



**REVIEW BY FORT BEND COUNTY
COMMISSIONERS COURT**

**Fort Bend County
Engineering Department**
301 Jackson Suite 401
Richmond, Texas 77469
281.633.7500
Permits@fortbendcountytexas.gov



Right of Way Permit



Commercial Driveway Permit

Permit No: 2016-10646

Applicant: KHH Interest, Inc. dba Cactus Commercial

Job Location Site: 21807 Beechnut Street, Richmond, TX 77407

Bond No. **Date of Bond:** 11/22/2016 **Amount:** \$10,000.00

The above applicant came to make use of certain Fort Bend County property subject to, "The Order Regulating the Laying, Construction, Maintenance, and Repair of Buried Cables, Conduits, and Pole Lines, In, Under, Across or Along Roads, Streets, Highways, and Drainage Ditches in Fort Bend County, Texas, Under the Jurisdiction of the Commissioners Court of Fort Bend County, Texas," as passed by the Commissioners Court of Fort Bend County, Texas, of the Minutes of the Commissioners Court of Fort Bend County, Texas, to the extent that such order is not inconsistent with Chapter 181, Vernon's Texas Statutes and Codes Annotated.

Notes:

1. Evidence of review by the Commissioners Court must be kept on the job site and failure to do so constitutes grounds for job shutdown.
2. Written notices are required:
 - a. 48 hours in advance of construction start up, and
 - b. When construction is completed and ready for final inspection, submit notification to Permit Administrator thru MyGovernmentOnline.org portal.
3. This permit expires one (1) year from date of permit if construction has not commenced.

On this 3rd day of January, 2017, Upon Motion of Commissioner Meyers, seconded by Commissioner Patterson, duly put and carried, it is ORDERED, ADJUDGED AND DECREED that said notice of said above purpose is hereby acknowledged by the Commissioners Court of Fort Bend County, Texas, and that said notice be placed on record according to the regulation order thereof.

Signature

By: Charles O. Ay

for County Engineer

N/A

By: _____

Drainage District Engineer/Manager

Presented to Commissioners Court and approved.

Date Recorded 1-10-2017 Comm. Court No. 18H

Clerk of Commissioners Court

By: Amelia Waller

Deputy



**PERMIT APPLICATION REVIEW FORM FOR
CABLE, CONDUIT, AND POLE LINE ACTIVITY
IN FORT BEND COUNTY**

**Fort Bend County
Engineering Department**
301 Jackson Suite 401
Richmond, Texas 77469
281.633.7500
Permits@fortbendcountytexas.gov

- ☐ Right of Way Permit
☒ Commercial Driveway Permit

Permit No: 2016-10646

The following "Notice of Proposed Cable, Conduit, and/or Pole Line activity in Fort Bend County" and accompanying attachments have been reviewed and the notice conforms to appropriate regulations set by Commissioner's Court of Fort Bend County, Texas.

(1) COMPLETE APPLICATION FORM:

- ☒ a. Name of road, street, and/or drainage ditch affected.
☒ b. Vicinity map showing course of directions
☒ c. Plans and specifications

(2) BOND:

- ☐ County Attorney, approval when applicable.
- ☐ Perpetual bond currently posted. Bond No: _____ Amount: _____
- ☒ Performance bond submitted. Bond No: XXXXXXXXXX Amount: \$10,000.00
- ☐ Cashier's Check Check No: _____ Amount: _____

(3) DRAINAGE DISTRICT APPROVAL (WHEN APPLICABLE):

Drainage District Approval

Date

We have reviewed this project and agree it meets minimum requirements.

Charles O. Ay

Permit Administrator

12/22/16

Date

**PERFORMANCE BOND COVERING ALL CABLE, CONDUIT AND/OR POLE LINE
ACTIVITY IN, UNDER, ACROSS OR ALONG FORT BEND COUNTY ROAD**
AUTHORIZED

BOND NO. [REDACTED]
THE STATE OF TEXAS §
COUNTY OF FORT BEND §
KNOW ALL MEN BY THESE PRESENTS:

THAT WE, KHH Interest, Inc. dba Cactus Commercial whose
address is 12705 S. Kirkwood Road, #220 Stafford, TX 77477 Texas, hereinafter called the Principal,
And International Fidelity Insurance Company, a Corporation existing under and by virtue of
the laws of the state of New Jersey and authorized to do an indemnifying business in the state of Texas, and whose
principal office is located at One Newark Center, 20th Floor, Newark, NJ 07102, whose officer residing
in the State of Texas, authorized to accept service in all suits and actions brought whining said state is Texas and
Whose address is 10077 Grogans Mill Road, Suite 260, The Woodlands, TX 77380, hereinafter called the Surety, and held and
firmly bound unto, Robert e. Hebert, County Judge of Fort Bend County, Texas, or his successors in office, in the full sum
of Ten Thousand and 00/100 Dollars (\$ 10,000.00) current, lawful money of the United States of
America, to be paid to said Robert E. Hebert, County Judge of Fort Bend County, Texas, or his successors in office, to
which payment well and truly to be made and done, we, the undersigned, bind ourselves and each of us, our heirs,
executors, administrators, successors, assigns, and legal representatives, jointly and severally, by these presents.

THE CONDITION OF THIS BOND IS SUCH THAT, WHEREAS, the above bounden principal contemplates
laying, constructing, maintaining and/or repairing one or more cables, conduits, and/or pole lines in, under, across and/or
along roads, streets and highways, commercial driveway and median openings or modifications in the County of Fort
Bend, and the State of Texas, under the jurisdiction of the Commissioners' Court of Fort Bend County, Texas, pursuant to
the Commissioners' Court order adopted on the 1st day of December, A.D. 1980, recorded in Volume 13, of the
Commissioners' Court Minutes of Fort Bend County, Texas, regulating same, which Commissioners' Court order is hereby
referred to and made a part hereof for all purposes as though fully set out herein;

AND WHEREAS, the principal desires to provide Fort Bend County with a performance bond covering all such
cable, conduit and/or pole line activity, commercial driveway and median openings or modifications;

NOW, THEREFORE, if the above bounden principal shall faithfully perform all its cable, conduit and/or pole line
activity (including, but not limited to the laying, construction, maintenance and/or repair of cables, conduits and/or pole
lines) in, under, across and/or along roads, streets and highways, commercial driveway and median openings or
modifications in the County of Fort Bend and State of Texas, under the jurisdiction of the Commissioners Court of Fort
Bend County, Texas, pursuant to and in accordance with minimum requirements and conditions of the above mentioned
Commissioners' Court order set forth and specified to be by said principal done and performed, at the time and in the
manner therein specified, and shall pay over and make good and reimburse Fort Bend County, all loss and damages which
Fort Bend County may sustain by reason of any failure or default on the part of said principal, then this obligation shall be
null and void, otherwise to remain in full force and effect.

This bond is payable at the County Courthouse in the County of Fort Bend and State of Texas.

It is understood that at any time Fort Bend County deems itself insecure under this bond, it may require further
and/or additional bonds of the principal.

EXECUTED this 22nd day of November, 2016.

KHH Interest, Inc. dba Cactus Commercial

PRINCIPAL

BY

International Fidelity Insurance Company

SURETY

BY Dennis M. Descant, Jr. Attorney- In- Fact

POWER OF ATTORNEY

INTERNATIONAL FIDELITY INSURANCE COMPANY ALLEGHENY CASUALTY COMPANY

ONE NEWARK CENTER, 20TH FLOOR NEWARK, NEW JERSEY 07102-5207

KNOW ALL MEN BY THESE PRESENTS: That INTERNATIONAL FIDELITY INSURANCE COMPANY, a corporation organized and existing under the laws of the State of New Jersey, and ALLEGHENY CASUALTY COMPANY, a corporation organized and existing under the laws of the State of New Jersey, having their principal office in the City of Newark, New Jersey, do hereby constitute and appoint

ALICIA CANTAVELLA, CHERYL A. SANDERS, DENNIS M. DESCANT, JR., JEFFREY L. BRADY

Houston, TX.

their true and lawful attorney(s)-in-fact to execute, seal and deliver for and on its behalf as surety, any and all bonds and undertakings, contracts of indemnity and other writings obligatory in the nature thereof, which are or may be allowed, required or permitted by law, statute, rule, regulation, contract or otherwise, and the execution of such instrument(s) in pursuance of these presents, shall be as binding upon the said INTERNATIONAL FIDELITY INSURANCE COMPANY and ALLEGHENY CASUALTY COMPANY, as fully and amply, to all intents and purposes, as if the same had been duly executed and acknowledged by their regularly elected officers at their principal offices.

This Power of Attorney is executed, and may be revoked, pursuant to and by authority of the By-Laws of INTERNATIONAL FIDELITY INSURANCE COMPANY and ALLEGHENY CASUALTY COMPANY and is granted under and by authority of the following resolution adopted by the Board of Directors of INTERNATIONAL FIDELITY INSURANCE COMPANY at a meeting duly held on the 20th day of July, 2010 and by the Board of Directors of ALLEGHENY CASUALTY COMPANY at a meeting duly held on the 15th day of August, 2000:

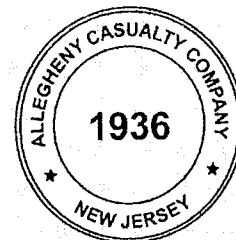
"RESOLVED, that (1) the President, Vice President, Chief Executive Officer or Secretary of the Corporation shall have the power to appoint, and to revoke the appointments of, Attorneys-in-Fact or agents with power and authority as defined or limited in their respective powers of attorney, and to execute on behalf of the Corporation and affix the Corporation's seal thereto, bonds, undertakings, recognizances, contracts of indemnity and other written obligations in the nature thereof or related thereto; and (2) any such Officers of the Corporation may appoint and revoke the appointments of joint-control custodians, agents for acceptance of process, and Attorneys-in-fact with authority to execute waivers and consents on behalf of the Corporation; and (3) the signature of any such Officer of the Corporation and the Corporation's seal may be affixed by facsimile to any power of attorney or certification given for the execution of any bond, undertaking, recognizance, contract of indemnity or other written obligation in the nature thereof or related thereto, such signature and seals when so used whether heretofore or hereafter, being hereby adopted by the Corporation as the original signature of such officer and the original seal of the Corporation, to be valid and binding upon the Corporation with the same force and effect as though manually affixed."

IN WITNESS WHEREOF, INTERNATIONAL FIDELITY INSURANCE COMPANY and ALLEGHENY CASUALTY COMPANY have each executed and attested these presents on this 31st day of December, 2015.



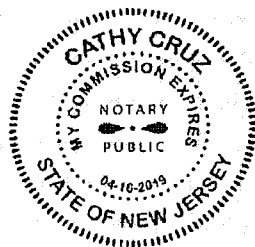
STATE OF NEW JERSEY
County of Essex

ROBERT W. MINSTER
Chief Executive Officer (International Fidelity Insurance Company) and President (Allegheny Casualty Company)



On this 31st day of December 2015, before me came the individual who executed the preceding instrument, to me personally known, and, being by me duly sworn, said he is the therein described and authorized officer of INTERNATIONAL FIDELITY INSURANCE COMPANY and ALLEGHENY CASUALTY COMPANY; that the seals affixed to said instrument are the Corporate Seals of said Companies; that the said Corporate Seals and his signature were duly affixed by order of the Boards of Directors of said Companies.

IN TESTIMONY WHEREOF, I have hereunto set my hand affixed my Official Seal, at the City of Newark, New Jersey the day and year first above written.



A NOTARY PUBLIC OF NEW JERSEY
My Commission Expires April 16, 2019.

CERTIFICATION

I, the undersigned officer of INTERNATIONAL FIDELITY INSURANCE COMPANY and ALLEGHENY CASUALTY COMPANY, do hereby certify that I have compared the foregoing copy of the Power of Attorney and affidavit, and the copy of the Sections of the By-Laws of said Companies as set forth in said Power of Attorney, with the originals on file in the home office of said companies, and that the same are correct transcripts thereof, and of the whole of the said originals, and that the said Power of Attorney has not been revoked and is now in full force and effect.

IN TESTIMONY WHEREOF, I have hereunto set my hand this

22nd day of November, 2016

MARIA BRANCO, Assistant Secretary

IMPORTANT NOTICE

TO OBTAIN INFORMATION OR MAKE A COMPLAINT:

You may call International Fidelity Insurance Company's toll-free telephone number for information or to make a complaint at:

800-333-4167

You may also write to International Fidelity Insurance Company at:

**Attn: Claims Department
One Newark Center, 20th Floor
Newark, NJ 07102**

You may contact the Texas Department of Insurance to obtain information on companies, coverages, rights or complaints at:

800-252-3439

You may write the Texas Department of Insurance at:

**P.O. Box 149104
Austin, TX 78714-9104**

ATTACH THIS NOTICE TO YOUR BOND. This notice is for information only and does not become a part or a condition of the attached document and is given to comply with Section 2253.048, Government Code, and Section 53.202, Property Code, effective September 1, 2001.

FORT BEND COUNTY M.U.D. No. 50

FORT BEND COUNTY, TEXAS

PLANS FOR CONSTRUCTION

OF

PAVING, STORM SEWER, SANITARY SEWER, AND WATER LINE

TO SERVE

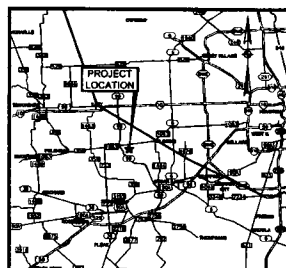
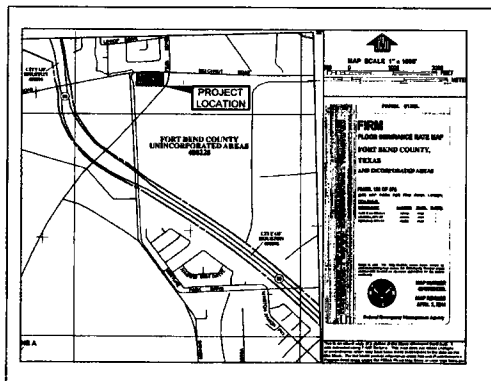
PARKWAY BEECHNUT WEST - 2 ACRE COMMERCIAL TRACT

21807 BEECHNUT ST., RICHMOND, TX 77407

2.0 ACRES

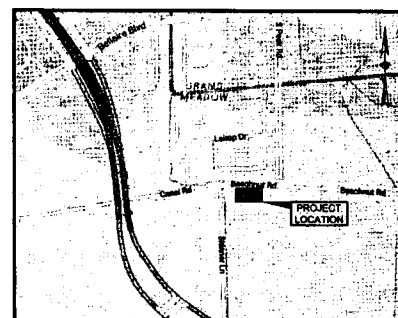
Sheet List Table

Sheet No.	Sheet Title
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C3	DIMENSION CONTROL PLAN
C4	GRADING & PAVING PLAN
C5	DRAINAGE AND STORM SEWER PLAN
C6	SANITARY SEWER AND WATER LINE LAYOUT
C7	FIRE LANE LAYOUT
C8	STORM WATER POLLUTION PREVENTION PLAN
C9	STORM WATER POLLUTION PREVENTION PLAN DETAILS
C10	UTILITY DETAILS
C11	SITE AND UTILITY DETAILS
C12	SITE DETAILS
C13	TOPOGRAPHIC SURVEY
C14	PLAT



LOCATION MAP

N.T.S.



VICINITY MAP

N.T.S.



16340 park ten place
suite 350
houston, texas 77084
phone: 713-461-9600

TEXAS FIRM REGISTRATION NO. F-487

FORT BEND COUNTY ENGINEER

ENGINEER: *Richard W. Stollers, P.E.*
FOR RICHARD W. STOLLERS, P.E.

DATE: 11/19/16

THESE SIGNATURES ARE VOID IF CONSTRUCTION HAS NOT COMMENCED IN ONE (1) YEAR FROM DATE OF APPROVAL.

APPROVAL IS LIMITED TO IMPROVEMENTS WITHIN FORT BEND COUNTY RIGHTS OF WAY ONLY. UTILITY LINES APPROVED AS TO LOCATION ONLY. AUTHORIZATION IS VALID FOR 1 YEAR.

APPROVED: *Carolee J. King*
DEVELOPMENT COORDINATOR

DATE: 11-18-2016



CONSTRUCT WASTEWATER COLLECTION SYSTEMS, WATER LINES AND STORM DRAINAGE IN ACCORDANCE WITH THE LATEST EDITION OF THE PUBLICATIONS STANDARD CONSTRUCTION SPECIFICATIONS FOR WASTEWATER COLLECTION SYSTEMS, WATER LINES, STORM DRAINAGE, AND STREET PAVING AND STANDARD CONSTRUCTION DETAILS FOR WASTEWATER COLLECTION SYSTEMS, WATER LINES, STORM DRAINAGE, AND STREET PAVING.

- PRIVATE UTILITY NOTES**

ADDITIONAL COMMENTS:

- STORM SEWER CONSTRUCTION NOTE**

- SANITARY SEWER CONSTRUCTION NOTES**


- SANITARY SEWER FORCE MAIN CONSTRUCTION NOTES**

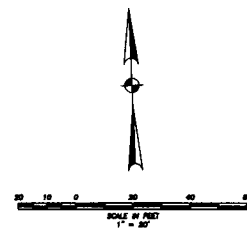
- WATER LINE CONSTRUCTION NOTES

- ### TRAFFIC NOTES

- *CONTRACTOR MUST SECURE "LANE/SIDEWALK CLOSURE PERMITS" FROM CITY'S TRAFFIC MANAGEMENT AND MAINTENANCE BRANCH BEFORE

- #### ABBREVIATIONS

- | | | | | | | | | | | | | | | | | | |
|------------------|--|--|--|--|-------|-------------|--------|--|-----------|------|-----------------|------|-----------------|------|-----------------|------|-------------------------------------|
| <p>C2</p> | <p>r.g.miller
engineers
since 1918
15406 park lane - suite 500 - houston, texas 77060
TEXAS FIRM REGISTRATION NO. F-487</p> | <p></p> | <p>CITY OF RICHMOND
FORT BEND COUNTY
PARKWAY BEECHNUT WEST -
2 ACRE COMMERCIAL TRACT
2.0 ACRES</p> | <p>GENERAL CONSTRUCTION NOTES</p> <table border="1"> <tr> <td>DATE:</td> <td>April, 2016</td> <td>SCALE:</td> <td></td> </tr> <tr> <td>DRAWN BY:</td> <td>A.S.</td> <td>FIELD CHECK BY:</td> <td>J.S.</td> </tr> <tr> <td>FIRST CHECK BY:</td> <td>J.S.</td> <td>FINAL CHECK BY:</td> <td>J.S.</td> </tr> </table> | DATE: | April, 2016 | SCALE: | | DRAWN BY: | A.S. | FIELD CHECK BY: | J.S. | FIRST CHECK BY: | J.S. | FINAL CHECK BY: | J.S. | <p>2 ACRE COMMERCIAL TRACT-4027</p> |
| DATE: | April, 2016 | SCALE: | | | | | | | | | | | | | | | |
| DRAWN BY: | A.S. | FIELD CHECK BY: | J.S. | | | | | | | | | | | | | | |
| FIRST CHECK BY: | J.S. | FINAL CHECK BY: | J.S. | | | | | | | | | | | | | | |



SANCTIONS

DATE: April, 2016 SCALE: 1"=20'

2.0 ACRES



16340 park lara place - suite 350- Houston, Texas 77064

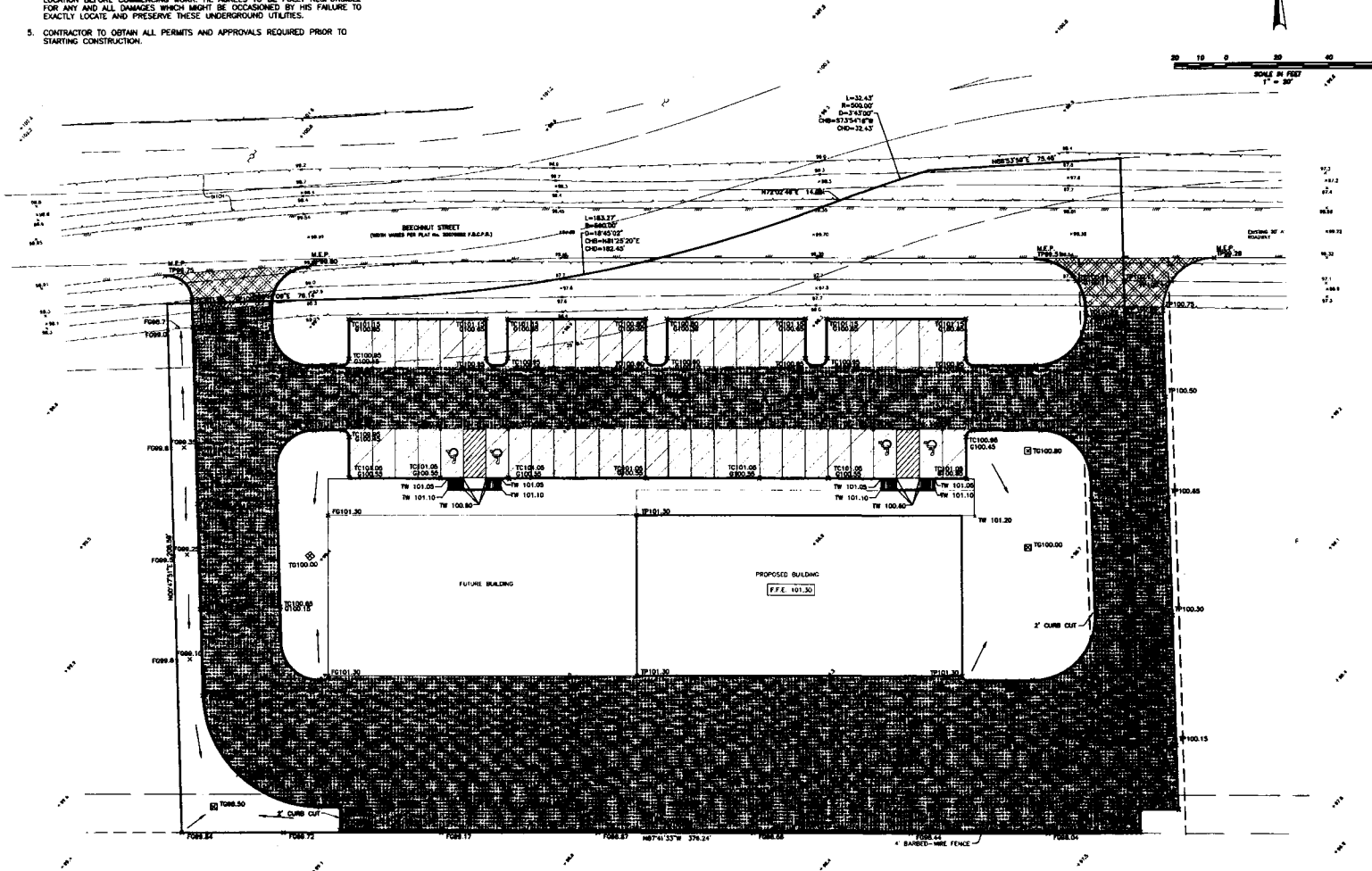
1. ALL UNDERGROUND UTILITIES SHOWN ARE NOT GUARANTEED TO BE COMPLETE OR DEFINITE, BUT WERE OBTAINED FROM THE BEST INFORMATION AVAILABLE.
2. CONTRACTOR TO VERIFY ALL UNDERGROUND UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION.
3. THE LOCATION OF ALL UTILITIES PRESENTED ON THESE DRAWINGS IS SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND UTILITIES.
4. CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS REQUIRED PRIOR TO STARTING CONSTRUCTION.
5. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

for Esmeralda Lopez 1-18-76
FBI DEVELOPMENT COORDINATOR DATE

C3

GENERAL CONSTRUCTION NOTES

1. DIMENSION CONTROL PLAN PREPARED BY R.G. MILLER ENGINEERS, INC. TO BE USED IN CONJUNCTION WITH THIS PLAN FOR LOCATING ALL IMPROVEMENTS.
2. ALL UNDERGROUND UTILITIES SHOWN ARE NOT GUARANTEED TO BE COMPLETE OR DEFUNCT, BUT WERE OBTAINED FROM THE BEST INFORMATION AVAILABLE.
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5. CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS REQUIRED PRIOR TO STARTING CONSTRUCTION.



FLOOD PLAN
 ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NO. 48020202S, REVISION DATE APRIL 2, 2014, THE SUBJECT PROPERTY LIES WITHIN ZONE 1 (UNSHADOWED) AREAS REFERENCED TO BE OUTSIDE THE 0.5% ANNUAL CHANCE FLOODPLAIN.

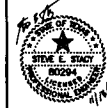
REMARKS
 PROJECT BENCHMARK: MONUMENT 87 (ADJACENT TO A STANDING TREE) WITH BENCHMARK MARK LOCATED IN A 2" HIGH PVC BULKHEAD STAMPED "MONUMENT 87" WITH "1000" IN THE CENTER OF THE MARK. THE BENCHMARK IS LOCATED 2,100 FEET EAST OF THE INTERSECTION OF BEACHVIEW STREET AND PARK ROAD. ELEVATION = 100.00 FEET (BENCHMARK IS 100.00 FEET HIGH).
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TEMPORARY BENCHMARK: TBM 171-1 - A 1" DIA. IRON PIPE 10' SOUTH OF LAMP POST ON THE WEST SIDE OF PARK ROAD. ELEVATION = 100.00 FEET.
TEMPORARY BENCHMARK: TBM 171-2 - A 1" DIA. IRON PIPE 10' EAST OF LAMP POST ON THE EAST SIDE OF PARK ROAD. ELEVATION = 100.00 FEET.
TEMPORARY BENCHMARK: TBM 171-3 - A 1" DIA. IRON PIPE 10' EAST OF LAMP POST ON THE EAST SIDE OF PARK ROAD. ELEVATION = 100.00 FEET.

LEGEND	
	Existing Storm Sewer
	Existing Sanitary Sewer
	Existing Water Line
	Existing Gas Line
	Existing Fire Hydrant
	Existing Water Valve
	Existing Water Meter
	Existing Inlet
	Existing Power Pole
	Existing Natural Ground
	Existing Top of Curb
	Existing Outlet
	M.E.P.
	TC 66.00
	G 55.50
	HP
	TP 65.47
	TW 55.00
	G 50.00
	PROPOSED GRADE
	PROPOSED CURB
	PROPOSED STORM SEWER
	PROPOSED TYPE "A" INLET
	PROPOSED TYPE "D" INLET
	PROPOSED JUNCTION BOX
	PROPOSED MANHOLE
	PROPOSED TYPE "C" MH WITH GRATE TOP
	GRADE TO DRAIN
	5' CONCRETE PAVEMENT (SEE DETAIL SHEET C11)
	6' CONCRETE PAVEMENT (SEE DETAIL SHEET C11)
	7' CONCRETE PAVEMENT (SEE DETAIL SHEET C11)

GRADING & PAVING PLAN

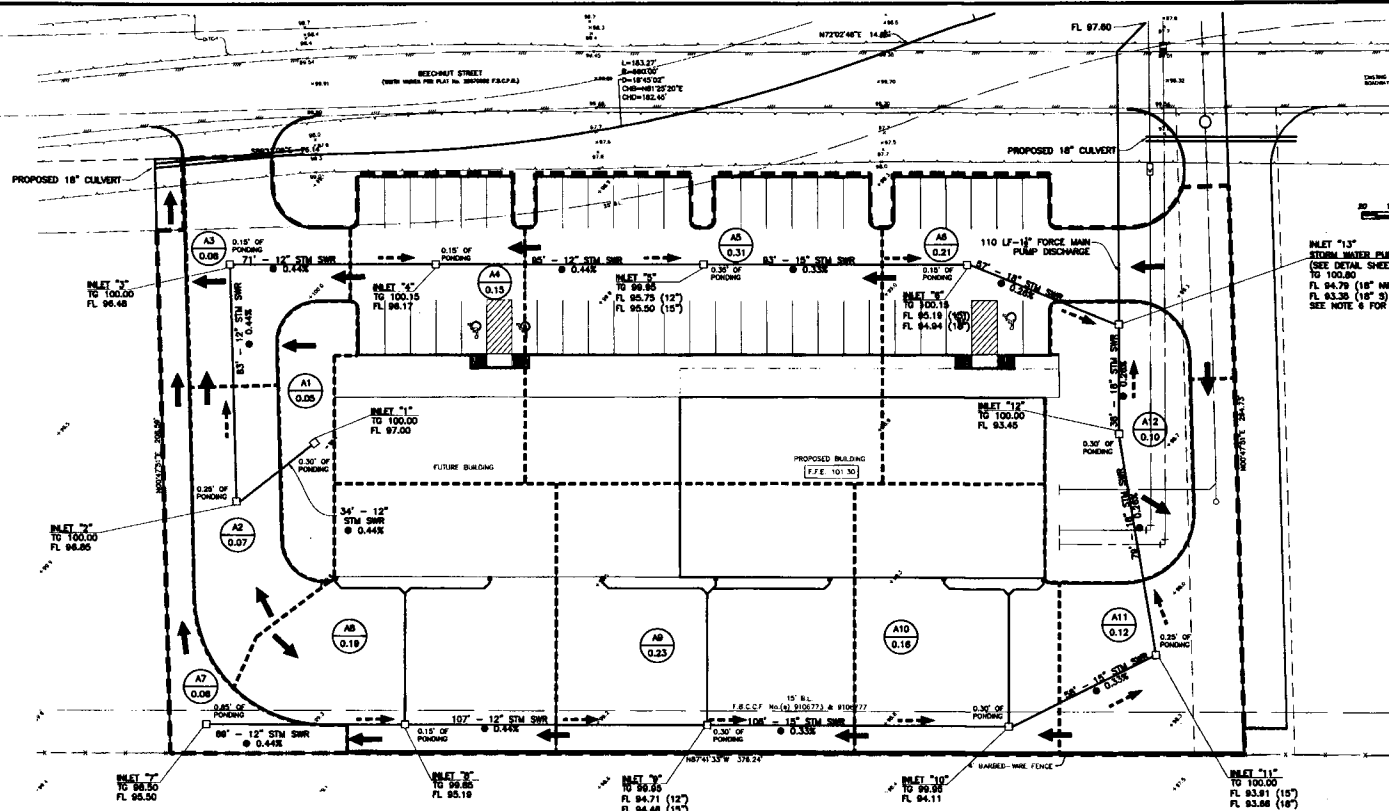
CITY OF RICHMOND
 FORT BEND COUNTY
 PARKWAY BEECHNUT WEST -
 2.0 ACRES



r.g.miller
engineers
 since 1986
 1800 Park Inn Lane - Suite 300 - Houston, Texas 77064
 TEXAS FIRM REGISTRATION NO. F-4877

C4

DATE 11/18/16
 DATE 11/18/16








[illegible]

- ### GENERAL CONSTRUCTION NOTES
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 5. CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS REQUIRED PRIOR TO STARTING CONSTRUCTION.
 6. LIBERTY LESIA, AUTOMATIC SURFACEWATER SEWAGE PUMP WITH WIDE-ANGLE FLOAT SWITCH, 1/4 HP, 115 VOLTS, 1 PHASE, 2" PUMP DISCHARGE, 150 GPM CAP, 24 FT MAXIMUM HEAD RISE PUMP IS TO BE USED FOR MAINTAINING STORM PUMP STATION. EMERGENCY POWER IS PROVIDED BY AN ON-SITE GENERATOR.

Manhole From	Manhole To	Delta Area	Area (Acres)	Runoff			Intensity (in/Hr)	Sum of Flows (CFS)	Time of Concentration (Minutes)	Pipe Time (Minutes)	Reach Length (Feet)	Diameter or Rise (Inches)	Span (Inches)	Slope %	Mannings "n"	Design Capacity (CFS)	Design Velocity (F/US)	Flowline		Actual Velocity (F/US)	Hydraulic Gradient (%)	Change in Head (Feet)	Ground/Grate		
				Coefficient C	Sum of C x A	Frequency												Elevation Upstream (Feet)	Elevation Downstream (Feet)				Upstream (Feet)	Pipe Cover (ft)	
A1	A2	0.05	0.05	0.80	0.04	100	7.50	0.32	20.96	1.40	34	12	---	0.44	0.013	2.36	3.01	0.15	97.00	96.85	0.40	0.01	0.00	100.00	2.00
A2	A3	0.07	0.12	0.80	0.10	100	7.32	0.72	22.36	1.51	83	12	---	0.44	0.013	2.36	3.01	0.37	96.85	96.48	0.92	0.04	0.03	100.00	2.15
A3	A4	0.08	0.20	0.80	0.16	100	7.14	1.16	23.87	0.80	71	12	---	0.44	0.013	2.36	3.01	0.31	96.48	96.17	1.48	0.11	0.08	100.00	2.52
A4	A5	0.15	0.35	0.80	0.28	100	7.05	1.99	24.67	0.63	95	12	---	0.44	0.013	2.36	3.01	0.42	96.17	95.75	2.53	0.31	0.30	100.15	2.98
A5	A6	0.31	0.66	0.80	0.53	100	6.96	3.70	25.30	0.51	93	15	---	0.33	0.013	3.71	3.02	0.31	95.50	95.19	3.01	0.33	0.31	99.95	3.20
A6	PUMP	0.21	0.87	0.80	0.70	100	6.82	4.83	25.81	0.35	57	18	---	0.26	0.013	5.36	3.03	0.15	94.94	94.79	2.73	0.21	0.12	100.15	3.71
A7	A8	0.06	0.06	0.80	0.05	100	7.48	0.36	21.09	2.52	69	12	---	0.44	0.013	2.36	3.01	0.30	95.50	95.19	0.46	0.01	0.01	98.50	2.00
A8	A9	0.19	0.25	0.80	0.20	100	7.17	1.43	23.81	0.98	107	12	---	0.44	0.013	2.36	3.01	0.47	95.19	94.71	1.83	0.16	0.17	99.85	3.86
A9	A10	0.23	0.48	0.80	0.38	100	7.06	2.71	24.58	0.80	106	15	---	0.33	0.013	3.71	3.02	0.35	94.46	94.11	2.21	0.18	0.19	99.95	4.24
A10	A11	0.16	0.64	0.80	0.51	100	6.97	3.57	25.39	0.33	58	15	---	0.33	0.013	3.71	3.02	0.19	94.11	93.91	2.91	0.30	0.18	99.85	4.59
A11	A12	0.12	0.78	0.80	0.61	100	6.93	4.21	25.72	0.55	79	18	---	0.26	0.013	5.36	3.03	0.21	93.86	93.45	2.38	0.16	0.13	100.00	4.84
A12	PUMP	0.10	0.86	0.80	0.69	100	6.87	4.73	26.27	0.24	38	18	---	0.26	0.013	5.36	3.03	0.10	93.45	93.35	2.68	0.20	0.06	100.00	5.05
PUMP	OFF	0.00	1.73																99.80	97.60				100.80	

LEGEND

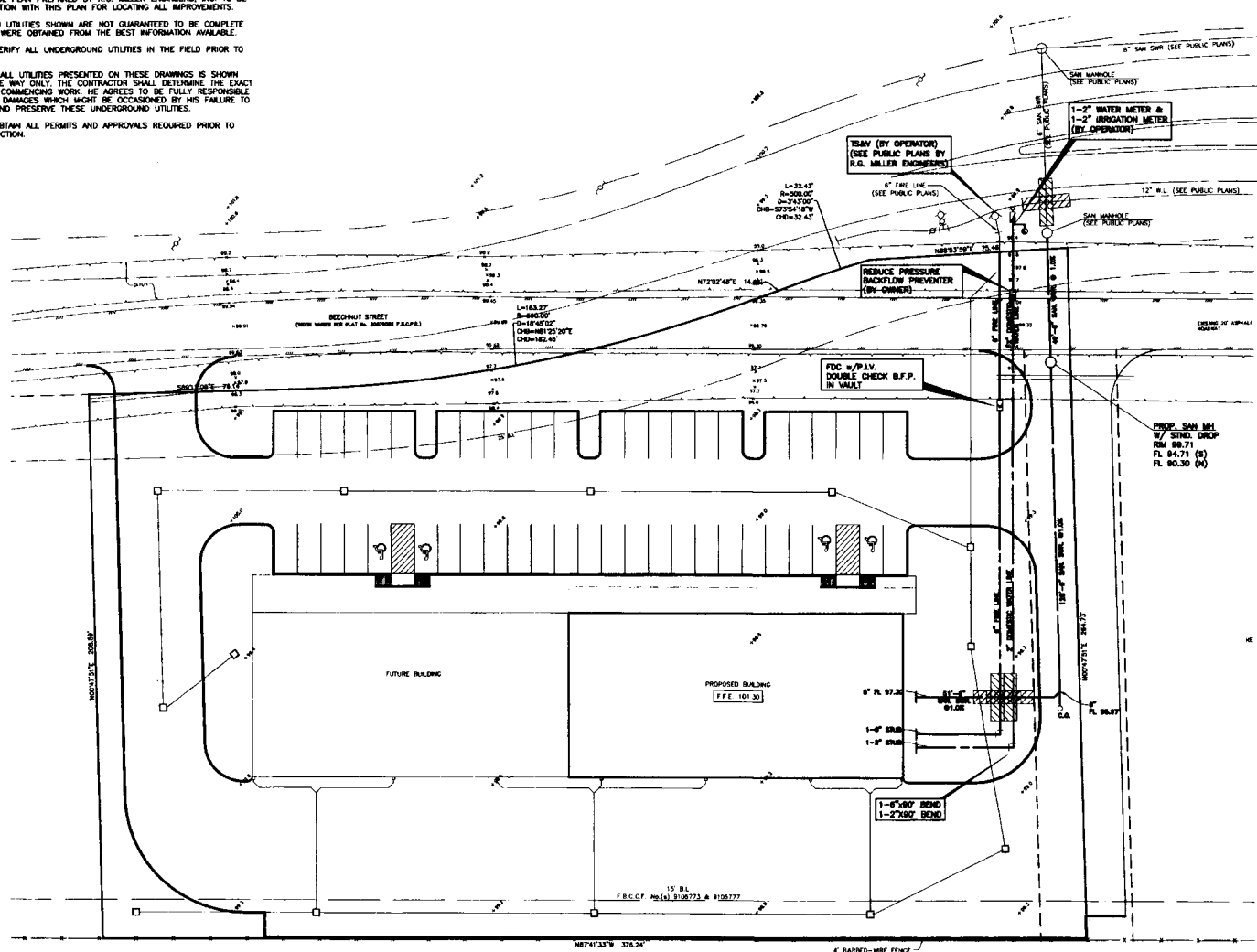
_____	Existing Storm Sewer
_____	Existing Sanitary Sewer
_____	Existing Water Line
●	Existing Manhole
○	Existing Fire Hydrant
○	Existing Water Meter
○	Existing Water Valve
■	Existing vault
■	Existing Power Pole
■	Existing Clean Out
■	Existing Wetland Grounds
15' 15' 15' 15'	Existing Top of Curve
_____	Existing Storm
PROPOSED SANITARY SEWER	
_____	PROPOSED WATER LINE
_____	PROPOSED STORM SEWER
_____	PROPOSED CLEANOUT
□	PROPOSED TYPE "A" INLET
□	PROPOSED TYPE "D" INLET
□	PROPOSED JUNCTION BOX
○	PROPOSED MANHOLE
○	PROPOSED TYPE "C" MANHOLE
○	WITH GRATE
_____	PROPOSED AREA DRAIN
■	PROPOSED WATER METER W/ VAULT
■	PROPOSED WATER METER W/ BOX
■	PROPOSED IRRIGATION METER
■	PROPOSED BACKFLOW PREVENTER

LEGEND	
SYMBOL	DESCRIPTION
	DRAINAGE AREA DESCRIPTION DRAINAGE AREA (ACRES)
	CUMULATIVE AREA (ACRES) SUM OF FLOWS (C.F.S.)
	DRAINAGE AREA BOUNDARY
	DRAINAGE SUB-AREA BOUNDARY
	PROPOSED STORM SEWER INLET OR MANHOLE NUMBER
	EXTREME EVENT (SHEET FLOW)
	EXTREME EVENT (IN PIPE)

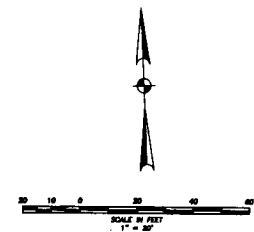
r.g.miller
engineers
since 1966
16340 park lane place • suite 300 • houston, texas 77064
TEXAS FIRM REGISTRATION NO. P-487

C5

1. DIMENSION CONTROL PLAN PREPARED BY R.G. MILLER ENGINEERS, INC. TO BE USED IN CONJUNCTION WITH THIS PLAN FOR LOCATING ALL IMPROVEMENTS.
2. ALL UNDERGROUND UTILITIES SHOWN ARE NOT GUARANTEED TO BE COMPLETE OR DEFINITE, BUT WERE OBTAINED FROM THE BEST INFORMATION AVAILABLE.
3. CONTRACTOR TO VERIFY ALL UNDERGROUND UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION.
4. THE LOCATION OF ALL UTILITIES PRESENTED ON THESE DRAWINGS IS SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITIES WHICH MIGHT BE OCCURRED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND UTILITIES.
5. CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS REQUIRED PRIOR TO STARTING CONSTRUCTION.



1. CONTRACTOR SHALL NOTIFY MUNICIPAL DISTRICT SERVICES, LLC BUILDER SERVICES DEPARTMENT AT 281-290-8503, OPTION 2, OR BY EMAIL, AT builder-services@municipaldistrictservices.com, 72 HOURS PRIOR TO CONSTRUCTION AND TO REQUEST REQUIRED INSPECTIONS. ALL SITE SANITARY SEWER SHALL BE INSPECTED BY MDS PRIOR TO BACKFILL.
2. THE OWNER OR HIS CONTRACTOR SHALL INSTALL APPROPRIATE BACKFLOW PREVENTION DEVICES IN ACCORDANCE WITH STATE PLUMBING CODES AS REQUIRED BY THE DISTRICT. THE DISTRICT OPERATOR, BACKFLOW TEST REPORTS MUST BE AVAILABLE AT THE TIME OF INSPECTION. COPIES OF ANNUAL TEST REPORTS MUST BE FORWARDED TO THE DISTRICT.

[illegible]

NOTE:
CENTER 18-FOOT JOINT (MIN.) OF SANITARY SEWER, RESTRAINED
JOINT AND 18-FOOT JOINT (MIN.) OF RESTRAINED JOINT WATER
LINE AT THE CROSSING. WATER LINE AND SANITARY SEWER MUST
HAVE 2' ABSOLUTE MINIMUM CLEARANCE.

LEGEND

Living Steam Sewer
Living Sanitary Sewer
Existing Water Line
Existing Manhole
Existing Fire Hydrant
Existing Water Valve
Existing Water Meter
Existing Inlet
Existing Power Pole
Existing Electric Box
Existing Meter Ground
Existing Top Of Curb
Existing Catch Basin

PROPOSED SANITARY SEWER

PROPOSED WATER LINE
PROPOSED STORM SEWER
PROPOSED CLEANSUIT
PROPOSED TYPE "A" INLET
PROPOSED TYPE "D" INLET
PROPOSED DIRECTION BOX
PROPOSED MANHOLE
PROPOSED TYPE "C" MANHOLE
WITH GRAVE TOP
PROPOSED AREA DRAIN
PROPOSED WATER METER W/
VAULT
PROPOSED WATER METER W/
BOX
PROPOSED IRRIGATION METER
PROPOSED BACKFLOW
PREVENTER

**SANITARY SEWER AND WATER
LINE LAYOUT**

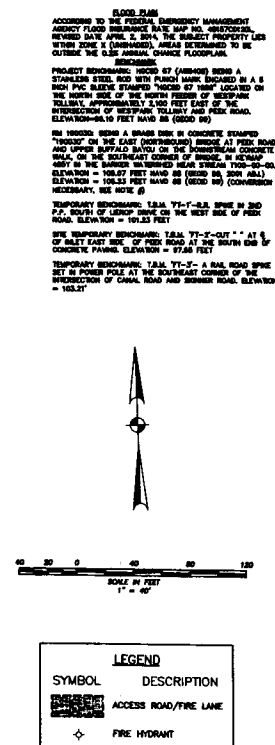
CITY OF RICHMOND
FORT BEND COUNTY
PARKWAY BEECHNUT WEST -
2 ACRE COMMERCIAL TRACT
2.0 ACRES



r.g.miller
engineers
since 1986

10340 park las place - suite 350 - bozeman, miss 37084

C6



CURBS LOCATED EITHER SIDE OF A FIRE LANE SHALL BE PAINTED RED OR A RED STRIPE SHALL BE PLACED ALONG THE PAVEMENT WHERE THERE IS NO CURB. WHERE A FIRE LANE PASSES BETWEEN HEAD IN PARKING SPACES, THE STRIPES SHALL BE PLACED ALONG THE PAVEMENT TO BE CLEARLY DEFINING THE FIRE LANE. PAINTED CURBS AND FIRE LANE STRIPES SHALL BE CONSPICUOUSLY AND LEGIBLY MARKED WITH THE WARNING "FIRE LANE" IN WHITE OR YELLOW LETTERS. THE LETTERS SHALL BE 12 IN. HIGH, AT INTERVALS NOT EXCEEDING 50 FEET. WHERE FIRE LANES ARE CLEARLY DEFINED BY CURB/PAVEMENT STRIPING, FIRE LANE SIGNS ARE NOT REQUIRED. WHERE THERE IS NO CURB OR CURB STRIPING IS NOT PRACTICAL, ANY FIRE LANE WHERE PAVEMENT OR CURB STRIPING IS NOT PRACTICAL.

ANY COLOR OTHER THAN RED MAY BE USED IN "NO PARKING" AREAS THAT ARE NOT APPROVED FIRE LANES. RED COLORED CURBS; PAVEMENT STRIPING OR WHEEL STOPS SHALL BE USED ONLY TO DESIGNATE APPROVED FIRE LANES. THE USE OF RED COLORED CURBS, PAVEMENT STRIPING, BUT MAY BE REVISED AT FIRE CODE REVIEW, BY THE BUILDING OFFICIAL.



1. STANDARD 4' CURBS: PAINT RED LANE STRIPE ON BOTH FACE AND TOP OF CURB PAINT WHITE LETTERS ON FACE AND TOP OF CURB ONLY.
2. LOW CURBS (HEADER CURBS OR NO CURBS): PAINT RED LANE STRIPE AND WHITE LETTERS ON TOP OF HEADER CURB OR PAVEMENT.
3. DESIGNATED CURBS SHALL BE PAINTED "RED" CURBS SHALL BE CONSPICUOUSLY AND LEGIBLY MARKED WITH THE WARNING "FIRE LANE NO PARKING TOW-AWAY ZONE" IN WHITE LETTER AT LEAST 3" IN HEIGHT, AT INTERVALS NOT EXCEEDING 50'.
4. DESIGNATED STRIPE ON PAVEMENT SHALL BE PAINTED "RED". STRIPES SHALL BE CONSPICUOUSLY AND LEGIBLY MARKED WITH THE WARNING "FIRE LANE NO PARKING TOW-AWAY ZONE" IN WHITE LETTERS AT LEAST 3" IN HEIGHT, AT INTERVALS NOT EXCEEDING 50'.

FIRE LANE DETAIL
N.T.S.

Casandra L. H. 11/16/16
FBC DEVELOPMENT COORDINATOR DATE

FIRE LANE LAYOUT

CITY OF RICHMOND
FORT BEND COUNTY
PARKWAY BEECHNUT WEST --
2 2 ACRE COMMERCIAL TRACT
2.0 ACRES



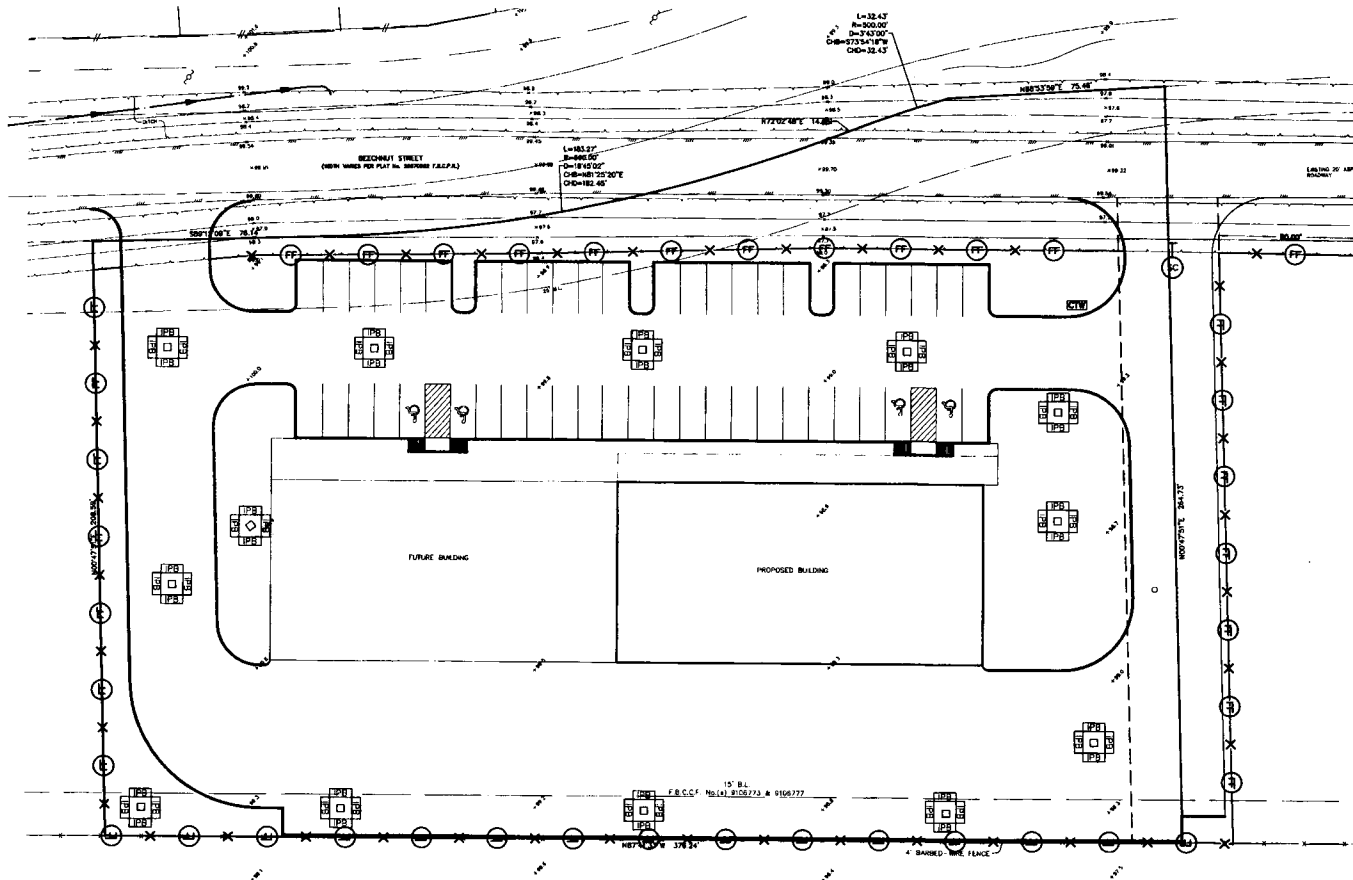
r.g.miller
engineers
since 1968

16340 park place - suite 350 - los angeles, texas 77064
704.6. 8314 - TELEPHONATION NO. 8-487

C7

GENERAL CONSTRUCTION NOTES

1. DIMENSION CONTROL PLAN PREPARED BY R.G. MILLER ENGINEERS, INC. TO BE USED IN CONJUNCTION WITH THIS PLAN FOR LOCATING ALL IMPROVEMENTS.
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5. CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS REQUIRED PRIOR TO STARTING CONSTRUCTION.



WILLIAM BRUCE HARRISON
AND HARRISON EQUITABLE
MANAGEMENT LLC
CALLED 186.5719 ACRES
F.B.C.C.F. No. 2010004327

FLOOD PLAN
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT
AGENCY FLOOD INSURANCE RATE MAP NO. 1300000000
REVISED DATE APRIL 2, 2014, THE SUBJECT PROPERTY LIES
WITHIN ZONE 1 (UNINSURABLE) AREAS DETERMINED TO BE
OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

BENCHMARK
PROJECT BENCHMARK: HICED 67 (MARKER BEING A
STANDARD STEEL ROD WITH PLUMB LINE ENGRAVED IN A 2
INCH PVC SLABE STAMPED "HICED 67" LOCATED ON
THE NORTH SIDE OF THE NORTH FENCE OF BEACHNUT
TOLLWAY, APPROXIMATELY 2,400 FEET EAST OF THE
INTERSECTION OF BEACHNUT TOLLWAY AND PEEK ROAD.
ELEVATION=86.10 FEET NAVD 83 (HICED 67)

BM HICED 67
BM HICED 67 IS A BRASS DISK IN CONCRETE STAMPED
"HICED 67" ON THE EAST (NORTHWEST) CORNER AT PEEK ROAD
AND UPPER BUFFALO BLVD ON THE SOUTHWEST CORNER
WALL ON THE SOUTHWEST CORNER OF HICED 67. IN NEAR
WEST IN THE BARBER INTERSECTION NEAR STREAM TWD-25-01.
ELEVATION = 100.27 FEET NAVD 83 (HICED 67) (HICED 67)
ELEVATION = 100.25 FEET NAVD 83 (HICED 67) (CONVERSION
NECESSARY SEE NOTE #)

**TEMPORARY BENCHMARK: T.B.M. TT-1-T-1.5. SPEC IN SD
P.P. SOUTH OF LINDSEY DRIVE ON THE WEST SIDE OF PEEK
ROAD. ELEVATION = 100.33 FEET**

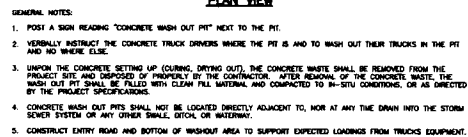
**SITE TEMPORARY BENCHMARK: T.B.M. TT-2-T-2.1.1. AT
OF INLET EAST SIDE OF PEEK ROAD AT THE SOUTH END OF
CONCRETE PAVING. ELEVATION = 100.33 FEET**

**TEMPORARY BENCHMARK: T.B.M. TT-3-T-3. A RAILROAD SPIKE
SET IN POWER POLE AT THE SOUTHWEST CORNER OF THE
INTERSECTION OF CANAL ROAD AND BEACHNUT ROAD. ELEVATION
= 100.37**

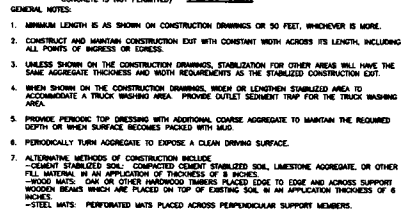
LEGEND	
SYMBOL	DESCRIPTION
X-RFB-X	REINFORCED FILTER FABRIC BARRIER
X-FF-X	FILTER FABRIC FENCE
SC	STABILIZED CONSTRUCTION ACCESS
IPB	INLET PROTECTION BARRIER
WTO	CONCRETE TRUCK WASHOUT AREA
FD TYPE 1	FILTER DAM

2 ACRE COMMERCIAL TRACT - 0027	
STORM WATER POLLUTION PREVENTION PLAN	
DATE: APRIL 2016	SCALE: 1"=20'
DRAWN BY: A.S.	FILE CHECK BY: J.S.
FIRST CHECK BY: J.S.	FINAL CHECK BY: J.S.
CITY OF RICHMOND FORT BEND COUNTY PARKWAY BEACHNUT WEST - 2 ACRE COMMERCIAL TRACT 2.0 ACRES	
TEXAS FIRM REGISTRATION NO. F-487 SINCE 1986 1840 West 10th Street - Suite 200 - Houston, Texas 77004	
C8	

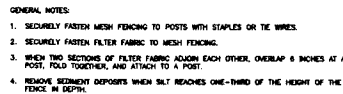
for DEVELOPMENT COORDINATOR DATE 11-19-16



CTW
SYMBOL



SC
SYMBOL



X — (RFB) — X
SYMBOL



IPB
SYMBOL

2010-2011

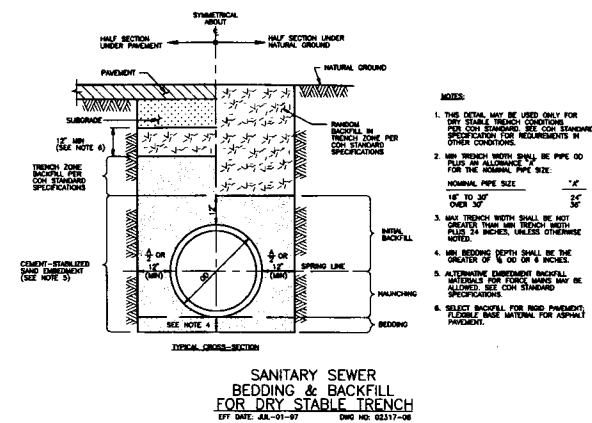
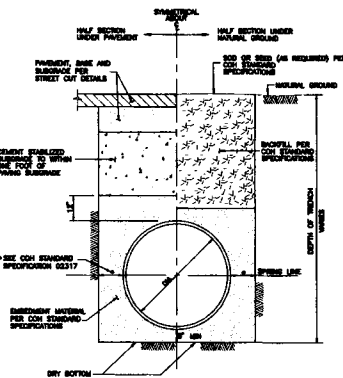
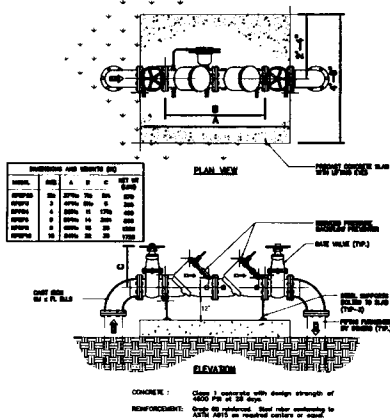
DATE: April, 2016 SCALE: DWG SCALE

2.0 ACRES

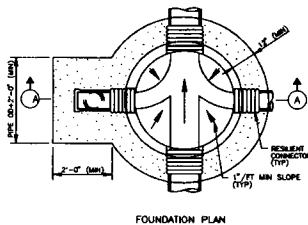


C9

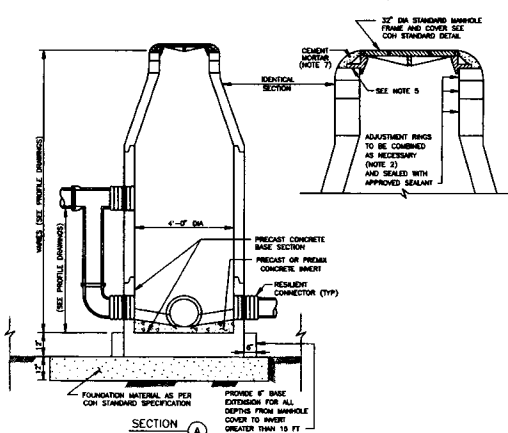
Casandra G 11-18-16
for FBC DEVELOPMENT COORDINATOR DATE



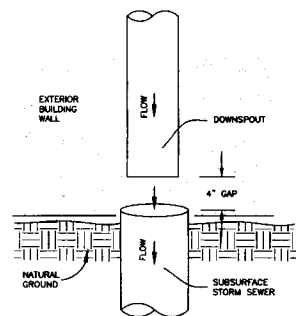
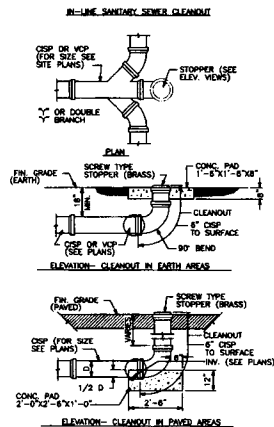
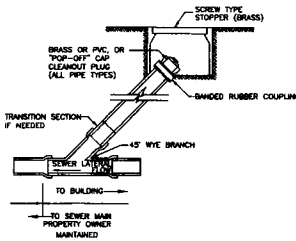
DOUBLE-CHECK BACK FLOW PREVENTOR N.T.S.



1. DEPTH OF MANHOLE DETERMINES SECTIONS REQUIRED.
2. PRECAST CONCRETE RINGS SHALL BE PROVIDED FOR A COMBINED ADJUSTMENT HEIGHT OF AT LEAST 12". THE TOTAL HEIGHT OF THE ADJUSTMENT RINGS SHALL NOT EXCEED 1'-6".
3. MANHOLE WALL THICKNESS FOR DEPTH EXCEEDING 12'-0" SHALL BE DETERMINED TO MEET LOADING CONDITIONS. MIN THICKNESS 2'.
4. MANHOLE DROP AND INTERSECTING PIPES SHALL BE INSTALLED ONLY WHEN CALLED FOR IN PLAN AND PROFILE DRAWING.
5. SEAL MANHOLE FRAME IN SEALANT PER CON STANDARD SPECIFICATION.
6. ECCENTRIC PRECAST CONCRETE MANHOLE MAY BE USED.
7. GUT CEMENT MORTAR WHEN MANHOLE IS LOCATED IN PAVED AREAS.
8. MIN PERFORMING IN THE PRECAST CONCRETE BASE SHALL BE 8' 8" 8" EX.
9. PROVIDE BACKFILL TO MATCH ADJACENT PIPE SPECIFICATION.



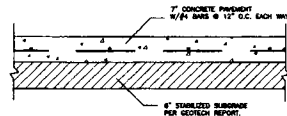
SANITARY SEWER 4'-0" DIAMETER PRECAST CONCRETE MANHOLE ERF DATE: JUL-01-97 DWG NO: 02082-02



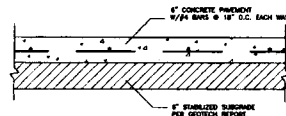
DOWNSPOUT DETAIL FOR CONNECTION TO SUBSURFACE DRAINAGE N.T.S.

14816
DATE

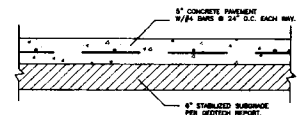
UTILITY DETAILS	
DATE: APRIL 2016	SCALE: N.T.S.
DRAWN BY: J.E.	CHECKED BY: J.E.
DESIGNED BY: J.E.	IN CHARGE: J.E.
CITY OF RICHMOND FORT BEND COUNTY PARKWAY BEECHNUT WEST - 2 ACRE COMMERCIAL TRACT 2.0 ACRES	
r.g.miller engineers since 1986 1520 Park Ave. West - Suite 200 - Houston, Texas 77056 TEXAS PROFESSIONAL ENGINEER NO. 7-457	
C10	



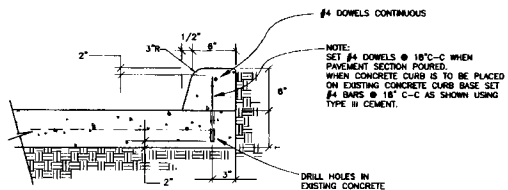
7" CONCRETE PAVEMENT SECTION
N.T.S.



6" CONCRETE PAVEMENT SECTION
N.T.S.



5" CONCRETE PAVEMENT SECTION
N.T.S.



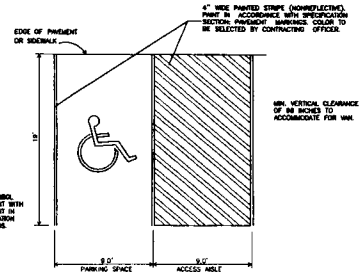
6" CONCRETE CURB DOWELED ON
N.T.S.

NOTE:
SURFACING SHALL BE STABILIZED PER
GEOTECHNICAL REPORT NO. EX-1820811-G
BY EARTH ENGINEERING, INC. PREPARED ON
DEC. 2, 2015

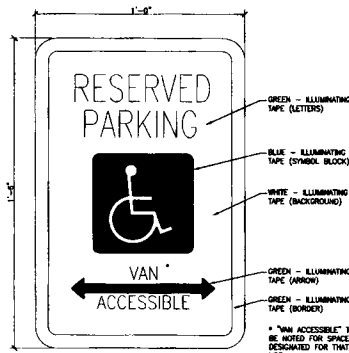
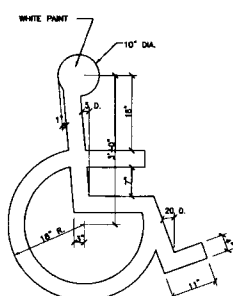
STANDARD HANDICAPPED SYMBOL
TO BE PAINTED ON PAVEMENT WITH
NON-REFLECTIVE PAINT. PAINT IN
ACCORDANCE WITH SPECIFICATIONS
SECTION. PAINTING MARKINGS
COLOR TO BE SELECTED BY
CONTRACTING OFFICE.

SURFACING SHALL BE STABILIZED PER
GEOTECHNICAL REPORT NO. EX-1820811-G
BY EARTH ENGINEERING, INC. PREPARED ON
DEC. 2, 2015

SURFACING SHALL BE STABILIZED PER
GEOTECHNICAL REPORT NO. EX-1820811-G
BY EARTH ENGINEERING, INC. PREPARED ON
DEC. 2, 2015

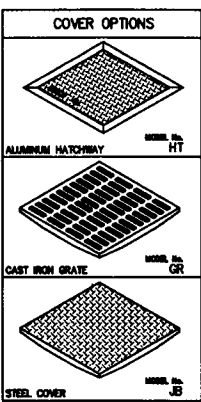


VAN ACCESSIBLE
HANDICAP PARKING STALL
N.T.S.

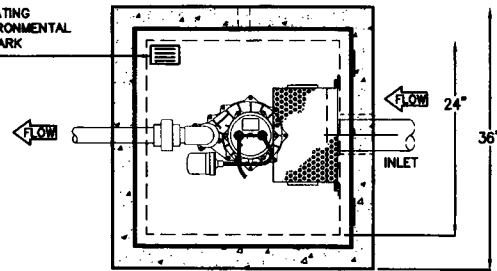


GREEN - ILLUMINATING
TAPE (LETTERS)
BLUE - ILLUMINATING
TAPE (SYMBOL BLOCK)
WHITE - ILLUMINATING
TAPE (BACKGROUND)
GREEN - ILLUMINATING
TAPE (ARROW)
GREEN - ILLUMINATING
TAPE (BORDER)

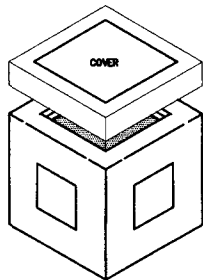
* "VAN ACCESSIBLE" TO
BE MARKED FOR SPACES
DESIGNATED FOR THAT
USE.



NAMEPLATE INDICATING
MFG : PARK ENVIRONMENTAL
TEL : 888-611-PARK
MODEL : EF-SS



PLAN VIEW



ISOMETRIC

REMOVABLE DEBRI BASKET, PERFORATED
10 GA STAINLESS STEEL CONSTRUCTION
W/ SLIDE RAILS & LIFT HANDLES
(OPTIONAL)

RECEPTACLE MOUNTED TO
WALL (BY OTHERS)
1 1/2" SCH 40 PVC
ELECTRICAL COUPLING

SEE OPTIONS FOR
COVER
ALL JOINTS TO BE
FILLED W/ FLEXIBLE
RUBBER GASKET
(RAM-NEK)

1 1/2" PVC PUMP DISCHARGE
1 1/2" PVC UNION
BALL VALVE
1 1/2" PVC SWING CHECK
VALVE

1/3 HP EFFLUENT PUMP
W/ INTERNAL FLOAT SWITCH
PRECAST CONCRETE BASIN
MANUFACTURED BY PARK
EQUIPMENT 800-258-8041

HOW TO SPECIFY
MODEL NUMBER: EFXX-XXX-XX

BASIN SIZE (LxW)
24 - 24" SQ
30 - 30" SQ
36 - 36" SQ

COVER TYPE
HT - ALUMINUM HATCH
OR - CAST IRON GRATE
JS - STEEL COVER

COVER LOAD RATING
P - PEDESTRIAN RATED
H - TRAFFIC RATED

OPTIONS
SS - STAINLESS SCREEN

ELEVATION

© Park 2007

CONCRETE: Class 1 concrete with of design strength of 4500 PSI at 28 days. Unit is of monolithic construction at floor and first stage of wall with sectional riser to required depth.

REINFORCEMENT: Grade 60 reinforced. Steel rebar conforming to ASTM A615 on required centers or equal.

COVER: Cover options include galvanized steel drop-in cover, or hinged aluminum hatchway, or cast iron grate. Specify either pedestrian duty or traffic duty.

PARK ENVIRONMENTAL EQUIPMENT
888-611-PARK
www.park-usa.com
"Expect the Best"

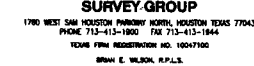
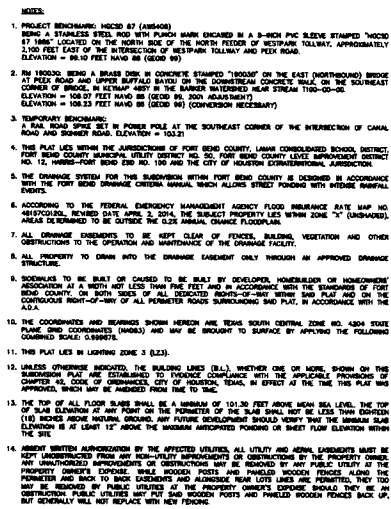
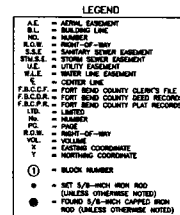
EFFLUENT PUMP ASSEMBLY

SCALE	NONE	DWG. NO.	REV.
DATE	01/07	EF-SS	A

Parasuram
DEVELOPMENT COORDINATOR
1/15/16
DATE

SHEET NO. 1 OF 1		DATE: April, 2016		SCALE: N.T.S.	FIELD OFFICE BY: J.S.	FINAL CHECK BY: J.S.
SITE AND UTILITY DETAILS						
CITY OF RICHMOND FORT BEND COUNTY PARKWAY BEECHNUT WEST - 2 ACRE COMMERCIAL TRACT 2.0 ACRES						
r.g. miller engineers SINCE 1980 15344 Park Lane, Suite 200 - Houston, Texas 77060 TEXAS FIRM REGISTRATION NO. P-487						
C11						

LINE	BEARING	LENGTH
L1	N83°52'23"E	48.48'
L2	S86°57'08"W	87.45'
L3	N72°02'48"E	14.28'
L4	S47°23'38"E	11.50'



NOTE A - SOUTHWESTERN BELL TELEPHONE COMPANY BUILDING SITE EASEMENT
F.B.C.C.F. No. 9052058

NOTE B - SOUTHWESTERN BELL TELEPHONE COMPANY
UNDERGROUND CONDUIT & ACCESS EASEMENT
F.B.C.C.F. No. 9052057

NOTE C - SOUTHWESTERN BELL TELEPHONE COMPANY
CONDUIT & ACCESS EASEMENT
F.B.C.C.F. No. 9053050