



**REVIEW BY FORT BEND COUNTY  
COMMISSIONERS COURT**

**Fort Bend County  
Engineering Department**  
301 Jackson Suite 401  
Richmond, Texas 77469  
281.633.7500  
Permits@fortbendcountytexas.gov

☐

Right of Way Permit

☒

Commercial Driveway Permit

Permit No: 2017-17218

**Applicant:** Key Construction Inc

**Job Location Site:** 18861 University Boulevard, Sugar Land, TX 77479

**Bond No.**                      **Date of Bond:** 11/30/2017 **Amount:** \$50,000.00

The above applicant came to make use of certain Fort Bend County property subject to, "The Order Regulating the Laying, Construction, Maintenance, and Repair of Buried Cables, Conduits, and Pole Lines, In, Under, Across or Along Roads, Streets, Highways, and Drainage Ditches in Fort Bend County, Texas, Under the Jurisdiction of the Commissioners Court of Fort Bend County, Texas," as passed by the Commissioners Court of Fort Bend County, Texas, of the Minutes of the Commissioners Court of Fort Bend County, Texas, to the extent that such order is not inconsistent with Chapter 181, Vernon's Texas Statutes and Codes Annotated.

**Notes:**

1. Evidence of review by the Commissioners Court must be kept on the job site and failure to do so constitutes grounds for job shutdown.
2. Written notices are required:
  - a. 48 hours in advance of construction start up, and
  - b. When construction is completed and ready for final inspection, submit notification to Permit Administrator thru MyGovernmentOnline.org portal.
3. This permit expires one (1) year from date of permit if construction has not commenced.

On this 12th day of December, 2017, Upon Motion of Commissioner Meyers, seconded by Commissioner Patterson, duly put and carried, it is ORDERED, ADJUDGED AND DECREED that said notice of said above purpose is hereby acknowledged by the Commissioners Court of Fort Bend County, Texas, and that said notice be placed on record according to the regulation order thereof.

**Signature**

Presented to Commissioners Court and approved.

By: Charles O. AM

for

County Engineer

N/A

By:                     

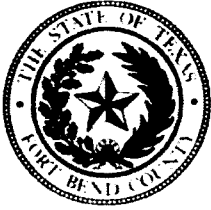
Drainage District Engineer/Manager

Date Recorded 12-18-2017 Comm. Court No. 16B

Clerk of Commissioners Court

By: Andy Willis

Deputy



**PERMIT APPLICATION REVIEW FORM FOR  
CABLE, CONDUIT, AND POLE LINE ACTIVITY  
IN FORT BEND COUNTY**

**Fort Bend County  
Engineering Department**  
301 Jackson Suite 401  
Richmond, Texas 77469  
281.633.7500  
Permits@fortbendcountytexas.gov

- ☐ Right of Way Permit  
☒ Commercial Driveway Permit

Permit No: 2017-17218

The following "Notice of Proposed Cable, Conduit, and/or Pole Line activity in Fort Bend County" and accompanying attachments have been reviewed and the notice conforms to appropriate regulations set by Commissioner's Court of Fort Bend County, Texas.

**(1) COMPLETE APPLICATION FORM:**

- ☒ a. Name of road, street, and/or drainage ditch affected.  
☒ b. Vicinity map showing course of directions  
☒ c. Plans and specifications

**(2) BOND:**

- ☐ County Attorney, approval when applicable.
- ☐ Perpetual bond currently posted.      Bond No: \_\_\_\_\_ Amount: \_\_\_\_\_
- ☒ Performance bond submitted.      Bond No: XXXXXXXXXX      Amount: \$50,000.00
- ☐ Cashier's Check      Check No: \_\_\_\_\_ Amount: \_\_\_\_\_

**(3) DRAINAGE DISTRICT APPROVAL (WHEN APPLICABLE):**

\_\_\_\_\_  
Drainage District Approval

\_\_\_\_\_  
Date

**We have reviewed this project and agree it meets minimum requirements.**

*Charles O. Ay*

Permit Administrator

*12-1-2017*

Date



DEC -1 2017

Key Construction Inc.

**PERFORMANCE BOND COVERING ALL CABLE, CONDUIT AND/OR POLE LINE  
ACTIVITY IN, UNDER, ACROSS OR ALONG FORT BEND COUNTY ROAD,  
COMMERCIAL DRIVEWAY AND MEDIAN OPENINGS OR MODIFICATIONS  
(AUTHORIZED)**

BOND [REDACTED]

THE STATE OF TEXAS §

KNOW ALL MEN BY THESE PRESENTS:

COUNTY OF FORT BEND §

THAT WE, Key Construction, Inc. whose (address, phone) is 741 West Second, Wichita, KS 67203 (316) 263-9515 Texas, hereinafter called the Principal, and Fidelity and Deposit Company of Maryland, a Corporation existing under and by virtue of the laws of the state of Maryland and authorized to do an indemnifying business in the state of Texas, and whose principal office is located at (name/address/phone) 1299 Zurich Way, 5<sup>th</sup> Floor, Schaumburg, IL 60196-1056 (847) 605-6000, whose officer residing in the State of Texas, authorized to accept service in all suits and actions brought whining said state is John Anthony Martinez and whose address is 5847 San Felipe Street, Suite 320, Houston, TX 77057, hereinafter called the Surety, and held and firmly bound unto, Robert E. Hebert, County Judge of Fort Bend County, Texas, or his successors in office, in the full sum of Fifty Thousand and No/100 Dollars (\$50,000.00 ) current, lawful money of the United States of America, to be paid to said Robert E. Hebert, County Judge of Fort Bend County, Texas, or his successors in office, to which payment well and truly to be made and done, we, the undersigned, bind ourselves and each of us, our heirs, executors, administrators, successors, assigns, and legal representatives, jointly and severally, by these presents.

THE CONDITION OF THIS BOND IS SUCH THAT, WHEREAS, the above bounden principal contemplates laying, constructing, maintaining and/or repairing one or more cables, conduits, and/or pole lines in, under, across and/or along roads, streets and highways, commercial driveway and median openings or modifications in the County of Fort Bend, and the State of Texas, under the jurisdiction of the Commissioners' Court of Fort Bend County, Texas, pursuant to the Commissioners' Court order adopted on the 1st day of December, A.D. 1980, recorded in Volume 13, of the Commissioners' Court Minutes of Fort Bend County, Texas, regulating same, which Commissioners' Court order is hereby referred to and made a part hereof for all purposes as though fully set out herein;

AND WHEREAS, the principal desires to provide Fort Bend County with a performance bond covering all such cable, conduit and/or pole line activity, commercial driveway and median openings or modifications;

NOW, THEREFORE, if the above bounden principal shall faithfully perform all its cable, conduit and/or pole line activity (including, but not limited to the laying, construction, maintenance and/or repair of cables, conduits and/or pole lines) in, under, across and/or along roads, streets and highways, commercial driveway and median openings or modifications in the County of Fort Bend and State of Texas, under the jurisdiction of the Commissioners Court of Fort Bend County, Texas, pursuant to and in accordance with minimum requirements and conditions of the above mentioned Commissioners' Court order set forth and specified to be by said principal done and performed, at the time and in the manner therein specified, and shall pay over and make good and reimburse Fort Bend County, all loss and damages which Fort Bend County may sustain by reason of any failure or default on the part of said principal, then this obligation shall be null and void, otherwise to remain in full force and effect.

This bond is payable at the County Courthouse in the County of Fort Bend and State of Texas.

It is understood that at any time Fort Bend County deems itself insecure under this bond, it may require further and/or additional bonds of the principal.

EXECUTED this 30th day of November, 2017.

Key Construction, Inc.

PRINCIPAL

[Signature]

BY SCOTT CASEBOLT - VICE PRESIDENT

Fidelity and Deposit Company of Maryland

SURETY

[Signature]

BY Mary T. Flanigan, Attorney-in-Fact



4 pgs

2017137331

**ZURICH AMERICAN INSURANCE COMPANY  
COLONIAL AMERICAN CASUALTY AND SURETY COMPANY  
FIDELITY AND DEPOSIT COMPANY OF MARYLAND  
POWER OF ATTORNEY**

KNOW ALL MEN BY THESE PRESENTS: That the ZURICH AMERICAN INSURANCE COMPANY, a corporation of the State of New York, the COLONIAL AMERICAN CASUALTY AND SURETY COMPANY, a corporation of the State of Maryland, and the FIDELITY AND DEPOSIT COMPANY OF MARYLAND a corporation of the State of Maryland (herein collectively called the "Companies"), by **MICHAEL BOND, Vice President**, in pursuance of authority granted by Article V, Section 8, of the By-Laws of said Companies, which are set forth on the reverse side hereof and are hereby certified to be in full force and effect on the date hereof, do hereby nominate, constitute, and appoint **Debra J. SCARBOROUGH, Christy M. BRAILE, Mary T. FLANIGAN, Laura M. BUHRMESTER, Charissa D. LECUYER, Rebecca S. LEAL, C. STEPHENS GRIGGS, Tahitia M. FRY and Megan L. BURNS-HASTY, all of Kansas City, Missouri, EACH** its true and lawful agent and Attorney-in-Fact, to make, execute, seal and deliver, for, and on its behalf as surety, and as its act and deed: **any and all bonds and undertakings**, and the execution of such bonds or undertakings in pursuance of these presents, shall be as binding upon said Companies, as fully and amply, to all intents and purposes, as if they had been duly executed and acknowledged by the regularly elected officers of the ZURICH AMERICAN INSURANCE COMPANY at its office in New York, New York., the regularly elected officers of the COLONIAL AMERICAN CASUALTY AND SURETY COMPANY at its office in Owings Mills, Maryland., and the regularly elected officers of the FIDELITY AND DEPOSIT COMPANY OF MARYLAND at its office in Owings Mills, Maryland., in their own proper persons.

The said Vice President does hereby certify that the extract set forth on the reverse side hereof is a true copy of Article V, Section 8, of the By-Laws of said Companies, and is now in force.

IN WITNESS WHEREOF, the said Vice-President has hereunto subscribed his/her names and affixed the Corporate Seals of the said **ZURICH AMERICAN INSURANCE COMPANY, COLONIAL AMERICAN CASUALTY AND SURETY COMPANY, and FIDELITY AND DEPOSIT COMPANY OF MARYLAND**, this 12th day of September, A.D. 2017.

**ATTEST:**

**ZURICH AMERICAN INSURANCE COMPANY  
COLONIAL AMERICAN CASUALTY AND SURETY COMPANY  
FIDELITY AND DEPOSIT COMPANY OF MARYLAND**



By: \_\_\_\_\_

*Dawn E. Brown*  
Assistant Secretary  
Dawn E. Brown

*Michael Bond*

Vice President  
Michael Bond

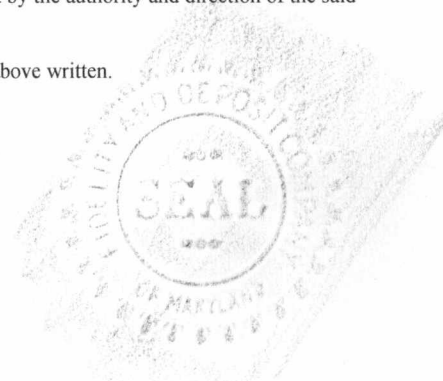
State of Maryland  
County of Baltimore

On this 12th day of September, A.D. 2017, before the subscriber, a Notary Public of the State of Maryland, duly commissioned and qualified, **MICHAEL BOND, Vice President, and DAWN E. BROWN, Assistant Secretary**, of the Companies, to me personally known to be the individuals and officers described in and who executed the preceding instrument, and acknowledged the execution of same, and being by me duly sworn, depose and saith, that he/she is the said officer of the Company aforesaid, and that the seals affixed to the preceding instrument are the Corporate Seals of said Companies, and that the said Corporate Seals and the signature as such officer were duly affixed and subscribed to the said instrument by the authority and direction of the said Corporations.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my Official Seal the day and year first above written.

*Constance A. Dunn*

Constance A. Dunn, Notary Public  
My Commission Expires: July 9, 2019



## EXTRACT FROM BY-LAWS OF THE COMPANIES

"Article V, Section 8, Attorneys-in-Fact. The Chief Executive Officer, the President, or any Executive Vice President or Vice President may, by written instrument under the attested corporate seal, appoint attorneys-in-fact with authority to execute bonds, policies, recognizances, stipulations, undertakings, or other like instruments on behalf of the Company, and may authorize any officer or any such attorney-in-fact to affix the corporate seal thereto; and may with or without cause modify or revoke any such appointment or authority at any time."

### CERTIFICATE

I, the undersigned, Vice President of the ZURICH AMERICAN INSURANCE COMPANY, the COLONIAL AMERICAN CASUALTY AND SURETY COMPANY, and the FIDELITY AND DEPOSIT COMPANY OF MARYLAND, do hereby certify that the foregoing Power of Attorney is still in full force and effect on the date of this certificate; and I do further certify that Article V, Section 8, of the By-Laws of the Companies is still in force.

This Power of Attorney and Certificate may be signed by facsimile under and by authority of the following resolution of the Board of Directors of the ZURICH AMERICAN INSURANCE COMPANY at a meeting duly called and held on the 15th day of December 1998.

RESOLVED: "That the signature of the President or a Vice President and the attesting signature of a Secretary or an Assistant Secretary and the Seal of the Company may be affixed by facsimile on any Power of Attorney...Any such Power or any certificate thereof bearing such facsimile signature and seal shall be valid and binding on the Company."

This Power of Attorney and Certificate may be signed by facsimile under and by authority of the following resolution of the Board of Directors of the COLONIAL AMERICAN CASUALTY AND SURETY COMPANY at a meeting duly called and held on the 5th day of May, 1994, and the following resolution of the Board of Directors of the FIDELITY AND DEPOSIT COMPANY OF MARYLAND at a meeting duly called and held on the 10th day of May, 1990.

RESOLVED: "That the facsimile or mechanically reproduced seal of the company and facsimile or mechanically reproduced signature of any Vice-President, Secretary, or Assistant Secretary of the Company, whether made heretofore or hereafter, wherever appearing upon a certified copy of any power of attorney issued by the Company, shall be valid and binding upon the Company with the same force and effect as though manually affixed.

IN TESTIMONY WHEREOF, I have hereunto subscribed my name and affixed the corporate seals of the said Companies, this \_\_\_\_ day of NOV 30 2017, 20\_\_\_\_.



*David M. Vicker*

David McVicker, Vice President

**TO REPORT A CLAIM WITH REGARD TO A SURETY BOND, PLEASE SUBMIT ALL REQUIRED INFORMATION TO:**

Zurich American Insurance Co.  
Attn: Surety Claims  
1299 Zurich Way  
Schaumburg, IL 60196-1056



## Fidelity and Deposit Company of Maryland

Home Office: P.O. Box 1227, Baltimore, MD 21203-1227

### IMPORTANT NOTICE

To obtain information or make a complaint:

You may call the Fidelity and Deposit Company of Maryland, Colonial American Casualty and Surety Company, and/or Zurich American Insurance Company's toll-free telephone number for information or to make a complaint at:

**1-800-654-5155**

You may contact the Texas Department of Insurance to obtain information on companies, coverages, rights, or complaints at:

**1-800-252-3439**

You may write the Texas Department of Insurance:

P.O. Box 149104  
Austin, TX 78714-9104  
FAX # (512) 475-1771

**PREMIUM OR CLAIM DISPUTES:** Should you have a dispute concerning the premium or about a claim, you should first contact Fidelity and Deposit Company of Maryland or Colonial American Casualty and Surety Company. If the dispute is not resolved, you may contact the Texas Department of Insurance.

**ATTACH THIS NOTICE TO YOUR POLICY:** This notice is for information only and does not become a part or condition of the attached document.

**FILED AND RECORDED  
OFFICIAL PUBLIC RECORDS**

*Laura Richard*

Laura Richard, County Clerk

Fort Bend County Texas

December 15, 2017 02:57:03 PM

FEE: \$0.00 SB

**2017137331**



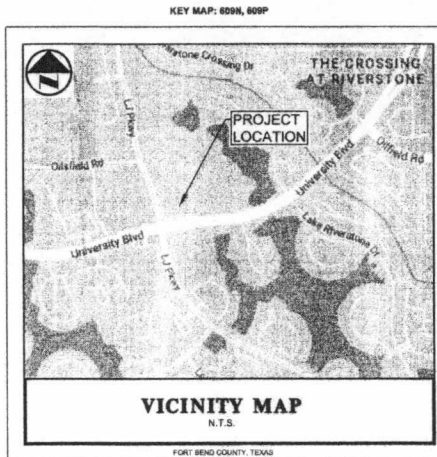
# CIVIL SITEWORK PLANS FOR REGENCY REALTY GROUP THE VILLAGE AT RIVERSTONE KROGER - HO131

KROGER - 18861 UNIVERSITY BLVD.  
FUEL STATION - 18901 UNIVERSITY BLVD.  
SUGAR LAND, TX 77479

## SUBMITTAL LOG

- SITE PLAN PACKAGE SUBMITTAL
- SITE PLAN PACKAGE RESUBMITTAL
- SITE PLAN PACKAGE RESUBMITTAL
- SITE PLAN PACKAGE RESUBMITTAL

AUGUST 22, 2016  
NOVEMBER 15, 2016  
MARCH 22, 2017  
APRIL 12, 2017



APPROVED SITE PLAN  
CITY OF SUGAR LAND  
Planning Dept. *[Signature]*  
Date: 4/21/17

## FLOODPLAIN INFORMATION:

THIS PROPERTY LIES IN ZONE "X" UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 1% ANNUAL FLOODPLAIN) ACCORDING TO THE MOST RECENT OFFICIAL FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 48157C0290L DATED APRIL 2, 2014.

**OWNER:**  
REGENCY CENTERS CORPORATION  
3700 BUFFALO SPEEDWAY, SUITE 560  
HOUSTON, TX 77066  
CONTACT: JON BEER  
(713) 596-3518

**SURVEYOR:**  
TERRA SURVEYING  
3000 WILCREST DR., STE. 210  
HOUSTON, TEXAS 77042  
(713) 993-9327

**COSTELLO INC.**  
9950 RICHMOND AVE., STE. 450  
HOUSTON, TX 77042  
CONTACT: CHAD HABLINSKI  
(713) 783-7788



## BENCHMARK NOTES:

1. FOUND SPIKE IN TREE LOCATED APPROXIMATELY 1400 FEET WEST ALONG UNIVERSITY BOULEVARD FROM ITS INTERSECTION WITH WINDING WATERS LANE. SPIKE FOUND IN WEST FACE OF 24-INCH OAK TREE APPROXIMATELY 85 FEET NORTH OF THE CENTERLINE OF UNIVERSITY BOULEVARD BENCHMARK DESCRIBED ON THE PLAT OF PROVIDENCE AT RIVERSTONE SECTION ONE. ELEVATION = 68.07' NGVD29 (1973 ADJ.).
2. FOUND BRASS DISK IN CONCRETE (CALLED "X" CUT IN CONCRETE) LOCATED FLUSH WITH THE PAVING AT THE NORTH END OF ESPERANZA IN THE CENTERLINE OF LJ PARKWAY AT THE FIRST NOSE SOUTH OF LAKE RIVERSTONE DRIVE. BENCHMARK DESCRIBED ON THE PLAT OF UNIVERSITY BOULEVARD AND LJ PARKWAY AT RIVERSTONE PHASE 2 STREET DEDICATION PLAT. ELEVATION = 67.92' NGVD29 (1973 ADJ.).

**TBM-A**  
BOX CUT ON TOP OF A TYPE C-INLET ON THE EAST SIDE OF LJ PARKWAY, LOCATED APPROXIMATELY 665 FEET NORTH OF THE CENTERLINE INTERSECTION OF UNIVERSITY BOULEVARD AND LJ PARKWAY. ELEVATION = 67.19' NGVD29 (1973 ADJ.).

**TBM-B**  
BOX CUT ON TOP OF A TYPE C-INLET ON THE NORTH SIDE OF UNIVERSITY BOULEVARD, LOCATED APPROXIMATELY 480 FEET EAST OF THE CENTERLINE-INTERSECTION OF UNIVERSITY BOULEVARD AND LJ PARKWAY. ELEVATION = 65.78' NGVD29 (1973 ADJ.).

\* TO CONVERT TO NAVD84 (2001 ADJ.) ELEVATIONS SUBTRACT 1.30 FEET FROM 1973 ELEVATIONS.

FORT BEND COUNTY ENGINEER  
ENGINEER: *[Signature]* 16, PROE  
For: Richard W. Sullivan, P.E.  
DATE: 6/21/17  
THESE SIGNATURES ARE VOID IF CONSTRUCTION HAS NOT COMMENCED IN (1) YEAR FROM DATE OF APPROVAL.  
APPROVED: *[Signature]*  
Development Engineer  
DATE: 6/21/17

INDEX OF SHEETS	
SHEET NO.	DESCRIPTION
CIVIL ENGINEERING (KIMLEY-HORN AND ASSOCIATES, INC.)	
CE 0.0	COVER SHEET
	PLAT (1 OF 2)
	PLAT (2 OF 2)
	SURVEY (OVERALL 1 OF 5)
	SURVEY (2 OF 5)
	SURVEY (3 OF 5)
	SURVEY (4 OF 5)
	SURVEY (5 OF 5)
AA3.00	BLDG A - ELEVATIONS
AB3.00	BLDG B - ELEVATIONS
AC3.00	BLDG C - ELEVATIONS
AD3.00	BLDG D - ELEVATIONS
AE3.00	BLDG E - ELEVATIONS
AS2.00	SCREEN WALL
AS2.01	SCREEN WALL
A1.01	SITE DETAILS
A1.02	ENLARGED DUMPSTER DETAILS
A1.03	SITE DETAILS AND DUMPSTER DETAILS
K1.0	BLDG F - ELEVATIONS (1 OF 2)
K1.1	BLDG F - ELEVATIONS (2 OF 2)
K2.0	FUEL CENTER - ELEVATIONS
L1.1	LANDSCAPE PLAN
L1.2	LANDSCAPE PLAN
L1.3	LANDSCAPE DETAILS
L2.1	IRRIGATION PLAN
L2.2	IRRIGATION PLAN
L2.3	IRRIGATION DETAILS
L2.4	IRRIGATION DETAILS
ES1.01	SITE PHOTOMETRICS
A1.00	ARCHITECTURAL SITE PLAN
C1.0	SUGAR LAND GENERAL NOTES (1 OF 2)
C1.1	SUGAR LAND GENERAL NOTES (2 OF 2)
C2.0	DEMOLITION PLAN
C3.0	EROSION CONTROL PLAN
C3.1	SUGAR LAND EROSION CONTROL NOTES
C3.2	SUGAR LAND EROSION CONTROL DETAILS (1 OF 2)
C3.3	SUGAR LAND EROSION CONTROL DETAILS (2 OF 2)
C4.0	DIMENSION CONTROL PLAN (1 OF 3)
C4.1	DIMENSION CONTROL PLAN (2 OF 3)
C4.2	DIMENSION CONTROL PLAN (3 OF 3)
C4.3	PAVING AND STRIPING PLAN (1 OF 3)
C4.4	PAVING AND STRIPING PLAN (2 OF 3)
C4.5	PAVING AND STRIPING PLAN (3 OF 3)
C5.0	OVERALL GRADING PLAN
C5.1	GRADING PLAN (1 OF 4)
C5.2	GRADING PLAN (2 OF 4)
C5.3	GRADING PLAN (3 OF 4)
C5.4	GRADING PLAN (4 OF 4)
C6.0	PROPOSED DRAINAGE AREA MAP
C7.0	OVERALL STORM SEWER PLAN
C7.1	STORM SEWER PLAN (1 OF 3)
C7.2	STORM SEWER PLAN (2 OF 3)
C7.3	STORM SEWER PLAN (3 OF 3)
C7.4	100-YR HCL CALCULATIONS
C8.0	OVERALL UTILITY PLAN
C8.1	WET UTILITY PLAN (1 OF 3)
C8.2	WET UTILITY PLAN (2 OF 3)
C8.3	WET UTILITY PLAN (3 OF 3)
C8.4	DRY UTILITY PLAN AND SLEEVING PLAN
C9.0	CONSTRUCTION DETAILS (1 OF 9)
C9.1	CONSTRUCTION DETAILS (2 OF 9)
C9.2	CONSTRUCTION DETAILS (3 OF 9)
C9.3	CONSTRUCTION DETAILS (4 OF 9)
C9.4	CONSTRUCTION DETAILS (5 OF 9)
C9.5	CONSTRUCTION DETAILS (6 OF 9)
C9.6	CONSTRUCTION DETAILS (7 OF 9)
C9.7	CONSTRUCTION DETAILS (8 OF 9)
C9.8	CONSTRUCTION DETAILS (9 OF 9)
C9.9	KROGER CONSTRUCTION DETAILS FOR REFERENCE ONLY

THE VILLAGE AT RIVERSTONE - SUGAR LAND, TEXAS

PREPARED BY:  
**Kimley»Horn**

17700 Katy Freeway, Suite 600  
Houston, Texas 77058  
Certificate of Authorization #1-128  
Contact: Brandon Sullivan, P.E.

14. No. (281) 567-6300  
Houston, Texas 77058  
For No. (281) 567-6333

STATE OF TEXAS  
COUNTY OF FORT BEND

WE, THE VILLAGE AT RIVERSTONE, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ACTING BY AND THROUGH REGENCY CENTERS, L.P., A DELAWARE LIMITED PARTNERSHIP, ITS MANAGING MEMBER, ACTING BY AND THROUGH REGENCY CENTERS CORPORATION, A FLORIDA CORPORATION, ITS GENERAL PARTNER, ARE FACETT, VICE PRESIDENT, INVESTMENTS, HEREINAFTER REFERRED TO AS OWNERS OF THE 28.88 ACRE TRACT DESCRIBED IN THE ABOVE AND FOREGOING PLAT OF THE VILLAGE AT RIVERSTONE, DOES HEREBY MAKE SUBDIVISION OF SAID PROPERTY ACCORDING TO THE LINES, STREETS, LOTS, BUILDING LINES, AND EASEMENTS THEREON SHOWN AND DESIGNATE SAID SUBDIVISION AS THE VILLAGE AT RIVERSTONE, LOCATED IN THE WILLIAM STAFFORD SURVEY, A-89, AND THE WILLIAM LITTLE SURVEY, A-54, FORT BEND COUNTY, TEXAS, AND HEREBY BEQUESTS TO THE PUBLIC USE AS SUCH, ALL STREETS AND EASEMENTS SHOWN THEREON FOREVER AND DOES HEREBY BOND ITSELF AND ITS SUCCESSORS AND ASSIGNS TO WARRANT AND DEFEND FOREVER THE TITLE TO THE LAND SO DESIGNATED.

FURTHER, WE DO HEREBY ACKNOWLEDGE THE RECEIPT OF THE "ORDERS OF REGULATION FOR THE REGULATION OF OUTDOOR LIGHTING IN THE UNINCORPORATED AREAS OF FORT BEND COUNTY, TEXAS" AND DO HEREBY COVENANT AND AGREE AND SHALL COMPLY WITH THIS ORDER AS ADOPTED BY FORT BEND COUNTY COMMISSIONER'S COURT ON MARCH 23, 2004, AND ANY SUBSEQUENT AMENDMENTS.

IN TESTIMONY WHEREOF, THE VILLAGE AT RIVERSTONE, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ACTING BY AND THROUGH REGENCY CENTERS, L.P., A DELAWARE LIMITED PARTNERSHIP, ITS MANAGING MEMBER, ACTING BY AND THROUGH REGENCY CENTERS CORPORATION, A FLORIDA CORPORATION, ITS GENERAL PARTNER, HAS CAUSED THESE PRESENTS TO BE SIGNED BY ARE FACETT, ITS VICE PRESIDENT, INVESTMENTS, THEREUNTO AUTHORIZED.

THIS 8<sup>TH</sup> DAY OF FEBRUARY, 2017.

THE VILLAGE AT RIVERSTONE, LLC  
A DELAWARE LIMITED LIABILITY COMPANY

BY: REGENCY CENTERS, L.P.,  
A DELAWARE LIMITED PARTNERSHIP  
ITS MANAGING MEMBER

BY: REGENCY CENTERS CORPORATION,  
A FLORIDA CORPORATION  
ITS GENERAL PARTNER

BY: *Are Facett*  
NAME: ARE FACETT  
TITLE: VICE PRESIDENT, INVESTMENTS

STATE OF TEXAS  
COUNTY OF FORT BEND

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ARE FACETT, VICE PRESIDENT, INVESTMENTS, OF THE VILLAGE AT RIVERSTONE, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ACTING BY AND THROUGH REGENCY CENTERS, L.P., A DELAWARE LIMITED PARTNERSHIP, ITS MANAGING MEMBER, SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE USES EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN AND HEREIN STATED, AND AS THE ACT AND DEED OF SAID CORPORATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 8<sup>TH</sup> DAY OF FEBRUARY, 2017.

*Rachel Herman*  
NOTARY PUBLIC IN AND FOR  
THE STATE OF TEXAS

PRINT NAME: Rachel Herman

MY COMMISSION EXPIRES: 03-23-2020

I, MARK D. ARMSTRONG, A REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS SUBDIVISION IS TRUE AND CORRECT, WAS PREPARED FROM AN ACTUAL BOUNDARY SURVEY OF THE PROPERTY MADE ON THE GROUND UNDER MY SUPERVISION ACCORDING TO THE STANDARDS OF PRACTICE OF THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYORS; THAT THE PLAT BOUNDARY CORNERS HAVE BEEN TIED TO THE NEAREST STREET INTERSECTION; THAT THE BOUNDARY CORNERS, ANGLE POINTS, POINTS OF CURVATURE/TANGENCY, AND OTHER POINTS OF REFERENCE WERE MARKED ON THE GROUND BEFORE I SIGNED AND SEALED THIS DOCUMENT; AND THAT ALL PREVIOUSLY EXISTING PROPERTY MARKERS ARE SUFFICIENTLY DESCRIBED ON THIS DOCUMENT AS FOUND AND ALL SET MARKERS ARE A MINIMUM 5/8-INCH DIAMETER IRON ROD WITH SURVEYOR'S CAP.

*M.D. Armstrong*  
MARK D. ARMSTRONG, S.E.  
TEXAS REGISTRATION NO. 5183



I, CHAD E. HRABINSKI, A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT MEETS ALL REQUIREMENTS OF THE CITY OF SUGAR LAND AND FORT BEND COUNTY.

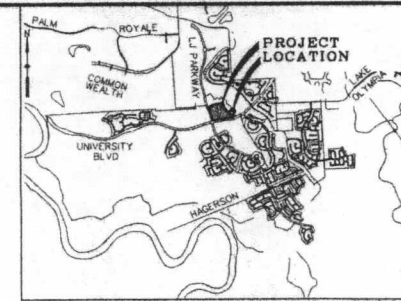
*Chad E. Hrabinski* 1/6/2017  
CHAD E. HRABINSKI  
LICENSED PROFESSIONAL ENGINEER  
TEXAS REGISTRATION NO. 85468



THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF SUGAR LAND, TEXAS HAS APPROVED THIS PLAT AND SUBDIVISION OF THE VILLAGE AT RIVERSTONE, IN CONFORMANCE WITH THE LAWS OF THE STATE OF TEXAS AND THE ORDINANCES OF THE CITY OF SUGAR LAND AS SHOWN HEREON AND AUTHORIZES THE RECORDING OF THIS PLAT.

THIS 11<sup>TH</sup> DAY OF FEBRUARY, 2017  
BY: *Kathy Hesse*  
KATHY HESSE, CHAIR

BY: *Elizabeth Gundersen*  
ELIZABETH GUNDENSEN  
CITY SECRETARY



VICINITY MAP N.T.S. KEY MAP 6041N

I, RICHARD W. STOLLER, THE FORT BEND COUNTY ENGINEER, DO HEREBY CERTIFY THAT THE PLAT OF THIS SUBDIVISION COMPLETES WITH ALL OF THE EXISTING RULES AND REGULATIONS OF THIS OFFICE AS ADOPTED BY THE FORT BEND COUNTY COMMISSIONER'S COURT. NO CERTIFICATION IS HEREBY GIVEN AS TO THE EFFECT OF DRAINAGE FROM THIS SUBDIVISION ON THE INTERSECTING DRAINAGE ARTERIAL OR PARENT STREAM OR ON ANY OTHER ARTERIAL OR SUBDIVISION WITHIN THE WATERSHED.

*Richard W. Stoller*  
RICHARD W. STOLLER  
FORT BEND COUNTY ENGINEER

APPROVED BY THE COMMISSIONER'S COURT OF FORT BEND COUNTY, TEXAS  
THIS 7<sup>TH</sup> DAY OF March, 2017.

*W. A. Andof*  
W. A. ANDOF  
COMMISSIONER, PRECINCT 1

*Mark Patten*  
MARK PATTEN  
COMMISSIONER, PRECINCT 2

*Robert E. Hester*  
ROBERT E. HESTER  
COUNTY CLERK

*W. A. Andof*  
W. A. ANDOF  
COMMISSIONER, PRECINCT 3

*James Patterson*  
JAMES PATTERSON  
COMMISSIONER, PRECINCT 4

STATE OF TEXAS  
COUNTY OF FORT BEND

I, LAURA RICHARD, COUNTY CLERK IN AND FOR FORT BEND COUNTY, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORDATION IN MY OFFICE ON March 7, 2017, A.D., AT 1:52 O'CLOCK (A.M. OR P.M.) IN PLAT NUMBER (S) 201700472 OF THE PLAT RECORDS OF SAID COUNTY. WITNESS MY HAND AND SEAL OF OFFICE AT RICHMOND, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

*Laura Richard*  
LAURA RICHARD, CLERK OF THE COUNTY  
FORT BEND COUNTY, TEXAS

BY: *Robert E. Hester*  
ROBERT E. HESTER, CLERK



## THE VILLAGE AT RIVERSTONE

BEING 28.88 ACRES  
LOCATED IN THE  
WILLIAM STAFFORD SURVEY, A-89,  
AND THE WILLIAM LITTLE SURVEY, A-54  
SUGAR LAND E.T.J.  
FORT BEND COUNTY, TEXAS

RIVERSTONE DEVELOPMENT

0 LOTS 2 BLOCKS 4 RESERVES

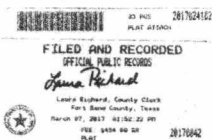
DATE: JANUARY, 2017

OWNERS:  
THE VILLAGE AT RIVERSTONE, LLC  
A DELAWARE LIMITED LIABILITY CO.

Costello

AND FACETT, VICE PRESIDENT INVESTMENTS  
3700 RUFFALO WOODWAY, SUITE 500  
HOUSTON, TEXAS 77056  
PHONE: 713-595-0518

ENGINEERING AND SURVEYING  
ONE RICHMOND AVENUE, SUITE 400  
HOUSTON, TEXAS 77002  
(713) 761-7700 (FAX) 761-7600  
TEXAS REG. NO. 15046



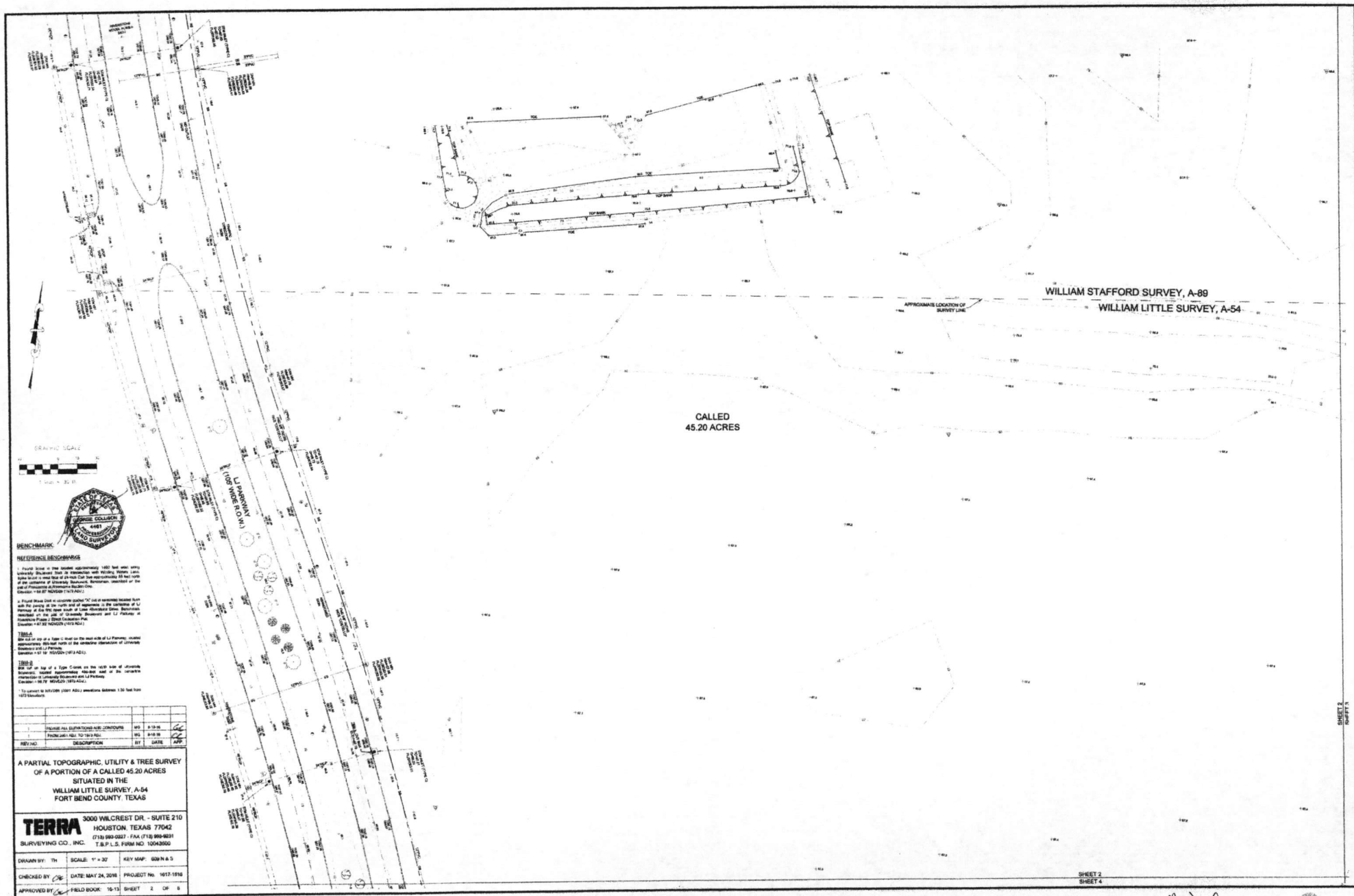
*Magdy* 6/21/17







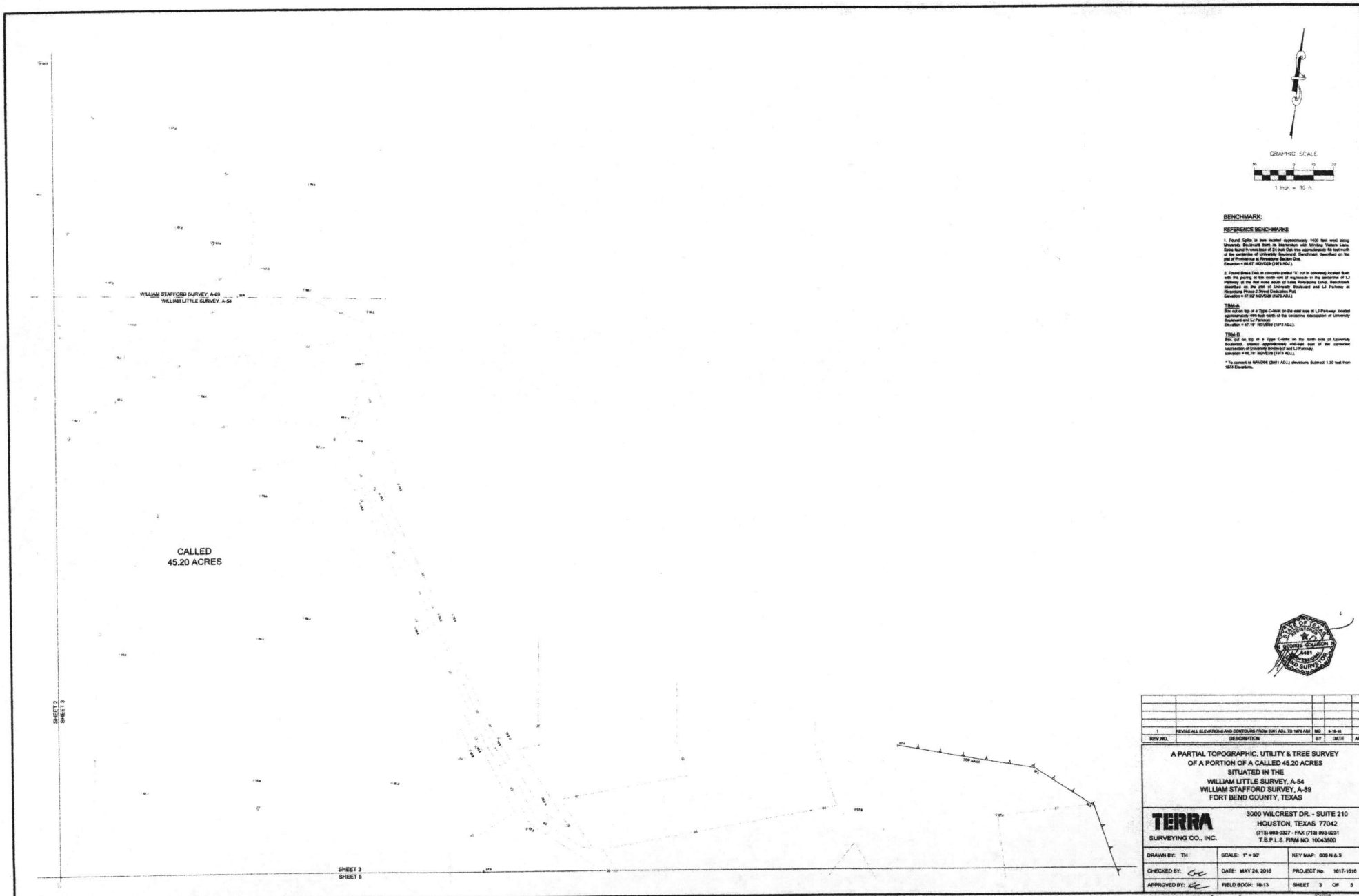




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May 24 6/21/17

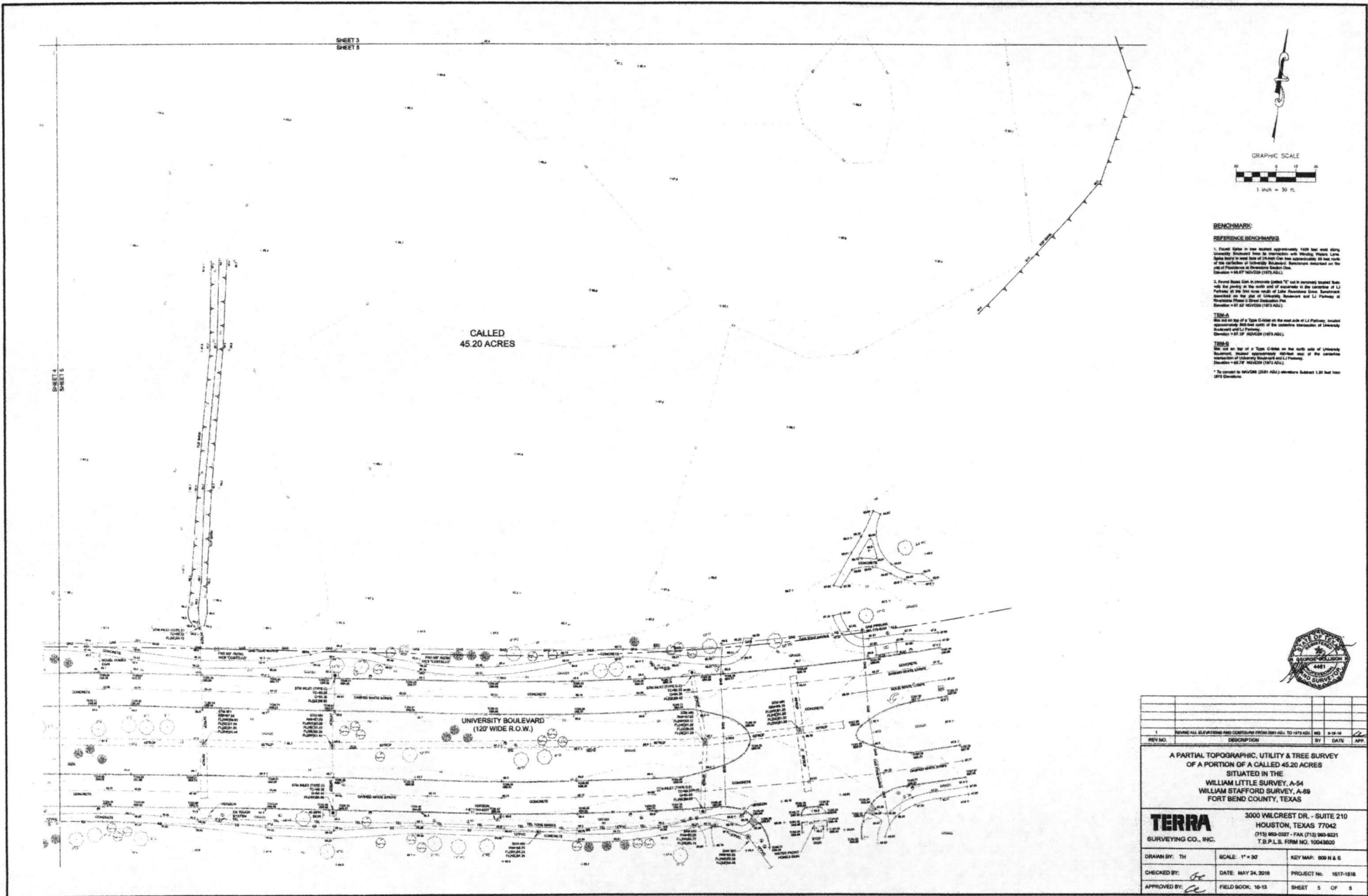


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6/21/17





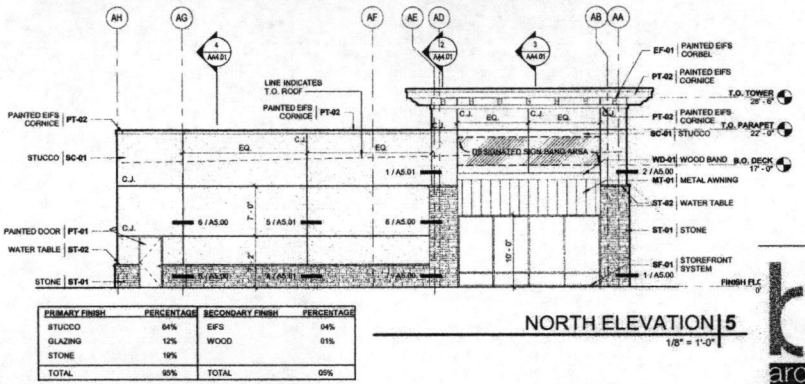
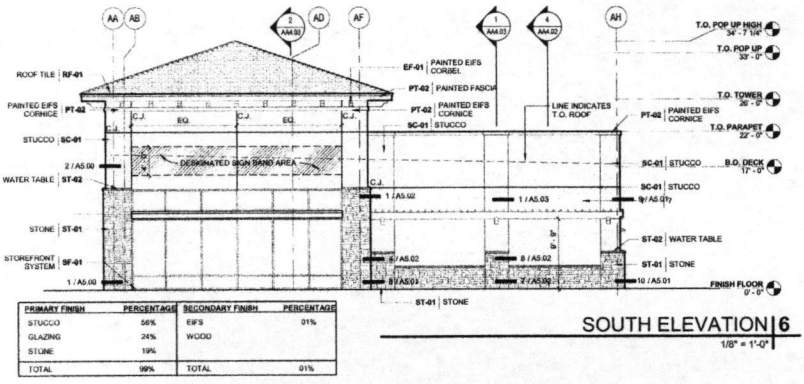
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*Myers* 6/21/17

MATERIAL LEGEND			
MARK	DESCRIPTION	MANUFACTURER	COLOR
BR-01	MORTAR WASH BRICK	UPCHURCH KIMBROUGH	COLUMBUS FOREST GLEN MODULAR PAPER CUT, COLOR TBD
EF-01	PAINTED EIFS CORBEL	SHERWIN WILLIAMS	SW 3507 RIVERWOOD EXTERIOR
MT-01	STANDING SEAM METAL AWNING	BERRIDGE	CHARCOAL GRAY
PT-01	PAINT	SHERWIN WILLIAMS	SW 7102 WHITE FLOUR
PT-02	PAINT	SHERWIN WILLIAMS	SW 7069 IRON ORE
RF-01	ROOFING TILE	BORAL SAXONY COUNTRY SLATE	CHARCOAL BLEND
SC-01	INTEGRAL COLOR STUCCO	SHERWIN WILLIAMS	SW 7102 WHITE FLOUR
SF-01	METAL FRAMES	KAWNEER	BLACK #29
ST-01	STONE	UPCHURCH KIMBROUGH	RIVERSTONE BLEND CHOPPED
ST-02	STONE CAP	UPCHURCH KIMBROUGH	RIVERSTONE BLEND HONED
WD-01	STAINED WOOD	SHERWIN WILLIAMS	SW 3507 RIVERWOOD EXTERIOR

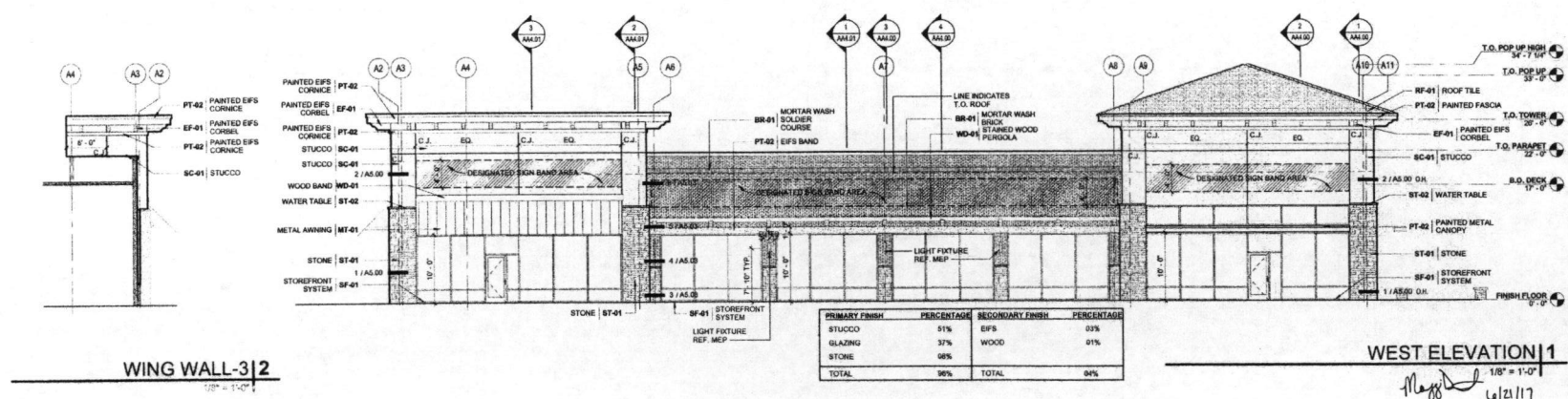
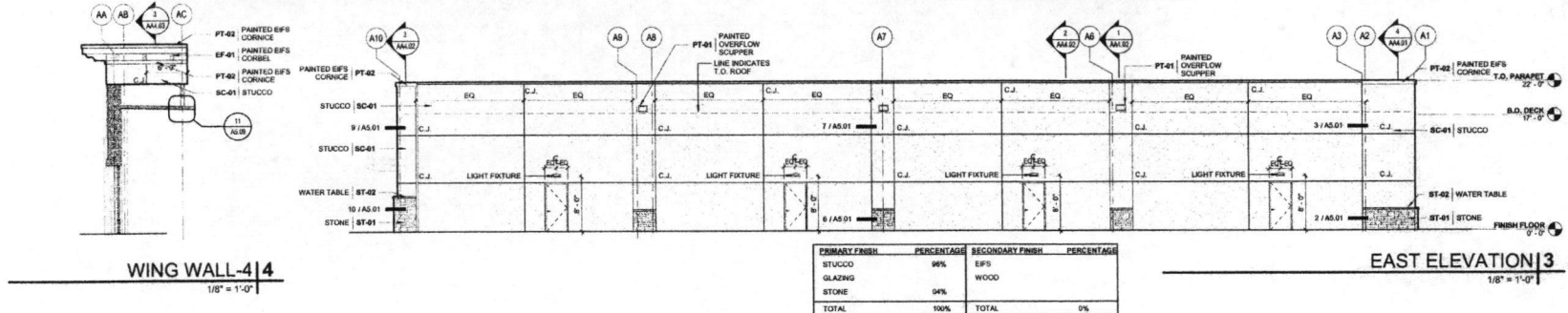
DATE	DESCRIPTION



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Members A.I.A.  
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Bellaire, Texas 77401  
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**RIVERSTONE RETAIL**  
SUGAR LAND, TEXAS

**REGENCY CENTERS**

DATE: 10/27/16  
PROJECT NO.: 1501200  
DRAWN BY: YD  
CHECKED BY: BPA

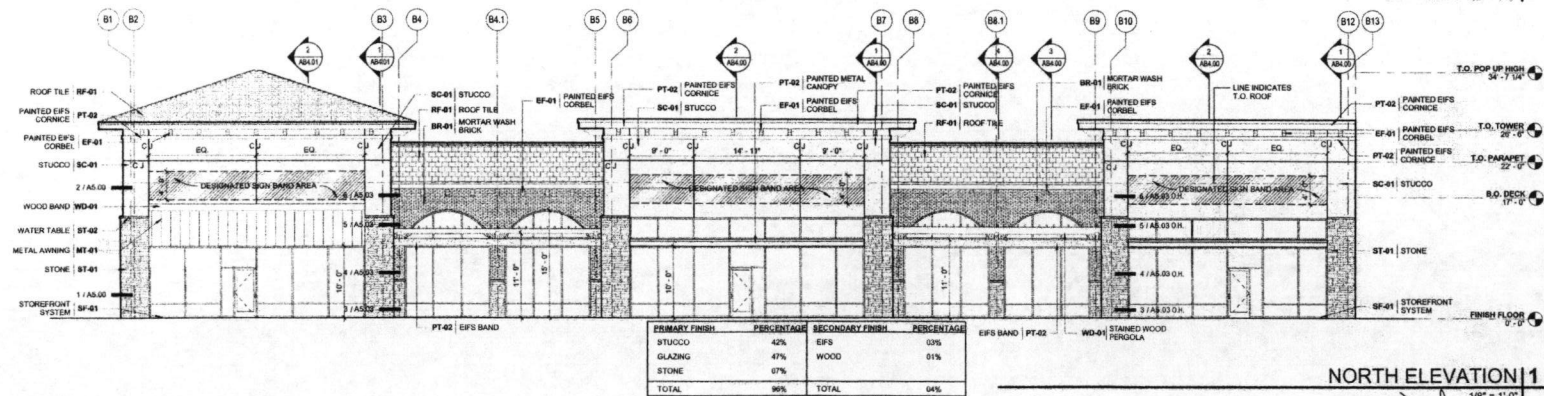
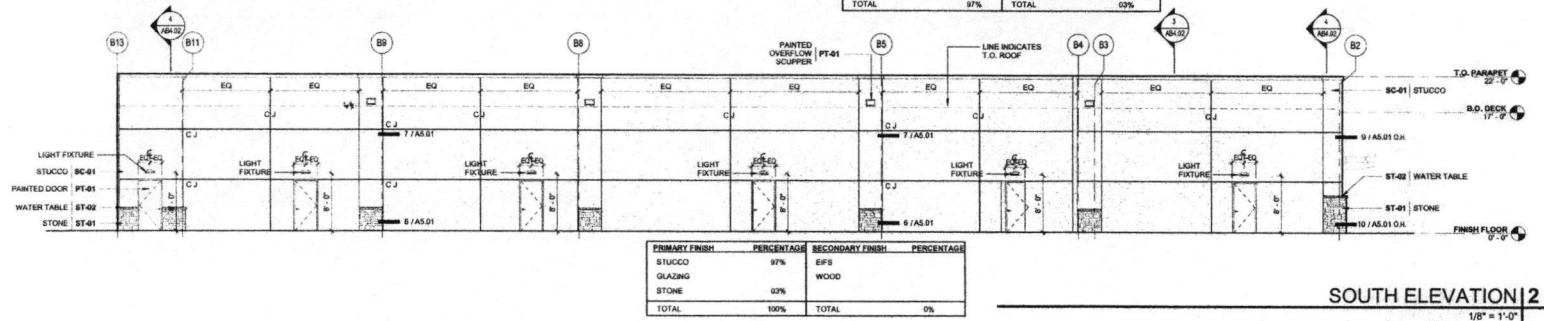
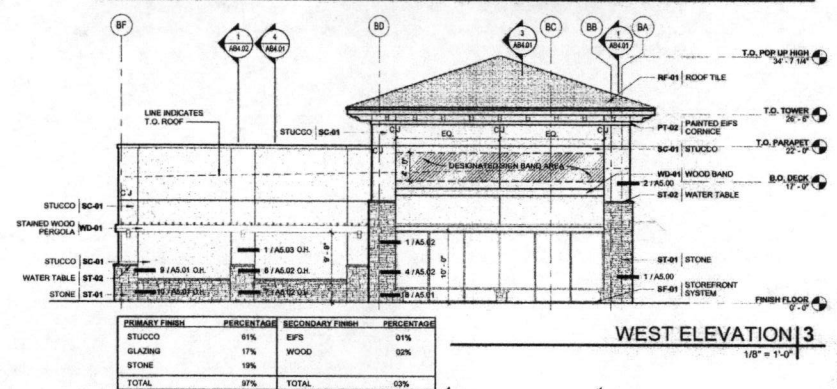
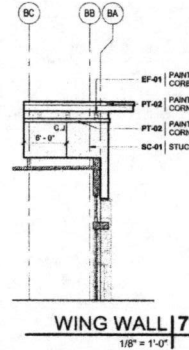
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**AA3.00**  
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MATERIAL LEGEND			
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EF-01	PAINTED EPS CORBEL	SHERWIN WILLIAMS	SW 3507 RIVERWOOD EXTERIOR
MT-01	STANDING SEAM METAL AWNING	BERRIDGE	CHARCOAL GRAY
PT-01	PAINT	SHERWIN WILLIAMS	SW 7102 WHITE FLOUR
PT-02	PAINT	SHERWIN WILLIAMS	SW 7069 IRON ORE
RF-01	ROOFING TILE	BOAL SAXONY COUNTRY SLATE	CHARCOAL BLEND
SC-01	INTEGRAL COLOR STUCCO	SHERWIN WILLIAMS	SW 7102 WHITE FLOUR
SF-01	METAL FRAMES	KAWNEER	BLACK #25
ST-01	STONE	UPCHURCH KIMBROUGH	RIVERSTONE BLEND CHOPPED
ST-02	STONE CAP	UPCHURCH KIMBROUGH	RIVERSTONE BLEND HONED
WD-01	STAINED WOOD	SHERWIN WILLIAMS	SW 3507 RIVERWOOD EXTERIOR

REVISION	DATE	DESCRIPTION



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2018

**RIVERSTONE RETAIL**  
SUGAR LAND, TEXAS

**REGENCY CENTERS**

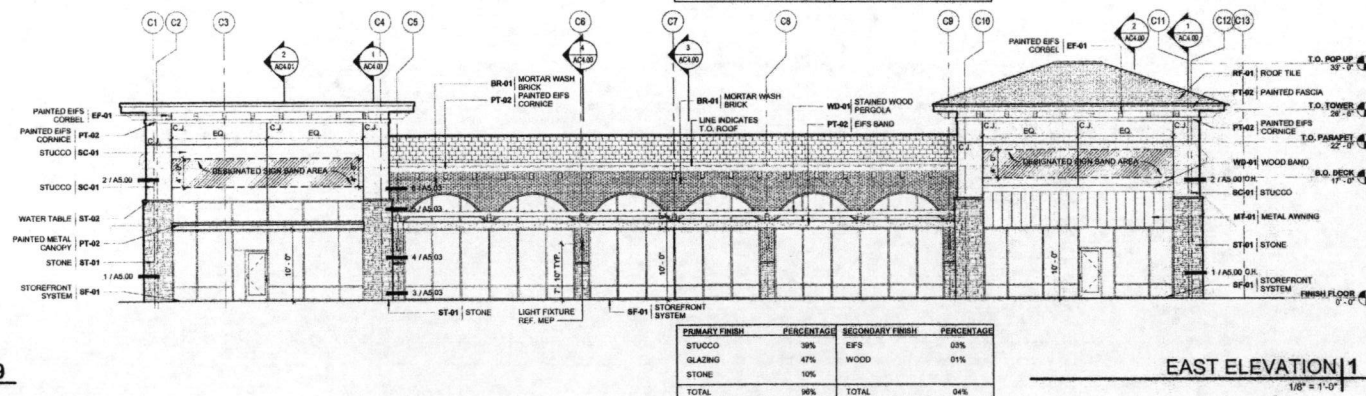
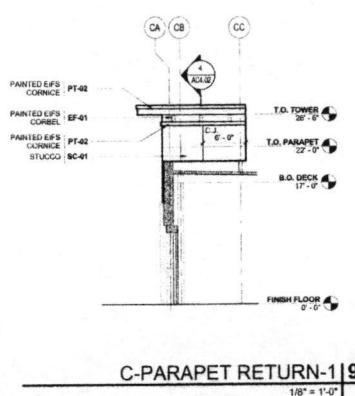
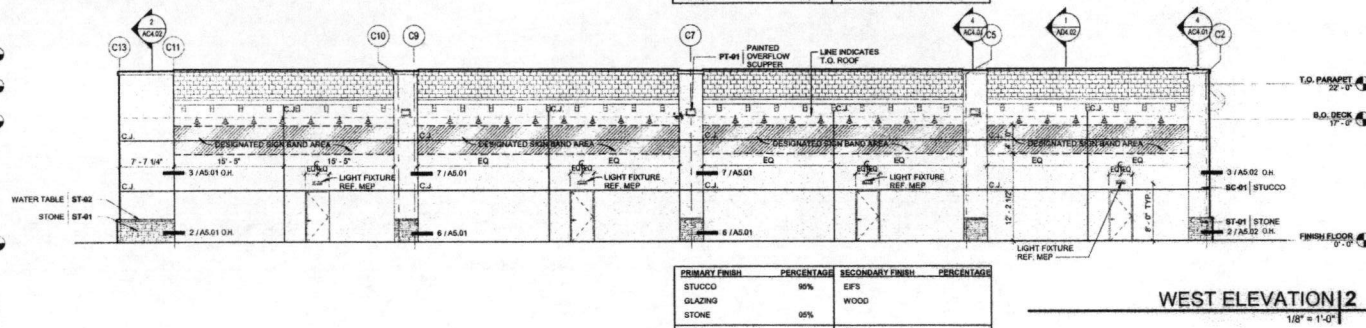
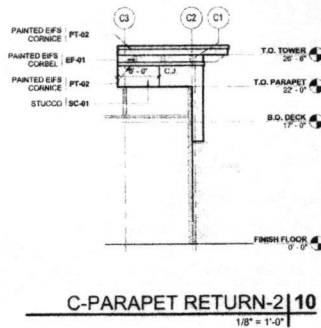
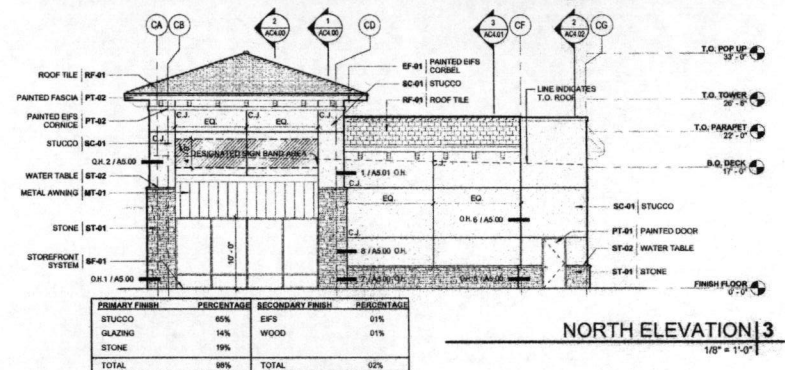
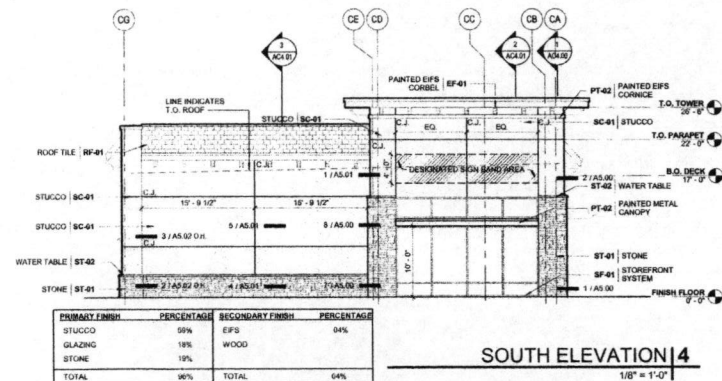
DATE: 08/22/18  
PROJECT NO.: 1591301  
DRAWN BY: YD  
CHECKED BY: BPA

**BLDG B -  
ELEVATIONS**

**AB3.00**  
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MATERIAL LEGEND			
MARK	DESCRIPTION	MANUFACTURER	COLOR
BR-01	MORTAR WASH BRICK	UPCHURCH KIMBROUGH	COLUMBUS FOREST GLEN MODULAR PAPER CUT, COLOR TBD
EF-01	PAINTED EIFS CORBEL	SHERWIN WILLIAMS	SW 3507 RIVERWOOD EXTERIOR
MT-01	STANDING SEAM METAL AWNING	BERTRIDGE	CHARCOAL GRAY
PT-01	PAINT	SHERWIN WILLIAMS	SW 7102 WHITE FLOUR
PT-02	PAINT	SHERWIN WILLIAMS	SW 7069 IRON ORE
RF-01	ROOFING TILE	BORAL SAXONY COUNTRY SLATE	CHARCOAL BLEND
SC-01	INTEGRAL COLOR STUCCO	SHERWIN WILLIAMS	SW 7102 WHITE FLOUR
SF-01	METAL FRAMES	KAWNEER	BLACK #29
ST-01	STONE	UPCHURCH KIMBROUGH	RIVERSTONE BLEND CHOPPED
ST-02	STONE CAP	UPCHURCH KIMBROUGH	RIVERSTONE BLEND HONED
WD-01	STAINED WOOD	SHERWIN WILLIAMS	SW 3507 RIVERWOOD EXTERIOR

ISSUE	DATE	DESCRIPTION



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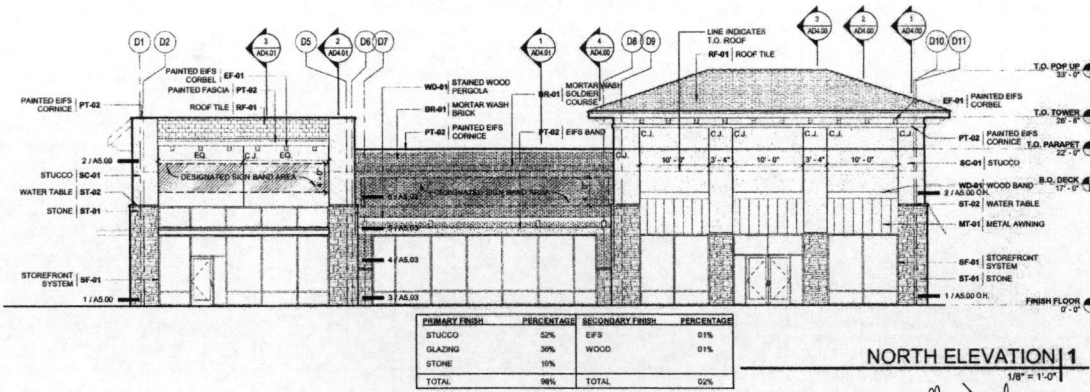
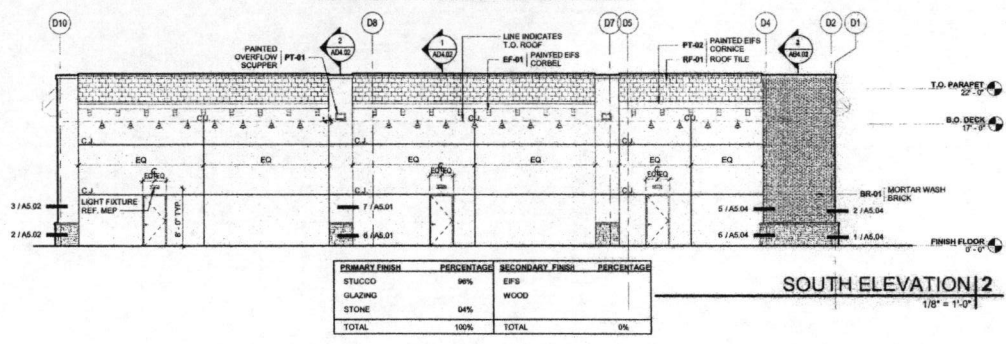
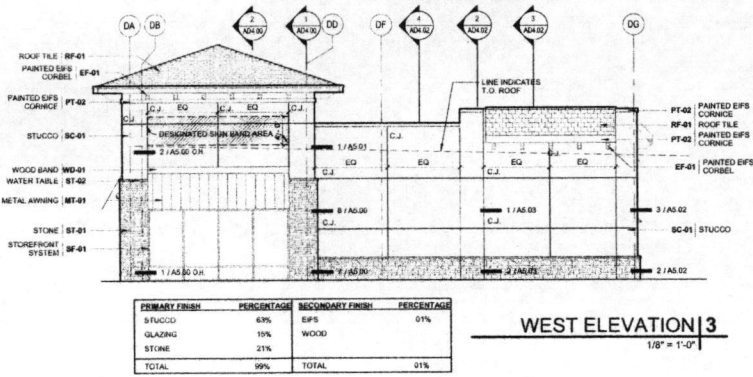
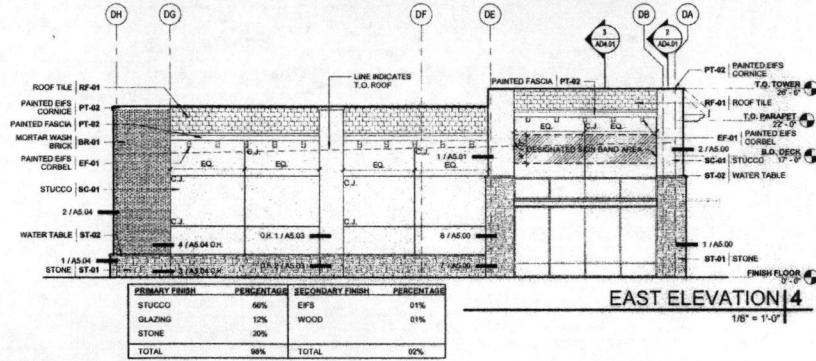
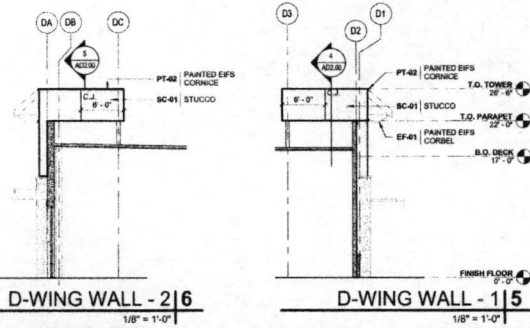
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SUGAR LAND, TEXAS  
**REGENCY CENTERS**  
DATE: 08/23/18  
PROJECT NO.: 1501200  
DRAWN BY: YG  
CHECKED BY: GPA

**BLDG C -  
ELEVATIONS**

**AC3.00**  
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MATERIAL LEGEND			
MARK	DESCRIPTION	MANUFACTURER	COLOR
BR-01	MORTAR WASH BRICK	UPCHURCH KIMBROUGH	COLUMBUS FOREST GLEN MODULAR PAPER CUT, COLOR TBD
EF-01	PAINTED EPS CORBEL	SHERWIN WILLIAMS	SW 3507 RIVERWOOD EXTERIOR
MT-01	STANDING SEAM METAL AWNING	BERTRIDGE	CHARCOAL GRAY
PT-01	PAINT	SHERWIN WILLIAMS	SW 7102 WHITE FLOUR
PT-02	PAINT	SHERWIN WILLIAMS	SW 7069 IRON ORE
RF-01	ROOFING TILE	BORAL SAXONY COUNTRY SLATE	CHARCOAL BLEND
SC-01	INTEGRAL COLOR STUCCO	SHERWIN WILLIAMS	SW 7102 WHITE FLOUR
SF-01	METAL FRAMES	KAWNEER	BLACK #29
ST-01	STONE	UPCHURCH KIMBROUGH	RIVERSTONE BLEND CHOPPED
ST-02	STONE CAP	UPCHURCH KIMBROUGH	RIVERSTONE BLEND HONED
WD-01	STAINED WOOD	SHERWIN WILLIAMS	SW 3507 RIVERWOOD EXTERIOR

DATE	DESCRIPTION



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**RIVERSTONE RETAIL**  
SUGAR LAND, TEXAS

**REGENCY CENTERS**

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PROJECT NO.: 1501290  
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CHECKED BY: BPA

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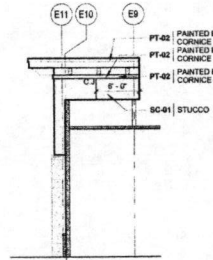
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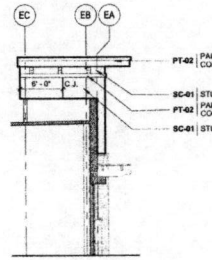


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EF-01	PAINTED EPS CORBEL	SHERWIN WILLIAMS	SW 3507 RIVERWOOD EXTERIOR
MT-01	STANDING SEAM METAL AWNING	BERRIDGE	CHARCOAL GRAY
PT-01	PAINT	SHERWIN WILLIAMS	SW 7102 WHITE FLOUR
PT-02	PAINT	SHERWIN WILLIAMS	SW 7069 IRON ORE
RF-01	ROOFING TILE	BORAL SAXONY COUNTRY SLATE	CHARCOAL BLEND
SC-01	INTEGRAL COLOR STUCCO	SHERWIN WILLIAMS	SW 7102 WHITE FLOUR
SF-01	METAL FRAMES	KAUWKER	BLACK #29
ST-01	STONE	UPCHURCH KIMBROUGH	RIVERSTONE BLEND CHOPPED
ST-02	STONE CAP	UPCHURCH KIMBROUGH	RIVERSTONE BLEND HONED
WD-01	STAINED WOOD	SHERWIN WILLIAMS	SW 3507 RIVERWOOD EXTERIOR

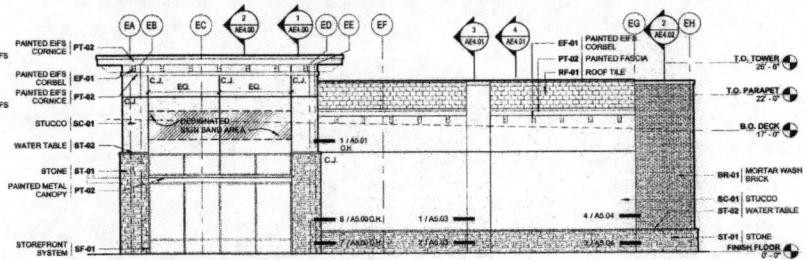
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E-WING WALL - 2/6  
1/8" = 1'-0"

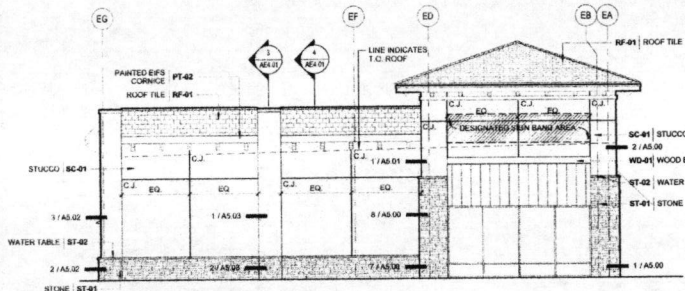


E-WING WALL - 1/5  
1/8" = 1'-0"



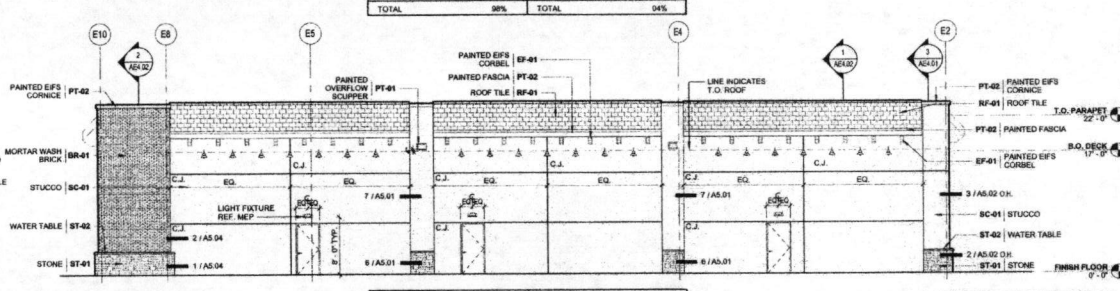
WEST ELEVATION | 4  
1/8" = 1'-0"

PRIMARY FINISH	PERCENTAGE	SECONDARY FINISH	PERCENTAGE
STUCCO	60%	EPS	0%
GLAZING	10%	WOOD	0%
STONE	20%		
TOTAL	90%	TOTAL	0%



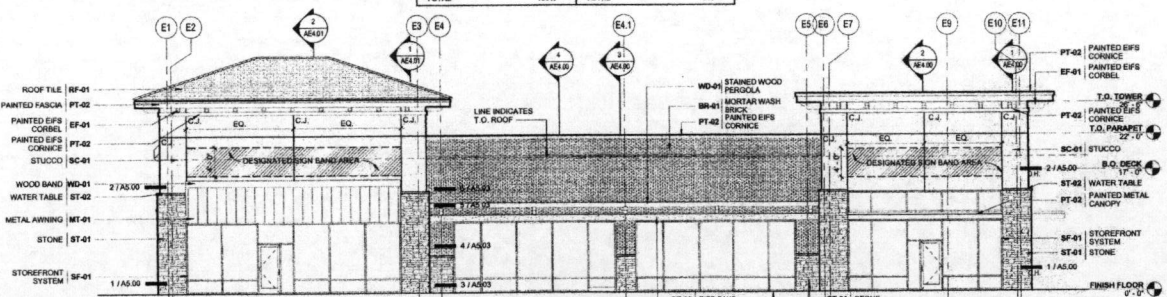
EAST ELEVATION | 3  
1/8" = 1'-0"

PRIMARY FINISH	PERCENTAGE	SECONDARY FINISH	PERCENTAGE
STUCCO	60%	EPS	0%
GLAZING	11%	WOOD	0%
STONE	21%		
TOTAL	92%	TOTAL	0%



SOUTH ELEVATION | 2  
1/8" = 1'-0"

PRIMARY FINISH	PERCENTAGE	SECONDARY FINISH	PERCENTAGE
STUCCO	96%	EPS	0%
GLAZING	0%	WOOD	0%
STONE	0%		
TOTAL	100%	TOTAL	0%



NORTH ELEVATION | 1  
1/8" = 1'-0"

PRIMARY FINISH	PERCENTAGE	SECONDARY FINISH	PERCENTAGE
STUCCO	51%	EPS	0%
GLAZING	36%	WOOD	0%
STONE	10%		
TOTAL	97%	TOTAL	0%

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2016

RIVERSTONE RETAIL

SUGAR LAND, TEXAS

REGENCY CENTERS

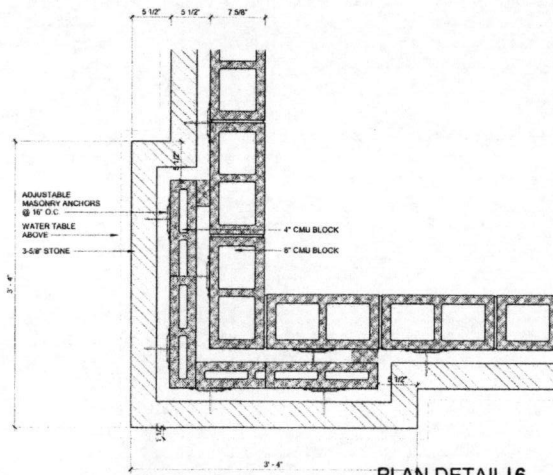
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PROJECT NO.: 1501200  
DRAWN BY: YG  
CHECKED BY: BPA

BLDG E -  
ELEVATIONS

**AE3.00**

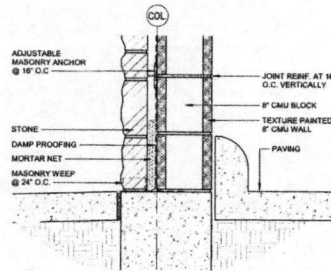
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Magd 12/1/17



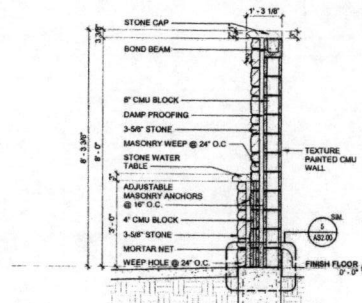
PLAN DETAIL 6

1 1/2" = 1'-0"



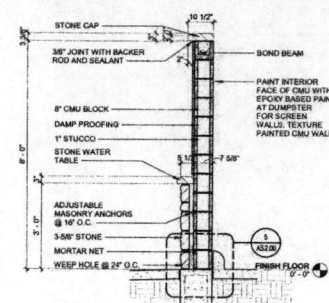
SCREEN WALL FOOTING 5

1 1/2" = 1'-0"



SCREEN WALL  
SECTION @ PILASTER 4

1/2" = 1'-0"



SCREEN WALL SECTION 3

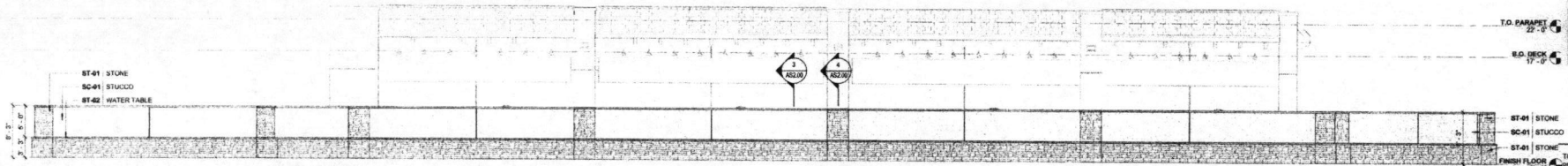
1/2" = 1'-0"

ISSUE	DATE	DESCRIPTION

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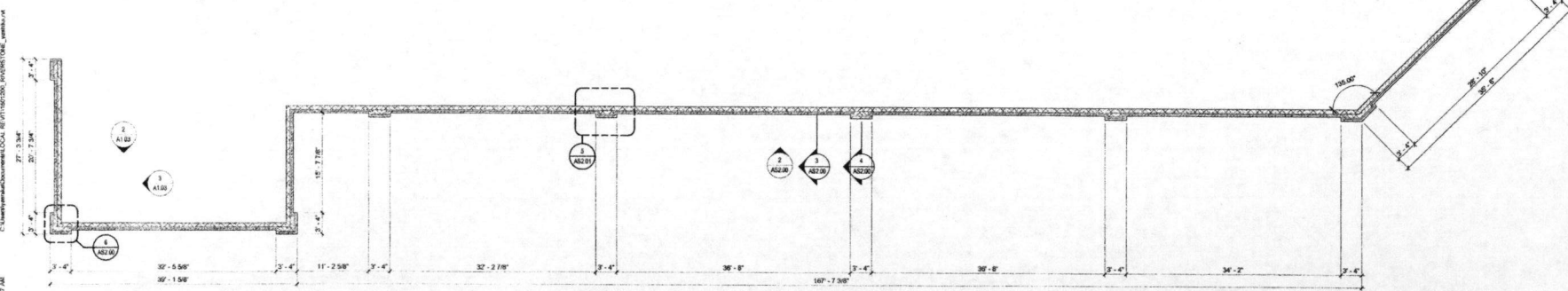
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2016



C-SCREEN WALL ELEVATION 2

1/8" = 1'-0"



C-SCREEN WALL PLAN 1

1/8" = 1'-0"

RECORDER'S MEMORANDUM

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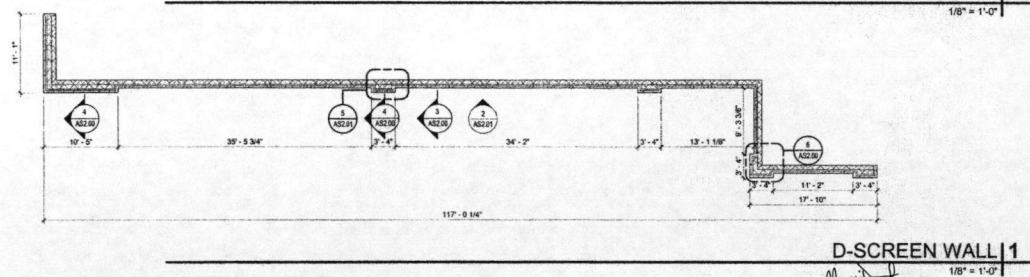
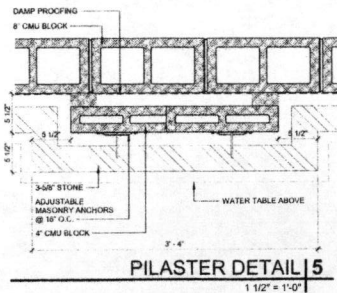
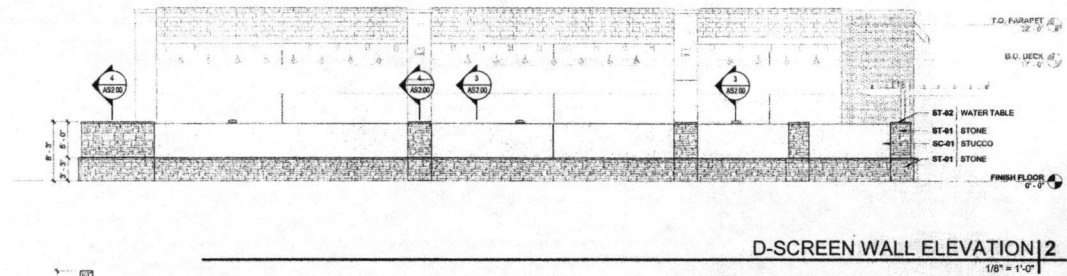
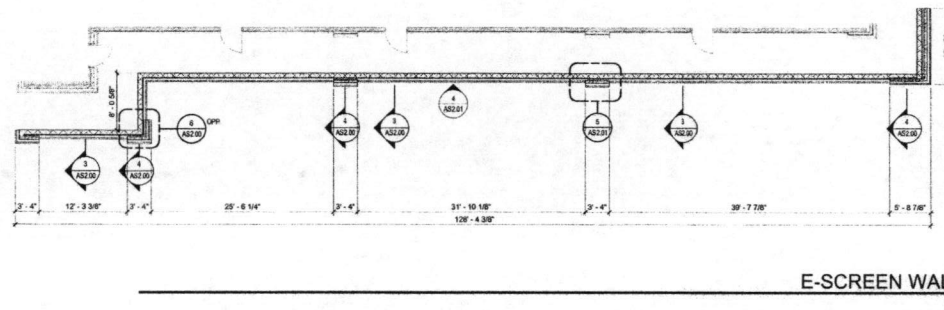
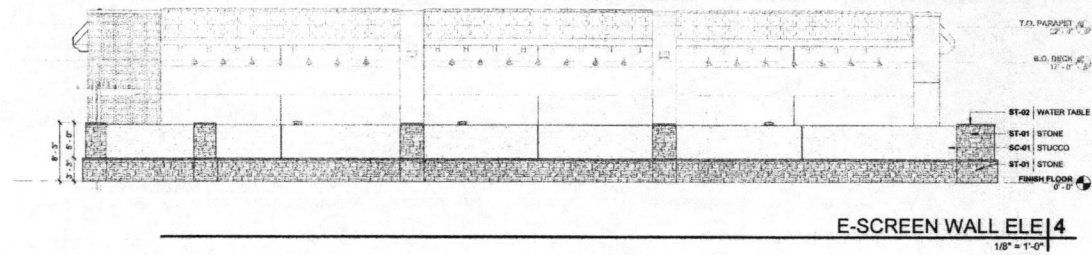
RIVERSTONE RETAIL SUGAR LAND, TEXAS	
REGENCY CENTERS	
DATE	06/21/16
PROJECT NO.	160100
DRAWN BY	YG
CHECKED BY	BPA

SCREEN WALL

**AS2.00**

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ISSUE	DATE	DESCRIPTION



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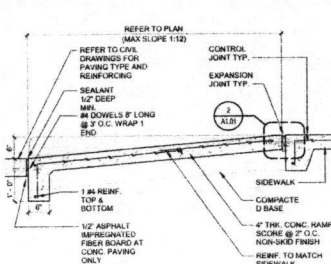
<b>RIVERSTONE RETAIL</b>	
SUGAR LAND, TEXAS	
<b>REGENCY CENTERS</b>	
DATE	09/21/16
PROJECT NO.	1901200
DRAWN BY	YG
CHECKED BY	BPA

SCREEN WALL

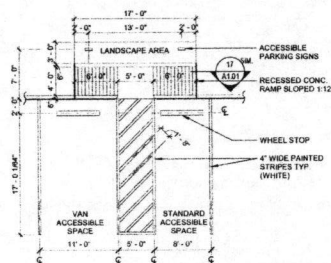
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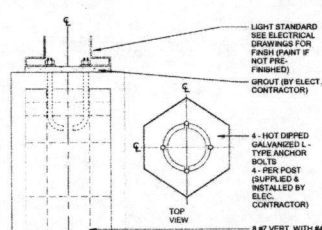




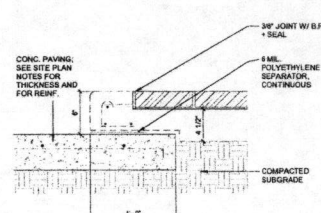
**TYP. RAMP SECTION | 17**  
3/4" = 1'-0"



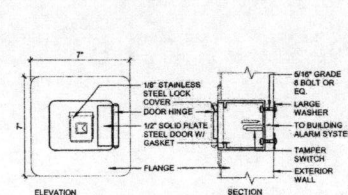
**VAN ADA RAMP | 13**  
1/8" = 1'-0"



**LIGHT STANDARD  
DETAIL W/CONC. PIER | 9**  
1" = 1'-0"

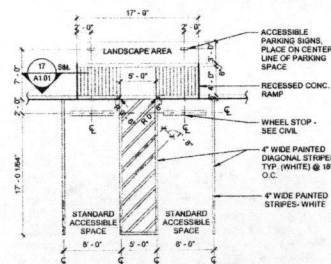


**BRICK PAVING DETAIL | 7**  
1 1/2" = 1'-0"

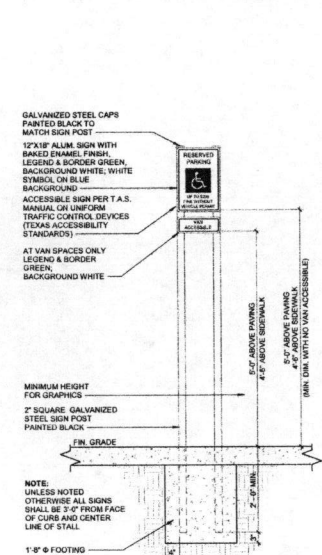


**NOTE**  
• SUGGESTED MINIMUM MOUNTING HEIGHT = 6'-0" ABOVE GROUND  
• KNOXBOX SERIES 320X HINGED DOOR / RECESSED MOUNTED SHOWN  
• COORDINATE LOCATION WITH FIRE MARSHALL

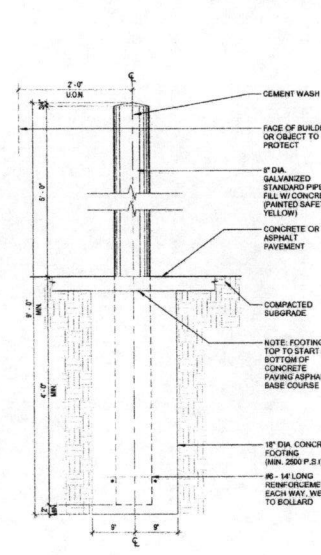
**LOCK BOX | 4**  
3" = 1'-0"



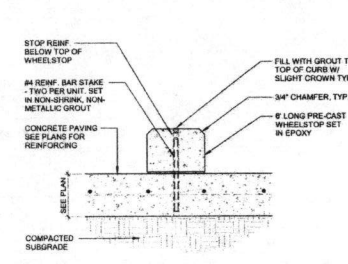
**STANDARD ADA RAMP | 12**  
1/8" = 1'-0"



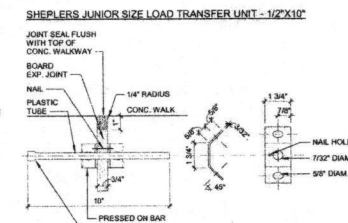
**PARKING SIGN DETAIL | 8**  
3/4" = 1'-0"



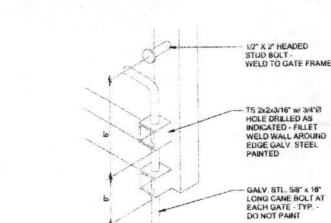
**EXTERIOR BOLLARD DETAIL | 6**  
1" = 1'-0"



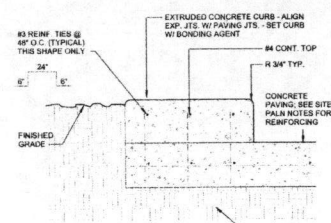
**WHEELSTOP DETAIL | 3**  
1 1/2" = 1'-0"



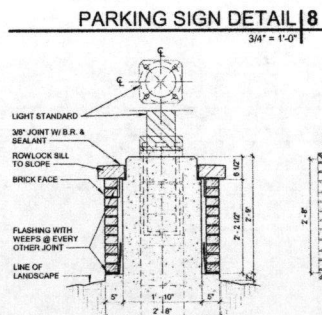
**LOAD TRANSFER UNIT DETAIL | 2**  
3" = 1'-0"



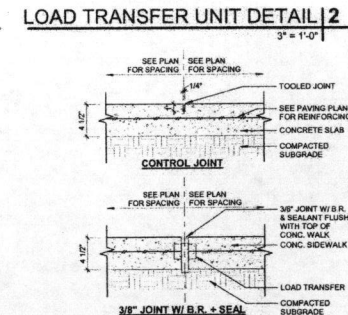
**CANE BOLT DETAIL | 15**  
1 1/2" = 1'-0"



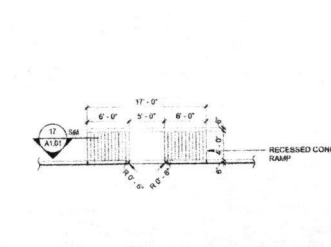
**CURB DETAIL | 11**  
1 1/2" = 1'-0"



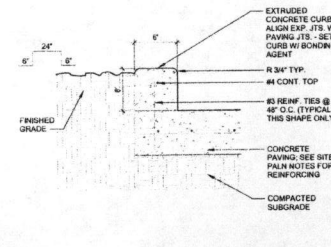
**LIGHT STANDARD DETAIL | 5**  
3/4" = 1'-0"



**TYP. CONC. WALK DETAILS | 1**  
1 1/2" = 1'-0"



**ADA RAMP | 14**  
1/8" = 1'-0"



**CURB DETAIL | 10**  
1 1/2" = 1'-0"

ISSUE	DATE	DESCRIPTION

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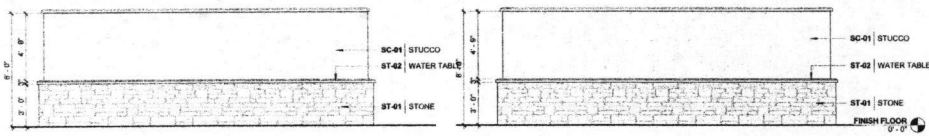
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2018

<b>RIVERSTONE RETAIL</b>
SUGAR LAND, TEXAS
<b>REGENCY CENTERS</b>
DATE: 08/29/18
PROJECT NO.: 1801230
DRAWN BY: YG
CHECKED BY: BPA

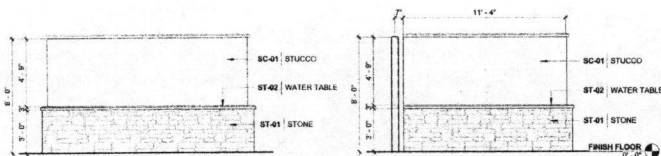
**SITE DETAILS**

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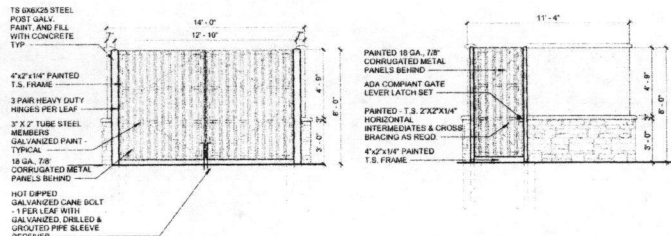
DOUBLE DUMPSTER BACK ELEVATION | 11  
1/4" = 1'-0"

DUMPSTER BACK ELEVATION-1 | 8  
1/4" = 1'-0"



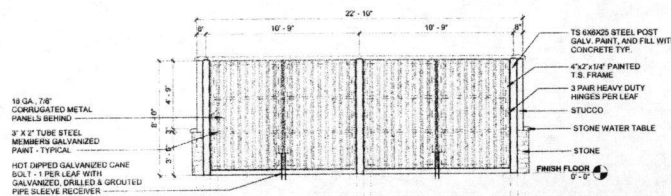
BACK ELEVATION | 10  
1/4" = 1'-0"

DUMPSTER SIDE ELEVATION | 7  
1/4" = 1'-0"

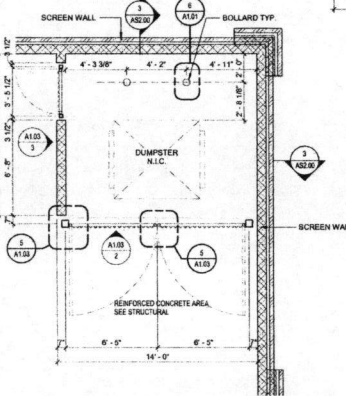


DUMPSTER ELEVATION TYP. | 9  
1/4" = 1'-0"

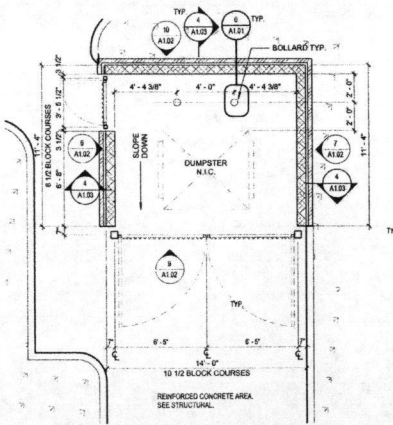
DUMPSTER ELEVATION TYP. | 6  
1/4" = 1'-0"



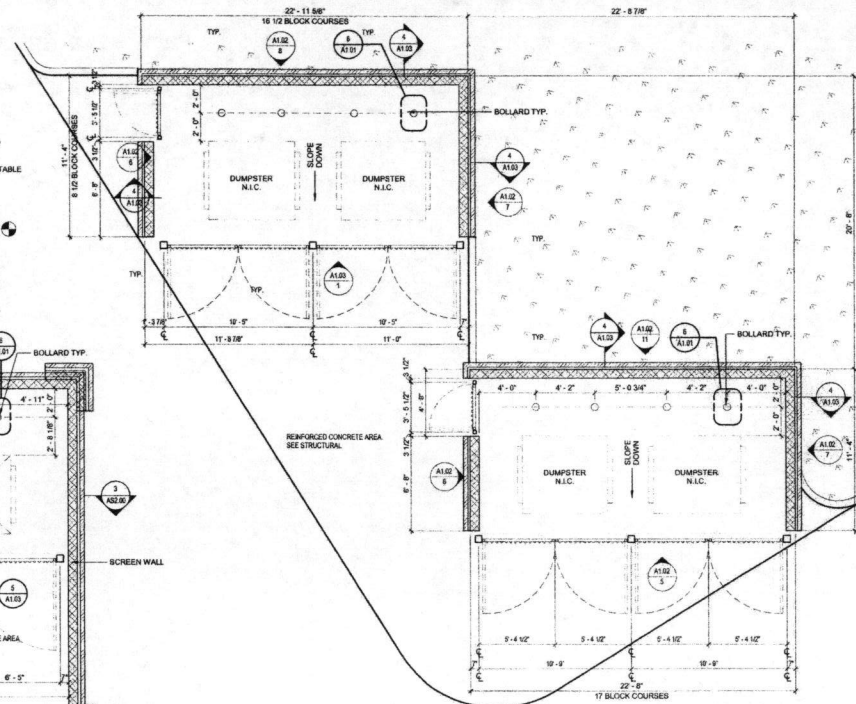
DOUBLE DUMPSTER FRONT ELEVATION | 5  
1/4" = 1'-0"



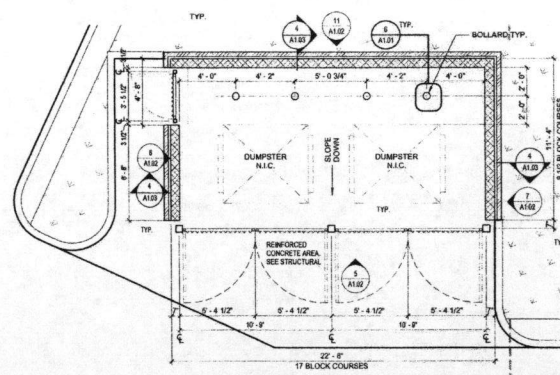
SINGLE DUMPSTER PLAN | 4  
1/4" = 1'-0"



DUMPSTER PLAN | 3  
1/4" = 1'-0"



DOUBLE DUMPSTER PLAN | 2  
1/4" = 1'-0"



DOUBLE DUMPSTER PLAN | 1  
1/4" = 1'-0"

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RIVERSTONE RETAIL  
SUGAR LAND, TEXAS  
REGENCY CENTERS

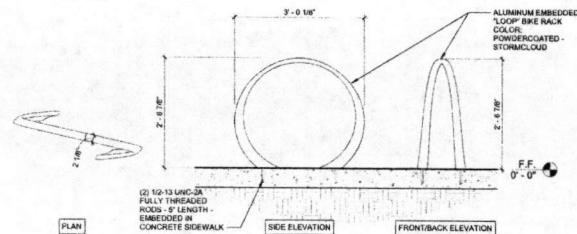
DATE	10/31/16
PROJECT NO.	1901300
DRAWN BY	YG
CHECKED BY	BPA

ENLARGED  
DUMPSTER  
DETAILS

A1.02

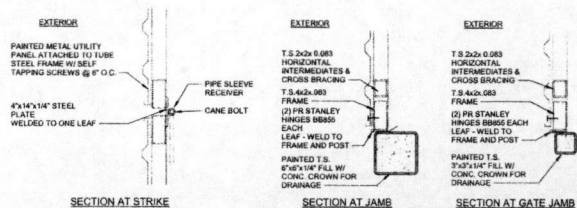
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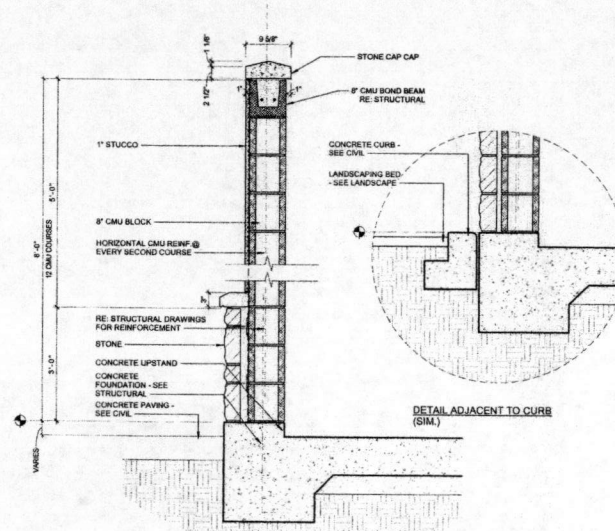
BIKE RACK DETAIL 6

3/4\" = 1'-0"



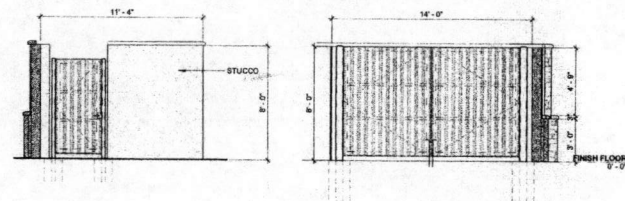
GATE DETAILS 5

1 1/2\" = 1'-0"



DUMPSTER SECTION @ PAVING 4

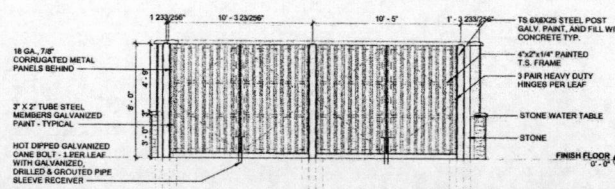
1\" = 1'-0"



SIDE ELEVATION 3 DUMPSTER @ SCREEN WALL 2

1/4\" = 1'-0"

1/4\" = 1'-0"



DUMPSTER FRONT ELEVATION -2 1

1/4\" = 1'-0"

ISSUE	DATE	DESCRIPTION

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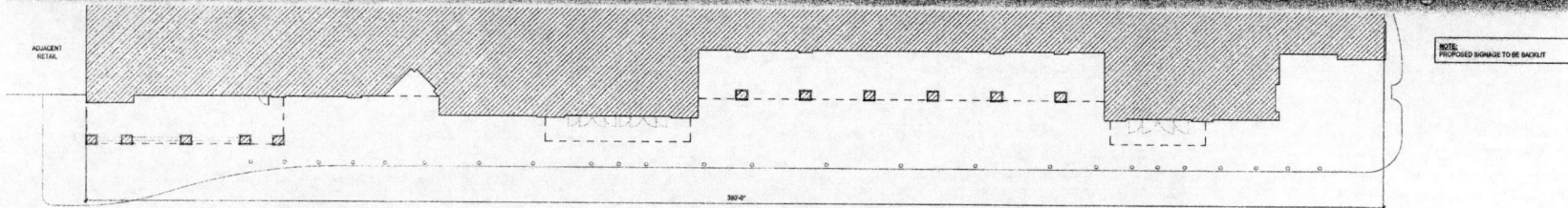
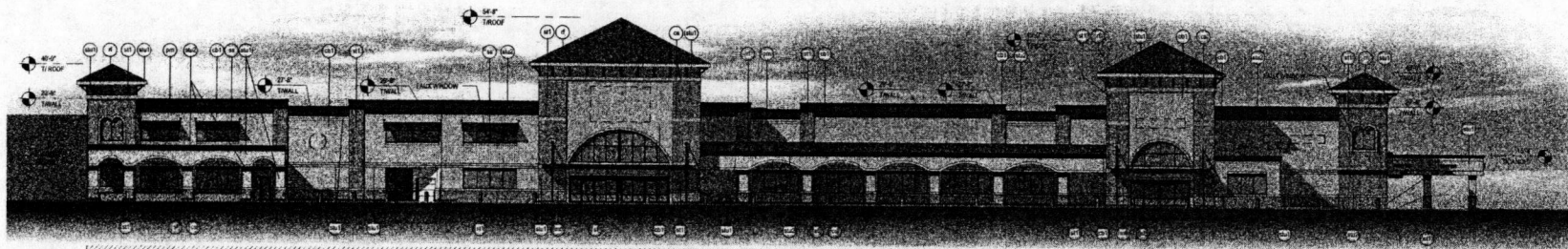
RIVERSTONE RETAIL  
SUGAR LAND, TEXAS  
REGENCY CENTERS

DATE 10/27/16  
PROJECT NO. 1501200  
DRAWN BY YG  
CHECKED BY BPA

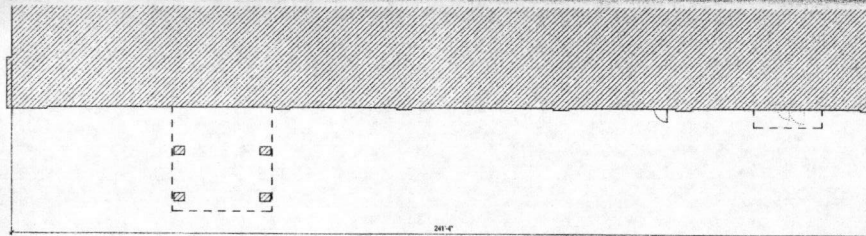
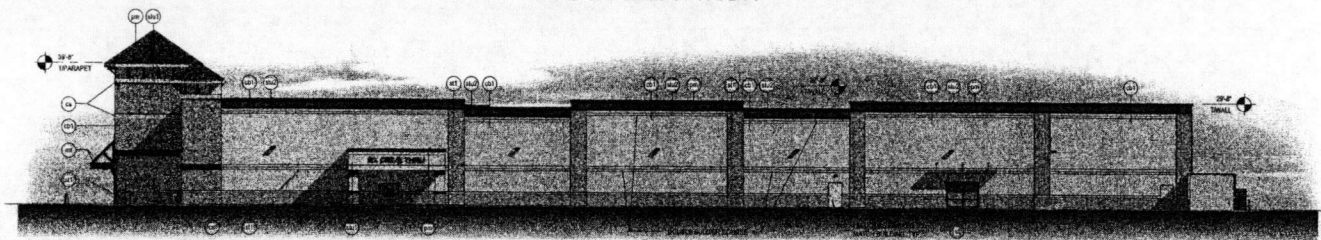
SITE DETAILS  
AND DUMPSTER  
DETAILS

**A1.03**

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SOUTH ELEVATION



EAST ELEVATION

**FINISH SCHEDULE**

- |  |   |
|--|---|
| ① Architectural Concrete Block                 | ②③ Shown Wallface                                 |
| ④ Outlands - Oak (18" - 18" Laminar)           | ④⑤ 7/8" - 1/2" One                                |
| ⑥ Open Stone                                   | ⑥⑦ Faceted Metal                                  |
| ⑧ Artificial Limestone                         | ⑧⑨ Paint to Match Surrounding - Charcoal Grey     |
| ⑩ Cast Stone                                   | ⑩⑪ Metal Cladding                                 |
| ⑫ Random Ashlar/Stone/Concrete Block - Natural | ⑫⑬ Paint to Match Surrounding - Charcoal Grey     |
| ⑭ Stone  | ⑭⑮ Random Stone/Block                             |
| ⑯ Random Light Tan                             | ⑯⑰ Block  |
| ⑱ Random Medium Tan                            | ⑱⑲ Glassing                                       |
| ⑳ Random Dark Tan                              | ⑳⑳ Gray Tile                                      |
| ⑳ Random Dark Tan                              | ㉑ Random Tile                                     |
| ㉒ Random Dark Tan                              | ㉒ Random Limestone/Concrete Block - Charcoal Grey |
| ㉓ Random Dark Tan                              | ㉓ Random Stone/Block                              |
| ㉔ Random Dark Tan                              | ㉔ Random Stone/Block                              |
| ㉕ Random Dark Tan                              | ㉕ Random Stone/Block                              |
| ㉖ Random Dark Tan                              | ㉖ Random Stone/Block                              |
| ㉗ Random Dark Tan                              | ㉗ Random Stone/Block                              |
| ㉘ Random Dark Tan                              | ㉘ Random Stone/Block                              |
| ㉙ Random Dark Tan                              | ㉙ Random Stone/Block                              |
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| ㉛ Random Dark Tan                              | ㉛ Random Stone/Block                              |
| ㉜ Random Dark Tan                              | ㉜ Random Stone/Block                              |
| ㉝ Random Dark Tan                              | ㉝ Random Stone/Block                              |
| ㉞ Random Dark Tan                              | ㉞ Random Stone/Block                              |
| ㉟ Random Dark Tan                              | ㉟ Random Stone/Block                              |
| ㊱ Random Dark Tan                              | ㊱ Random Stone/Block                              |
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| ㊳ Random Dark Tan                              | ㊳ Random Stone/Block                              |
| ㊴ Random Dark Tan                              | ㊴ Random Stone/Block                              |
| ㊵ Random Dark Tan                              | ㊵ Random Stone/Block                              |
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| ㊽ Random Dark Tan                              | ㊽ Random Stone/Block                              |
| ㊾ Random Dark Tan                              | ㊾ Random Stone/Block                              |
| ㊿ Random Dark Tan                              | ㊿ Random Stone/Block                              |



March 17, 2017

**BLDG F - ELEVATIONS - (1 OF 2)**

**Kroger Store HO131**

Sugar Land, TX  
K16329



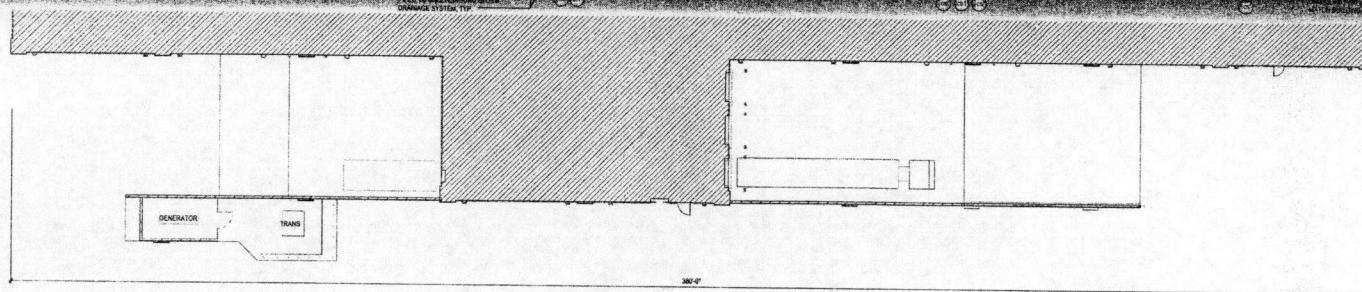
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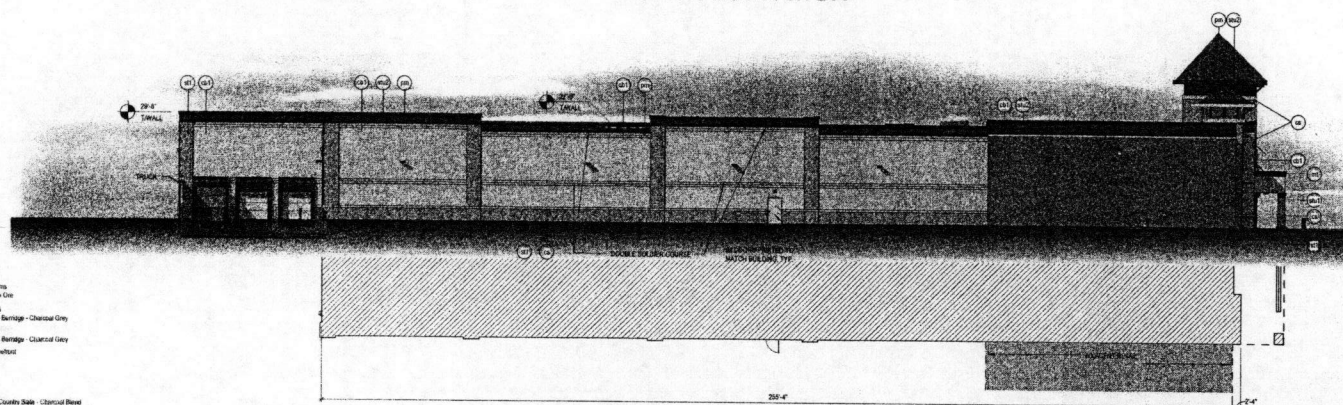
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*Handwritten signature and date 3/17/17*

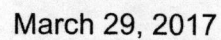




NORTH ELEVATION



WEST ELEVATION



Kroger Store HO131

Sugar Land, TX  
K16329



K1.1

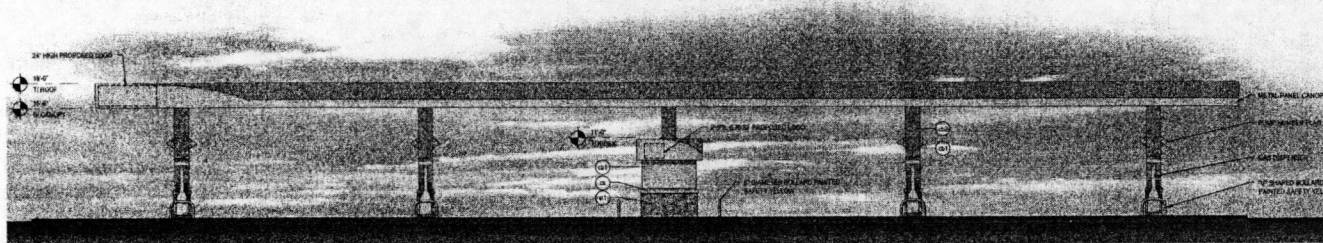
## BLDG F - ELEVATIONS - (2 OF 2)

## RECORDED'S MEMORANDUM

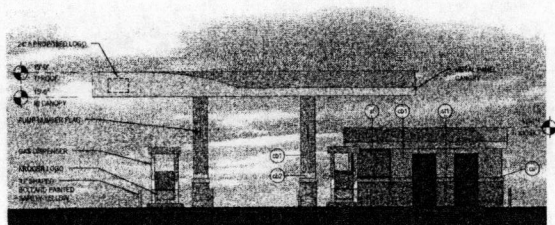
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Mazid 1.12.11

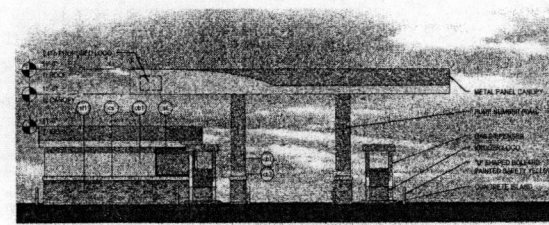




EAST ELEVATION

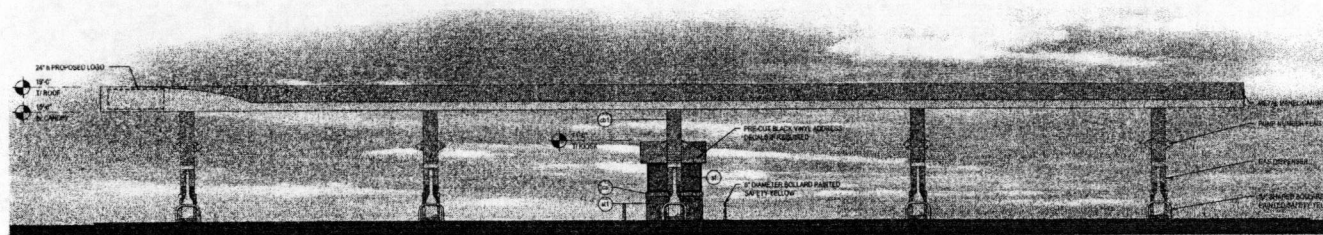


SOUTH ELEVATION



NORTH ELEVATION

- FINISH SCHEDULE
- ① Architectural Concrete Block
  - ② Concrete - Dark Grey - White Limestone
  - ③ Apra Stone
  - ④ Antique Limestone
  - ⑤ Cast Stone
  - ⑥ Silestone Architectural Cast Stone - Natural
  - ⑦ Storefront
  - ⑧ Clear Anodized



WEST ELEVATION



October 13, 2016

Kroger HO131

Sugarland, TX  
K16329

## FUEL CENTER ELEVATIONS

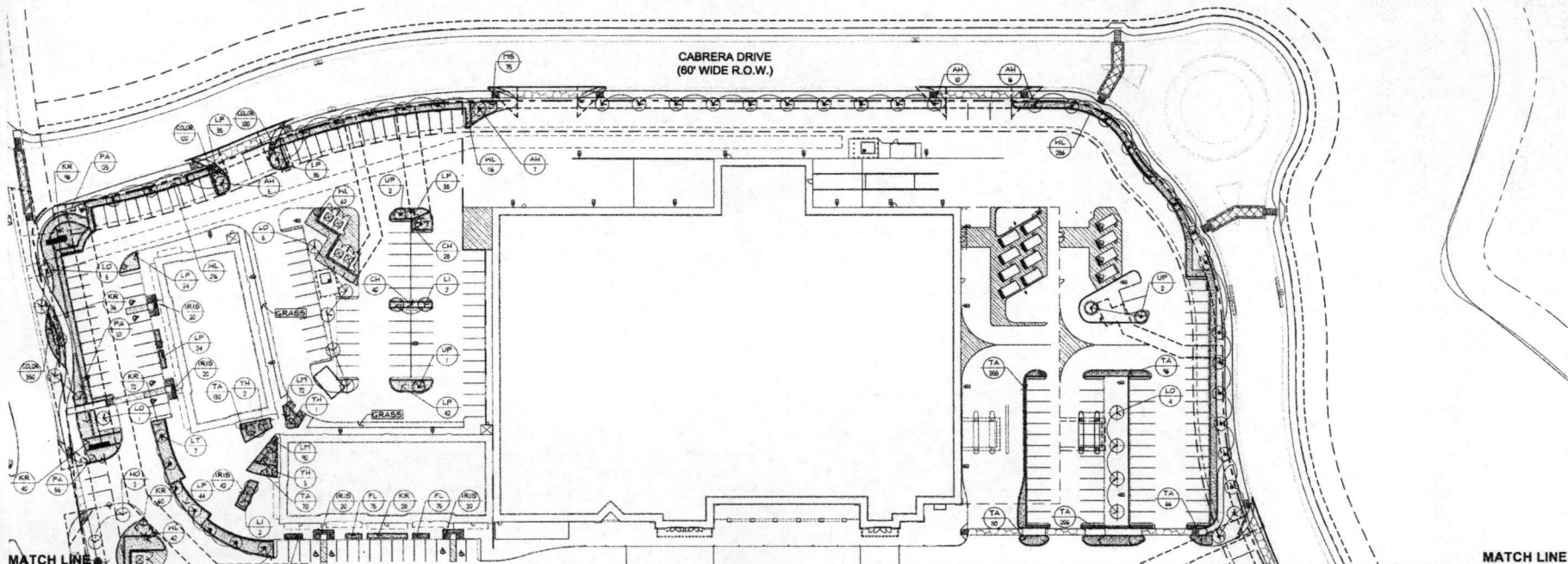
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10/21/17

K2.0



ISSUE #	DATE	DESCRIPTION
03-16-17		Site Revisions

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boucher design group

Boucher Design Group LLC  
Members A.I.A.  
6802 Maple Ridge, Suite 200  
Bellaire, Texas 77401  
Tel. 713.785.3644  
www.bdgsg.com

- Landscape Requirements:**
- Perform all work in accordance with all applicable laws, codes, and regulations required by authorities having jurisdiction over such work and provide all inspections and permits required by Federal, State, and local authorities in supply, transportation, and installation of materials.
  - The contractor shall be responsible for the verification of all underground utility lines (telephone, gas, water, electric, cable, TV, etc.) and all overhead utility enclosures prior to start of any planting work.
  - All plant materials shall possess the following minimum qualities:
    - Plants shall be nursery grown in accordance with good horticultural practices under climatic conditions similar to those of the project for at least twelve months.
    - All plants shall be healthy, symmetrical, lightly limbed, so trained or laced for development and appearance as to be superior in form, number of branches, compactness, and symmetry.
    - Plants shall be sound, healthy and vigorous, well branched, and densely leafed when in leaf. They shall be free of disease, wounds, pests, injury, or stress.
    - All plants shall be true to species and variety and shall conform to measurements (canopy size, trunk height, spread) as specified on the drawings.
    - Container grown plants when specified shall have been grown in the container in which delivered for at least six months, but not over two years. Samples must prove the individual container size.
    - Caliper measurements shall be taken at a point on the trunk six inches (6") above the ground line for trees up to four inches (4") in caliper.
    - All trees shall be staked by a minimum of two (2) "T" stakes for single trunk trees and three stakes for all multi-trunk trees.
  - Planting site shall be thoroughly tested in the following proportions:
    - Prepared soil as backfill for shrubs and ornamental trees shall be: 5 part clay loam topsoil + 2 part compost + 1 part sharp sand + 4 lbs. Commercial fertilizer per CY or 10 lbs. Organic fertilizer.
    - Prepared soil as backfill for shrubs and groundcovers and seasonal color shall be: 1 part enriched mulch + 1 part compost bark mulch + 1 part screened topsoil + 1 part 10-10-10 Fertilizer + 3 lbs. Timor-reduced fertilizer, 14-14-14 per CY or 8 lbs. Organic fertilizer.
  - Excavation work and Surface drainage works shall conform to the following requirements:
    - Tree staking of plant beds and plant pits for filling with water before in accordance. Conditions permitting the retention of water for more than 24 hours shall be brought to the attention of the Owner.
    - Work shall include the final responsibility for proper surface drainage of planted areas. Any alterations on the site, or prior work done by another party, which precludes establishing proper drainage shall be brought to the attention of the Owner in writing.
    - Excavate each tree hole 18" deep plus the depth of the tree container size (15 gal. Or 30 gal. Or 60 gal. Or 100 gal.).
    - Excavate entire shrub bed to a depth of 6" plus the depth of the shrub container size (5 gal.) unless noted as being pit planted on landscape design.
    - Excavate entire groundcover bed to a depth of 6" plus the depth of the groundcover container size (4" per CY or 1 gal.).
  - Additional work requirements on landscape areas:
    - Prior to installation of any planting work (trees, shrubs, groundcover and grass work) apply "Round Up" in all planting areas to eradicate all weed growth on site.
    - Install weed control barriers in all trees, shrubs and groundcover planting areas. Weed barrier fabric shall be black polypropylene sheet 27 mils thick, 4 mils g. girth tested strength per ASTM D-4632: 90 lbs. (machine directed) 90 lbs. (force machine directed). Provide Official "Weed Barrier" or approved substitute.
    - Edges of planting bed areas with Ryegrass seed shall be clearly defined the edge of the planting bed the start of the grass area.
    - Edges shall be Ryegrass seed 18" wide with new sods laid for full.
    - Grass a minimum two inch layer of pine bark mulch over seed and groundcover bed areas.
  - Landscape maintenance work by the Landscape Contractor after final acceptance shall include the following:
    - The maintenance period shall commence upon inspection and approval at Final Acceptance and shall be for a period of Thirty Days (30).
    - The landscape contractor shall coordinate the watering program for all the landscape work with the Owner.
    - Maintenance of new plantings shall consist of watering, cultivating, weeding, mulching, retaining, lighting and repair of signs, watering plants for proper growth or growth cessation, and fertilizing and application of pesticides/herbicides, sprays, and insecticides as are necessary to keep plantings free of insects and disease and in a thriving condition.
  - Warranty Period, Plant Guarantee, and Replacement:
    - Plantings supplied shall be warranted to remain alive and healthy for a period of twelve months (12) after the date of Final Acceptance by Owner. Plants in an impaired, dead, or dying condition after initial acceptance or within 12 months shall be removed and replaced immediately to the satisfaction of the Owner.

Symbolic Name	Quantities (Verify)	Botanical Name	Common Name	Size and Plant Requirements
UP	61	Ulmus Parvifolia 'Emer S'	Alle Leucobark Elm	4" cal. 100 gal. container: 14' to 15' Ht. with 7 minimum spread. Single upright, full canopy clear trunk to 7'; dark green. Matching specimen.
HO	30	Quercus lyrata	Hightower Overcup Oak	5-1/2" to 6" cal. 20' Ht. with minimum 7-1/2" spread. 8-10. Match specimen. Single leader, straight trunk, full canopy, clear trunk to 7'. Dark green foliage. Matching specimen.
LO	91	Quercus virginiana	Live Oak	4" cal. 100 gal. container: 14' to 15' Ht. with 7 minimum spread. Single upright trunk, full canopy. Matching specimen.
LI	97	Lagerströmia indica	Tucanica Crapemyrtle	3" cal. 65 gal. container: 8' to 9' Ht. multi-trunk, minimum 3 to 5 trunks; 1-1/2" cal. Min. cane caliper. Full canopy, dark green. Matching specimen.
YH	8	Yucca filamentosa	Tucanica Crapemyrtle	3" cal. 65 gal. container: 8' to 9' Ht. multi-trunk, Matching specimen.
AH	36	Azalea	Yucca filamentosa	3" cal. 65 gal. container: 12' to 14' Ht. tree form, 48" clear trunk.
LT	17	Ligustrum japonica	Japanese Ligustrum Tree	2-1/2" cal. 45 gal. container: 7' to 8' Ht. with minimum 6" spread. Multi-trunk, 3 to 5 trunks, 1-1/2" cal. Min. cane caliper. Full canopy, dark green clear trunk to 6". Matching specimen.
CH	450	Chamaecyparis	Carissa Holly	5 gal. planted at 30" o.c. 24" Ht. x 14" spread at time of installation; Full to ground plant.
KR	1057	Rosa X Redon	Radon Knockout Rose	5 gal. planted at 30" o.c. 24" Ht. x 14" spread at time of installation; Full to ground plant.
CL	156	Erubrythia japonica	Copperstone Rose	5 gal. planted at 30" o.c. 24" Ht. x 14" spread at time of installation; Full to ground plant.
WL	2511	Ligustrum japonica	Walden Ligustrum	5 gal. planted at 30" o.c. 24" Ht. x 14" spread at time of installation; Full to ground plant.
LP	731	Loropetalum chinensis	Purple Pines Loropetalum	5 gal. planted at 30" o.c. 24" Ht. x 14" spread at time of installation; Full to ground plant.
TA	1024	Trachelospermum asiaticum	Asian Jasmine	1 gal. planted at 18" o.c. 10" Ht. minimum 12" spread.
LM	3994	Lantana montevidensis	Purple Trailing Lantana	1 gal. planted at 18" o.c. 12" Ht. minimum 12" spread. Full foliage and spreading.
PA	1520	Plumbago auriculata	Plumbago	1 gal. planted at 24" o.c. 12" Ht. minimum 12" spread. Full foliage and spreading.
ME	1994	Macaranga tinctoria 'Little Yellow'	Little Yellow Macaranga	1 gal. planted at 24" o.c. 12" Ht. minimum 12" spread. Full foliage.
Ite	7243	Mosses Bicolor	Bicolor Iris	1 gal. planted at 24" o.c. 24" Ht. minimum 12" spread. Full foliage.
Color	7240	Seasonal Color	Annuals	4" per, 50% in bloom at install; plant @ 8" o.c. full variety to be selected by Owner.

Symbolic Name	Quantities (Verify)	Botanical Name	Common Name	Size and Plant Requirements
SG	580	Tubuchia violacea	Society Garlic	1 gal. planted at 18" o.c. minimum 12" Ht. and 12" spread. Full green.
FL	150	Daniella tamnifolia	Variegated Plant Lily	1 gal. planted at 24" o.c. Variegated.
DW	20	Mynia punctata	Deer Waxy Myrica	-
Grass	Varify SP	Cynodon Dactylon	Common Bermuda	Hydro-mulched for all areas within limits of the project including all right of way areas. All areas to be graded shall be cleared up and the graded with a minimum two inch layer of topsoil to adhere to civil grading and drainage plan.
Edge	Varify LP	Crush granite edge @ parking cut	12" wide	Proposed 12" wide crushed granite edge to be constructed at all parking lot curb adjacent a parking space. Verify on site. Excavate a 12" wide channel to a depth of 2-1/2"; compact subgrade and install approved filter fabric membrane over entire channel prior to installing approved decomposed granite materials. Permanent edging with Ryegrass seed edges.
Berm	Varify LP	Proposed 24" height earth berm	24" high	24" berms shall have 4:1 slope. Provide at least 16 and labor to construct raised earth berm. Coordinate drainage of areas where berms are proposed with civil engineer on project.

**Grass Hydromulching Work Requirements:**

- Grass works:
  - Seed which has become wet, moldy and otherwise damaged in transit or in storage will not be acceptable.
  - All grass seed shall be fresh, re-cleaned grass seed of the tested crop, mixed in the following proportions by weight and meeting the accepted standards of pure live seed content, purity and germination.
  - Grass seed shall have the following minimum rates:
    - Summer Mix:** Cynodon Dactylon (Hybrid Common Bermuda Grass) 85% pure live seed at 75 Lbs. Pure live seed per acre.
    - Winter Mix:** Cynodon Dactylon (Unhybrid - Common Bermuda Grass) 85% pure live seed at 75 Lbs. Pure live seed per acre. Annual Ryegrass or equal, 85% pure live seed at 175 Lbs. Pure live seed per acre.
- Sturry Mix Component per Acre shall be Wood cellulose fiber mulch = 2,000 pounds + Grass Seed as specified + fertilizer (13-13-13) 800 pounds.
- Hydromulched seedling on Prepared finished grade:
  - Install and spread out a minimum of one inch layer of spread over all areas to be hydromulched.
  - Bed preparation: immediately after the finished grade has been approved, begin hydromulching operation to reduce excessive weed growth and erosion.
  - Apply seed, fertilizer and mulch by spraying them on the previously prepared seedbed in the form of an aqueous mixture and by using the methods and equipment described herein.
  - Particular care shall be exercised by the contractor to insure that the application is made uniformly and at the prescribed rate and to guard against rills and overgrazed areas.
  - Where slopes of areas to be grassed exceed a 3:1 H/V, an erosion control fabric shall be installed prior to hydromulching process.
- Maintenance:
  - Maintenance shall consist of weeding, fertilizing, mow control, watering, replanting, mowing, maintaining of existing grades and repair of any erosion damages.
  - Guarantee growth and coverage of hydromulched planting shall be a minimum on ninety five percent 95% of the area planted will be covered with specified planting after sixty days with no bare spots visible.
  - Watering: Coordinate with the Owner to properly operate irrigation system to assure a regular, deep watering program.
- Inspection and Final Acceptance:
  - Final acceptance of lawn establishment shall mean that hydrosed areas are Ninety Five percent 95% uniform coverage of grass in excess of one inch height. No bare spots will be acceptable.

**Owner's Responsibility for Maintenance**  
Contractor shall provide the proper Final maintenance is required after the Project is complete. A lack of or improper maintenance to areas such as, but not limited to, operation and maintenance of a drainage irrigation system, all the coverage and all planting materials must be replaced or replaced or replaced. Client further acknowledges that it is a party responsible for the results of any lack of or improper maintenance.

**Landscaper Contractor's Responsibility**  
All drainage and irrigation work on the project shall be the responsibility of the landscape contractor. The landscape contractor shall be responsible for the results of any lack of or improper maintenance. All grading of areas along all existing areas must include the landscape contractor. The landscape contractor shall be responsible for the results of any lack of or improper maintenance. All grading of areas along all existing areas must include the landscape contractor. The landscape contractor shall be responsible for the results of any lack of or improper maintenance. All grading of areas along all existing areas must include the landscape contractor. The landscape contractor shall be responsible for the results of any lack of or improper maintenance.

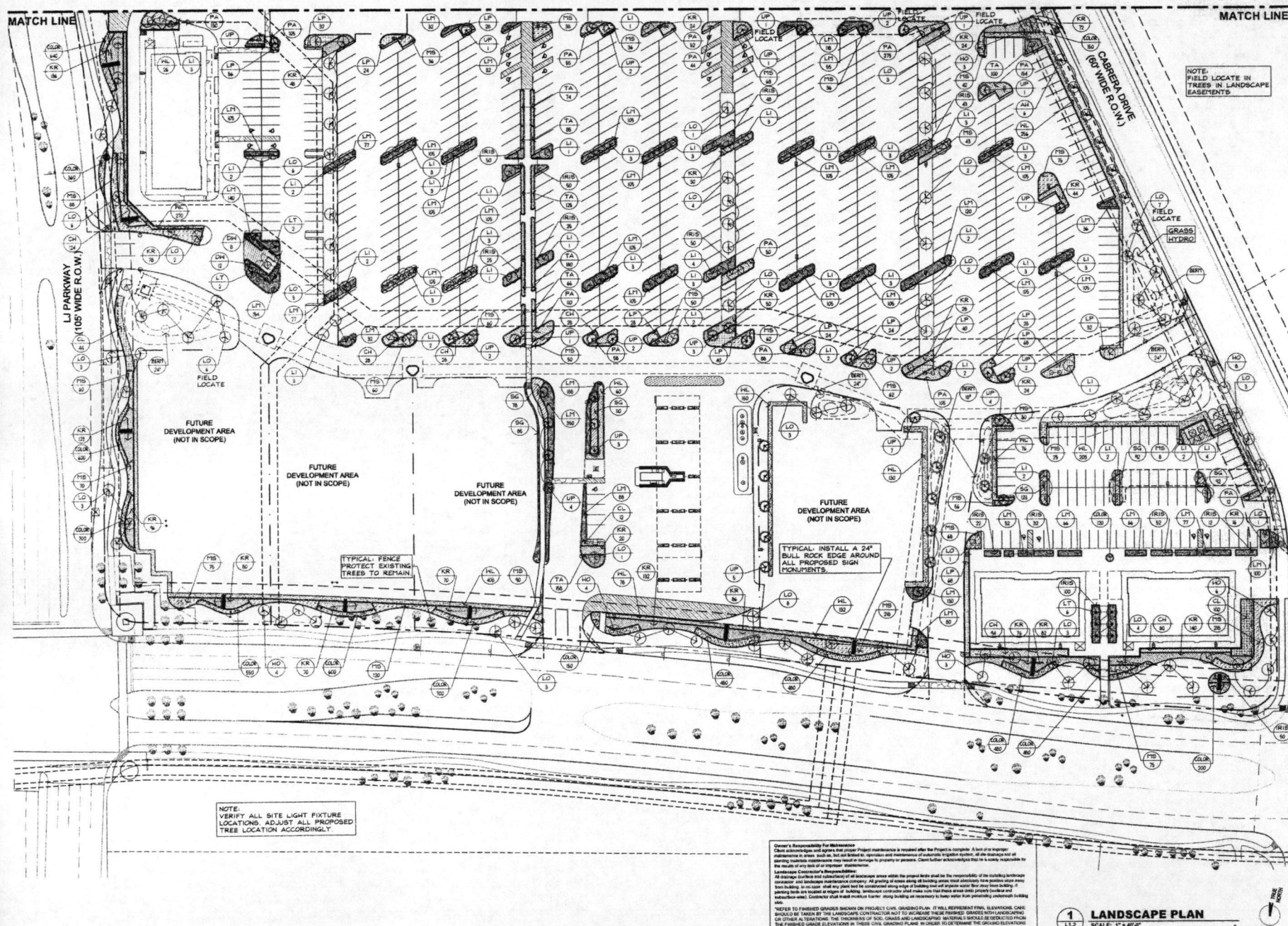
**TO FURNISH GRADES SHOWN ON PROJECT CIVIL DRAWINGS PLAN, IT WILL REPRESENT FINAL ELEVATIONS. GRADES SHOULD BE TAKEN BY THE LANDSCAPE CONTRACTOR NOT TO INCREASE THESE FINISHED GRADES WITH LANDSCAPING OR OTHER ALTERATIONS. THE THICKNESS OF SOIL GRADES AND LANDSCAPING MATERIALS SHOULD BE DEDUCTED FROM THE FINISHED GRADE ELEVATIONS IN THESE CIVIL GRADING PLANS IN ORDER TO DETERMINE THE GROUND ELEVATIONS DURING CONSTRUCTION.**

**LANDSCAPE PLAN**  
SCALE: 1" = 40'-0"  
PLAN NORTH  
11/17

**RECORDER'S MEMORANDUM**

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ISSUE #	DATE	DESCRIPTION
01.16.17		Site Revisions

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Wong & Associates, Inc.  
Landscape Architect  
Professional Seal of the State of Texas

RIVERSTONE RETAIL	
SUGAR AND TEXAS	
AGENCY CENTERS	
DATE	08/05/16
PROJECT NO.	1501206
DRAWN BY	EWBR
CHECKED BY	OW

**LANDSCAPE PLAN**

**1 LANDSCAPE PLAN**  
SCALE: 1" = 40'

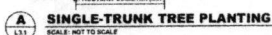


**L1.2**

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RIVERSTONE RETA

SUGARLAND, TEXAS

## REGENCY CENTERS

DATE	08/06/11
PROJECT NO.	150120
DRAWN BY	EWIS
CHECKED BY	EW

## LANDSCAPE DETAILS

## RECORDED'S MEMORANDUM

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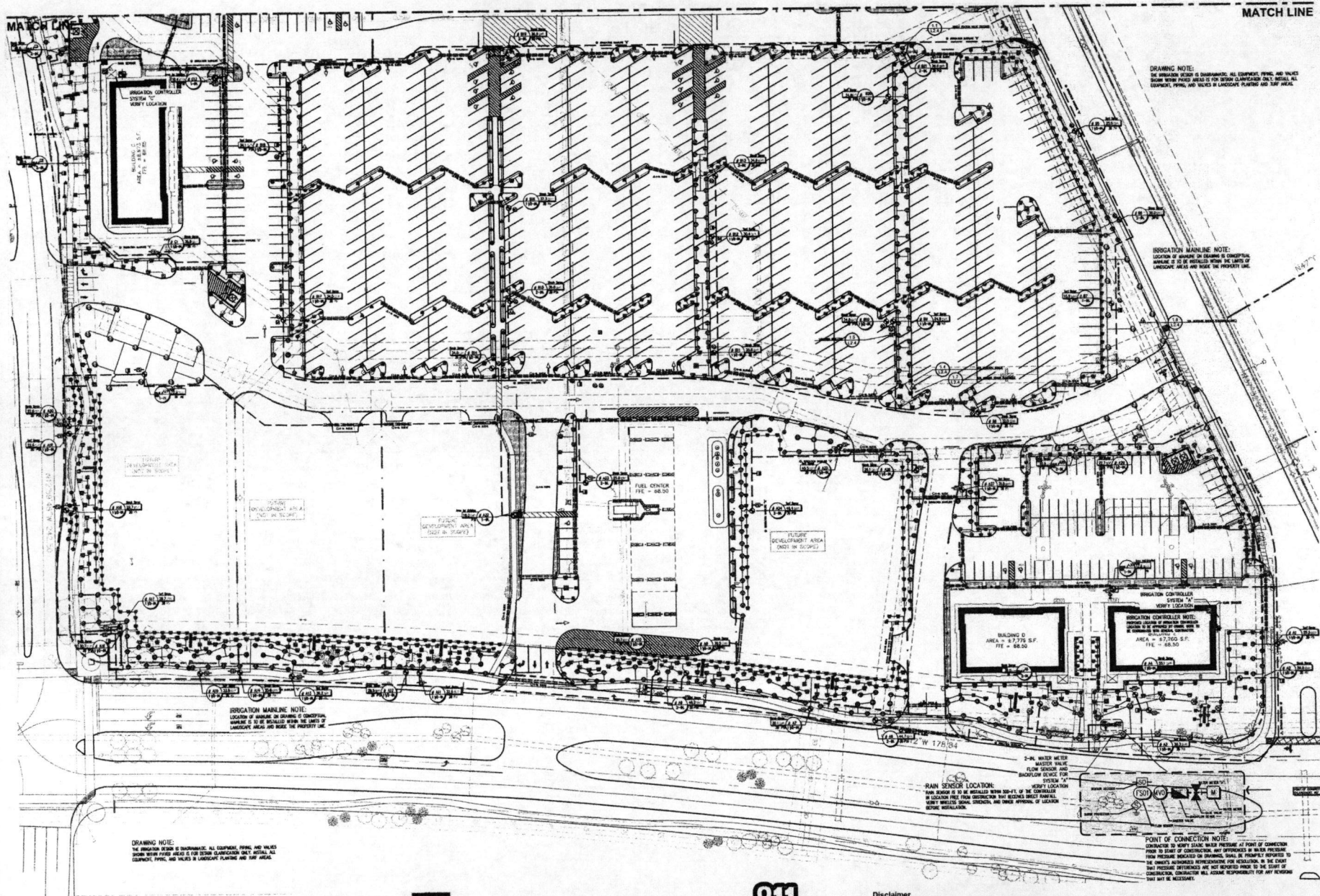
Max 6/21/17

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REVISION	DATE	DESCRIPTION
05.16.17	05.16.17	Site Revisions

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**IRRIGATION MAINLINE NOTE:**  
LOCATION OF MAINLINE ON DRAWING IS CONCEPTUAL. MAINLINE IS TO BE INSTALLED WITHIN THE LIMITS OF LANDSCAPE AREAS AND UNDER THE PROPERTY LINE.

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Landscape Architects  
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Dallas, Texas 77402-0028  
Member: American Society of Landscape Architects

**RIVERSTONE RETAIL**

**AGENCY CENTERS**

DATE: 08/05/18  
PROJECT NO.: 1501290  
DRAWN BY: EWCY  
CHECKED BY: SW

**IRRIGATION PLAN**

**Disclaimer**  
Boucher & Associates, Inc. shall not be responsible for the operation and/or maintenance of the irrigation system, since the design of that equipment is the responsibility of the user. All equipment and materials on this project shall be, and to the extent of the user's responsibility. The user shall be responsible for the operation and/or maintenance of the irrigation system. The user shall be responsible for the operation and/or maintenance of the irrigation system. The user shall be responsible for the operation and/or maintenance of the irrigation system.

**1 IRRIGATION PLAN**  
SCALE: 1" = 40'-0"



Irrigation in Texas is regulated by the Texas Commission on Environmental Quality (TCEQ)  
261.126, P.O. Box 130897, Austin, Texas 78713-0897 | TCEQ website at www.tceq.texas.gov

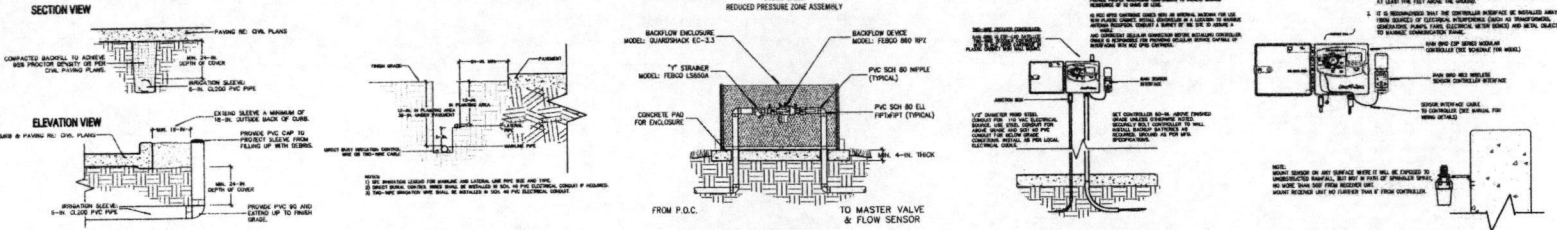
**811**  
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**RECORDER'S MEMORANDUM**  
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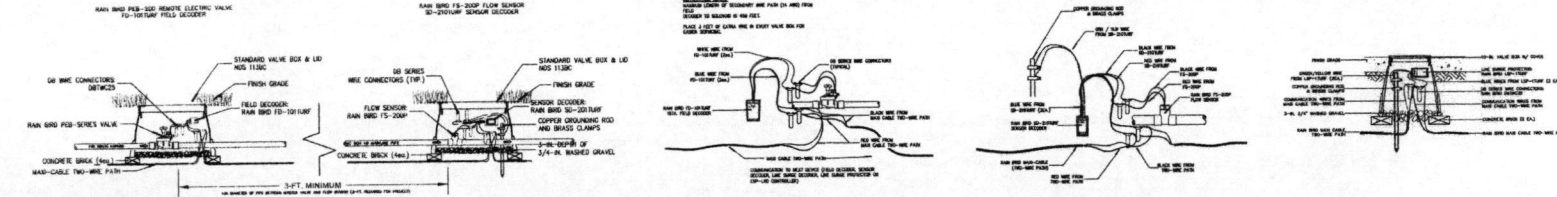
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*Handwritten signature and date: May 17, 2017*

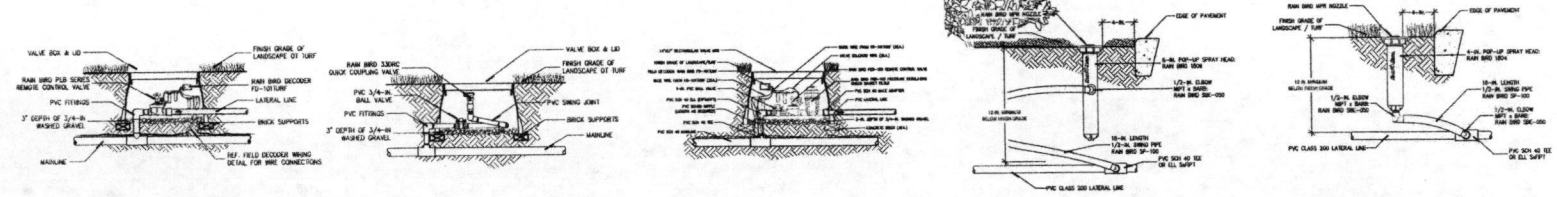




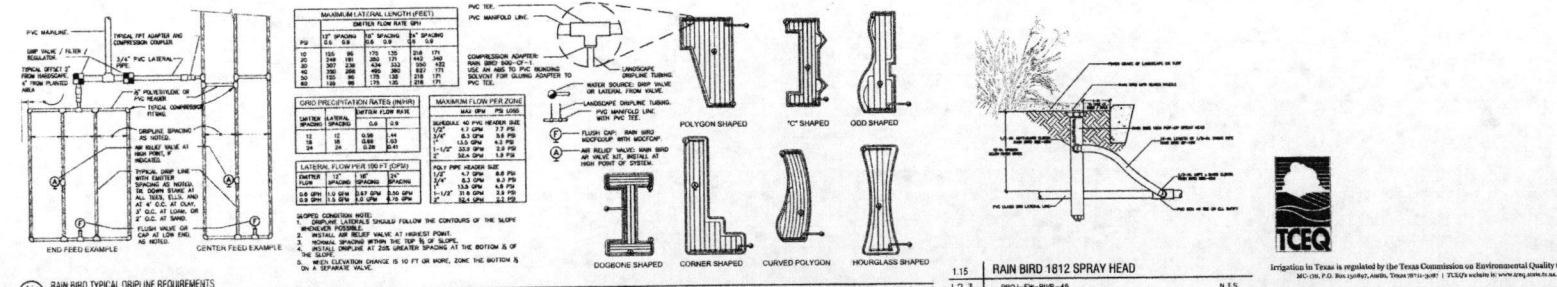
1.1 IRRIGATION SLEEVE DETAIL 1.2 TRENCH DETAIL 1.3 RPZ BACKFLOW DEVICE W/ ENCLOSURE 1.4 IQ ESP-LXD SATELLITE TWO-WIRE CONTROLLER 1.11 RAIN BIRD RSD (WR2) RAIN SENSOR



1.5 IQ MASTER VALVE (NORMALLY CLOSED) & FLOW SENSOR 1.6 RAIN BIRD SD-101TURF DECODER WIRING DIAGRAM 1.7 RAIN BIRD SD-210TURF SENSOR DECODER 1.8 RAIN BIRD LSP-1TURF LINE SURGE PROTECTOR



1.9 RAIN BIRD PEB SERIES VALVE & FIELD DECODER 1.10 RAIN BIRD 330RC QUICK COUPLING VALVE 1.11 RAIN BIRD XC2-100-PHB-COM DRIP ZONE 1.13 RAIN BIRD 1806 POP-UP SPRAY HEAD 1.14 RAIN BIRD 1804 POP-UP SPRAY HEAD



1.15 RAIN BIRD TYPICAL DRIPLINE REQUIREMENTS 1.16 RAIN BIRD 1812 SPRAY HEAD 1.17 RAIN BIRD 1812 SPRAY HEAD 1.18 RAIN BIRD 1812 SPRAY HEAD 1.19 RAIN BIRD 1812 SPRAY HEAD 1.20 RAIN BIRD 1812 SPRAY HEAD 1.21 RAIN BIRD 1812 SPRAY HEAD 1.22 RAIN BIRD 1812 SPRAY HEAD 1.23 RAIN BIRD 1812 SPRAY HEAD 1.24 RAIN BIRD 1812 SPRAY HEAD

ISSUE	DATE	DESCRIPTION
01	03.16.17	Site Revisions
02		
03		
04		
05		
06		
07		
08		
09		
10		

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15-May-17

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JUL 15 2017  
7542

Landscaper Architects  
Wong & Associates, Inc.  
P.O. Box 1038  
Bellaire, Texas 77401-0308  
Member: American Society of Landscape Architects

EVERSTONE RETAIL  
SUGAR LAND, TEXAS  
REGENCY CENTER

DATE: 09/05/18  
PROJECT NO.: 1501200  
DRAWN BY: EWSCV  
CHECKED BY: EFW

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800-100, P.O. Box 13087, Austin, Texas 78713-0871 | TCEQ's website is www.tceq.texas.gov

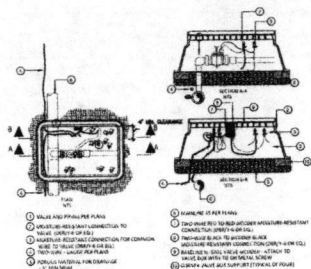
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SCALE: N.T.S.

L2.3  
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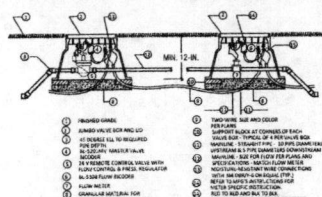
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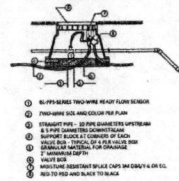
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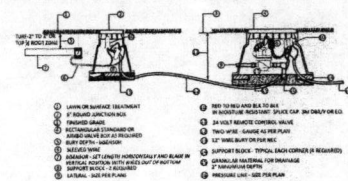
**BASELINE BL-5201**  
**SINGLE STATION VALVE BICOder** NTS



**BASELINE BL-5308 FLOW BICOder &**  
**BL-5201MV MASTER VALVE BICOder** NTS



**BL-PFS-SERIES FLOW SENSOR**  
**INSTALLATION & WIRING** NTS



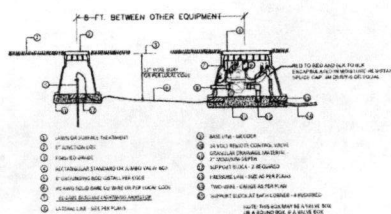
**BL-5315B BiSENSOR SOIL MOISTURE SENSOR**  
**TWO-WIRE INSTALLATION & WIRING DETAIL** NTS

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SINGLE STATION VALVE BICOder  
PROD-EN-0001-01 N.T.S.

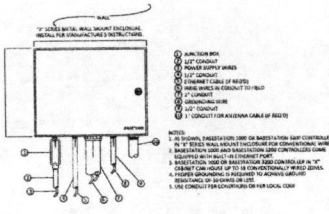
1.2  
1.2.4  
MASTER VALVE & FLOW METER BICOder  
PROD-EN-0001-02 N.T.S.

1.3  
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FLOW SENSOR  
PROD-EN-0001-03 1/16" = 1"

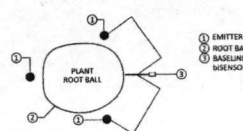
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1.2.4  
SOIL MOISTURE SENSOR  
PROD-EN-0001-04 N.T.S.



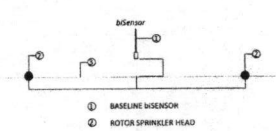
**BL-LAO1 LIGHTNING ARRESTOR**  
**INSTALLATION & WIRING** NTS



**X SERIES METAL WALL MOUNT CABINET**  
NTS



**BASELINE BL-5315B SOIL MOISTURE**  
**SENSOR DRIP PLACEMENT** NTS



**PART CIRCLE ROTORS MOISTURE**  
**SENSOR PLACEMENT** NTS

1.5  
1.2.4  
LIGHTNING ARRESTOR  
PROD-EN-0001-05 N.T.S.

1.6  
1.2.4  
WALL MOUNT CONTROLLER  
PROD-EN-0001-06 1/16" = 1"

1.7  
1.2.4  
SOIL MOISTURE SENSOR PLACEMENT  
PROD-EN-0001-07 N.T.S.

1.8  
1.2.4  
SOIL MOISTURE SENSOR PLACEMENT (TURF)  
PROD-EN-0001-08 N.T.S.

ISSUE	DATE	DESCRIPTION
01	01.16.12	Site Revision

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**RIVERSTONE RETAIL**

**REGENCY CENTERS**

DATE: 08/25/18  
PROJECT NO.: 1301206  
DRAWN BY: EWG/VC  
CHECKED BY: EW

**IRRIGATION DETAILS**



**BASELINE**  
**IRRIGATION DETAILS**  
SCALE: N.T.S.

**L2.4**



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XEC 406.7.D. Soil quality, April 1996, Texas 76711-0187 | TCEQ's website is: www.tceq.texas.gov

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*Magdy 08/21/17*


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Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Description
	8	Type A	BACK-BACK	11949	0.912	MMH-E04-LED-E1-SWQ
	10	Type B	SINGLE	11949	0.912	MMH-E04-LED-E1-SWQ
	2	Type C	SINGLE	11745	0.912	MMH-E04-LED-E1-T3
	5	Type D	SINGLE	5873	0.912	MMH-R02-LED-E1-T3
	21	Type E	SINGLE	13554	0.900	CRUS-BC-LED-SB-CW
	6	Type F	SINGLE	6389	0.912	GWC-AF-01-LED-E1-T3
	12	Type G	SINGLE	6395	0.912	GWC-AF-01-LED-E1-T4FT
	4	Type H	SINGLE	12497	0.912	GWC-AF-02-LED-E1-T4FT
	2	Type J	SINGLE	17833	0.912	GLEON-AF-03-LED-E1-T2
	1	Type K	SINGLE	23563	0.912	GLEON-AF-04-LED-E1-T2
	5	Type L	SINGLE	20513	0.912	GLEON-AF-04-LED-E1-SL3-HSS
	7	Type M	SINGLE	19488	0.912	GLEON-AF-04-LED-E1-SL4-HSS
	6	Type N	BACK-BACK	25291	0.912	GLEON-AF-04-LED-E1-SWQ
	2	Type P	SINGLE	31136	0.912	GLEON-AF-05-LED-E1-SWQ
	16	Type Q	SINGLE	37499	0.912	GLEON-AF-06-LED-E1-SWQ
	6	Type R	SINGLE	42447	0.912	GLEON-AF-07-LED-E1-SWQ
	14	Type S	SINGLE	50248	0.912	GLEON-AF-08-LED-E1-SWQ
	1	Type T	SINGLE	44228	0.912	GLEON-AF-07-LED-E1-SWQ
	2	Type U	SINGLE	12181	0.912	GLEON-AF-02-LED-E1-T3
	2	Type V	SINGLE	15052	0.912	GLEON-AF-03-LED-E1-SL2-HSS

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Overall Site	Illuminance	Fc	2.50	29.5	0.0	N.A.	N.A.

ISSUE 	DATE	DESCRIPTION
1	03/14/17	ARC Phase II Submittal



Mar 14 2017

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RIVERSTONE RETAIL

SUGAR LAND, TEXAS

## REGENCY CENTERS

DATE	10/20/91
PROJECT NO.	150120
DRAWN BY	DA
CHECKED BY	JM

SITE  
PHOTOMETRICS

ES1.01

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## RECORDED'S MEMORANDUM

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Maxwell 6/21/17

P:\1501200\DRAWINGS\2-PRODUCTION\3-ISSUED DRAWING SETS\03-SUGAR LAND SITE PLAN PACKAGE\ARCH\17-0322 A1.000 SITE PLAN.DWG 3/22/2017 3:15:12 PM JASON MILLER

FUTURE  
DEVELOPMENT  
BY OTHERS

FUTURE  
DEVELOPMENT  
BY OTHERS

FUTURE  
MULTI-FAMILY  
BY OTHERS

FUTURE  
DEVELOPMENT  
BY OTHERS

EXISTING  
COMMERCIAL

EXISTING  
COMMERCIAL

FUTURE  
COMMERCIAL  
BY OTHERS

EXISTING  
RESIDENTIAL

## DEVELOPMENT SYNOPSIS

PARCEL	LAND	TOTAL BLDG. AREA	PARKING PROVIDED	PARKING RATIO	DENSITY %
PARCEL 'A-1'	581,718 S.F. 13.35 AC.	100,000 S.F.	612 CARS	6.1 /1000	17.2 %
PARCEL 'A-2'	204,319 S.F. 4.69 AC.	31,498 S.F.	189 CARS	6.0 /1000	15.4 %
RT 'E'	88,424 S.F. 2.05 AC.	15,539 S.F.	88 CARS	5.3 /1000	18.6 %
TOTAL	875,461 S.F. 20.10 AC.	147,037 S.F.	889 CARS	6.0 /1000	16.9 %

\* THE PARKING SPACES REQUIRED FOR THIS DEVELOPMENT WILL EQUAL THE SUM OF THE REQUIREMENTS OF THE VARIOUS USES COMPUTED SEPARATELY. THE DIRECTOR OF PLANNING MAY ALSO APPROVE AREAS FOR EXEMPTIONS FROM PARKING CALCULATIONS WHICH CAN BE DETERMINED ON A BUILDING BY BUILDING BASIS.

## ACCESSIBLE PARKING SYNOPSIS

PARCEL	TOTAL PARKING PROVIDED	ACCESSIBLE PARKING REQUIRED	ACCESSIBLE PARKING PROVIDED
PARCEL 'A-1'	612 CARS	12 CARS 2 VANS	13 CARS 4 VANS
PARCEL 'A-2'	189 CARS	8 CARS 1 VANS	8 CARS 4 VANS
RT 'E'	88 CARS	4 CARS 1 VANS	4 CARS 1 VANS
TOTAL	889 CARS	22 CARS 4 VANS	25 CARS 9 VANS

## ZONING DESIGNATION

COMMERCIAL

## LEGEND

PROPOSED GREASE TRAP LOCATIONS.  
GREASE TRAPS TO BE INSTALLED AND  
MAINTAINED BY DEVELOPER.

BUILDING FIRE RISER ROOM LOCATIONS

ISSUE	DATE	DESCRIPTION

## CONSULTANTS

**MATRIX**  
STRUCTURAL  
ENGINEERS

24 Greenway Plaza, Suite 1508  
Houston, Texas  
77046 | 713-664-0130

**HENDERSON**  
ENGINEERS

3535 BRIARPARK DRIVE, SUITE 200  
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TEL: 713-767-7868 FAX: 713-767-7869  
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165001287  
TX. CORPORATE NUMBER: F-001236  
EXPRES 08/30/18

Landmark  
**Wong & Associates, Inc.**  
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architecture  
+ planning  
boucher design group

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2016

**RIVERSTONE RETAIL**  
SUGAR LAND, TEXAS

DEVELOPER:  
**REGENCY CENTERS**  
3700 BUFFALO SPEEDWAY  
SUITE 500  
HOUSTON, TEXAS 77098

DATE: 03/22/17  
PROJECT NO.: 1501200  
DRAWN BY: JH  
CHECKED BY: JM

## SITE PLAN

**A1.00**

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## 1 OVERALL SITE PLAN

SCALE: 1" = 80'-0"

## RECORDER'S MEMORANDUM

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[illegible][illegible]

1. ALL STABILIZED SAND SHALL BE A MINIMUM OF 1.5 SK PER CUBIC YARD.
2. CEMENT STABILIZED SAND (C.S.S.) SHALL ACHIEVE A MINIMUM OF 100 PSI WITHIN 48 HOURS.
3. A MINIMUM OF 2 RANDOM SAMPLES SHALL BE TAKEN EACH WEEK. (FOR SMALLER PROJECTS, ONE SAMPLE MAY SUFFICE WITH CITY OF SUGAR LAND APPROVAL.) THE CITY OF SUGAR LAND RESERVES THE RIGHT TO REQUIRE ADDITIONAL TESTING AT THE CONTRACTOR'S EXPENSE IF DEEMED NECESSARY.
4. ANY C.S.S. NOT MEETING CITY OF SUGAR LAND STANDARDS SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
5. COMBINED COMPRESSIVE AND COMPRESSIVE TESTS SHALL BE CONDUCTED ON C.S.S. SAMPLES.
6. ALL C.S.S. SHALL BE COMPACTED IN MAXIMUM OF 8-INCH LIFTS AND REQUIRED TO REACH A MINIMUM DENSITY OF 95%.
7. REFER TO GENERAL NOTES.

1. BANK SAND IS DEFINED AS A WELL-GRADED SAND, FREE OF SLT, CLAY, FRIABLE OR SOLUBLE MATERIAL AND ORGANIC MATTER, MEETING THE UNITED SOILS CLASSIFICATIONS SYSTEMS GROUP SYMBOL SW CRTE WITH A PLASTICITY INDEX OF LESS THAN 10. NO MORE THAN 12% OF MATERIAL CAN PASS THE NO. 200 SIEVE.

**CONTRACTOR SHALL VERIFY LINES AND GRADING THAT COMPACTED BASE IS READY TO SUPPORT LOADS.**

**3. MATERIAL SHALL BE DRY THOUGHLY CLEAN OF LOOSE MATERIAL PRIOR TO APPLICATION. UNLESS OTHERWISE SPECIFIED, ALL MATERIAL SHALL BE FURNISHED EARTH AND SMOOTHLY UNDER PRESSURE NECESSARY FOR PROPER COMPACTION.**

**4. MAINTAIN REQUIRED SURFACE CONDITIONS LINE ACCEPTED BY THE CITY OF SUGAR LAND.**

**5. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS AND SPECIAL SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS, AND BRIDGES (R383) & ITS LATEST REVISIONS.**

**6. TRACK COAT SHALL BE 70-1 AND SHOWN TO TIGHT, S.E.C.H.S. & B. (9693) AND ITS LATEST REVISIONS.**

**7. GRAVEL M&C-TWO AND DP#-1 MIXTURE SHALL BE DISTRIBUTED AT A RATE OF 25 TO 30 GALLONS SQUARE PER SQUARE YARD, AND MAY NOT BE APPLIED WHEN AMBIENT TEMPERATURE IS 50 DEGREE OR LOWER. MAXIMUM ALLOWABLE WIND SPEED SHALL BE 15 MPH DURING ANY APPLICATION. APRIL 16 THROUGH SEPTEMBER 15 AS PER ASTM C-245).**

**8. TRACK COAT SHALL BE APPLIED AT A RATE OF 15 TO 20 GALLONS PER SQUARE YARD OF SURFACE AREA. IF THE TRACK COAT IS APPLIED AT A RATE OF LESS THAN 15 GALLONS PER SQUARE YARD, THE CONTRACTOR WILL BE RESPONSIBLE FOR APPLYING AN ADDITIONAL COATING MATERIAL. TRACK COAT SHALL BE HEATED TO 125 DEGREE FAHRENHEIT TO 180 DEGREE FAHRENHEIT. TRACK COAT SHALL BE APPLIED TO THE ENTIRE SURFACE OF THE PAVEMENT AND IRONING. TRACK COAT MAY NOT BE APPLIED IF AMBIENT AIR IS 50 DEGREE FAHRENHEIT OR LOWER.**

LINE SHALL BE A "JULY" AS PER TEST 780 UNLESS SPECIFICALLY RECOMMENDED BY THE GEOTECHNICAL ENGINEER AND APPROVED BY THE CITY ENGINEER.

ALL LINE FLUIDS SHALL BE FLUIDIFIED AT 40 PSIG OR ABOVE THE MINIMUM DRY SOLID CONTENTS AS PER THE ENGINEER.

SURGRADS SHALL BE STABILIZED WITH A MINIMUM 5% LINE WEIGHT, EIGHT INCHES (8") MINIMUM DIAMETER, 100 TO 150 LBS PER 100 YD OR LESS AS PER THE ENGINEER'S RECOMMENDATION. THE FINAL MIX SHALL BE AT SIX INCHES (6") THICK.

LINE DRY SOLID CONTENT TESTS SHALL BE CONDUCTED ON SITE, ONCE PER FIFTY (50) TONS OF SURGRAD. THE SURGRAD SHALL BE SHAVED AND GRADED TO CONFORM TO THE TYPICAL SPECIFICATIONS AS SHOWN ON THE PLANS. ALL SURGRAD MATERIALS SHALL BE APPROVED BY THE CITY ENGINEER. SURGRAD APPLICATIONS SHALL NOT BE STARTED WHEN THE AMBIENT TEMPERATURE IS BELOW 40°F AND SHALL NOT BE STARTED WHEN THE AMBIENT TEMPERATURE IS 35 DEGREE FAHRENHEIT AND RISING. LINE SHALL BE PLACED WHEN WEATHER CONDITIONS, IN THE ENGINEER'S JUDGMENT, ARE UNSUITABLE.

ALL SURGRAD APPLICATIONS SHALL BE PLACED IN A MINIMUM OF TWO LAYERS AT THE PROPER MOISTURE CONTENT (+/-2) AND LEFT TO CURE USUALLY 3 DAYS (72 HRS) MINIMUM AS APPROVED BY THE ENGINEER.

AFTER CURING, THE SURGRAD SHALL REMAIN INTACT. PULVERIZATION REQUIREMENTS ARE, AS PER THE CITY ENGINEER'S RECOMMENDATION.

[illegible][illegible][illegible]

NOTE: FORT BEND COUNTY NOTES SUPERSEDE ANY CONFLICTING NOTES

REFER TO TNRCC/TCEQ DESIGN GUIDELINES (CHAPTER 290) FOR ALL UTILITY CROSSINGS

ONE-CALL NOTIFICATION SYSTEM  
CALL BEFORE YOU DIG!  
(713) 223-4567 (in Houston)  
(New Statewide Number Outside Houston)  
1-800-545-6005

GEOTECHNICAL REPORT - RIVERSTONE SHOPPING CENTER  
Project No. 16-0103  
GORDON & ENGINEERING SERVICES, INC.  
APRIL 26, 2016

APPROVED: Maggi D  
Development Coordinator

DATE: 4/24/17

SUGAR LAND  
GENERAL NOTES  
(1 OF 2)

THE VILLAGE AT  
RIVERSTONE  
REGENCY REALTY GROUP

SHEET NUMBER  
C1.0

NO	REVISIONS	DATE	BY
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7-6032  
B



CREATED BY	
CHECKED BY	

101

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REFER TO TNRCC/TCEQ DESIGN  
GUIDELINES (CHAPTER 290) FOR  
ALL UTILITY CROSSINGS.

ONE-CALL NOTIFICATION SYSTEM  
CALL BEFORE YOU DIG!!!  
(713) 223-4567 (in Houston)  
(New Statewide Number Outside Houston)  
1-800-545-6006

**GEOTECHNICAL REPORT - RIVERSTONE SHOPPING CENTER**  
Project No. 16-0103  
GOLDENDORA ENGINEERING SERVICES, INC.  
APRIL 20, 2018

APPROVED: Maggi D  
Development Coordinator

DATE: 10/21/17

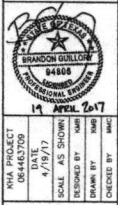
SUGAR LAND  
GENERAL NOTES  
(2 OF 2)

THE VILLAGE AT  
RIVERSTONE  
REGENCY REALTY GROUP

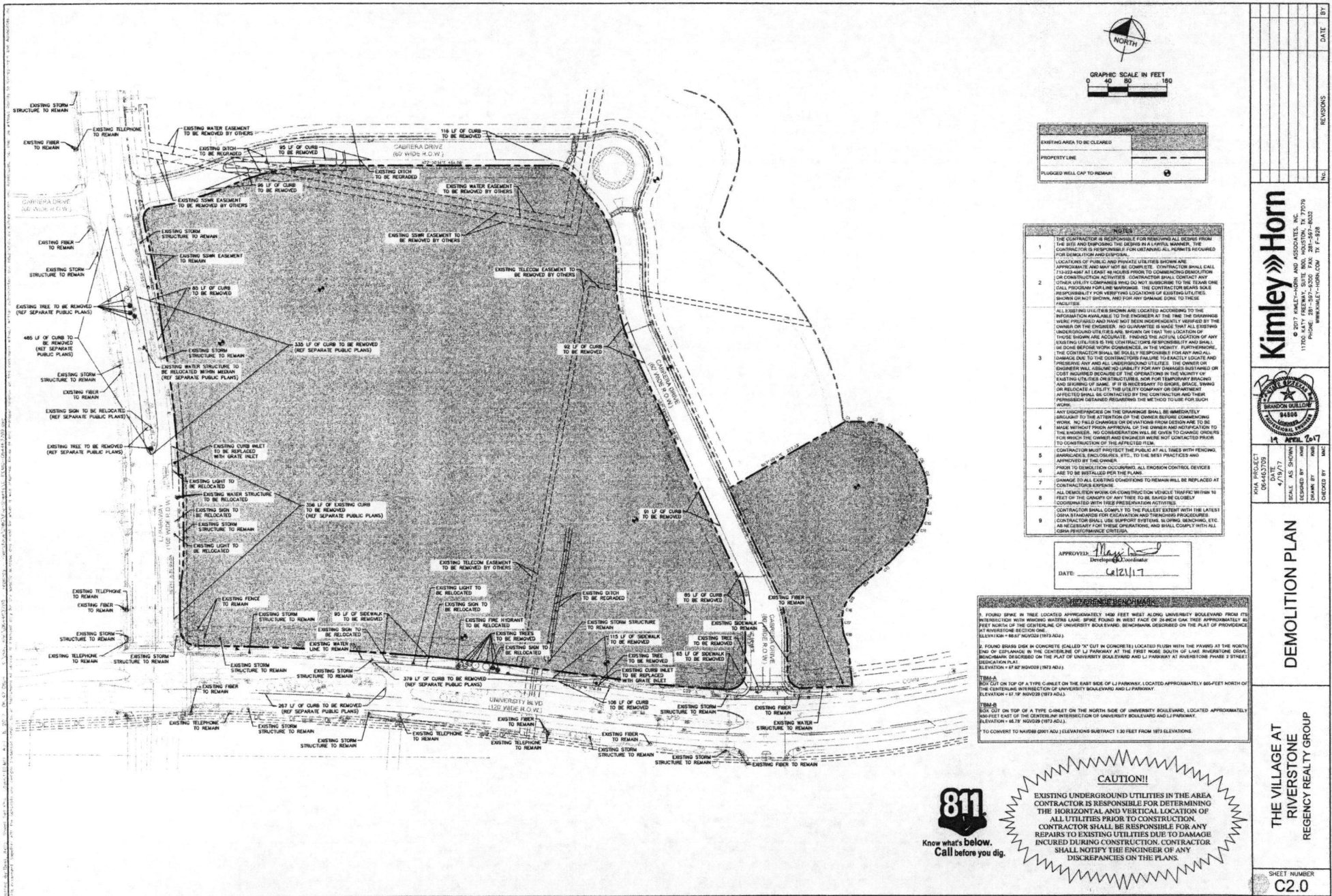
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C1.1

[illegible]

**Kimley»»Horn**  
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11700 KATY FREEWAY, SUITE 800, HOUSTON, TX 77079  
PHONE: 281-597-9300 FAX: 281-597-8032

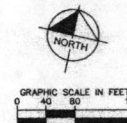
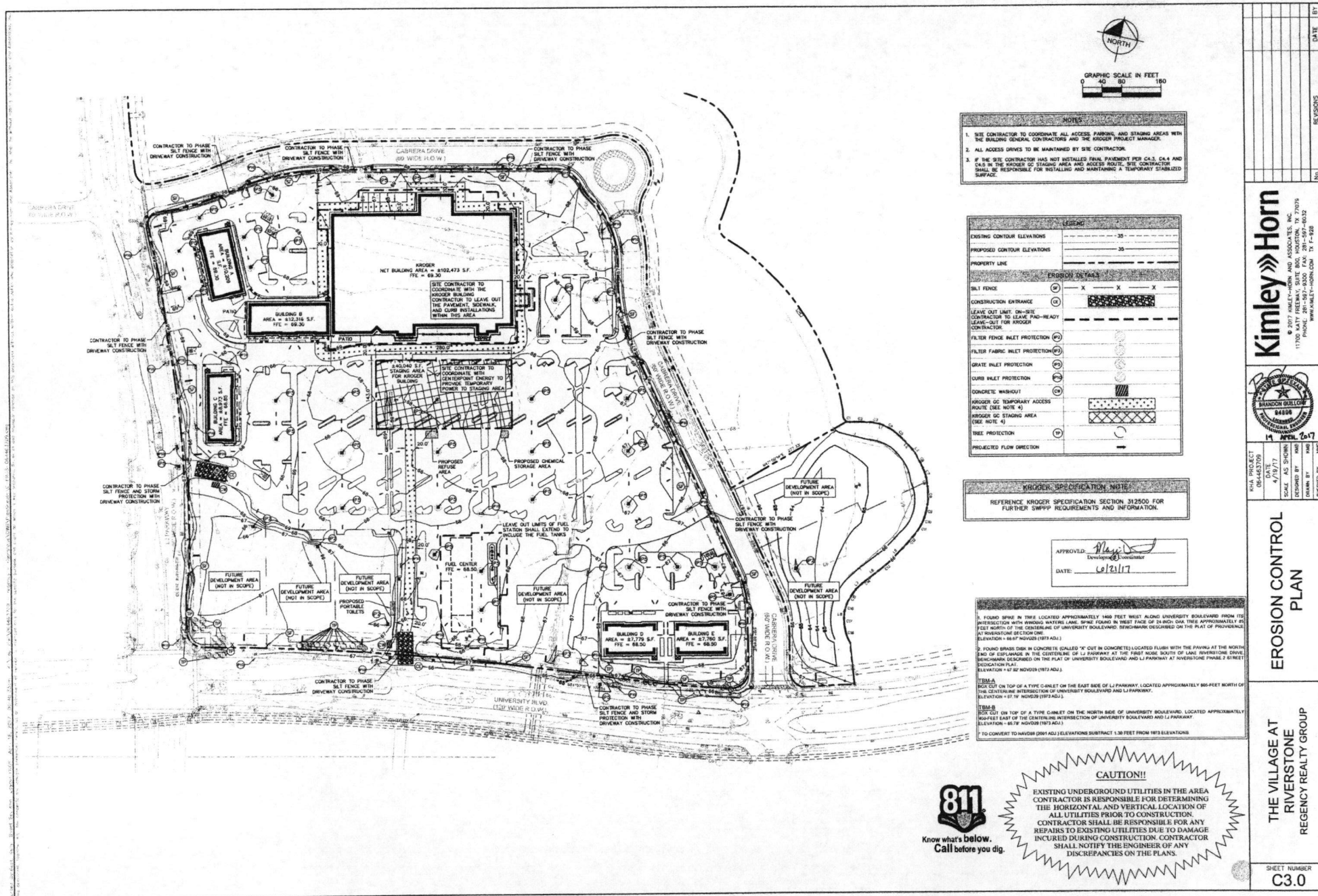






# RECORDER'S MEMORANDUM

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- NOTES**
1. SITE CONTRACTOR TO COORDINATE ALL ACCESS, PARKING, AND STAGING AREAS WITH THE BUILDING GENERAL CONTRACTORS AND THE KROGER PROJECT MANAGER.
  2. ALL ACCESS DRIVES TO BE MAINTAINED BY SITE CONTRACTOR.
  3. IF THE SITE CONTRACTOR HAS NOT INSTALLED FINAL PAVEMENT PER C4.3, C4.4 AND C4.5 IN THE KROGER GC STAGING AREA AND ACCESS ROUTE, SITE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING A TEMPORARY STABILIZED SURFACE.

LEGEND	
EXISTING CONTOUR ELEVATIONS	-35
PROPOSED CONTOUR ELEVATIONS	-35
PROPERTY LINE	
EROSION DETAILS	
SILT FENCE	(S)
CONSTRUCTION ENTRANCE	(C)
LEAVE OUT LIMIT ON-SITE CONTRACTOR TO LEAVE PAD-READY LEAVE-OUT FOR KROGER CONTRACTOR	
FILTER FENCE INLET PROTECTION	(F)
FILTER FABRIC INLET PROTECTION	(F)
GRATE INLET PROTECTION	(G)
CURB INLET PROTECTION	(C)
CONCRETE WASHOUT	(W)
KROGER GC TEMPORARY ACCESS ROUTE (SEE NOTE 4)	
KROGER GC STAGING AREA (SEE NOTE 4)	
TREE PROTECTION	(T)
PROJECTED FLOW DIRECTION	

**KROGER SPECIFICATION NOTE**

REFERENCE KROGER SPECIFICATION SECTION 312500 FOR FURTHER SWPPP REQUIREMENTS AND INFORMATION.

APPROVED: *[Signature]*  
DATE: 6/21/17

- NOTES**
1. FOUND SPRING IN TREE LOCATED APPROXIMATELY 1400 FEET WEST ALONG UNIVERSITY BOULEVARD FROM THE INTERSECTION WITH RIVERSIDE WATER LINE. SPRING FOUND IN WEST FACE OF 24" DIA. TREE APPROXIMATELY 80 FEET NORTH OF THE CENTERLINE OF UNIVERSITY BOULEVARD. BENCHMARK DESCRIBED ON THE PLAT OF PROPOSED ELEVATION = 88.67' NGVD83 (1973 ADJ.)
  2. FOUND SPRING IN CONCRETE DRAINAGE "X" CUT IN CONCRETE LOCATED FLUSH WITH THE PAVING AT THE NORTH END OF ELEVATION IN THE CENTERLINE OF LI PARKWAY AT THE FIRST NOSE SOUTH OF LANE RIVERSIDE DRIVE. BENCHMARK DESCRIBED ON THE PLAT OF UNIVERSITY BOULEVARD AND LI PARKWAY AT INTERSECTION PHASE 3 BY STREET INDICATION PLAT. ELEVATION = 87.82' NGVD83 (1973 ADJ.)
  3. FOUND SPRING ON TOP OF A TYPE C-ANALYT ON THE EAST SIDE OF LI PARKWAY. LOCATED APPROXIMATELY 800 FEET NORTH OF THE CENTERLINE INTERSECTION OF UNIVERSITY BOULEVARD AND LI PARKWAY. ELEVATION = 87.16' NGVD83 (1973 ADJ.)
  4. FOUND SPRING ON TOP OF A TYPE C-ANALYT ON THE NORTH SIDE OF UNIVERSITY BOULEVARD. LOCATED APPROXIMATELY 1400 FEET EAST OF THE CENTERLINE INTERSECTION OF UNIVERSITY BOULEVARD AND LI PARKWAY. ELEVATION = 86.78' NGVD83 (1973 ADJ.)
  5. TO CONVERT TO NAVD83 (1973 ADJ.) ELEVATIONS SUBTRACT 1.38 FEET FROM 1973 ELEVATIONS



**CAUTION!!**

EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

		DATE: 6/21/17 SCALE: AS SHOWN DESIGNED BY: [Signature] CHECKED BY: [Signature] DRAWN BY: [Signature]	REVISIONS NO. DATE BY
<b>EROSION CONTROL PLAN</b>		<b>THE VILLAGE AT RIVERSTONE</b> REGENCY REALTY GROUP	SHEET NUMBER <b>C3.0</b>

**RECORDER'S MEMORANDUM**

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[illegible][illegible]

ALL WASTE SOLIDS AND STORAGE AREAS SHALL BE LOCATED A MINIMUM OF 50 FEET AWAY FROM INLETS, DRAINS, DRAINAGEWAYS, CHANNELS AND OTHER WATERS. IF THE SITE CONFIGURATION PROVIDES FOR A DRAINAGEWAY, THE WASTE SOLIDS SHALL BE LOCATED AT LEAST 10 FEET FROM THE DRAINAGEWAY. FROM INLETS, DRAINS, DRAINAGEWAYS, CHANNELS, AND OTHER WATERS.

THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT ANYTHING THAT WOULD MINIMIZE ITS EXPOSURE TO PRECIPITATION AND STORMWATER RUNOFF.

THE CONTRACTOR SHALL:

1. MAINTAIN POSITIVE DRAINAGE OF DEBRIS AND TRASH
2. INSTRUCT CONSTRUCTION WORKERS IN PROPER DEBRIS AND TRASH STORAGE AND HANDLING PROCEDURES
3. MAINTAINED POSITIVE DRAINAGE OF ALL NON-HAZARDOUS CONSTRUCTION SITE DEBRIS
4. PROHIBIT LITTERING BY WORKERS AND VISITORS
5. PROHIBIT LITTERING BY VISITORS
6. ENFORCE LAID WASTE HANDLING AND STORAGE PROCEDURES
7. MAINTAIN POSITIVE DRAINAGE OF ALL NON-HAZARDOUS CONSTRUCTION SITE DEBRIS
8. TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE REGULAR INTERVALS THAT ARE SCHEDULED TO EMPTY CONTAINERS WHEN FULL OR PERIODICALLY
9. TRASH AND DEBRIS SHALL BE REMOVED TO A LICENSED CONSTRUCTION DEBRIS LANDFILL
10. USE WASTE AND RECYCLING HANDLERS/PARTIES APPROVED BY THE LOCAL MUNICIPALITY
11. MAINTAIN POSITIVE DRAINAGE OF ALL NON-HAZARDOUS CONSTRUCTION SITE DEBRIS TO OFFSITE
12. DISPOSE OF TRASH OR DEBRIS SHALL BE BURIED, BURNED OR OTHERWISE DISPOSED BY ON-SITE
13. CLEARLY MARK ALL DEBRIS AND TRASH CONTAINERS WHEN ARE ACCEPTABLE FOR A FORMAL

[illegible][illegible]

MINIMIZE THE DISCHARGE OF THE CHEMICAL STABILIZERS BY THE CONTRACTOR LIMITING THE AMOUNT OF STABILIZING AGENT ONSITE TO THAT WHICH CAN BE THOROUGHLY MIXED AND COMPACTED BY THE END OF EACH DAY.

STABILIZERS SHALL BE APPLIED AT RATES THAT RESULT IN RUN OFF.

STABILIZERS SHALL NOT BE APPLIED TO ANY OF THE FOLLOWING AREAS:

- 1. ANY AREAS WHERE THERE IS A HIGH RISK OF POLLUTING THE SURFACE OF THE WATER.
- 2. NO TRAFFIC OTHER THAN WATER TRUCKS AND MIXING EQUIPMENT SHALL BE ALLOWED TO PASS OVER THE STABILIZED AREAS.
- 3. ALL TRAFFIC SHALL BE LIMITED TO THE STABILIZED AREAS.
- 4. AREA ADJACENT AND DOWNSTREAM OF STABILIZED AREAS SHALL BE REINFORCED TO INTERCEPT CHEMICAL RUNOFF.
- 5. GEOTEXTILE FABRICS SUCH AS THOSE USED FOR SILT FENCE SHOULD NOT BE USED TO TREAT CHEMICAL RUNOFF, BECAUSE THE CHEMICALS ARE DISSOLVED IN THE WATER AND NOT BE AFFECTED BY A BARRIER FABRIC.
- 6. STABILIZERS ARE STORES ONSITE, THEY SHALL BE CONSIDERED HAZARDOUS MATERIAL, AND SHALL BE MANAGED ACCORDING TO THE CRITERIA OF CHEMICAL MANAGEMENT TO CAPTURE ANY ACCIDENTAL LEAKS.

THE CONTRACTOR SHALL INSTALL IMPLS TO ALL INLETS AND OPENINGS CONNECTED TO THE STORM SEWER SYSTEM.

[illegible]

APPROVED: Maggi De  
Development Coordinator

DATE: 6/21/17

## Kimley»»Horn



KHA PROJECT 064463709	DATE 4/19/17	SCALE AS SHOWN	DESIGNED BY KWB	DRAWN BY KWB
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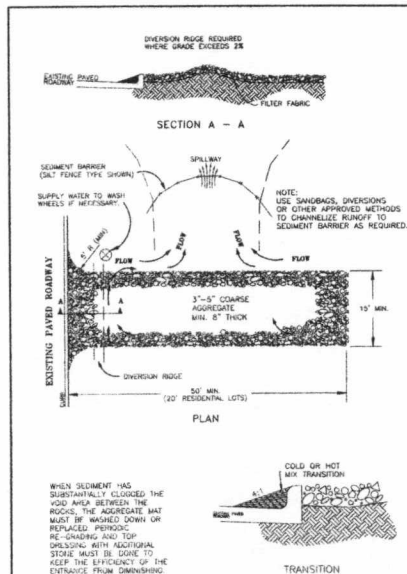
SUGAR LAND  
EROSION CONTROL  
NOTES

THE VILLAGE AT  
RIVERSTONE  
REGENCY REALTY GROUP

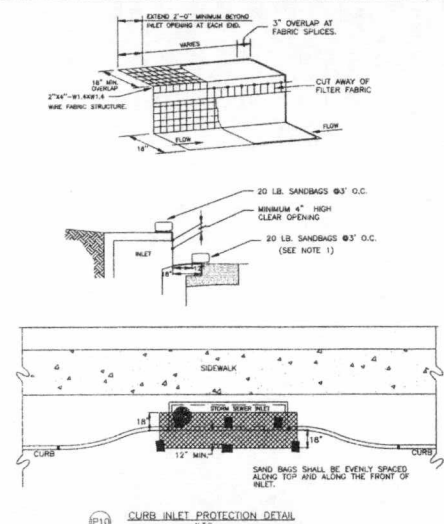
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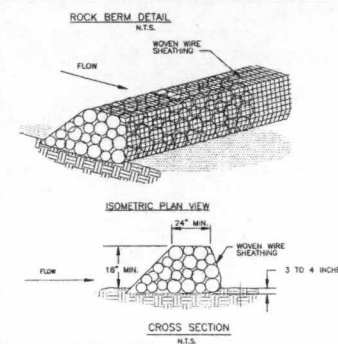


TEMPORARY STONE CONSTRUCTION  
ENTRANCE/EXIT  
N.T.S.

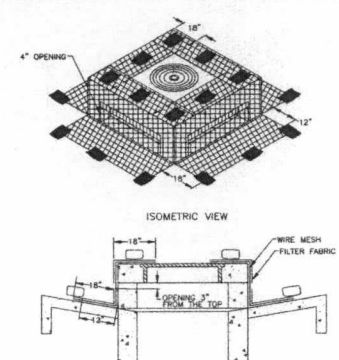


- NOTES:
1. A SECTION OF FILTER FABRIC SHALL BE REMOVED AS SHOWN ON THIS DETAIL TO PROVIDE A 4\"/>
  - 2. INSPECTION SHALL BE MADE BY CONTRACTOR AND SILT ACCUMULATION MUST BE REMOVED WHEN DEPTH REACHES 4\"/>
  - 3. CONTRACTOR SHALL MONITOR THE PERFORMANCE OF INLET PROTECTION DURING EACH RAINFALL EVENT AND IMMEDIATELY REMOVE THE INLET PROTECTION IF THE STORMWATER BEGINS TO OVERLAP THE CURB.
  - 4. INLET PROTECTION SHALL BE REMOVED AS SOON AS THE SOURCE OF THE SEDIMENT IS STABILIZED.

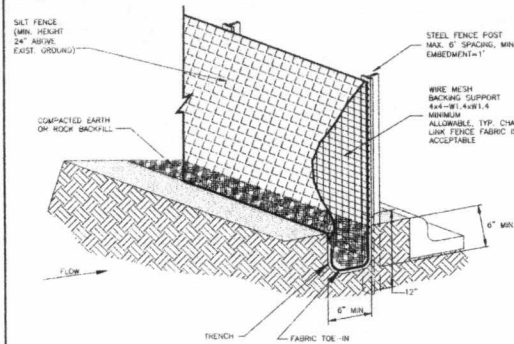
INLET OPENING	MINIMUM NUMBER OF SAND BAGS	
	TOP	FRONT
5'	2	3
10'	3	3
15'	3	4
20'	4	4



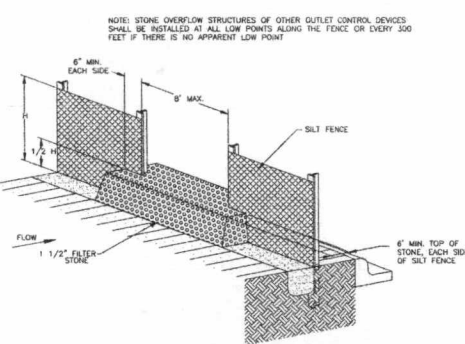
- ROCK BERM GENERAL NOTES
1. USE ONLY OPEN GRADED ROCK 4-8 INCHES IN DIAMETER FOR STREAM FLOW CONDITION. USE OPEN GRADED ROCK 3-5 INCHES IN DIAMETER FOR OTHER CONDITIONS.
  2. THE ROCK BERM SHALL BE SECURED WITH A WOVEN WIRE SHEATHING HAVING A MAXIMUM OPENING OF 1 INCH AND A MINIMUM WIRE SIZE OF 20 GAUGE AND SHALL BE BURIED IN A TRENCH APPROXIMATELY 3 TO 4 INCHES DEEP.
  3. THE ROCK BERM SHALL BE INSPECTED EVERY TWO WEEKS OR AFTER EACH 1/2\"/>
  - 4. WHEN SILT REACHES A DEPTH EQUAL TO ONE-THIRD OF THE HEIGHT OF THE BERM OR ONE FOOT, WHICHEVER IS LESS, THE SILT SHALL BE REMOVED AND DISPOSED OF PROPERLY.
  - 5. WHEN THE SITE IS COMPLETELY STABILIZED, THE BERM AND ACCUMULATED SILT SHALL BE REMOVED AND DISPOSED OF IN AN APPROVED MANNER.
  - 6. ROCK BERM SHOULD BE USED AS CHECK DAMS FOR CONCENTRATED FLOW AND ARE NOT INTENDED FOR USE IN PERIMETER PROTECTION.



FILTER FABRIC WYE INLET PROTECTION  
N.T.S.



- SILT FENCE GENERAL NOTES
1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
  2. THE TOP OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SLEEPING UNDER FENCE.
  3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE Laid IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
  4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
  5. INSPECTION SHALL BE MADE EVERY TWO WEEKS AND AFTER EACH 1/2\"/>
  - 6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPIDE STORM FLOW OR DRAINAGE.
  - 7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SEDIMENTATION.



SILT FENCE  
STONE OVERFLOW STRUCTURE  
N.T.S.

SUGAR LAND EROSION CONTROL DETAILS (1 OF 2)	
DATE 4/7/17	SCALE AS SHOWN
DESIGNED BY CHECKED BY	
CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT	
CONSTRUCTION PLANS FOR:	
EROSION CONTROL DETAILS - 1	
JOB NO. DATE DESIGNED BY CHECKED BY	SL-34 SHEET OF

APPROVED: *[Signature]*  
DATE: 4/21/17

**Kimley-Horn**  
© 2017 KIMLEY-HORN AND ASSOCIATES, INC.  
11700 KATY FREEWAY, SUITE 800, HOUSTON, TX 77079  
PH: 281.416.1000 FAX: 281.416.1003  
WWW.KIMLEY-HORN.COM TX E-269

BRANDON GULEV  
PROFESSIONAL ENGINEER  
14 APRIL 2017

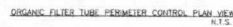
SUGAR LAND  
EROSION CONTROL  
DETAILS (1 OF 2)

THE VILLAGE AT  
RIVERSTONE  
REGENCY REALTY GROUP

SHEET NUMBER  
**C3.2**



DEWATERING CONTROL  
N.T.S.



1. TYPE OF NETTING, FILTER MATERIAL, DIAMETER OF TUBE, AND SPACING OF TUBES SHALL BE SPECIFIED BY THE DESIGNER BASED ON THE FOLLOWING SITE PARAMETERS:
  - SIZE OF CONTRIBUTING DRAINAGE AREA
  - STEEPNESS OF SLOPE
  - GROUND CONDITIONS (SOIL OR PAVEMENT)
2. DESIGNER SHALL SHOW ON THE DRAWINGS THE LOCATIONS WHERE TUBE IS TO BE TURNED UPSLOPE. UPSLOPE LENGTHS SHALL BE MINIMUM OF 10 FEET.

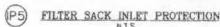


1. SARBAGS MAYBE REPLACED BY A SOIL BURN TO ANCHOR THE PLASTIC BAG

(CV)



- (P2) FILTER FENCE INLET PROTECTION  
N.I.S.



INSTALLED FILTER SACK		
LOW TO MODERATE FLOW GEOTEK G6000 GPC SPECIFICATION TABLE	TEST RESULTS	UNITS
GRASS TENSILE STRENGTH	ASTM D-6632	300 LBS
GRAIN TENSILE ELONGATION	ASTM D-6632	20 %
PUNCTURE	ASTM D-6633	120 LBS
RAIL GEAR STRENGTH	ASTM D-5708	5000 PHS
TRAFFIC ROLL	ASTM D-6233	120 LBS
RAIL GEAR STRENGTH	ASTM D-5708	5000 PHS
APPROXIMATE OPENING SIZE	ASTM D-6701	40 US MEVE
PERMEABILITY	ASTM D-6400	5.0 GAL/INCH/50 FT
MODERATE TO HIGH FLOW GEOTEK G6000 GPC SPECIFICATION TABLE	TEST RESULTS	UNITS
GRASS TENSILE STRENGTH	ASTM D-6632	268 LBS
GRAIN TENSILE ELONGATION	ASTM D-6632	15 %
PUNCTURE	ASTM D-6633	175 LBS
RAIL GEAR STRENGTH	ASTM D-5708	5000 PHS
TRAFFIC ROLL	ASTM D-6233	40 LBS
APPROXIMATE OPENING SIZE	ASTM D-6701	40 US MEVE
PERMEABILITY	ASTM D-6400	5.0 GAL/INCH/50 FT

APPROVED: Maggi D.  
Development Coordinator

DATE: 6/21/17

SUGAR LAND  
EROSION CONTROL  
DETAILS (2 OF 2)

THE VILLAGE AT  
RIVERSTONE  
REGENCY REALTY GROUP

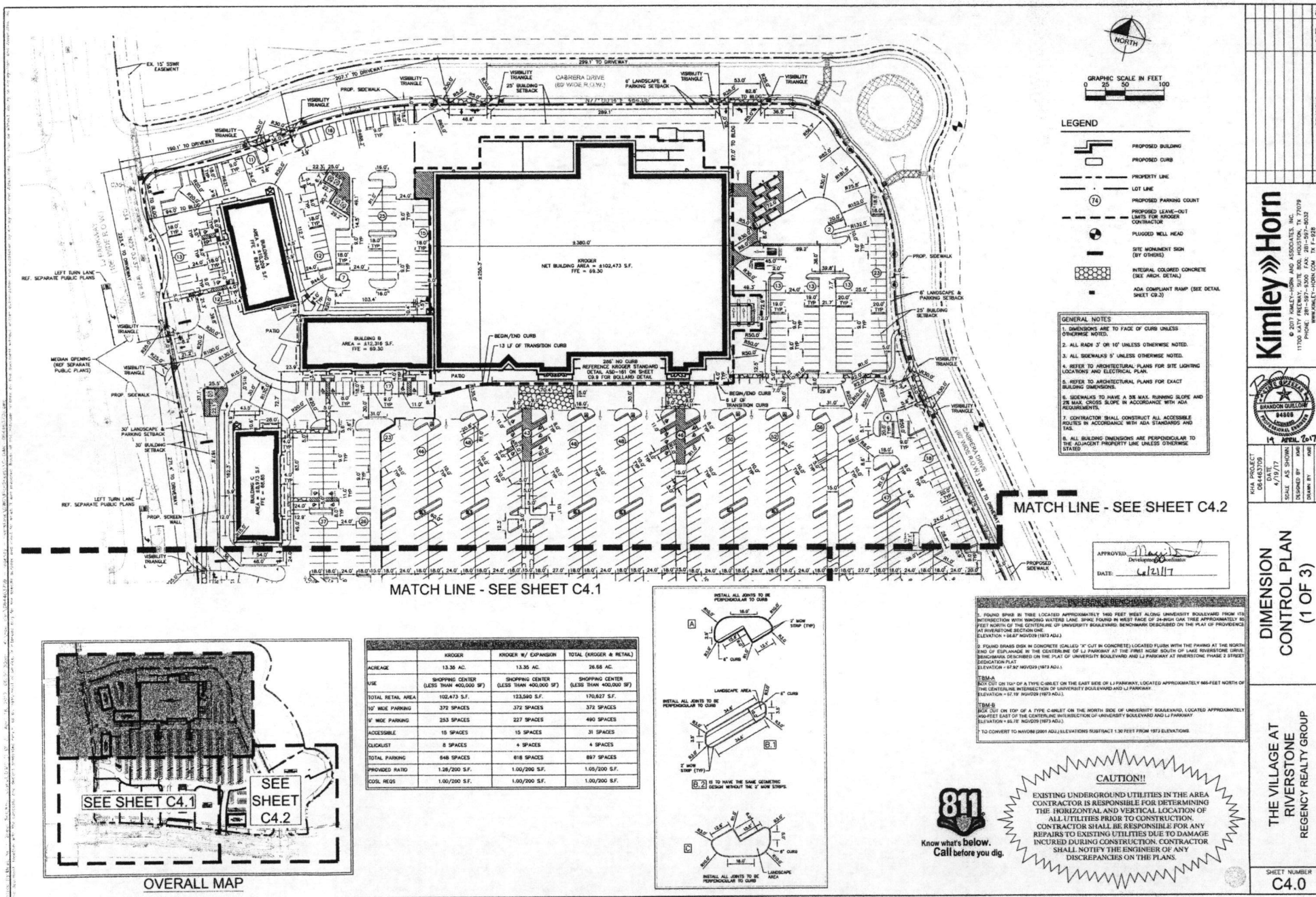
SHEET NUMBER  
C3.3

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17700 KATY FREEWAY, SUITE 800, HOUSTON, TX 77079  
PHONE: 281-597-9300 FAX: 281-597-8032



KHA PROJECT 064463709	DATE 4/19/17	SCALE AS SHOWN	DESIGNED BY KMB	DRAWN BY KMB	CHECKED BY MNC
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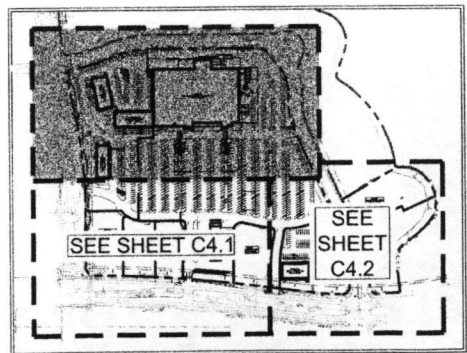


- LEGEND**
- PROPOSED BUILDING
  - PROPOSED CURB
  - PROPERTY LINE
  - LOT LINE
  - PROPOSED PARKING COUNT
  - PROPOSED LEAVE-OUT LIMITS FOR KROGER CONTRACTOR
  - PLUGGED WELL HEAD
  - SITE MONUMENT SIGN (BY OTHERS)
  - INTERIOR COLORED CONCRETE (SEE AREA DETAIL)
  - ADA COMPLIANT RAMP (SEE DETAIL SHEET C8.3)

- GENERAL NOTES**
1. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  2. ALL RAMP 3' OR 10' UNLESS OTHERWISE NOTED.
  3. ALL SIDEWALKS 3' UNLESS OTHERWISE NOTED.
  4. REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING LOCATIONS AND ELECTRICAL PLAN.
  5. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
  6. SIDEWALKS TO HAVE A 2% MAX. RUNNING SLOPE AND 2% MAX. CROSS SLOPE IN ACCORDANCE WITH ADA REQUIREMENTS.
  7. CONTRACTOR SHALL CONSTRUCT ALL ACCESSIBLE ROUTES IN ACCORDANCE WITH ADA STANDARDS AND TABS.
  8. ALL BUILDING DIMENSIONS ARE PERPENDICULAR TO THE ADJACENT PROPERTY LINE UNLESS OTHERWISE STATED.

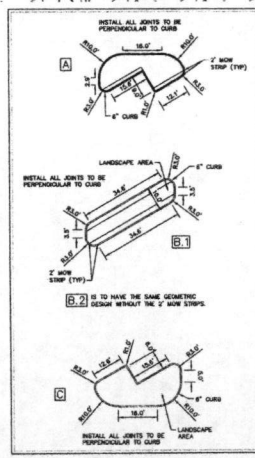
MATCH LINE - SEE SHEET C4.2

MATCH LINE - SEE SHEET C4.1



OVERALL MAP

	KROGER	KROGER W/ EXPANSION	TOTAL (KROGER & RETAIL)
ACREAGE	13.35 AC.	13.35 AC.	26.68 AC.
USE	SHOPPING CENTER (LESS THAN 400,000 SF)	SHOPPING CENTER (LESS THAN 400,000 SF)	SHOPPING CENTER (LESS THAN 400,000 SF)
TOTAL RETAIL AREA	102,473 S.F.	123,880 S.F.	170,627 S.F.
10' WIDE PARKING	372 SPACES	372 SPACES	372 SPACES
8' WIDE PARKING	253 SPACES	227 SPACES	490 SPACES
ACCESSIBLE	15 SPACES	15 SPACES	31 SPACES
CLIQUEST	8 SPACES	4 SPACES	4 SPACES
TOTAL PARKING	648 SPACES	618 SPACES	897 SPACES
PROVIDED RATIO	1.28/200 S.F.	1.00/200 S.F.	1.09/200 S.F.
COOL HRS	1.00/200 S.F.	1.00/200 S.F.	1.00/200 S.F.



1. FOUND SPIN IN TREE LOCATED APPROXIMATELY 140 FEET WEST ALONG UNIVERSITY BOULEVARD FROM ITS INTERSECTION WITH WINDING WATERS LANE. SPIN FOUND IN WEST FACE OF 24-INCH OAK TREE APPROXIMATELY 80 FEET NORTH OF THE CENTERLINE OF UNIVERSITY BOULEVARD. BENCHMARK DESCRIBED ON THE PLAN OF PREVIOUS EDITION AT INTERSECTION SECTION ONE. ELEVATION - 18.67' NGVD (1973 ADJ.)
2. FOUND BRASS DISK IN CONCRETE (SCALED "X" CUT IN CONCRETE) LOCATED FLUSH WITH THE PAVING AT THE NORTH END OF EXPLANADE IN THE CENTERLINE OF LI PARKWAY AT THE FIRST HUMP SOUTH OF LANE. BENCHMARK DESCRIBED ON THE PLAN OF UNIVERSITY BOULEVARD AND LI PARKWAY AT INTERSECTION, PHASE 2 STREET SELECTION PLAN. ELEVATION - 18.47' NGVD (1973 ADJ.)
- TSM-A  
NOT CUT ON TOP OF A TYPE C CURB ON THE EAST SIDE OF LI PARKWAY. LOCATED APPROXIMATELY 60 FEET NORTH OF THE CENTERLINE INTERSECTION OF UNIVERSITY BOULEVARD AND LI PARKWAY. ELEVATION - 17.19' NGVD (1973 ADJ.)
- TSM-B  
NOT CUT ON TOP OF A TYPE C CURB ON THE NORTH SIDE OF UNIVERSITY BOULEVARD. LOCATED APPROXIMATELY 140 FEET EAST OF THE CENTERLINE INTERSECTION OF UNIVERSITY BOULEVARD AND LI PARKWAY. ELEVATION - 18.76' NGVD (1973 ADJ.)
3. TO CONVERT TO NAVD83 (2011 ADJ.) ELEVATIONS SUBTRACT 1.36 FEET FROM 1973 ELEVATIONS



**CAUTION!!**

EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

**RECORDER'S MEMORANDUM**

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DATE

BY

REVISIONS

NO.

**Kimley»Horn**

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DALLAS, TEXAS 75243  
PHONE: 214-397-8300 FAX: 214-397-8033  
WWW.KIMLEY-HORN.COM TX F-128

PROJECT NO.

DATE

SCALE

DESIGNED BY

CHECKED BY

APPROVED

DATE

**DIMENSION CONTROL PLAN**

(1 OF 3)

**THE VILLAGE AT RIVERSTONE**

REGENCY REALTY GROUP

SHEET NUMBER

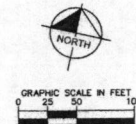
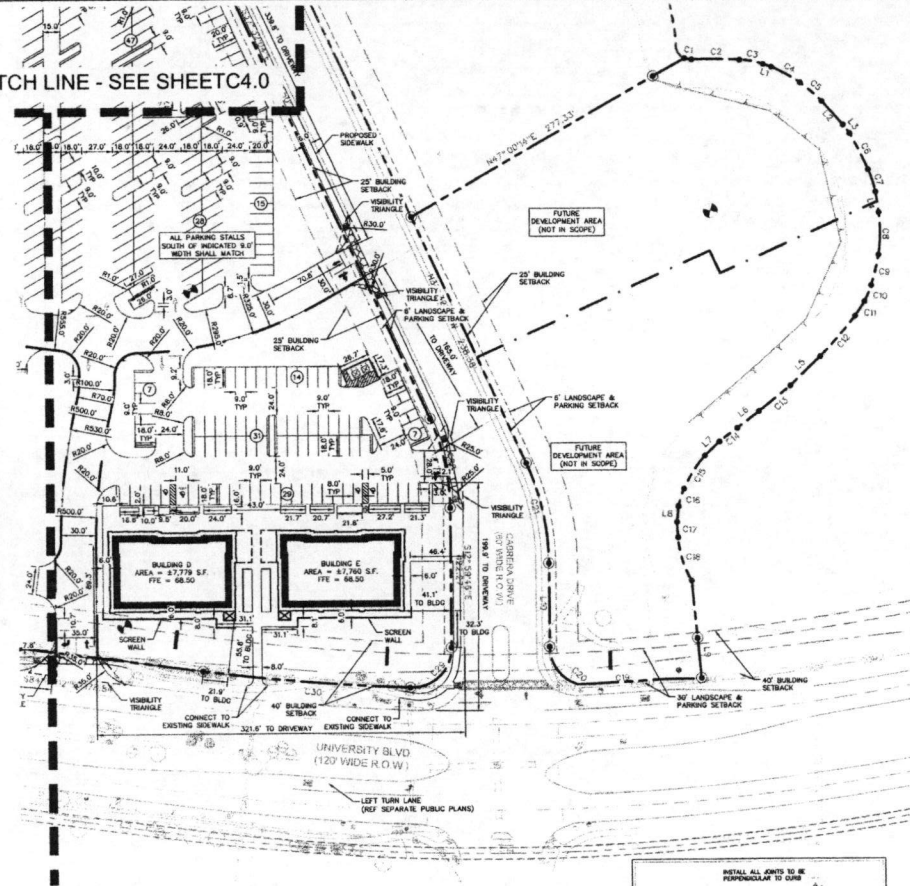
C4.0





MATCH LINE - SEE SHEET C4.0

MATCH LINE - SEE SHEET C4.1



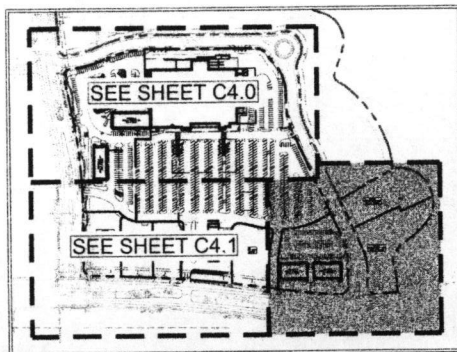
LEGEND

- PROPOSED BUILDING
- PROPOSED CURB
- PROPERTY LINE
- LOT LINE
- PROPOSED PARKING COUNT
- PROPOSED LEAVE-OUT LIMITS FOR KNIKKER CONTRACTOR
- PLUGGED WELL HEAD
- SITE MONUMENT SIGN (BY OTHERS)
- INTEGRAL COLORED CONCRETE (SEE ARCH. DETAIL SHEET C9.3)
- ADA COMPLIANT RAMP (SEE DETAIL SHEET C9.3)

GENERAL NOTES

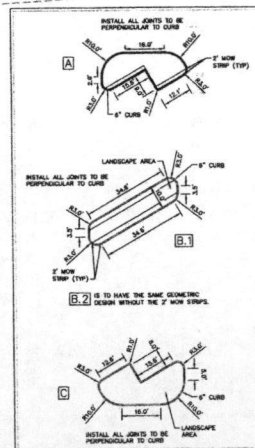
1. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL RADII 3' OR 10' UNLESS OTHERWISE NOTED.
3. ALL SIDEWALKS 5' UNLESS OTHERWISE NOTED.
4. REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING LOCATIONS AND ELECTRICAL PLAN.
5. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
6. SIDEWALKS TO HAVE A SIX MAX. SLOPE AND 2% MAX. CROSS SLOPE IN ACCORDANCE WITH ADA REQUIREMENTS.
7. CONTRACTOR SHALL CONSTRUCT ALL ACCESSIBLE ROUTES IN ACCORDANCE WITH ADA STANDARDS AND T&E.
8. ALL BUILDING DIMENSIONS ARE PERPENDICULAR TO THE ADJACENT PROPERTY LINE UNLESS OTHERWISE STATED.

APPROVED:   
DATE: 6/21/17



OVERALL MAP

	BROOKER	BROOKER W/ EXPANSION	TOTAL (BROOKER & RETAIL)
ACREAGE	13.35 AC.	13.35 AC.	26.68 AC.
USE	SHOPPING CENTER (LESS THAN 400,000 SF)	SHOPPING CENTER (LESS THAN 400,000 SF)	SHOPPING CENTER (LESS THAN 400,000 SF)
TOTAL RETAIL AREA	102,473 S.F.	123,080 S.F.	170,827 S.F.
10' WIDE PARKING	372 SPACES	372 SPACES	372 SPACES
8' WIDE PARKING	253 SPACES	227 SPACES	480 SPACES
ACCESSIBLE	15 SPACES	15 SPACES	31 SPACES
BIKELOCKER	8 SPACES	4 SPACES	4 SPACES
TOTAL SPACES	648 SPACES	618 SPACES	887 SPACES
PROVIDED RATIO	1.26/200 S.F.	1.06/200 S.F.	1.06/200 S.F.
COOL REQ'S	1.00/200 S.F.	1.00/200 S.F.	1.00/200 S.F.



9. FOUND SPIKE IN TREE LOCATED APPROXIMATELY 1400 FEET WEST ALONG UNIVERSITY BOULEVARD FROM ITS INTERSECTION WITH WINDING WATERS LANE. SPIKE FOUND IN WEST FACE OF 24-INCH OAK TREE APPROXIMATELY 85 FEET NORTH OF THE CENTERLINE OF UNIVERSITY BOULEVARD. SIGNATURE DESIGNED ON THE PLAN OF PRECEDENCE AT RIVERSTONE SECTION ONE. ELEVATION = 182.0' NGVD83 (1973 ADJ.).
  10. FOUND BRASS DRAIN IN CONCRETE (CALLED "X" CUT IN CONCRETE) LOCATED FLUSH WITH THE PAVING AT THE NORTH END OF ESPLANADE IN THE CENTERLINE OF LI PARKWAY AT THE FIRST NOSE SOUTH OF LAKE RIVERSTONE DRIVE. SIGNATURE DESIGNED ON THE PLAN OF PRECEDENCE AT RIVERSTONE PLANK 2 STREET SUBSECTION PLAT. ELEVATION = 47.8' NGVD83 (1973 ADJ.).
- TERM-A  
BUILT CUT ON TOP OF A TYPE CURET ON THE EAST SIDE OF LI PARKWAY, LOCATED APPROXIMATELY 680 FEET NORTH OF THE CENTERLINE INTERSECTION OF UNIVERSITY BOULEVARD AND LI PARKWAY.  
ELEVATION = 67.1' NGVD83 (1973 ADJ.).
- TERM-B  
BUILT CUT ON TOP OF A TYPE CURET ON THE NORTH SIDE OF UNIVERSITY BOULEVARD, LOCATED APPROXIMATELY 1400 FEET EAST OF THE CENTERLINE INTERSECTION OF UNIVERSITY BOULEVARD AND LI PARKWAY.  
ELEVATION = 65.7' NGVD83 (1973 ADJ.).
- TO CONVERT TO NAVD83 (2011 ADJ.) ELEVATIONS SUBTRACT 1.35 FEET FROM 1973 ELEVATIONS.



**CAUTION!!**  
EXISTING UNDERGROUND UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

DIMENSION  
CONTROL PLAN  
(3 OF 3)

THE VILLAGE AT  
RIVERSTONE  
REGENCY REALTY GROUP

SHEET NUMBER  
C4.2

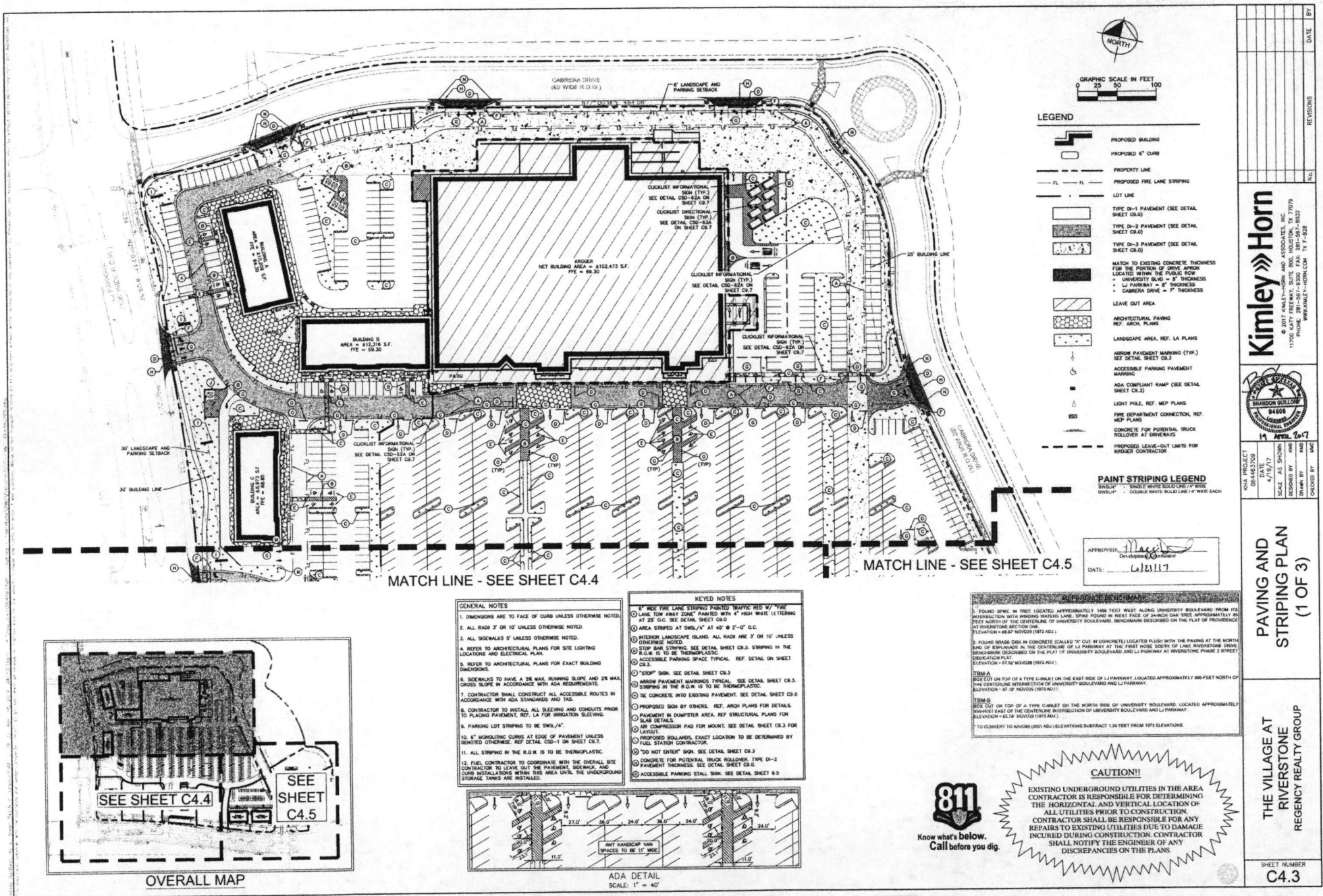
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REVISIONS	DATE	BY

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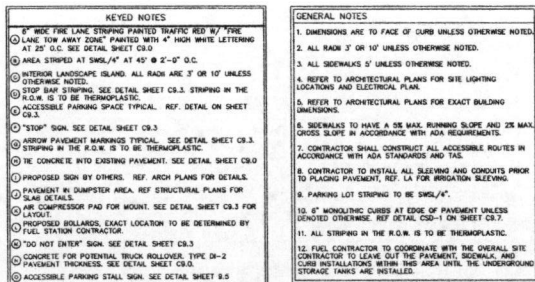
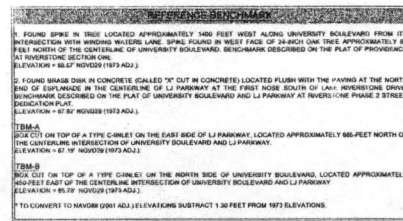




# RECORDER'S MEMORANDUM

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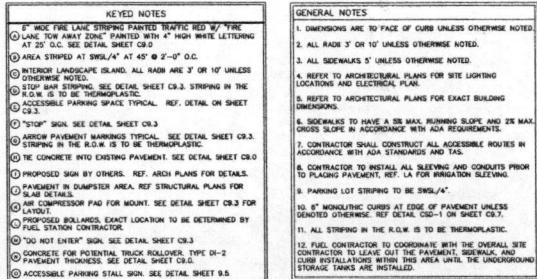
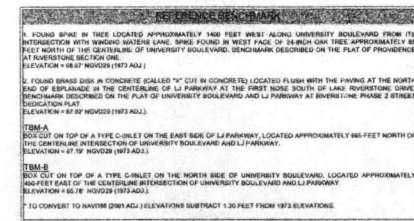
**CAUTION!!**

EXISTING UNDERGROUND UTILITIES IN THE AREA  
CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE  
HORIZONTAL AND VERTICAL LOCATION OF  
ALL UTILITIES PRIOR TO CONSTRUCTION.  
CONTRACTOR SHALL BE RESPONSIBLE FOR ANY  
REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE  
INCURRED DURING CONSTRUCTION. CONTRACTOR  
SHALL NOTIFY THE ENGINEER OF ANY  
DISCREPANCIES ON THE PLANS.

SHEET NUMBER <b>C4.4</b>	THE VILLAGE AT RIVERSTONE REGENCY REALTY GROUP	PAVING AND STRIPING PLAN (2 OF 3)	9414 PROJECT 06-4433709	DATE 4/19/17	SCALE AS SHOWN	DESIGNED BY SHAWN BY	CHECKED BY MNC		<b>Kimley»Horn</b> © 2017 KIMLEY-HORN AND ASSOCIATES, INC. 11700 KATY FREEMAN, SUITE 800, HOUSTON, TX 77079 PHOENIX OFFICE: 602-955-8557 WWW.KIMLEY-HORN.COM TX F-0208	No. REVISIONS	DATE BY
			19 APRIL 2017	MNC	MNC						

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**CAUTION!!**

EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

PAVING AND  
STRIPING PLAN  
(3 OF 3)

THE VILLAGE AT  
RIVERSTONE  
REGENCY REALTY GROUP

SHEET NUMBER  
**C4.5**

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KHA PROJECT 064463709	DATE 4/19/17	SCALE AS SHOWN	DESIGNED BY KMB	DRAWN BY KMB
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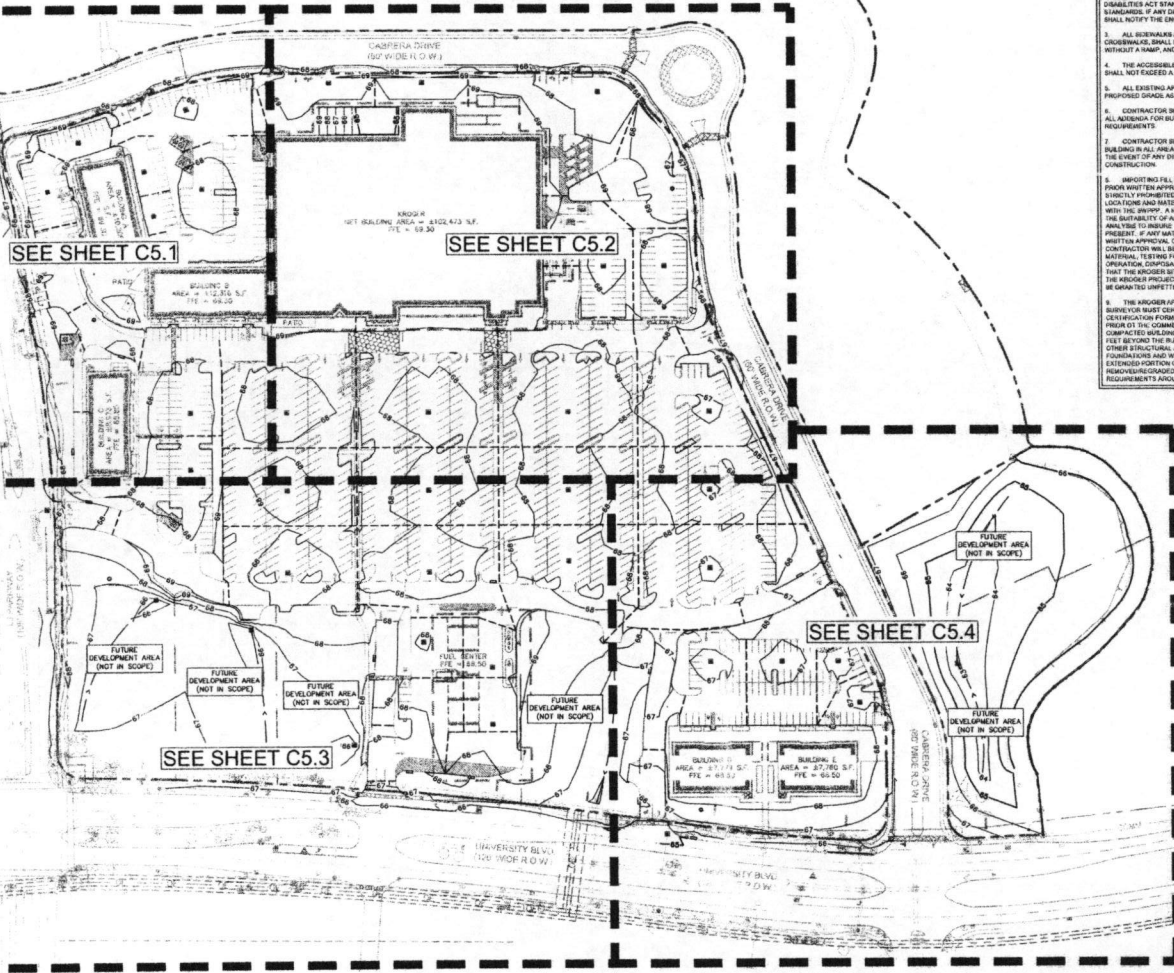




GRAPHIC SCALE IN FEET  
0 50 100

- SHADING NOTES**
1. ALL SPOT ELEVATIONS ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
  2. ALL SIDEWALKS AND ACCESSIBLE ROUTES, INCLUDING DRIVEWAY DRIVEWAYS, SHALL CONFORM TO ALL APPLICABLE AMERICAN WITH DISABILITIES ACT STANDARDS AND THE TEXAS ACCESSIBILITY STANDARDS. IF ANY DISCREPANCY IS DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO POURING ANY PAVEMENT.
  3. ALL SIDEWALKS AND ACCESSIBLE ROUTES, INCLUDING DRIVEWAY DRIVEWAYS, SHALL NOT EXCEED A RUNNING SLOPE OF 4% (1:25) WITHOUT A RAMP, AND SHALL NOT EXCEED A 1% CROSS SLOPE (1:100).
  4. THE ACCESSIBLE PARKING AND PASSENGER LOADING AREAS SHALL NOT EXCEED A SLOPE OF 2% IN ANY DIRECTION.
  5. ALL EXISTING APPURTENANCES ON SITE SHALL BE ADJUSTED TO PROPOSED GRADES AS APPLICABLE.
  6. CONTRACTOR SHALL MAINTAIN GEOTECHNICAL REPORT AND ALL ADDENDA FOR BUILDING PAD UNITS AND PREPARATION REQUIREMENTS.
  7. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING IN ALL AREAS. CONTRACTOR SHALL NOTIFY THE ENGINEER IN THE EVENT OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  8. IMPORTING FILL MATERIAL FROM AN OFF-SITE LOCATION WITHOUT PRIOR WRITTEN APPROVAL FROM THE RESOURCES PROJECT MANAGER IS STRICTLY PROHIBITED. IDENTIFICATION OF OFF-SITE BORROW LOCATIONS AND MATERIAL MUST BE COORDINATED AND DOCUMENTED WITH THE ENGINEER. A REGISTERED TESTING FIRM MUST VERIFY THE SATURATED UNIT WEIGHT OF ALL OFF-SITE MATERIAL. THIS INCLUDES AN ANALYSIS TO INSURE THAT NO ENVIRONMENTAL CONTAMINATION IS PRESENT. IF ANY MATERIAL IS BROUGHT ON SITE WITHOUT PRIOR WRITTEN APPROVAL OF THE RESOURCES PROJECT MANAGER, THE CONTRACTOR WILL BEAR ALL COSTS ASSOCIATED WITH REMOVING THE MATERIAL, TESTING FOR CONTAMINATION, MONITORING THE CLEAN-UP OPERATION, DISPOSAL, IN AN APPROVED LANDFILL, AND CERTIFYING THAT THE KROGER SITE IS ENVIRONMENTALLY CLEAN. IF REQUESTED, THE RESOURCES PROJECT MANAGER OR ENGINEER CONSULTANTS MUST BE GRANTED UNRESTRICTED ACCESS TO ANY AND ALL BORROW SITES.
  9. THE KROGER APPROVED TESTING AGENCY AND PROJECT SUPERVISOR MUST CENTRY THE BUILDING PAD USING THE "PAD CERTIFICATION FORM" INCLUDED IN THE PROJECT SPECIFICATIONS. PRIOR TO THE COMMENCEMENT OF BUILDING FOUNDATIONS, COMPACTED BUILDING PAD MUST EXCEED A MINIMUM OF 10% (10) FEET BEYOND THE BUILDING FOOTPRINT, INCLUDING CANOPIES OR OTHER STRUCTURAL APPURTENANCES. UNTIL THE PERMITS FOR FOUNDATIONS AND WALLS ARE CONSTRUCTED, THE BACKFILLED, THE EXTENDED PORTION OF THE BUILDING PAD SURROUNDING MUST BE REMOVED/DEGRADED TO MEET THE FINAL GRADE AND MATERIAL REQUIREMENTS AROUND THE BUILDING FOOTPRINT.

LEGEND	
— 00 —	PROPOSED CONTOUR
--- 00 ---	EXISTING CONTOUR
X 00.00	PROPOSED SPOT ELEVATION
X 00.00 TO	TOP OF GRADE ELEVATION
X 00.00 HW	MATCH EXISTING ELEVATION
X 00.00 TS	TOP OF SIDEWALK ELEVATION
X 00.00 TO	TOP OF CURB ELEVATION
▲	HIGH POINT
■	PROPOSED GRADE INLET
□	PROPOSED CURB INLET
—	PROPOSED DRAINAGE SWALE



APPROVED: *[Signature]*  
DATE: 6/21/17

- FOUND SPRING DATA**
1. FOUND SPRING IN TREE LOCATED APPROXIMATELY 1400 FEET WEST ALONG UNIVERSITY BOULEVARD (FROM ITS INTERSECTION WITH WINDING WATERS LANE). SPRING FOUND IN WEST FACE OF 24-INCH CAN TREE APPROXIMATELY 80 FEET NORTH OF THE CENTERLINE OF UNIVERSITY BOULEVARD. BENCHMARK DESCRIBED ON THE PLAN AT PROVISIONS AT INTERSECTION SECTION ONE. ELEVATION = 87.07 NGVD83 (1973 ADJ.)
  2. FOUND SPRING IN CONCRETE, CALLED "C" CUT IN CONCRETE, LOCATED FLUSH WITH THE PAVING AT THE NORTH END OF SIDEWALK IN THE CENTERLINE OF L.P. PARKWAY AT THE FIRST ROAD SOUTH OF CASE WHISTLE DRILL. BENCHMARK DESCRIBED ON THE PLAN AT PROVISIONS AT INTERSECTION SECTION ONE. ELEVATION = 87.19 NGVD83 (1973 ADJ.)
- TRIM-A**
- TRIM-A LOCATED ON THE TOP OF A TYPE C GUMMET ON THE NORTH SIDE OF UNIVERSITY BOULEVARD, LOCATED APPROXIMATELY 100 FEET EAST OF THE CENTERLINE INTERSECTION OF UNIVERSITY BOULEVARD AND L.P. PARKWAY. ELEVATION = 85.76 NGVD83 (1973 ADJ.)
- TRIM-B**
- TRIM-B LOCATED ON THE TOP OF A TYPE C GUMMET ON THE NORTH SIDE OF UNIVERSITY BOULEVARD, LOCATED APPROXIMATELY 100 FEET EAST OF THE CENTERLINE INTERSECTION OF UNIVERSITY BOULEVARD AND L.P. PARKWAY. ELEVATION = 85.76 NGVD83 (1973 ADJ.)
- \* TO CONVERT TO NAVD83 (2011 ADJ.) ELEVATIONS SUBTRACT 1.30 FEET FROM 1973 ELEVATIONS.



**CAUTION!!**

EXISTING UNDERGROUND UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

PROJECT NO.	08-445709	DATE	4/7/17	SCALE	AS SHOWN	DESIGNED BY	CHAIKIN	CHECKED BY	MAI
<b>OVERALL GRADING PLAN</b>									
<b>THE VILLAGE AT RIVERSTONE</b> REGENCY REALTY GROUP									
SHEET NUMBER <b>C5.0</b>									

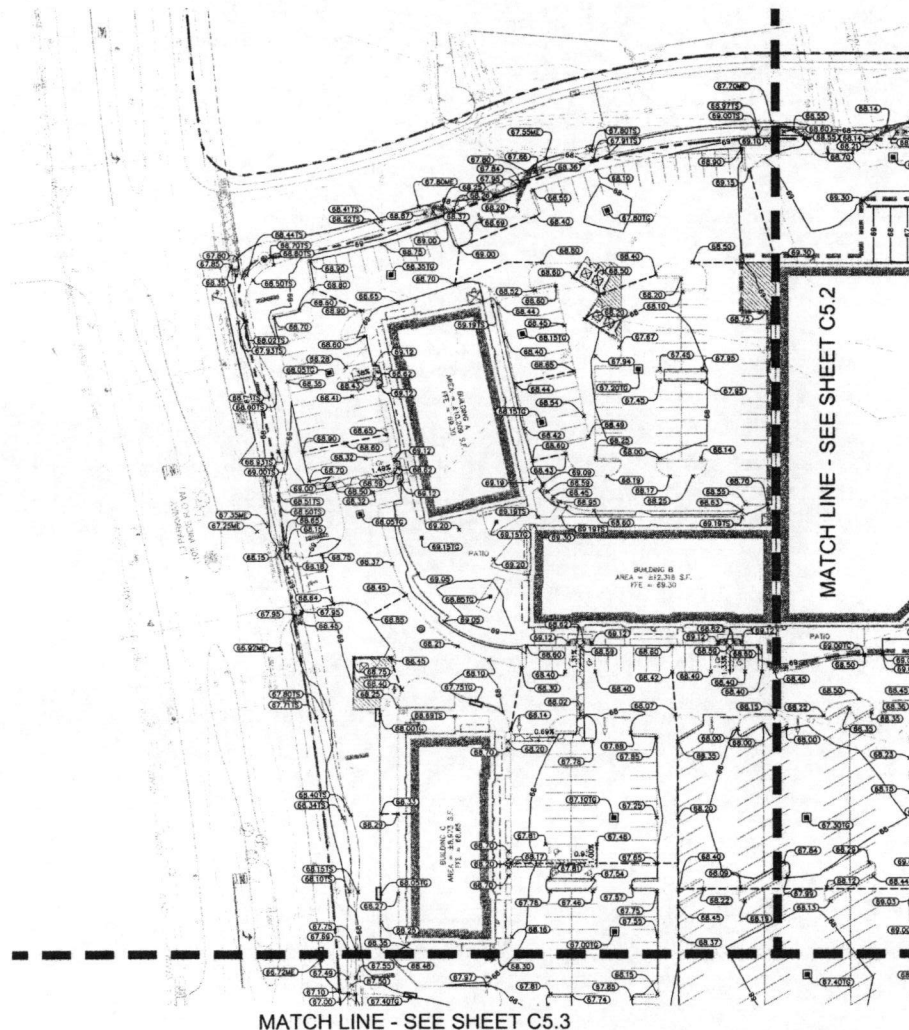
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NO.	DESCRIPTION
1	PROPOSED CONTOURS
2	EXISTING CONTOURS
3	PROPOSED SPOT ELEVATION
4	TOP OF GRADE ELEVATION
5	MATCH EXISTING ELEVATION
6	TOP OF SIDEWALK ELEVATION
7	TOP OF CURB ELEVATION
8	PROPOSED GRADE PILE
9	PROPOSED CURB PILE
10	PROPOSED DRAINAGE SWALE

- GRADING NOTES**
1. ALL SPOT ELEVATIONS ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
  2. ALL DRIVEWAYS AND ACCESSIBLE ROUTES, INCLUDING DRIVEWAY CROSSWALKS, SHALL COMPLY TO ALL APPLICABLE AMERICAN WITH DISABILITIES ACT STANDARDS AND THE T&E ACCESSIBILITY STANDARDS. IF ANY DISCREPANCY IS DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO POURING ANY PAVEMENT.
  3. ALL DRIVEWAYS AND ACCESSIBLE ROUTES, INCLUDING DRIVEWAY CROSSWALKS, SHALL NOT EXCEED A RUNNING SLOPE OF 1% (1:100) WITHOUT A RAMP, AND SHALL NOT EXCEED A CROSS SLOPE (1:40).
  4. THE ACCESSIBLE PAVING AND PAVEMENTS (LOADING AREAS) SHALL NOT EXCEED A SLOPE OF 2% (1:50) IN ANY DIRECTION.
  5. ALL EXISTING APPURTENANCES ON SITE SHALL BE ADJUSTED TO PROPOSED GRADE AS APPLICABLE.
  6. CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT AND ALL ADDENDUMS FOR BUILDING PAD LIMITS AND PREPARATION REQUIREMENTS.
  7. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING IN ALL AREAS. CONTRACTOR SHALL NOTIFY THE ENGINEER IN THE EVENT OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  8. BORROWING FILL MATERIAL FROM AN OFF-SITE LOCATION WITHOUT PRIOR WRITTEN APPROVAL FROM THE KROGER PROJECT MANAGER IS PROHIBITED. PROPOSED BORROWING LOCATIONS AND MATERIALS MUST BE COORDINATED AND DOCUMENTED WITH THE KROGER PROJECT MANAGER. A KROGER APPROVED TESTING FIRM MUST VERIFY THE SUITABILITY OF ALL OFF-SITE MATERIAL. THIS INCLUDES AN ANALYSIS TO DETERMINE THAT NO ENVIRONMENTAL CONTAMINANTS ARE PRESENT. IF ANY MATERIAL IS BROUGHT ON SITE WITHOUT PRIOR WRITTEN APPROVAL FROM THE KROGER PROJECT MANAGER, THE CONTRACTOR WILL BEAR ALL COSTS ASSOCIATED WITH REMOVING THE MATERIAL, TESTING FOR CONTAMINATION, MONITORING THE CLEANUP OPERATION, DISPOSAL IN AN APPROVED LANDFILL, AND CERTIFYING THAT THE BORROWING SITE IS ENVIRONMENTALLY CLEAN. IF REQUESTED, THE KROGER PROJECT MANAGER OR KROGER'S CONSULTANTS MUST BE GRANTED UNRESTRICTED ACCESS TO ANY AND ALL BORROWING SITES.
  9. THE KROGER APPROVED TESTING FIRM AND PROJECT SURVEYOR MUST CERTIFY THE BUILDING PAD USING THE "PAD CERTIFICATION FORM" INCLUDED IN THE PROJECT SPECIFICATIONS. PRIOR TO THE COMMENCEMENT OF BUILDING FOUNDATIONS, COMPLETED BUILDING PAD MUST BE AT A MINIMUM OF 18" (18) FEET ABOVE THE FINISHED FLOOR FINISH INCLUDING CHASER OR OTHER STRUCTURAL APPURTENANCES, UNTIL THE PERMITS FOR CONSTRUCTION ARE OBTAINED AND SHALL BE MAINTAINED. THE EXTENDED PORTION OF THE BUILDING PAD SUBGRADE MUST THEN BE REINFORCED TO MEET THE FINAL GRADE AND MATERIAL REQUIREMENTS AROUND THE BUILDING PERIMETER.

APPROVED: *[Signature]*  
 DEVELOPER/OWNER  
 DATE: 4/12/17

- REFERENCE DOCUMENTS**
1. FOUND SPIKE IN TREE LOCATED APPROXIMATELY 140 FEET WEST ALONG UNIVERSITY BOULEVARD FROM ITS INTERSECTION WITH WINDING WATERS LANE. SPIKE FOUND IN WEST FACE OF LANE ON THE APPROXIMATELY 81 FEET NORTH OF THE CENTERLINE OF UNIVERSITY BOULEVARD. BENCHMARK DESCRIBED ON THE PLAT OF PROCEEDING AT INDEPENDENCE SECTION ONE. ELEVATION = 86.67 NOV09 (1973 ADJ.)
  2. FOUND FRAME BOX IN CONCRETE "CULVERT" CUT IN CONCRETE LOCATED FLUSH WITH THE PAVING AT THE NORTH END OF EPLANADE IN THE CENTERLINE OF LI PARKWAY AT THE FIRST ROSE SOUTH OF LAKE RIVERSTONE DRIVE. BENCHMARK DESCRIBED ON THE PLAT OF UNIVERSITY BOULEVARD AND LI PARKWAY AT RIVERSTONE PHASE 7 STREET INDICATION PLAT. ELEVATION = 87.32 NOV09 (1973 ADJ.)
  3. TBM-A: BENCH MARK ON TOP OF A TYPE C-10 CULVERT ON THE EAST SIDE OF LI PARKWAY. LOCATED APPROXIMATELY 60 FEET NORTH OF THE CENTERLINE INTERSECTION OF UNIVERSITY BOULEVARD AND LI PARKWAY. ELEVATION = 87.18 NOV09 (1973 ADJ.)
  4. TBM-B: BENCH MARK ON TOP OF A TYPE C-10 CULVERT ON THE NORTH SIDE OF UNIVERSITY BOULEVARD. LOCATED APPROXIMATELY 140 FEET EAST OF THE CENTERLINE INTERSECTION OF UNIVERSITY BOULEVARD AND LI PARKWAY. ELEVATION = 86.76 NOV09 (1973 ADJ.)
- TO CONVERT TO NAVD83 (DIN1 ADJ.) ELEVATIONS (SUBTRACT) 1.30 FEET FROM 1973 ELEVATIONS.



**CAUTION!!**

EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

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REVISIONS

NO.	DATE	BY

**GRADING PLAN (1 OF 4)**

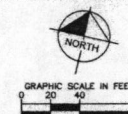
**THE VILLAGE AT RIVERSTONE**  
 REGENCY REALTY GROUP



SHEET NUMBER  
**C5.1**

**RECORDER'S MEMORANDUM**

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MATCH LINE - SEE SHEET C5.4



LEGEND	
----- 60 -----	PROPOSED CONTOUR
----- 50 -----	EXISTING CONTOURS
* 90.00	PROPOSED SPOT ELEVATION
~ 50.00 TO	TOP OF GRATE ELEVATION
~ 50.00 MB	MATCH EXISTING ELEVATION
* 50.00 TB	TOP OF SIDEWALK ELEVATION
~ 50.00 TC	TOP OF CURB ELEVATION
----- 50.00 -----	HIGH POINT
	PROPOSED GRATE INLET
	PROPOSED CURB INLET
----- 3 -----	PROPOSED DRAINAGE SWALE

- [illegible]

APPROVED: Maggi  
Development Coordinator

DATE: 6/21/17

7. FONGI SPIKE IN TREE LOCATED APPROXIMATELY 1400 FEET WEST ALONG UNIVERSITY BOULEVARD FROM INTERSECTION WITH WINDING MATTERS LAKE. SPIKE FORMED IN WEST FACE OF 24-INCH DIA. TREE APPROXIMATELY 10 FEET EAST OF THE CENTRAL LINE OF UNIVERSITY BOULEVARD DESCRIBED ON THE PLAN OF PROJECT AT INTERSECTION SECTION ONE.

8. FONGI BRUSH DIRT IN CONCRETE (CALLED "T") ON CORNERED LOCATED 150 FEET WITH THE PAVING AT THE WORKING SIDE OF ELEVATIONS IN THE CENTERLINE OF LI PARKWAY AT THE FIRST HOUSE SOUTH OF LAKE WINDING MATTERS LAKE. BRUSH DIRT DESCRIBED ON THE PLAN OF UNIVERSITY BOULEVARD AND LI PARKWAY AT INTERSECTION POINT 2. SITE OF DEDICATION PLAN.

9. "B" 32' 50" NODUS (1973 ADA)

**TRAIL**

LOCATED ON TOP OF A TYPE C CORRET ON THE EAST SIDE OF LI PARKWAY, LOCATED APPROXIMATELY 85-100 FEET NORTH OF THE CENTRAL LINE OF INTERSECTION OF UNIVERSITY BOULEVARD AND LI PARKWAY.

**TRAIL-2**

LOCATED ON TOP OF A TYPE C CORRET ON THE NORTH SIDE OF UNIVERSITY BOULEVARD, LOCATED APPROXIMATELY 100 FEET EAST OF THE CENTRAL LINE OF INTERSECTION OF UNIVERSITY BOULEVARD AND LI PARKWAY. ELEVATION - 68.79 (NODUS 1973 ADA)

TO CONVERT TO HANSON (90' ADA) ELEVATIONS SUBTRACT 1.30 FEET FROM 1973 ELEVATIONS



**CAUTION!!**

EXISTING UNDERGROUND UTILITIES IN THE AREA  
CONTRACTOR IS RESPONSIBLE FOR DETERMINING  
THE HORIZONTAL AND VERTICAL LOCATION OF  
ALL UTILITIES PRIOR TO CONSTRUCTION.  
CONTRACTOR SHALL BE RESPONSIBLE FOR ANY  
REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE  
INCURRED DURING CONSTRUCTION. CONTRACTOR  
SHALL NOTIFY THE ENGINEER OF ANY  
DISCREPANCIES ON THE PLANS.

**Kimley»»Horn**  
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GRADING PLAN  
(2 OF 4)

THE VILLAGE AT  
RIVERSTONE  
AGENCY REALTY GROUP

SHEET NUMBER  
**C5.2**

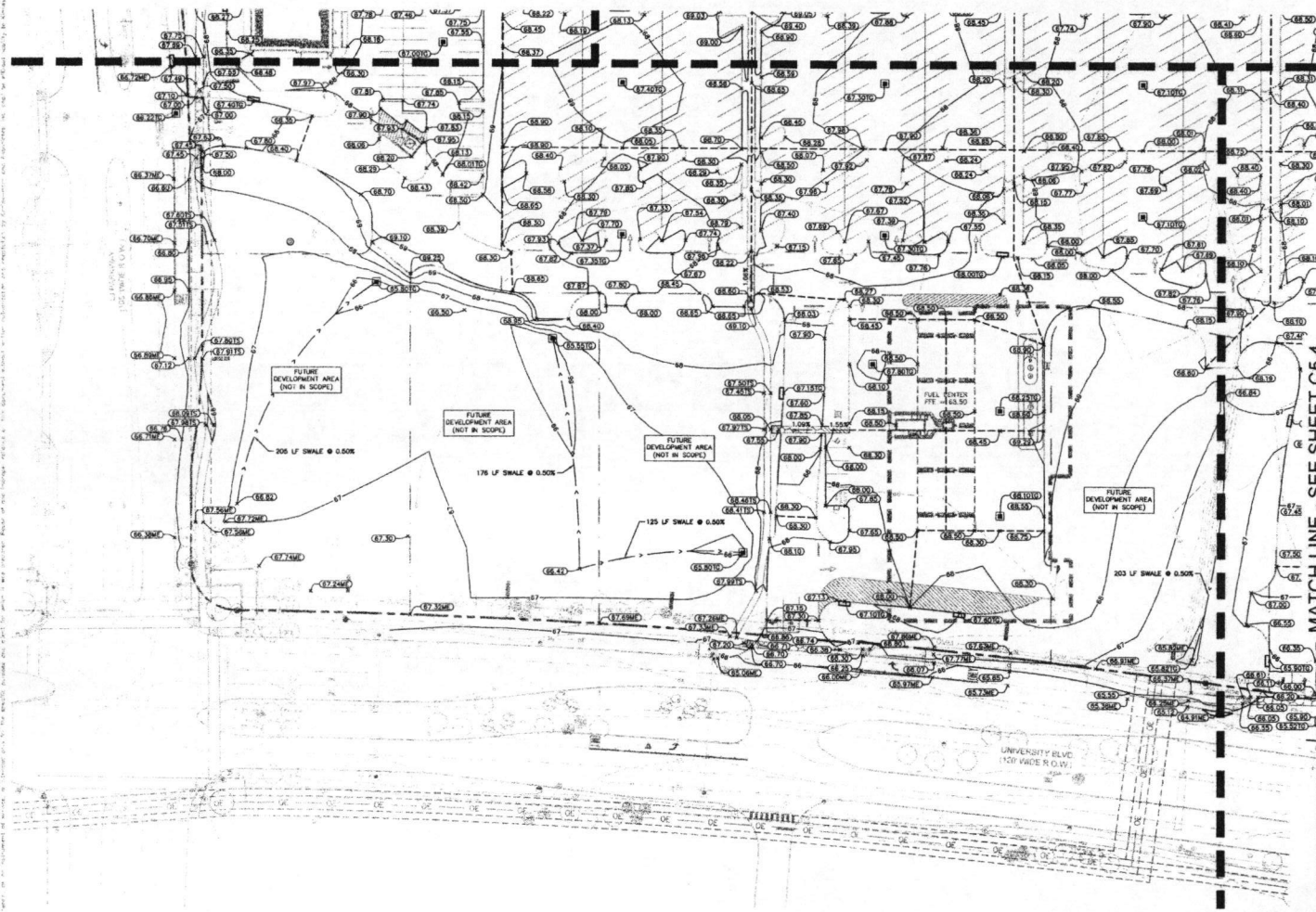
RECORDER'S MEMORANDUM

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MATCH LINE - SEE SHEET C5.2



GRAPHIC SCALE IN FEET  
0 20 40

PROPOSED	
----- 60 -----	PROPOSED CONTOURS
----- 100 -----	EXISTING CONTOURS
X 50.00	PROPOSED SPOT ELEVATION
N 50.00 TO	TOP OF GRATE ELEVATION
X 50.00 ME	MATCH EXISTING ELEVATION
X 50.00 TS	TOP OF SIDEWALK ELEVATION
X 50.00 TC	TOP OF CURB ELEVATION
----- 100 -----	HIGH POINT
	PROPOSED GRATE INLET
	PROPOSED CURB INLET
	PROPOSED DRAINAGE SWALE

GRADING NOTES

- [illegible]

APPROVED: Maggi D.  
Development Coordinator

DATE: 6/21/17

### REFERENCE BENCHMARK

- [illegible]

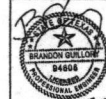


Know what's below.  
Call before you dig.

**CAUTION!**

EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

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GRADING PLAN  
(3 OF 4)

THE VILLAGE AT  
RIVERSTONE  
REGENCY REALTY GROUP

SHEET NUMBER  
C5.3

## RECORDED'S MEMORANDUM

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GRAPHIC SCALE IN FEET  
0 20 40 80

LEGEND	
—	PROPOSED CONTOURS
- - -	EXISTING CONTOURS
X	PROPOSED SPOT ELEVATION
+	TOP OF GRADE ELEVATION
+	TOP OF SIDEWALK ELEVATION
+	TOP OF CURB ELEVATION
+	HIGH POINT
□	PROPOSED GRADE INLET
□	PROPOSED CURB INLET
—	PROPOSED DRAINAGE SWALE

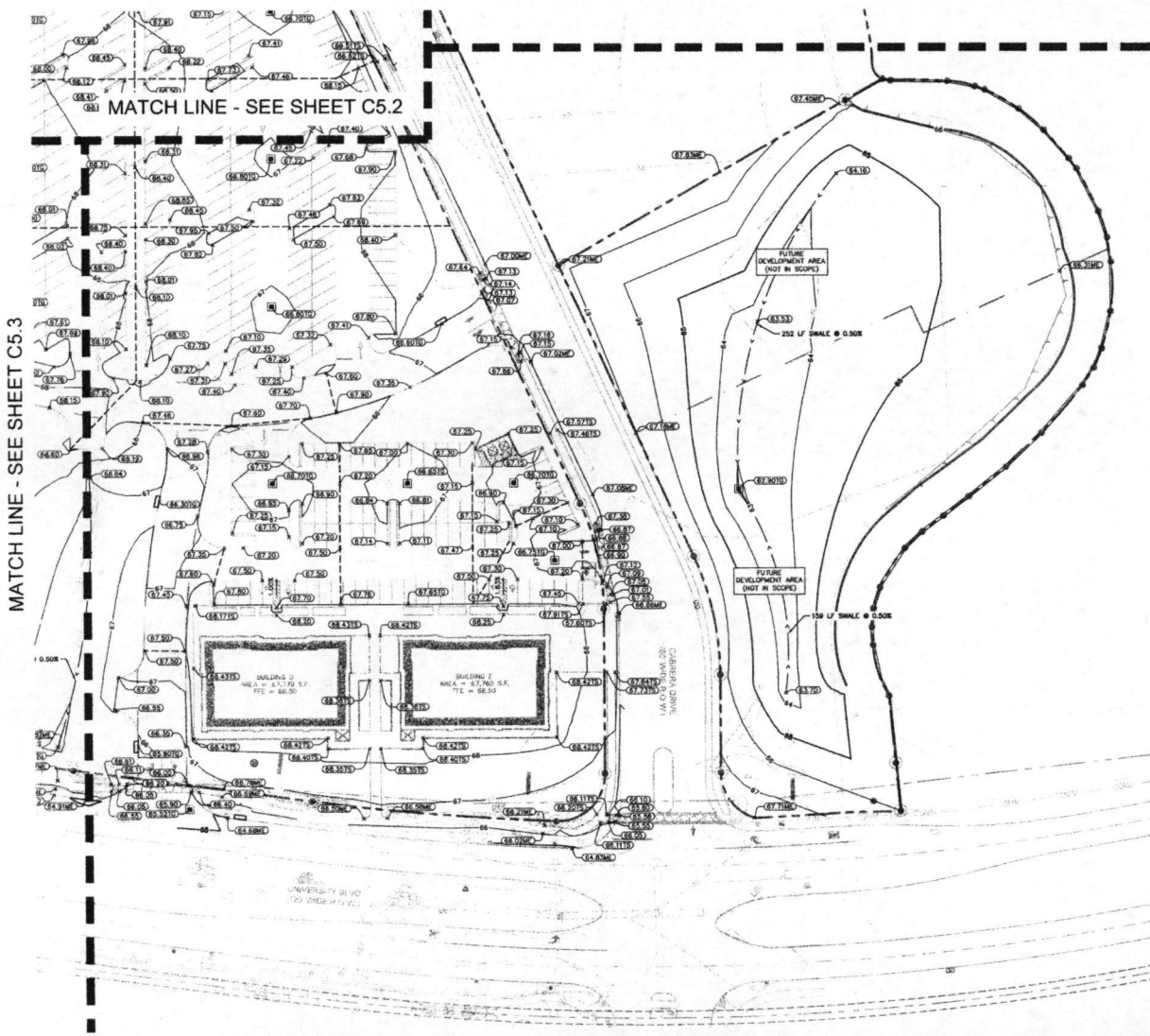
- NOTES**
1. ALL SPOT ELEVATIONS ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
  2. ALL SIDEWALKS AND ACCESSIBLE ROUTES, INCLUDING DRIVEWAY CLOSURES, SHALL CONFORM TO ALL APPLICABLE AMERICAN WITH DISABILITIES ACT STANDARDS AND THE ASSESSMENT STANDARDS. IF ANY DISCREPANCY IS DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO POURING ANY PAVEMENT.
  3. ALL SIDEWALKS AND ACCESSIBLE ROUTES, INCLUDING DRIVEWAY CLOSURES, SHALL NOT EXCEED A FINISH SLOPE OF 1% (1:100) WITHOUT A SHARP, AND SHALL NOT EXCEED A FINISH SLOPE OF 1% (1:100) IN ANY DIRECTION.
  4. THE ACCESSIBLE PARKING AND PASSENGER LOADING AREAS SHALL NOT EXCEED A SLOPE OF 1% (1:100) IN ANY DIRECTION.
  5. ALL EXISTING APPURTENANCES ON SITE SHALL BE ADJUSTED TO PROPOSED GRADE, AS APPLICABLE.
  6. CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT AND ALL ADDENDUMS FOR BUILDING FOOTPRINTS AND PREPARATION REQUIREMENTS.
  7. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING AREA. CONTRACTOR SHALL NOTIFY THE ENGINEER IN THE EVENT OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  8. IMPORTING FILL MATERIAL FROM AN OFF-SITE LOCATION WITHOUT PRIOR WRITTEN APPROVAL FROM THE KROGER PROJECT MANAGER IS STRICTLY PROHIBITED. IDENTIFICATION OF OFF-SITE SOURCE LOCATIONS AND MATERIAL MUST BE LOGGED AND DOCUMENTED WITH THE KROGER PROJECT MANAGER. TESTING FOR CONTAMINATION SHALL BE REQUIRED FOR ALL OFF-SITE MATERIAL. THIS INCLUDES AN ANALYSIS TO DETERMINE THAT NO ENVIRONMENTAL CONTAMINATION IS PRESENT. IF ANY MATERIAL IS BROUGHT ON SITE WITHOUT PRIOR WRITTEN APPROVAL OF THE KROGER PROJECT MANAGER, THE CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH REMOVING THE MATERIAL, TESTING FOR CONTAMINATION, IDENTIFYING THE CLEAN-UP OPERATIONS, AND IN REMEDIATION AND ANALYSIS. THE CLEAN-UP THAT THE SOILER SITE IS ENVIRONMENTALLY CLEAN. IF REQUESTED, THE KROGER PROJECT MANAGER OR PROJECT CONSULTANT MUST BE GRANTED UNRESTRICTED ACCESS TO ANY AND ALL BORROW SITES.
  9. THE KROGER APPROVED TESTING AGENCY AND PROJECT SUBMITTER SHALL SUBMIT THE TESTING PLAN USING THE TESTING CERTIFICATION FORM, INCLUDED IN THE PROJECT SPECIFICATIONS, PRIOR TO THE COMMENCEMENT OF BUILDING FOUNDATION. COMPACTED BUILDING PAD SHALL EXTEND A MINIMUM OF TEN (10) FEET BEYOND THE BUILDING FOOTPRINT, INCLUDING GARAGE, OR OTHER STRUCTURAL APPENDAGES, UNTIL THE PERMIT FOUNDATION AND WALL ARE CONSTRUCTED AND ANCHORED. THE EXTENDED PORTION OF THE BUILDING PAD SUBGRADE MUST THEN BE REACHED TO THE FINISH GRADE AND MATERIAL REQUIREMENTS AROUND THE BUILDING PERIMETER.

APPROVED: *[Signature]*  
DATE: 6/11/17

- NOTES**
1. FOUND SPIKE IN TREE LOCATED APPROXIMATELY 400 FEET WEST ALONG UNIVERSITY BOULEVARD FROM ITS INTERSECTION WITH WINDING WATERS LAKE. SPIKE FOUND IN WEST FACE OF 24-INCH OAK TREE APPROXIMATELY 80 FEET NORTH OF THE CENTERLINE OF UNIVERSITY BOULEVARD. SPICEMARK DEPICTED ON THE PLAN OF PROVIDENCE AT INTERSECTION SECTION ONE. ELEVATION = 88.75 (NGVD 1983 ADJ.).
  2. FOUND GRASS DIRT IN CONCRETE (SCALE) 'X' CUT IN CONCRETE LOCATED FLUSH WITH THE 'H' AND THE NORTH END OF SPALLS IN THE CENTERLINE OF LI PARKWAY AT THE FIRST ROSE SOUTH OF LAKE. INVERSTONE DRIVE SPICEMARK DEPICTED ON THE PLAN OF PROVIDENCE AT INTERSECTION SECTION ONE. ELEVATION = 88.75 (NGVD 1983 ADJ.).
  3. FOUND SPIKE ON TOP OF A TYPE C-10 INLET ON THE EAST SIDE OF LI PARKWAY, LOCATED APPROXIMATELY 800 FEET NORTH OF THE CENTERLINE INTERSECTION OF UNIVERSITY BOULEVARD AND LI PARKWAY. ELEVATION = 87.16 (NGVD 1983 ADJ.).
  4. FOUND SPIKE ON TOP OF A TYPE C-10 INLET ON THE NORTH SIDE OF UNIVERSITY BOULEVARD, LOCATED APPROXIMATELY 100 FEET EAST OF THE CENTERLINE INTERSECTION OF UNIVERSITY BOULEVARD AND LI PARKWAY. ELEVATION = 88.75 (NGVD 1983 ADJ.).
  5. TO CONVERT TO NAVS 8011 ALL ELEVATIONS SUBTRACT 1.30 FEET FROM 1983 ELEVATIONS.



**CAUTION!!**  
EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.



NO.	REVISIONS	DATE	BY

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DATE: 6/11/17  
SCALE: AS SHOWN  
DESIGNED BY: [Signature]  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]

**GRADING PLAN  
(4 OF 4)**

**THE VILLAGE AT  
RIVERSTONE  
REGENCY REALTY GROUP**

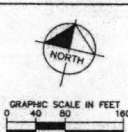
SHEET NUMBER  
**C5.4**

**RECORDER'S MEMORANDUM**

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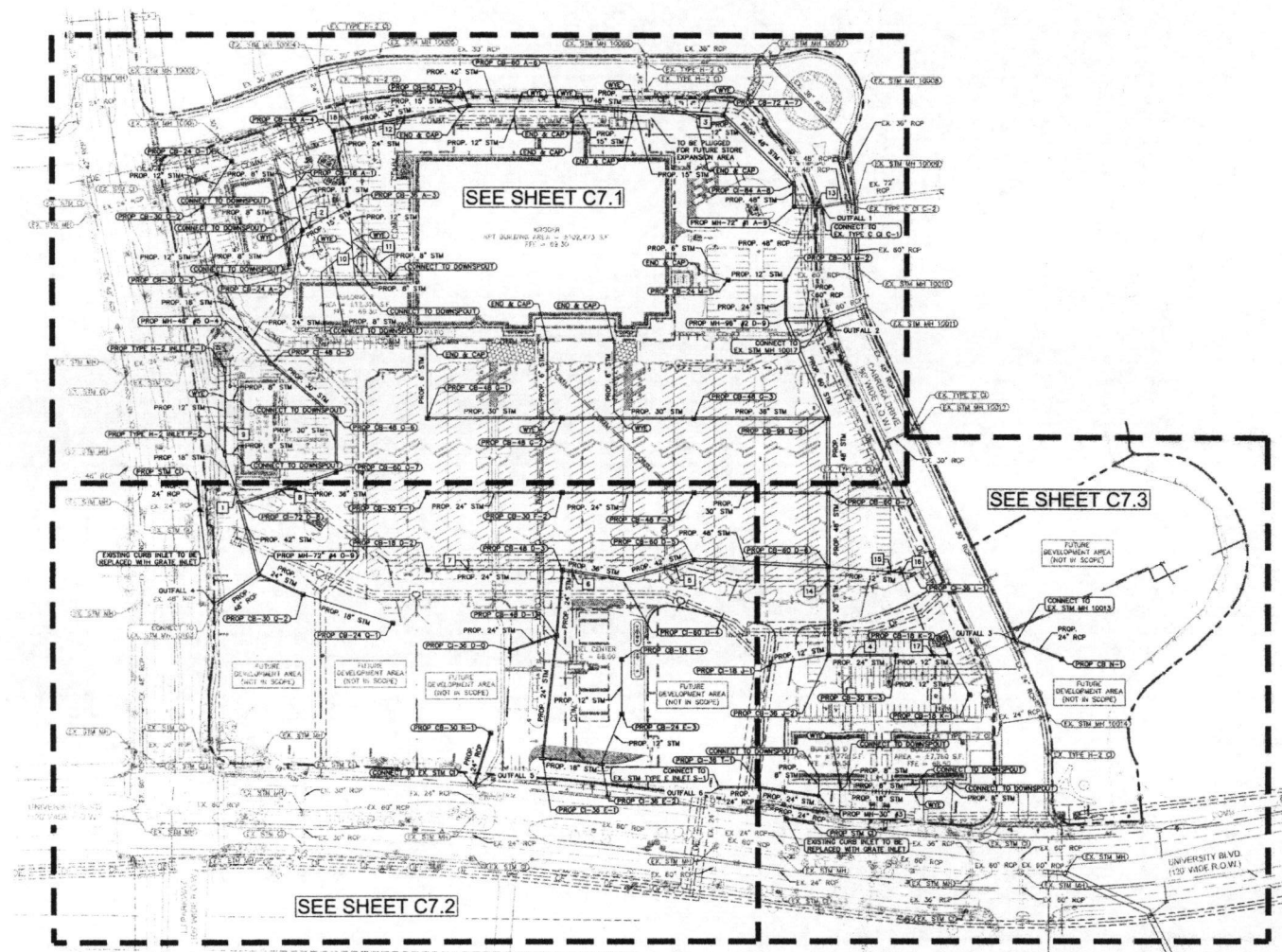


LEGEND	
PROPERTY LINE	
LOT LINE	
KROGER LIMITS	
WATERLINE	
STORM LINE	
SANITARY SEWER LINE	
UNDERGROUND ELECTRIC DUCT BANK	
UNDERGROUND ELECTRIC CONDUIT	
OVERHEAD ELECTRIC LINES	OC OC OC
UNDERGROUND GAS CONDUIT	CGM CGM
UNDERGROUND GAS LINE	
PROPOSED MANHOLE	○
PROPOSED CURB INLET	□
STORM/SANITARY SEWER CROSSING	+
(REF. CROSSING TABLE ON C8.1)	

- STORM SEWER NOTES:**
1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, THE INFORMATION TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
  2. CONTRACTOR SHALL FIELD VERIFY THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES IN FIELD PRIOR TO COMMENCING CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY OF ANY ERRORS.
  3. PUBLIC STORM LINES AS WELL AS CONNECTIONS TO EXISTING PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL MUNICIPALITY'S STANDARD SPECIFICATIONS AND DETAILS WITH ALL ADDRESS AND AMENDMENTS THEREIN.
  4. STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:  
A) RCP - ASTM C76 CLASS II - REQUIRED IN PUBLIC RIGHT OF WAY AND AT CONNECTION POINTS TO PUBLIC STORM SEWER.  
B) HDPE - ADSHOTO M354 TYPE S R ASTM F 2309 SMOOTH WALL.  
C) PVC - ASTM D 3034 SDR35.
  5. ALL EXISTING AND PROPOSED PIPES AND STRUCTURES ARE TO BE CLEANED OUT AT THE COMPLETION OF CONSTRUCTION TO REMOVE ALL SILT AND DEBRIS.
  6. ALL STORM PIPE EXISTING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
  7. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLORED WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & CONCRETE MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
  8. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM FINISHED MORTAR INVERT FROM INVERT IN TO INVERT OUT. EXISTING STRUCTURE INFORMATION WAS OBTAINED FROM PRELIMINARY CONSTRUCTION PLANS FOR "PUBLIC WATER, SEWER, GAS, AND TRAFFIC IMPROVEMENTS FOR CARRERA DRIVE AT RIVERSTONE" PREPARED BY COSTELLO IN 2016 AND THE ALTA/TOPO SURVEY CONDUCTED BY TERRA SURVEYING CO. IN MAY 2016.
  9. PONDING DEPTHS ARE MEASURED IN FEET AND BASED ON 100 YR FLS CALCULATIONS FROM A STARTING WATER SURFACE ELEVATION (25'-10") OF 63.23 IN THE POND DIRECTLY EAST OF THE SITE AS DETERMINED BY OVERLAND SHEET FLOW BASED ON THE GRADING, WHICHEVER IS LESS.
  10. A MINIMUM COVER DEPTH OF 2' FROM TOP OF PIPE TO GRADE IS REQUIRED FOR ALL HDPE AND PVC PIPES.

- CATCH BASIN AND MANHOLE SPECIFICATIONS:**
- CB-18: PER PARK USA "CATCH BASIN MODEL CB - 18" THRU 24" STD. DET.
  - CB-24: PER PARK USA "CATCH BASIN MODEL CB - 18" THRU 24" STD. DET.
  - CB-36: PER PARK USA "CATCH BASIN MODEL CB - 18" THRU 24" STD. DET.
  - CB-48: PER PARK USA "CATCH BASIN MODEL CB - 48" THRU 64" STD. DET.
  - CB-60: PER PARK USA "CATCH BASIN MODEL CB - 48" THRU 64" STD. DET.
  - CURB INLET: PER PARK USA "TYPE-B CURB INLET" STD. DET.
  - MANHOLE: PER PARK USA "TYPE-B CAST CONCRETE MANHOLE FOR STORM SEWER" STD. DET.

**NOTE:**  
ADDITIONAL LANDSCAPE INLETS WILL BE COORDINATED FOR FINAL CONSTRUCTION PLANS.  
FOR OFFSITE PUBLIC INFRASTRUCTURE, REFERENCE THE "CARRERA DRIVE AT RIVERSTONE" CONSTRUCTION PLANS PREPARED BY COSTELLO, INC.



DATE

BY

REVISIONS

No.

**Kimley»Horn**

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STATE OF TEXAS  
COUNTY OF DALLAS  
BRANDON GULIO  
REGISTERED PROFESSIONAL ENGINEER  
No. 64508  
EXPIRATION DATE 12 APRIL 2017

PROJECT

DATE

SCALE

DESIGNED BY

CHECKED BY

OVERALL STORM  
SEWER PLAN

THE VILLAGE AT  
RIVERSTONE  
REGENCY REALTY GROUP

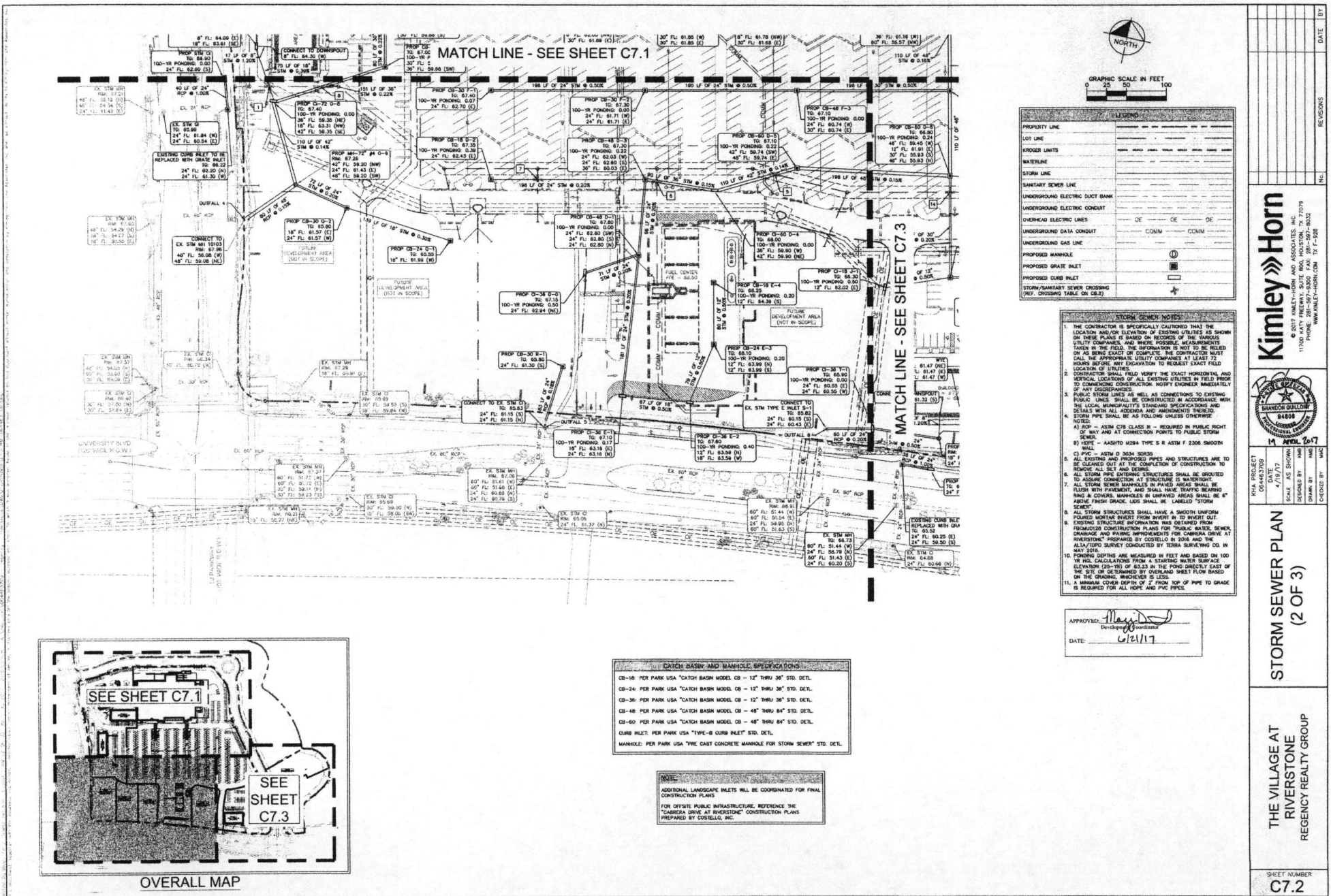
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C7.0

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**PROJECT** KVA PROJECT 05-463708  
**DATE** 4/19/17  
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**CHECKED BY** [Signature]  
**IN CHARGE** [Signature]  
**DATE** 4/19/17

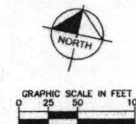
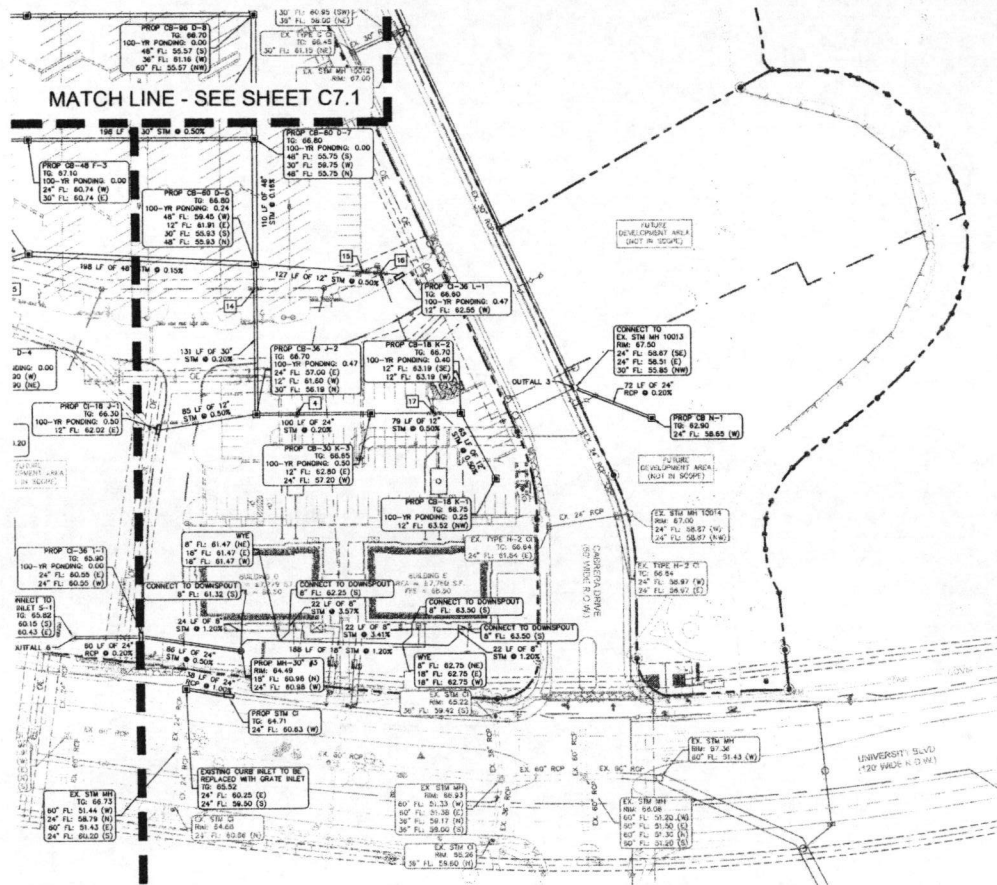
**STORM SEWER PLAN**  
(2 OF 3)

**THE VILLAGE AT RIVERSTONE**  
REGENCY REALTY GROUP

**SHEET NUMBER**  
C7.2



MATCH LINE - SEE SHEET C7.2



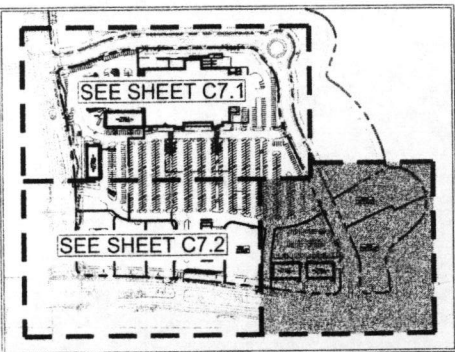
LEGEND	
PROPERTY LINE	
LOT LINE	
RAVINE LIMITS	
WATERLINE	
STORM LINE	
SANITARY SEWER LINE	
UNDERGROUND ELECTRIC DUCT BANK	
UNDERGROUND ELECTRIC CONDUIT	
OVERHEAD ELECTRIC LINES	CE DE DE
UNDERGROUND DATA CONDUIT	COMA COMA
UNDERGROUND GAS LINE	
PROPOSED MANHOLE	⊙
PROPOSED GRATE INLET	⊕
PROPOSED CURB INLET	⊖
STORM/SANITARY SEWER CROSSING (NOT CROSSING TABLE OR C/S)	✕

- STORM SEWER NOTES:**
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
  - CONTRACTOR SHALL FIELD VERIFY THE EXISTING HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES IN FIELD PRIOR TO COMMENCING CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
  - PUBLIC STORM LINES AS WELL AS CONNECTIONS TO EXISTING PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL JURISDICTION'S STANDARD SPECIFICATIONS AND DETAILS WITH ALL ADDENDA AND AMENDMENTS THERETO. STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:
    - PIPE - NEW 8" CLASS B - REQUIRED IN PUBLIC RIGHT OF WAY AND AT CONNECTION POINTS TO PUBLIC STORM SEWER.
    - HOPE - AASHTO M254 TYPE S R ASTM F 2306 SMOOTH WALL.
    - PVC - ASTM D 3034 SDR35.
  - ALL EXISTING AND PROPOSED PIPES AND STRUCTURES ARE TO BE CLEANED OUT AT THE COMPLETION OF CONSTRUCTION TO REMOVE ALL SILT AND DEBRIS.
  - ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUNDED TO ASSURE CONNECTION AT STRUCTURE IS WATER-TIGHT.
  - ALL STORM SEWER MANHOLES OR PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE STAFFED BEARING RINGS & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
  - ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POLISHED MORTAR INVERT FROM INVERT IN TO INVERT OUT. EXISTING STRUCTURE INFORMATION WAS OBTAINED FROM FORMALIZED CONSTRUCTION PLANS FOR "PUBLIC WATER, SEWER, DRAINAGE AND FLOODING IMPROVEMENTS FOR CAMBRIA DRIVE AT RIVERSTONE" PREPARED BY COSTELLO IN 2018 AND THE ALTA/TOPO SURVEY CONDUCTED BY SURIA SURVEYING CO. IN MAY 2019.
  - PONDING DEPTHS ARE MEASURED IN FEET AND BASED ON 100 YR FLOOD CALCULATIONS FROM A STARTING WATER SURFACE ELEVATION (26'-0") OF 63.25 IN THE POND DIRECTLY EAST OF THE SITE OR DETERMINED BY OVERLAND SHEET FLOW BASED ON THE GRADING, WHICHEVER IS LESS.
  - A MINIMUM COVER DEPTH OF 2' FROM TOP OF PIPE TO GRADE IS REQUIRED FOR ALL HOPE AND PVC PIPES.

APPROVED: *Max D. [Signature]*  
 DATE: 6/21/16

CATCH BASIN AND MANHOLE SPECIFICATIONS	
CB-18: PER PARK USA "CATCH BASIN MODEL CB - 12" THRU 36" STD. DET.	
CB-24: PER PARK USA "CATCH BASIN MODEL CB - 12" THRU 36" STD. DET.	
CB-36: PER PARK USA "CATCH BASIN MODEL CB - 12" THRU 36" STD. DET.	
CB-48: PER PARK USA "CATCH BASIN MODEL CB - 48" THRU 84" STD. DET.	
CB-60: PER PARK USA "CATCH BASIN MODEL CB - 48" THRU 84" STD. DET.	
CURB INLET: PER PARK USA "TYPE-B CURB INLET" STD. DET.	
MANHOLE: PER PARK USA "THE CAST CONCRETE MANHOLE FOR STORM SEWER" STD. DET.	

**NOTE:**  
 ADDITIONAL LANDSCAPE INLETS WILL BE COORDINATED FOR FINAL CONSTRUCTION PLANS.  
 FOR OFFSITE PUBLIC INFRASTRUCTURE, REFERENCE THE "CAMBRIA DRIVE AT RIVERSTONE" CONSTRUCTION PLANS PREPARED BY COSTELLO, INC.



OVERALL MAP

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 11111 KIMLEY-HORN DRIVE, SUITE 100, FAYETTEVILLE, NC 28404  
 PHONE: 704-781-5000 FAX: 704-781-5001  
 WWW.KIMLEY-HORN.COM TX 1-928

**STORM SEWER PLAN**  
**(3 OF 3)**

THE VILLAGE AT RIVERSTONE  
 REGENCY REALTY GROUP

SHEET NUMBER  
**C7.3**

NO.	REVISIONS	DATE

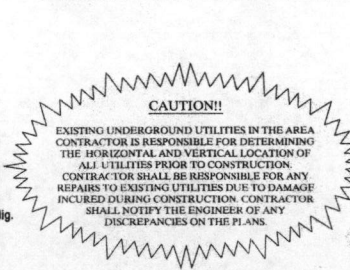
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C8.1

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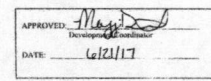
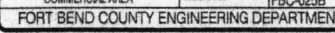
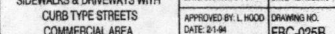
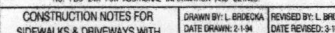
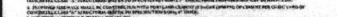
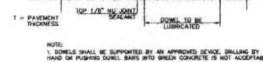
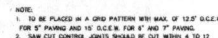
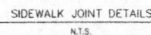












**Kimley»»Horn**



KHA PROJECT 064463709	DATE 4/19/17	SALE AS SHOW	SIGNED BY	KM
			SIGNED BY	KM

CONSTRUCTION  
DETAILS (1 OF 9)

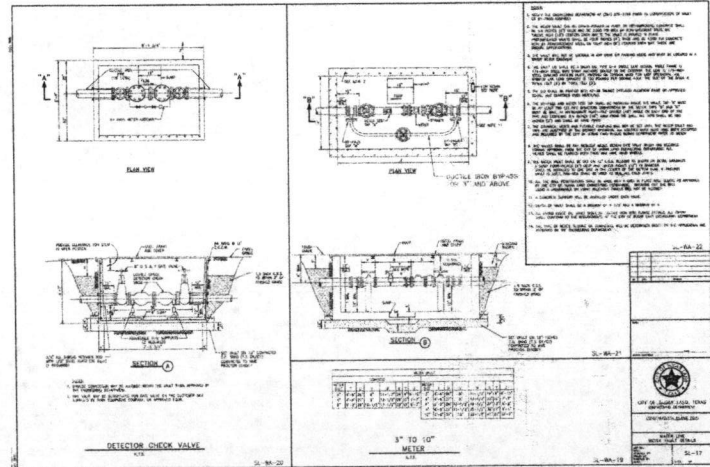
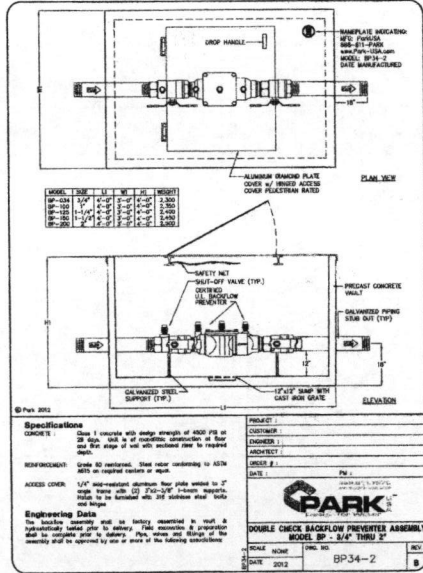
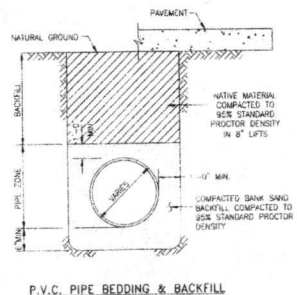
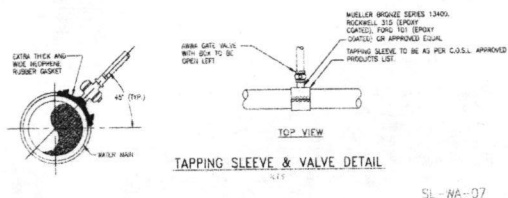
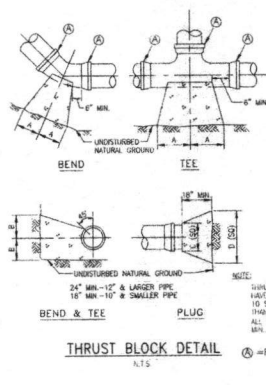
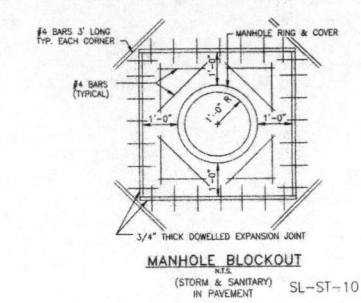
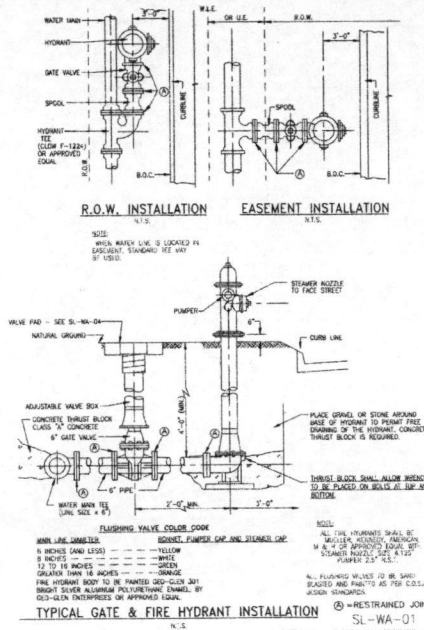
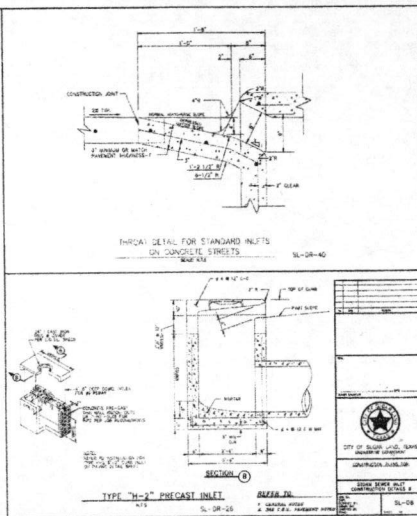
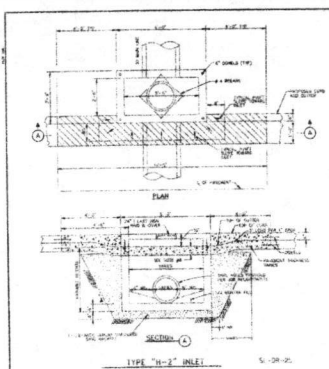
THE VILLAGE AT  
RIVERSTONE  
REGENCY REALTY GROUP

SHEET NUMBER  
C90

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713-961-8000 FAX 713-961-8022  
WWW.KIMLEY-HORN.COM TS F-028

DATE: 4/17/17  
SCALE: AS SHOWN  
DESIGNED BY: [Signature]  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]

**CONSTRUCTION DETAILS (3 OF 9)**

**THE VILLAGE AT RIVERSTONE**  
REGENCY REALTY GROUP

APPROVED: [Signature]  
DATE: 6/21/17

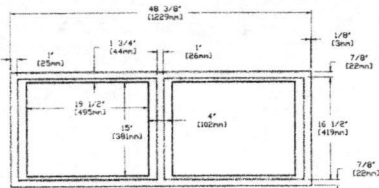
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**C9.2**

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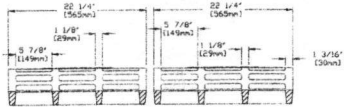
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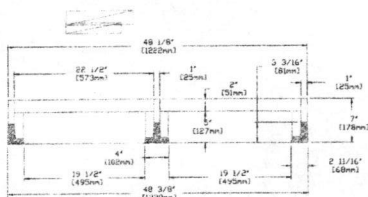


FRAME TOP VIEW



GRATE SECTION

GRATE SECTION

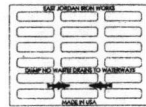


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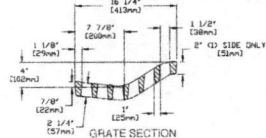
CATCH BASIN ASSEMBLY

N.T.S.

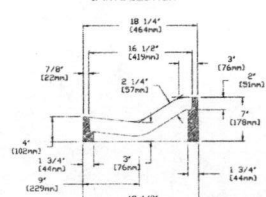
GRATE COVER IS C.I.V. OR APPROVED EQUAL



GRATE TOP VIEW

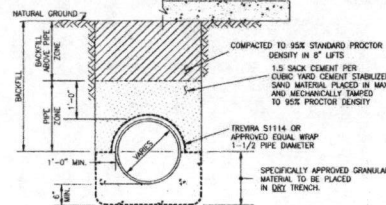


GRATE SECTION



FRAME SECTION

SL-DR-03



MODIFIED "A"

N.T.S.

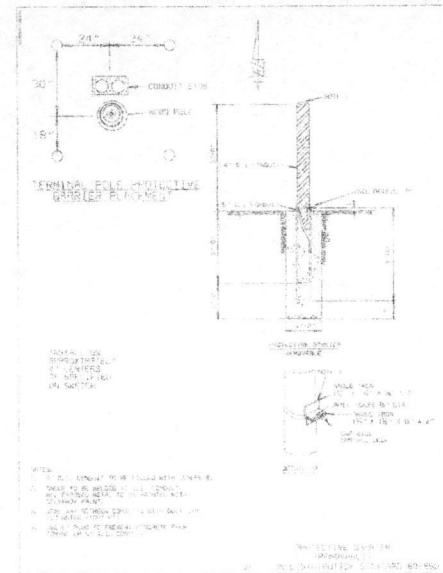
NOTE: C.S.S. SHALL BE INSTALLED A MIN. 1" ABOVE TOP OF PIPE.

### SANITARY SEWER BEDDING AND BACKFILL

\*TO BE USED FOR PUBLIC SEWER LINES

SL-BB-03

REFER TO:  
1. GENERAL NOTES  
2. C.S.S. NOTES



\*TO BE USED IN CENTERPOINT EASEMENT

S/A	90° BEND				45° BEND				22 1/2° BEND				TEES				PLUGS			
	A	B	A	B	A	B	A	B	A	B	A	B	A	B	A	B	A	B		
1 1/2"	12"	7"	6"	7"	6"	6"	7"	6"	6"	7"	6"	6"	6"	7"	6"	6"	6"	14"		
2"	16"	10"	9"	10"	9"	10"	9"	10"	9"	10"	9"	10"	9"	10"	9"	10"	9"	21"		
3"	22"	15"	12"	15"	12"	15"	12"	15"	12"	15"	12"	15"	12"	15"	12"	15"	12"	28"		
4"	28"	19"	14"	19"	14"	19"	14"	19"	14"	19"	14"	19"	14"	19"	14"	19"	14"	36"		
6"	34"	23"	18"	23"	18"	23"	18"	23"	18"	23"	18"	23"	18"	23"	18"	23"	18"	41"		
8"	40"	28"	21"	28"	21"	28"	21"	28"	21"	28"	21"	28"	21"	28"	21"	28"	21"	48"		
10"	46"	34"	25"	34"	25"	34"	25"	34"	25"	34"	25"	34"	25"	34"	25"	34"	25"	54"		
12"	52"	40"	30"	40"	30"	40"	30"	40"	30"	40"	30"	40"	30"	40"	30"	40"	30"	60"		
14"	58"	46"	36"	46"	36"	46"	36"	46"	36"	46"	36"	46"	36"	46"	36"	46"	36"	66"		
16"	64"	52"	42"	52"	42"	52"	42"	52"	42"	52"	42"	52"	42"	52"	42"	52"	42"	72"		
18"	70"	58"	48"	58"	48"	58"	48"	58"	48"	58"	48"	58"	48"	58"	48"	58"	48"	78"		

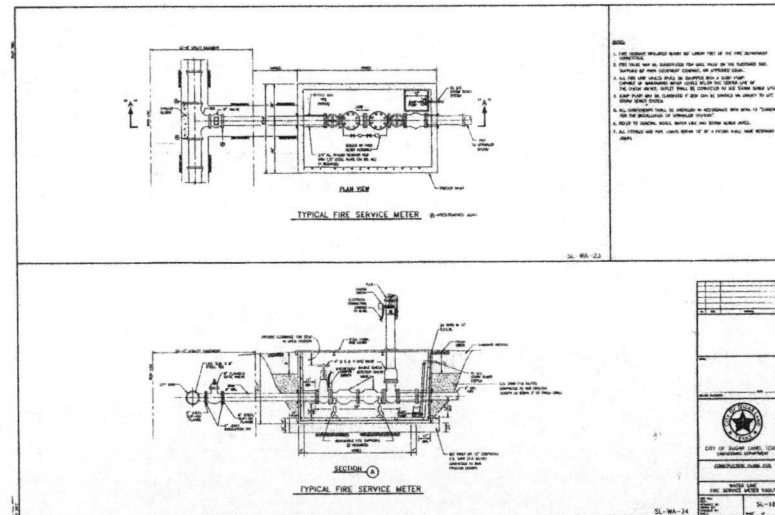
### BENDS, TEES & PLUGS FOR PIPE OF VARIOUS SIZES

SL-WA-08

#### CONSTRUCTION NOTES

1. WATER LINES 12" (305mm) AND LESS SHALL BE ARIMA C-900 DIBS. WATER LINES GREATER THAN 12" (305mm) IN Ø SHALL BE ARIMA C-900 OR 10.
2. ALL PUSHING VALVES AND GATE VALVES TO BE AMERICAN WATER WORKS ASSOC. (AWWA) STANDARD GATE/SLIDING GATE OPENING WITH NON-RISING STEM DESIGN.
3. ALL DUCTILES IRON PIPE SHALL BE CLASS 50 MORTAR LINED. NO A.C. PIPE WILL BE ALLOWED AND ALL DUCTILE IRON FITTINGS SHALL BE MORTAR LINED PUSHION OR MORTAR LINED JOINTS.
4. ALL BACKFILL WITHIN THE ROW SHALL BE COMPACTED TO 90% STANDARD PROCTOR DENSITY.
5. SPOKING SPACING BETWEEN TAPS SHALL BE 2' AT ALTERNATING TAP ANGLES.

SL-WA-08



APPROVED: *[Signature]*  
DATE: 6/21/17

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17300 KATY FREEWAY, SUITE 800, HOUSTON, TX 77059  
PH: 281.465.3708 FAX: 281.465.3709  
WWW.KIMLEY-HORN.COM TX F-288

DATE: 6/21/17

REVISIONS:

PROJECT: 05-4653708

DATE: 4/19/17

SCALE: AS SHOWN

DESIGNED BY: [Name]

CHECKED BY: [Name]

CONSTRUCTION DETAILS (5 OF 9)

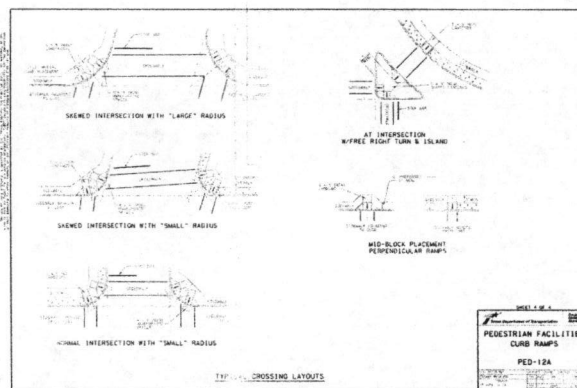
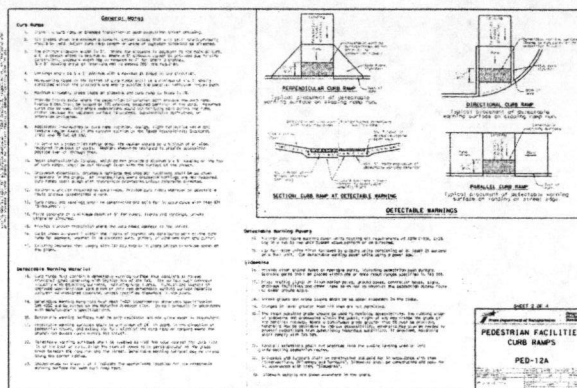
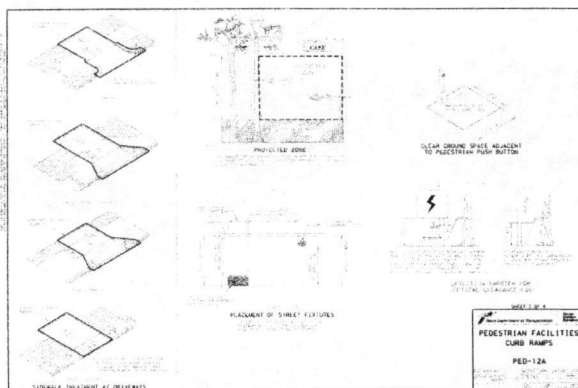
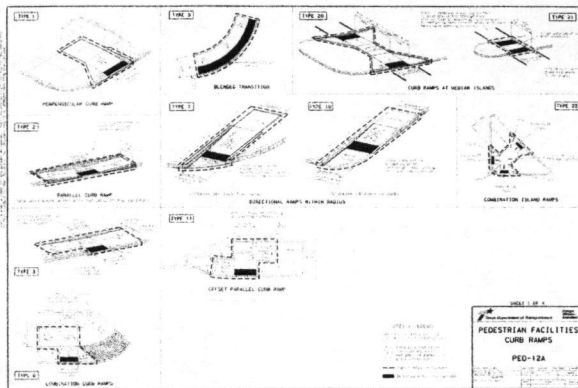
THE VILLAGE AT RIVERSTONE

REGENCY REALTY GROUP

SHEET NUMBER

C9.4

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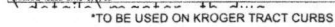
APPROVED: *[Signature]*  
DATE: 6/21/17

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PROJECT	00440709
SCALE	AS SHOWN
DATE	4/19/17
DESIGNED BY	AM
DRAWN BY	AM
CHECKED BY	AM
CONSTRUCTION DETAILS (6 OF 9)	
THE VILLAGE AT RIVERSTONE REGENCY REALTY GROUP	
SHEET NUMBER C9.5	
REVISIONS	
DATE	BY

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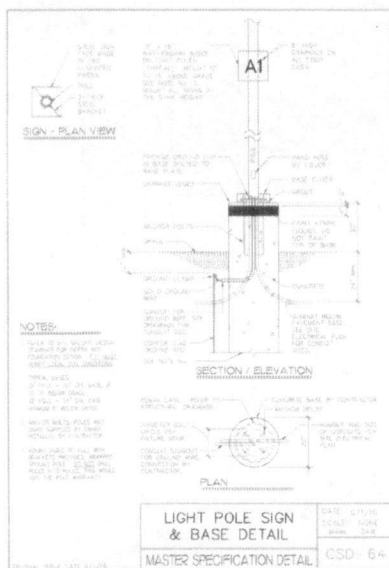
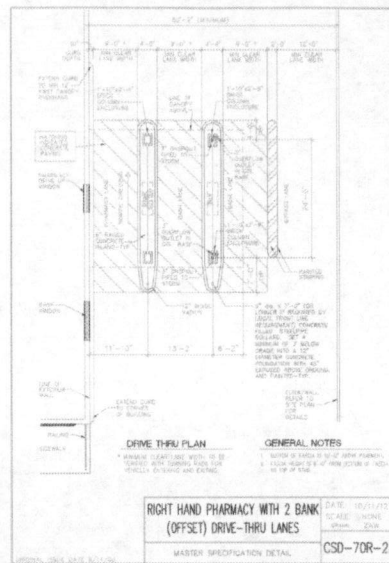
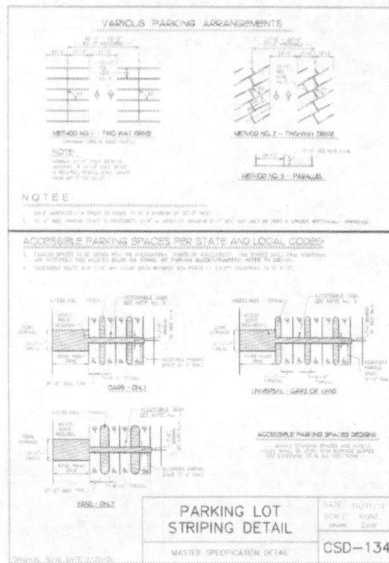




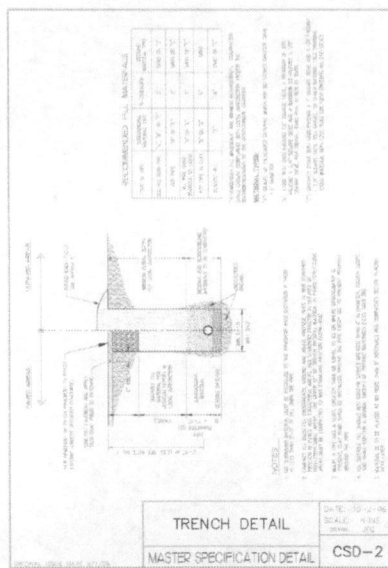
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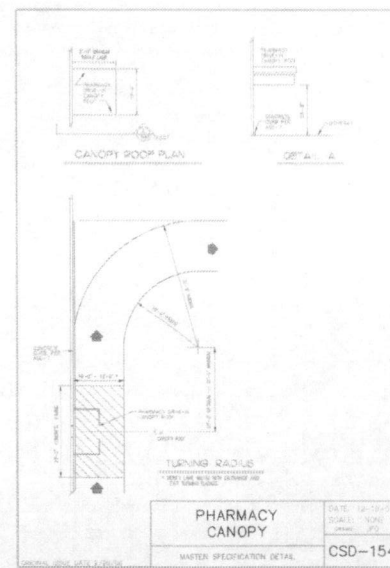
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\*TO BE USED ON KROGER TRACT LIGHT POLES



\*TO BE USED ON KROGER TRACT LINES



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DATE: \_\_\_\_\_

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NO. \_\_\_\_\_

REVISIONS \_\_\_\_\_

DATE \_\_\_\_\_

**THE VILLAGE AT RIVERSTONE**  
REGENCY REALTY GROUP

CONSTRUCTION DETAILS (9 OF 9)

PROJECT NO. \_\_\_\_\_

DATE: 4/18/17

SCALE: AS SHOWN

DESIGNED BY: \_\_\_\_\_

CHECKED BY: \_\_\_\_\_

APPROVED BY: \_\_\_\_\_

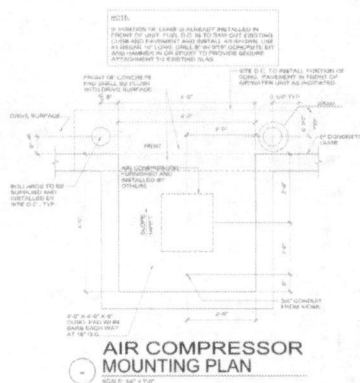
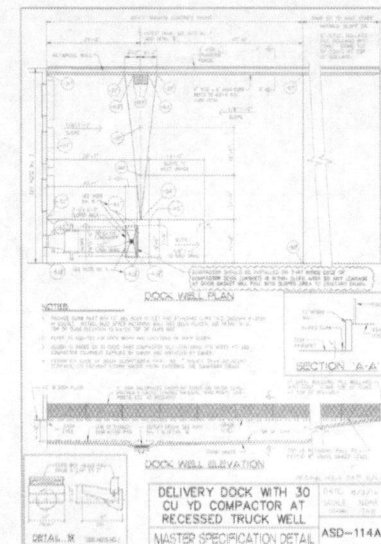
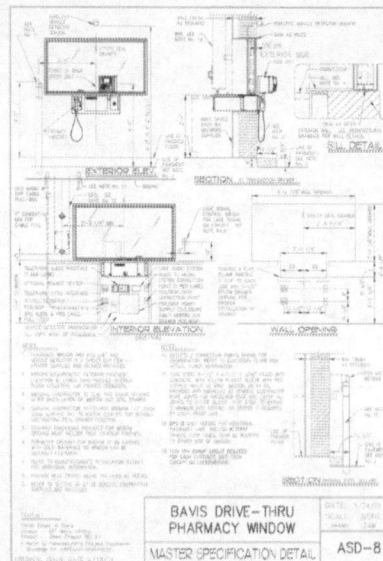
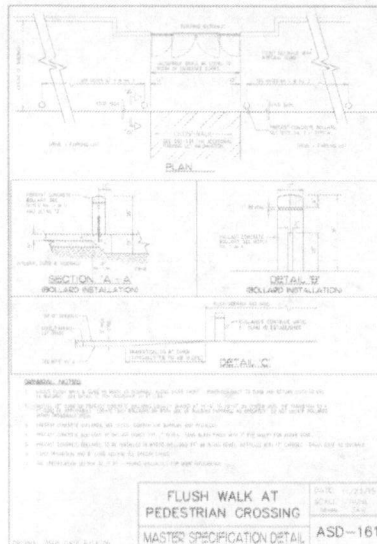
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DATE: 6/27/14 SCALE: AS SHOWN DESIGNED BY: KIM CHECKED BY: KIM	DATE: 6/27/14 SCALE: AS SHOWN DESIGNED BY: KIM CHECKED BY: KIM	SHEET NUMBER <b>C9.9</b>	THE VILLAGE AT RIVERSTONE REGENCY REALTY GROUP

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