PLAT SHOWING
PARCEL 500
FM 1093, FORT BEND COUNTY, TEXAS

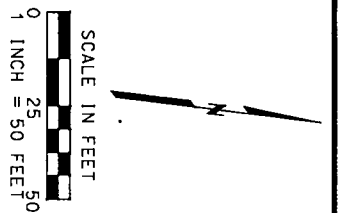
DATE: 07/2015 SCALE: 1" = 50' JOB No.: EG676
RCSJ No.: 0543-02-071 DWG. No.: P-500-11

MATCH LINE SEE SHEET 15



564.69 ACRES (CALC)
HARRISON INTERESTS, LTD.
VOL. 1289 PG. 624
DATE: SEPTEMBER 9, 1983,
O.P.R.F.B.C.

MATCH LINE SEE SHEET 17



SHEET 16 OF 30



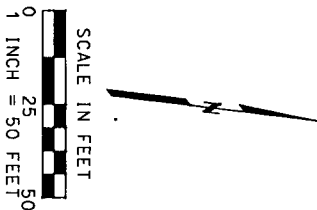
19500 Park Row, Suite 100
Houston, Texas 77084
(281) 579 - 7300
TBPLS Firm Reg No. 100518-00

PARCEL PLAT SHOWING

PARCEL 500
FM 1093, FORT BEND COUNTY, TEXAS

DATE: 07/2/2015 SCALE: 1" = 50' JOB No.: EG676
RCSJ No.: 0543-02-071 DWG. No.: P-500-12

MATCH LINE SEE SHEET 18



WEISSER
Engineering Co.
19500 Park Row, Suite 100
Houston, Texas 77084
(281) 579 - 7300
TBP/LS Firm Reg No. 100518-00

PARCEL PLAT SHOWING
PARCEL 500
FM 1093, FORT BEND COUNTY, TEXAS

SHEET 17 OF 30

DATE: 07/2015	SCALE: 1" = 50'	JOB No.: EG676
RCSJ No.: 0543-02-071		DWG. No.: P-500-13

MATCH LINE SEE SHEET 17

EXISTING R.O.W.

N 82° 59' 56" E

F.M. 1093
(120' R.O.W.)
VOL. 243, PG. 159
F.B.C.D.R.

247+00

BASELINE

N 82° 59' 56" E

FORT BEND COUNTY TOLL ROAD
AUTHORITY CORRIDOR
F.C. NO. 2015058468
F.C. NO. 2015058447
F.C. NO. 2015058441

CITY OF FULSHEAR N 82° 59' 56" E-10,146.50'

CITY LIMIT LINE

500

EXISTING R.O.W.

4,376.89'

S 82° 59' 56" W-6,256.72'

PROPOSED R.O.W.

564.69 ACRES (CALC)
HARRISON INTERESTS, LTD.
VOL. 1289 PG. 624
DATE: SEPTEMBER 9, 1983,
O.P.R.F.B.C.

MATCH LINE SEE SHEET 19

SCALE IN FEET
0 25 50
1 INCH = 50 FEET



WEISSER
Engineering Co.

19500 Park Row, Suite 100
Houston, Texas 77084
(281) 579 - 7300
TBPLS Firm Reg No. 100518-00

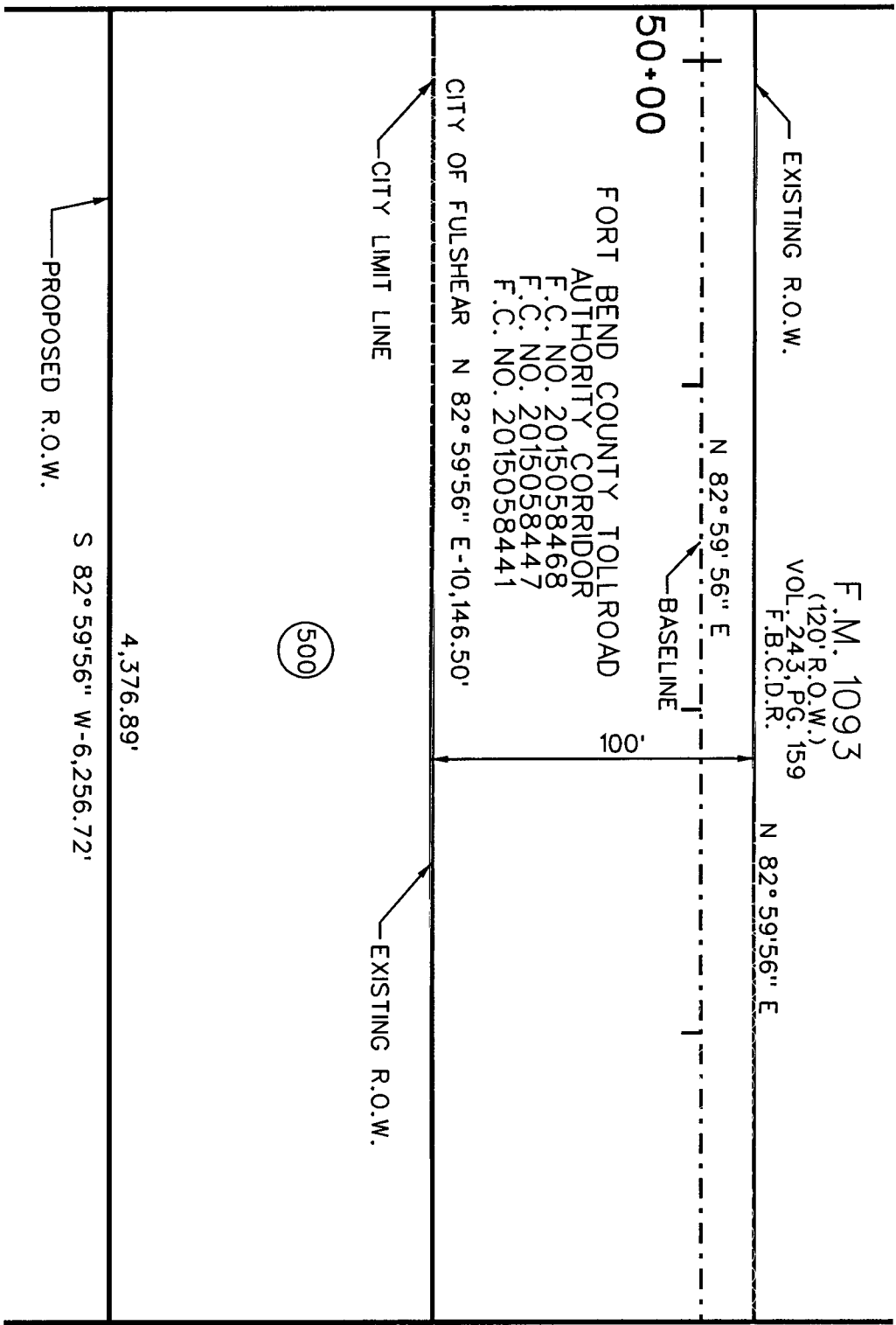
PARCEL PLAT SHOWING

PARCEL 500
FM 1093, FORT BEND COUNTY, TEXAS

DATE: 07/2015 SCALE: 1" = 50' JOB No.: EG676
RCSJ No.: 0543-02-071 DWG. No.: P-500-14

SHEET 18 OF 30

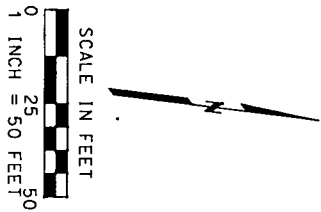
MATCH LINE SEE SHEET 18



564.69 ACRES (CALC)
HARRISON INTERESTS, LTD.
VOL. 1289 PG. 624
DATE: SEPTEMBER 9, 1983,
O.P.R.F.B.C.

SHEET 19 OF 30

MATCH LINE SEE SHEET 20

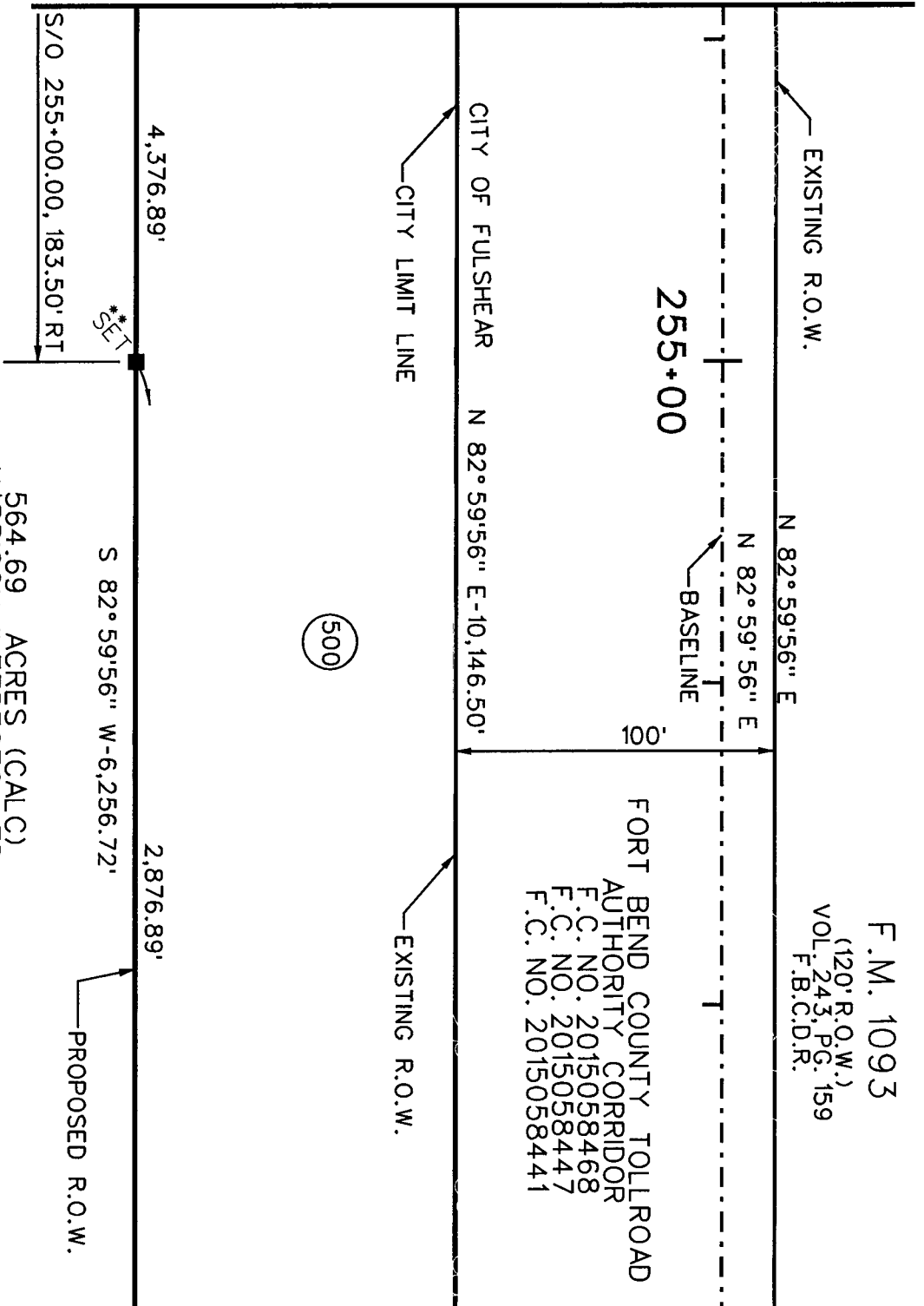


WEISSER Engineering Co.
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Houston, Texas 77084
(281) 579 - 7300
TBPUS Firm Reg No. 100518-00

PARCEL PLAT SHOWING
PARCEL 500
FM 1093, FORT BEND COUNTY, TEXAS

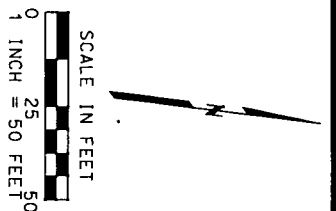
DATE: 07/2015 SCALE: 1" = 50' JOB No.: EG676
RCSJ No.: 0543-02-071 DWG. No.: P-500-15

MATCH LINE SEE SHEET 19



564.69 ACRES (CALC)
HARRISON INTERESTS, LTD.
VOL. 1289 PG. 624
DATE: SEPTEMBER 9, 1983,
O.P.R.F.B.C.

F.M. 1093
(120' R.O.W.)
VOL. 243, PG. 159
F.B.C.D.R.



MATCH LINE SEE SHEET 21



19500 Park Row, Suite 100
Houston, Texas 77084
(281) 579-7300
TBPLS Firm Reg No. 100518-00

PARCEL PLAT SHOWING
PARCEL 500
FM 1093, FORT BEND COUNTY, TEXAS

DATE: 07/2015 SCALE: 1" = 50' JOB No.: EG676
RCSJ No.: 0543-02-071 DWG. No.: P-500-16

MATCH LINE SEE SHEET 20

EXISTING R.O.W.

N 82° 59' 56" E

F.M. 1093
(120' R.O.W.)
VOL. 243, PG. 159
F.B.C.D.R.

FORT BEND COUNTY TOLLROAD
AUTHORITY CORRIDOR
F.C. NO. 2015058468
F.C. NO. 2015058447
F.C. NO. 2015058441

BASELINE
260+00

N 82° 59' 56" E

CITY OF FULSHEAR N 82° 59' 56" E -10,146.50'

CITY LIMIT LINE

EXISTING R.O.W.

500

2,876.89'

S 82° 59' 56" W -6,256.72'

PROPOSED R.O.W.

564.69 ACRES (CALC)
HARRISON INTERESTS, LTD.
VOL. 1289 PG. 624
DATE: SEPTEMBER 9, 1983,
O.P.R.F.B.C.



WEISSER
Engineering Co.

19500 Park Row, Suite 100
Houston, Texas 77084
(281) 579 - 7300
TBPLS Firm Reg No. 100518-00

PARCEL PLAT SHOWING

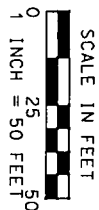
PARCEL 500
FM 1093, FORT BEND COUNTY, TEXAS

DATE: 07/2015 SCALE: 1" = 50' JOB No.: EG676

RCSJ No.: 0543-02-071 DWG. No.: P-500-17

SHEET 21 OF 30

MATCH LINE SEE SHEET 22



MATCH LINE SEE SHEET 21

EXISTING R.O.W.

N 82° 59' 56" E

F.M. 1093
(120' R.O.W.)
VOL. 243, PG. 159
F.B.C.D.R.

N 82° 59' 56" E

BASELINE

FORT BEND COUNTY TOLLROAD
AUTHORITY CORRIDOR

F.C. NO. 2015058468
F.C. NO. 2015058447
F.C. NO. 2015058441

CITY OF FULSHEAR

CITY LIMIT LINE

500

N 82° 59' 56" E - 10,146.50'

EXISTING R.O.W.

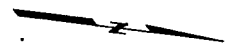
2,876.89'

S 82° 59' 56" W - 6,256.72'

PROPOSED R.O.W.

564.69 ACRES (CALC)
HARRISON INTERESTS, LTD.
VOL. 1289 PG. 624
DATE: SEPTEMBER 9, 1983,
O.P.R.F.B.C.

SCALE IN FEET
0 25 50
1 INCH = 50 FEET



MATCH LINE SEE SHEET 23



19500 Park Row, Suite 100
Houston, Texas 77084
(281) 579-7300
TBPLS Firm Reg No. 100518-00

PARCEL PLAT SHOWING

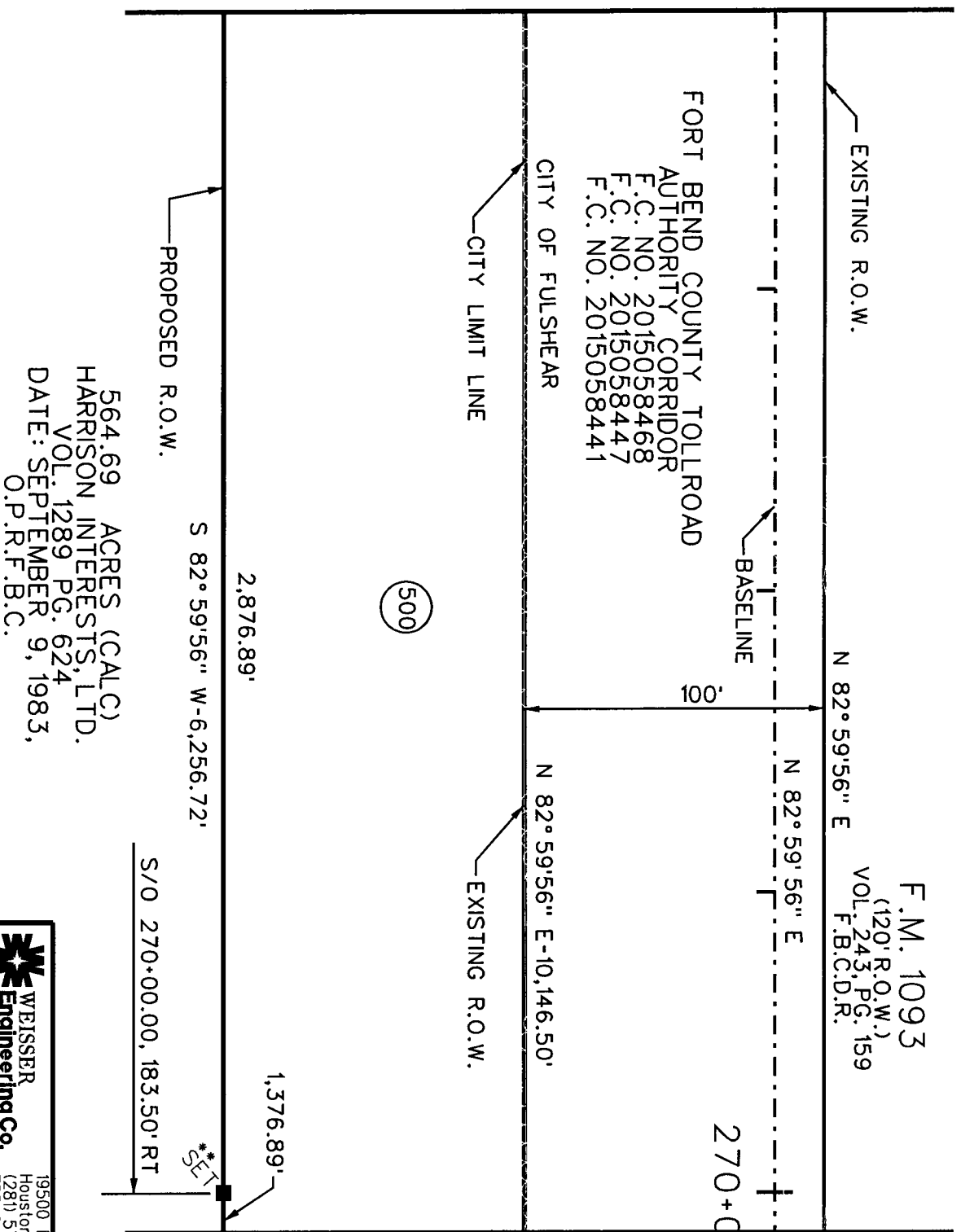
PARCEL 500
FM 1093, FORT BEND COUNTY, TEXAS

DATE: 07/2015 SCALE: 1" = 50' JOB No.: EG676

RCSJ No.: 0543-02-071 DWG. No.: P-500-18

SHEET 22 OF 30

MATCH LINE SEE SHEET 22



564.69 ACRES (CALC)
HARRISON INTERESTS, LTD.
VOL. 1289 PG. 624
DATE: SEPTEMBER 9, 1983,
O.P.R.F.B.C.

F.M. 1093
(120' R.O.W.)
VOL. 243, PG. 159
F.B.C.D.R.

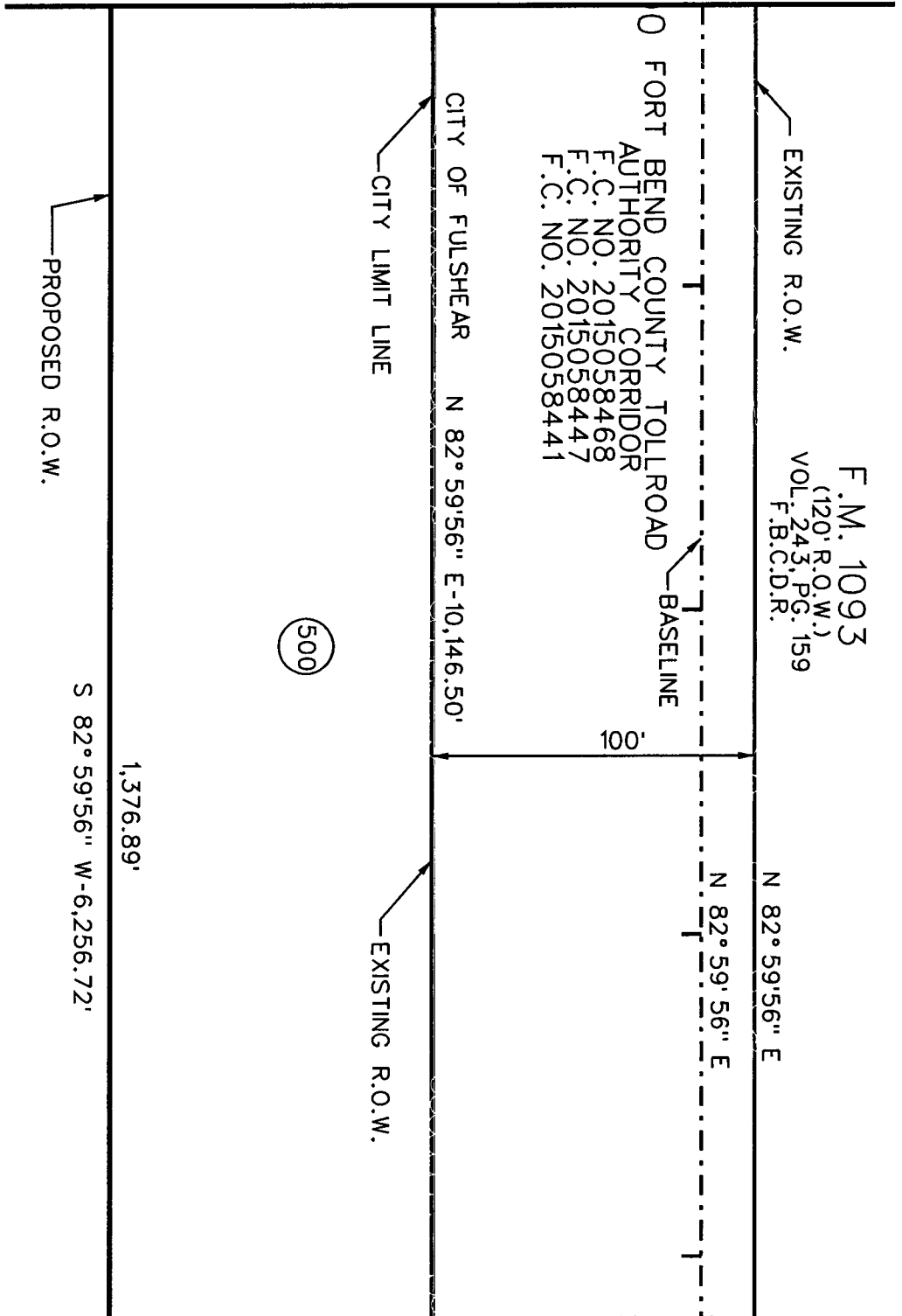


MATCH LINE SEE SHEET 24

SHEET 23 OF 30

 WEISSER Engineering Co.	
19500 Park Row, Suite 100 Houston, Texas 77084 (281) 579-7300 TBPLS Firm Reg No. 100518-00	
PARCEL PLAT SHOWING PARCEL 500 FM 1093, FORT BEND COUNTY, TEXAS	
DATE: 07/2015	SCALE: 1" = 50'
RCSJ No.: 0543-02-071	JOB No.: EG676 DWG. No.: P-500-19

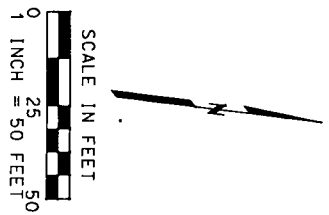
MATCH LINE SEE SHEET 23



564.69 ACRES (CALC)
HARRISON INTERESTS, LTD.
VOL. 1289 PG. 624
DATE: SEPTEMBER 9, 1983,
O.P.R.F.B.C.

SHEET 24 OF 30

MATCH LINE SEE SHEET 25



WEISSER Engineering Co.
19500 Park Row, Suite 100
Houston, Texas 77084
(281) 579 - 7300
TBPLS Firm Reg No. 100518-00

PARCEL PLAT SHOWING
PARCEL 500
FM 1093, FORT BEND COUNTY, TEXAS

DATE: 07/2015 SCALE: 1" = 50' JOB No.: EG676
RCSJ No.: 0543-02-071 DWG. No.: P-500-20

MATCH LINE SEE SHEET 24

EXISTING R.O.W.

F.M. 1093
(120' R.O.W.)
VOL. 243, PG. 159
F.B.C.D.R.

N 82° 59' 56" E

275+00

BASELINE

FORT BEND COUNTY TOLL ROAD
AUTHORITY CORRIDOR

F.C. NO. 2015058468
F.C. NO. 2015058447
F.C. NO. 2015058441

CITY OF FULSHEAR

CITY LIMIT LINE

(500)

N 82° 59' 56" E-10,146.50'

EXISTING R.O.W.

1,376.89'

S 82° 59' 56" W-6,256.72'

PROPOSED R.O.W.

FM 1093 BASELINE CURVE DATA

564.69 ACRES (CALC)
HARRISON INTERESTS, LTD.
VOL. 1289 PG. 624
DATE: SEPTEMBER 9, 1983,
O.P.R.F.B.C.

C5
RADIUS - 14,100.00'
CENTRAL ANGLE - 02° 59' 19" (LT)
ARC LENGTH - 735.50'
TAN LENGTH - 367.83'
CHORD BEARING - N 81° 30' 17" E
CHORD DISTANCE - 735.41'
PI STATION - 281+63.54
PI N - 13,815,144.14
PI E - 2,968,365.06

SHEET 25 OF 30

MATCH LINE SEE SHEET 26

SCALE IN FEET
0 25 50
1 INCH = 50 FEET



WEISSER
Engineering Co.

19500 Park Row, Suite 100
Houston, Texas 77084
(281) 579-7300
TBEPLS Firm Reg No. 100518-00

PARCEL PLAT SHOWING

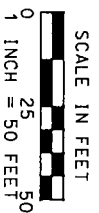
PARCEL 500
FM 1093, FORT BEND COUNTY, TEXAS

DATE: 07/2015 SCALE: 1" = 50' JOB No.: EG676
RCSJ No.: 0543-02-071 DWG. No.: P-500-21

F.M. 1093

(120' R.O.W.)
VOL. 243, PG. 159
F.B.C.D.R.

N 82° 59' 56" E



280+00

100

FORT BEND COUNTY TOLLROAD

AUTHORITY CORRIDOR
F.C. NO. 2015058468
F.C. NO. 2015058447
F.C. NO. 2015058441

CITY OF FULSHEAR N 82° 59' 56" E-10,146.50'

CITY LIMIT LINE

EXISTING R.O.W.

(500)

1,376.89'

S 82° 59' 56" W-6,256.72'

PROPOSED R.O.W.

MATCH LINE SEE SHEET 25

MATCH LINE SEE SHEET 27

FM 1093 BASELINE CURVE DATA

C5
RADIUS - 14,100.00'
CENTRAL ANGLE - 02° 59' 19" (LT)
ARC LENGTH - 735.50'
TAN LENGTH - 367.83'
CHORD BEARING - N 81° 30' 17" E
CHORD DISTANCE - 735.41'
PI STATION - 281+63.54
PI N - 13,815.144.14
PI E - 2,968.365.06

564.69 ACRES (CALC)
HARRISON INTERESTS, LTD.
VOL. 1289 PG. 624
DATE: SEPTEMBER 9, 1983,
O.P.R.F.B.C.

SHEET 26 OF 30



WEISSER
Engineering Co.

19500 Park Row, Suite 100
Houston, Texas 77084
(281) 579-7300
TBPLS Firm Reg No. 100518-00

PARCEL PLAT SHOWING

PARCEL 500

FM 1093, FORT BEND COUNTY, TEXAS

DATE: 07/2015

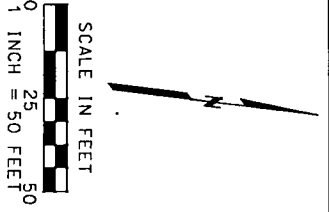
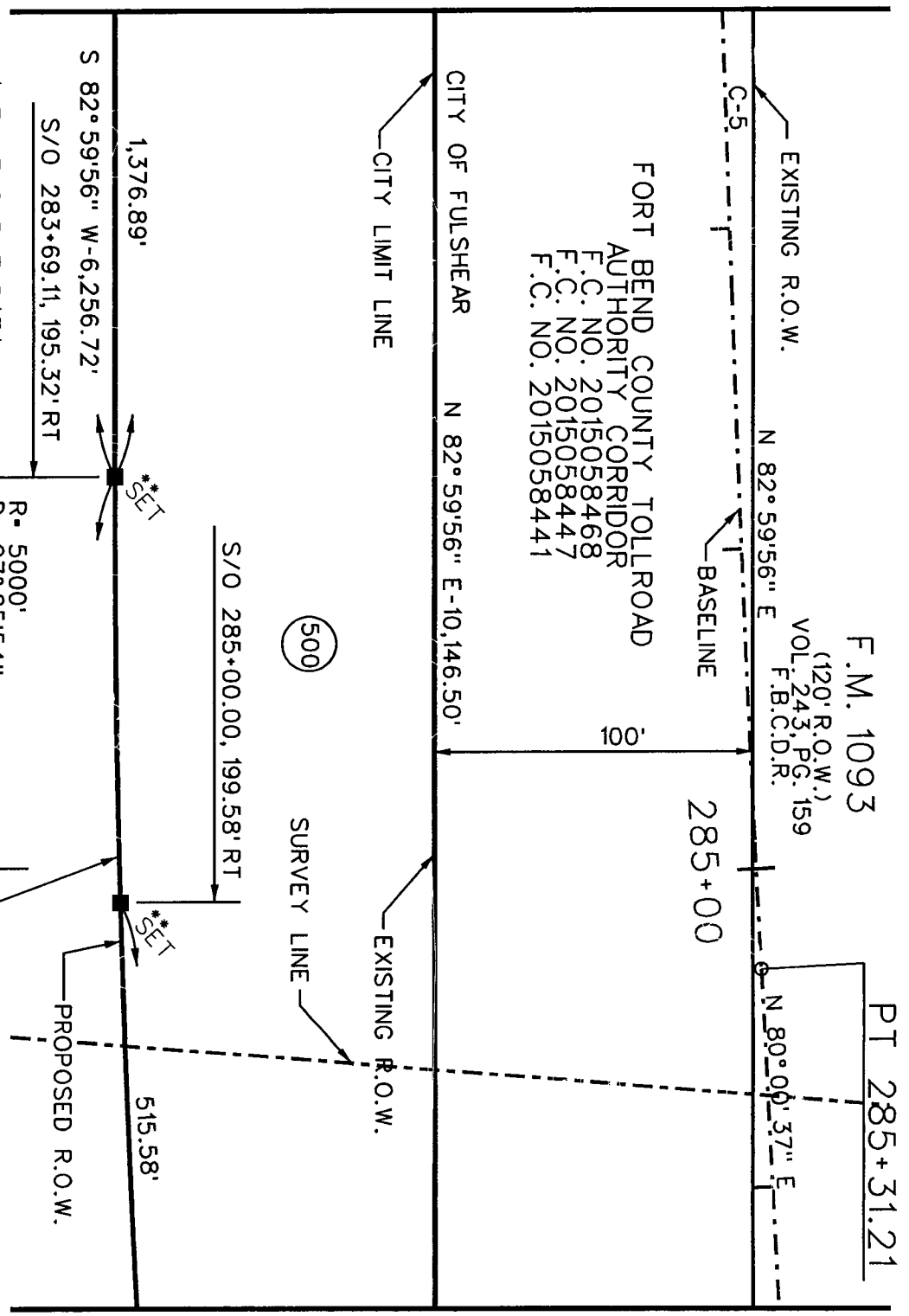
SCALE: 1" = 50'

JOB No.: EG676

RCSJ No.: 0543-02-071

DWG. No.: P-500-22

MATCH LINE SEE SHEET 26



MATCH LINE SEE SHEET 28

FM 1093 BASELINE CURVE DATA

C5

RADIUS - 14,100.00'

CENTRAL ANGLE - 02° 59' 19" (LT)

ARC LENGTH - 735.50'

TAN LENGTH - 367.83'

CHORD BEARING - N 81° 30' 17" E

CHORD DISTANCE - 735.41'

PI STATION - 281+63.54

PI N - 13+815.144.14

PI E - 2,968.365.06

564.69 ACRES (CALC)
HARRISON INTERESTS, LTD.
VOL. 1289 PG. 624
DATE: SEPTEMBER 9, 1983,
O.P.R.F.B.C.

SHEET 27 OF 30



**WEISSER
Engineering Co.**

19500 Park Row, Suite 100
Houston, Texas 77084
(281) 579 - 7300
TBPUS Firm Reg No. 100518-00

PARCEL PLAT SHOWING
PARCEL 500
FM 1093, FORT BEND COUNTY, TEXAS

DATE: 07/2015 SCALE: 1" = 50'
RCSJ No.: 0543-02-071

JOB No.: EG676
DWG. No.: P-500-23

R - 5000'
D - 07°25.54"
L - 648.53'
CH - S 79° 17'00" W-648.07"
RAD. BRG. - N 14° 25.57" W

564.69 ACRES (CALC)
HARRISON INTERESTS, LTD.
VOL. 1289 PG. 624
DATE: SEPTEMBER 9, 1983,
O.P.R.F.B.C.

SHEET 28 OF 30

WEISSER Engineering Co. 19500 Park Row, Suite 100
Houston, Texas 77084
(281) 579 - 7300
TBP's Firm Reg No. 100518-00

PARCEL PLAT SHOWING
PARCEL 500
FM 1093, FORT BEND COUNTY, TEXAS

DATE: 07/2015 SCALE: 1" = 50' JOB No.: EG676
RCSJ No.: 0543-02-071 DWG. No.: P-500-24

MATCH LINE SEE SHEET 29

SCALE IN FEET
0 25 50
1 INCH = 50 FEET

R.H. KUYKENDALL SURVEY A-2/4

BASELINE

C-6 F.M. 1093
(120' R.O.W.)

294+00

VOL. 243, PG. 159
F.B.C.D.R.

N 82° 59' 56" E

EXISTING R.O.W.

FORT BEND COUNTY TOLLROAD
AUTHORITY CORRIDOR

F.C. NO. 2015058468
F.C. NO. 2015058447
F.C. NO. 2015058441

CITY OF FULSHEAR N 82° 59' 56" E-10,146.50'

CITY LIMIT LINE

(500)

EXISTING R.O.W.

PROPOSED R.O.W.

MATCH LINE SEE SHEET 28

MATCH LINE SEE SHEET 30

R = 5,000.00'
D = 07° 25' 54"
L = 648.53'
CH = S 79° 17' 00" W-648.07'
RAD. BRG. = S 07° 00' 04" E

FM 1093 BASELINE CURVE DATA

- C6
- RADIUS - 14,100.00'
- CENTRAL ANGLE - 02° 59' 19" (RT)
- ARC LENGTH - 735.50'
- TAN LENGTH - 367.83'
- CHORD BEARING - N 81° 30' 17" E
- CHORD DISTANCE - 735.41'
- PI STATION - 294+00.45
- PI N - 13,815.358.74
- PI E - 2,969,583.38

564.69 ACRES (CALC)
HARRISON INTERESTS, LTD.
VOL. 1289 PG. 624
DATE: SEPTEMBER 9, 1983,
O.P.R.F.B.C.



19500 Park Row, Suite 100
Houston, Texas 77084
(281) 579-7500
TBEPLS Firm Reg No. 100518-00

PARCEL PLAT SHOWING

FM 1093, FORT BEND COUNTY, TEXAS

DATE: 07/2015 SCALE: 1" = 50' JOB No.: EG676
RCSJ No.: 0543-02-071 DWG. No.: P-500-25



C-6
295+00

BASELINE

F.M. 1093
(120' R.O.W.)

VOL. 243, PG. 159
F.B.C.D.R. N 82° 59' 56" E

N 82° 59' 56" E

EXISTING R.O.W.

FORT BEND COUNTY TOLLROAD
AUTHORITY CORRIDOR
F.C. NO. 2015058468
F.C. NO. 2015058447
F.C. NO. 2015058441

CITY OF FULSHEAR N 82° 59' 56" E-10,146.50'

CITY LIMIT LINE

500

S/O 296+70.53, 163.67' RT

EXISTING R.O.W.

S 82° 59' 56" W-182.75'

S/O 298+54.42, 164.00' RT

N 49° 22' 04" W-47.17'

SET*

SET*

S 01° 44' 04" E
51.07'

R= 5,000.00'
D= 07° 25' 54"
L= 648.53'
CH= S 79° 17' 00" W-648.07'
RAD. BRG.= S 07° 00' 04" E

564.69 ACRES (CALC)
HARRISON INTERESTS, LTD.
VOL. 1289 PG. 624
DATE: SEPTEMBER 9, 1983,
O.P.R.F.B.C.

N 01° 44' 04" W-3,043.12'

P.O.B.
PARCEL 500
N=13,815.220.59
E=2,970.089.92
S/O 298+86.21, 198.85' RT

P.O.C.
PARCEL 500
SET 5/8" I.R.

F.M. 359
(80' R.O.W.)
VOL. 243, PG. 159
F.B.C.D.R.

SCALE IN FEET
0 25 50
1 INCH = 50 FEET

MATCH LINE SEE SHEET 29

FM 1093 BASELINE CURVE DATA

C6
RADIUS
CENTRAL ANGLE
ARC LENGTH
TAN LENGTH
CHORD BEARING
CHORD DISTANCE
PI STATION
PI N
PI E

14,100.00'
02° 59' 19" (RT)
735.50'
367.83'
N 81° 30' 17" E
735.41'
294+00.45
13,815.358.74
2,969,583.38



19500 Park Row, Suite 100
Houston, Texas 77084
(281) 579-7300
TBPUS Firm Reg No. 100518-00

PARCEL PLAT SHOWING
PARCEL 500

FM 1093, FORT BEND COUNTY, TEXAS

DATE: 07/2015 SCALE: 1" = 50' JOB No.: EG676
RCSJ No.: 0543-02-071 DWG. No.: P-500-26

SHEET 30 OF 30

EXHIBIT B

Adjacent Property

(see attached)

Exhibit B-- Legal Description of the Adjacent Property

Approximately 3,557.386 acres of land in Fort Bend County, Texas, and comprised of the following twelve (12) tracts:

TRACT 1:

Being 1191.48 acres, more or less, described as Tract 1 containing of 186.29 acres, more or less, out of the Morris & Cummings Survey, A-294 and the E. Latham Survey, A-50, and Tract 2 containing 1005.19 acres, more or less, out of the E. Latham Survey, A-50 and the John Foster Survey, A-26, and more fully described in that certain deed dated August 9, 1952 from Ina L. Wade Woolley, Individually and as Independent Executrix and as Trustee under the Will of B. H. Wade, Deceased, and husband Dee Woolley to Dan J. Harrison, Jr., recorded in Volume 302, Page 126 of the Deed Records of Fort Bend County, Texas.

TRACT 2:

Being 72.46 acres, more or less, described as Tract 1, containing 23.675 acres, more or less, out of the Randon & Pennington Survey, A-75, and Tract 2, containing 48.787 acres, more or less, out of the E. Latham Survey, A-50, and more fully described in that certain deed dated June 22, 1960 from Frances H. Meier et vir to Dan J. Harrison, Jr., recorded in Volume 405, Page 239 of the Deed Records of Fort Bend County, Texas.

TRACT 3:

Being 64.675 acres, more or less, being a part of the Randon & Pennington Survey, A-75, and more fully described by metes and bounds in that certain deed dated January 12, 1962 from Annie Boone McJunkin, Individually and as Independent Executrix of the Estate of Pauline McJunkin, Deceased, et al to Dan J. Harrison, Jr., recorded in Volume 422, Page 467 of the Deed Records of Fort Bend County, Texas.

TRACT 4:

Being 161.478 acres, more or less, out of the Randon & Pennington Survey, A-75 and more fully described in that certain deed dated January 12, 1962 from Annie Boone McJunkin et al to Dan J. Harrison, Jr., recorded in Volume 422, Page 483 of the Deed Records of Fort Bend County, Texas.

TRACT 5:

Being 363.483 acres, more or less, out of the Randon & Pennington Survey, A-75, and being more fully described as 367.199 acres, more or less, save and except 1.808 acres, more or less, in that certain deed dated January 12, 1962 from Annie Boone McJunkin, Individually and as Independent Executrix of the Estate of Pauline McJunkin, Deceased, et al to Dan J. Harrison, Jr., recorded in Volume 422, Page 474 of the Deed Records of Fort Bend County, Texas; SAVE & EXCEPT a tract of 1.808 acres, more or less,

described in that certain deed dated January 12, 1962 from Annie Boone McJunkin to Dan J. Harrison, Jr., recorded in Volume 422, Page 481 of the Deed Records of Fort Bend County, Texas.

TRACT 6:

Being 1.808 acres, more or less, a part of the Randon & Pennington Survey, A-75, and being more fully described in that certain deed dated January 12, 1962 from Annie Boone McJunkin to Dan J. Harrison, Jr., recorded in Volume 422, Page 481 of the Deed Records of Fort Bend County, Texas.

TRACT 7:

Being 282.50 acres, more or less, out of the John Foster Survey, A-26, and more fully described in that certain deed dated July 14, 1955 from Kate Briscoe Hicks to Dan J. Harrison, Jr., recorded in Volume 337, Page 168 of the Deed Records of Fort Bend County, Texas.

TRACT 8:

Being 10.00 acres, more or less, out of the John Foster Survey, A-26, and more fully described in that certain deed dated August 18, 1955 from Louis H. Glick and George A. Glick, et ux to Dan J. Harrison, Jr. recorded in Volume 338, Page 411 of the Deed Records of Fort Bend County, Texas.

TRACT 9:

Being 378.40 acres, more or less, described as Tract 1 containing 85.80 acres, more or less, out of the R. H. Kuykandall Survey, A-274, and Tract 2 containing 292.60 acres, more or less, out of the J. C. McDonald Survey, A-290, and more fully described in that certain deed dated July 14, 1955 from Kate Briscoe Hicks to D. J. Harrison, recorded in Volume 337, Page 165 of the Deed Records of Fort Bend County, Texas.

TRACT 10:

Being 360.68 acres, more or less, out of the John Foster Survey, A-26, and more fully described in that certain deed dated May 10, 1965 from John E. Rosenbush et al to Dan J. Harrison, Jr., recorded in Volume 465, Page 516 of the Deed Records of Fort Bend County, Texas.

TRACT 11:

Being 333.82 acres, more or less, out of the John Foster Survey, A-26, and more fully described in that certain deed dated December 9, 1953 from Wayne D. Ankenman et ux to D. J. Harrison, recorded in Volume 317, Page 549 of the Deed Records of Fort Bend County, Texas.

TRACT 12:

Being 339.60 acres, more or less, out of the John Foster Survey, A-26, and more fully described in that certain deed dated May 24, 1956 from Sarah Elizabeth McKennon et al to Dan J. Harrison, Jr., recorded in Volume 349, Page 524 of the Deed Records of Fort Bend County, Texas.

SAVE AND EXCEPT THE PROPERTY DESCRIBED IN EXHIBIT A TO THIS DONATION DEED.