

REVIEW BY FORT BEND COUNTY COMMISSIONERS COURT

On this 25th day of October, 2016, Commissioners Court came on to be heard and reviewed the accompanying notice of J.Patrick Homes, Ltd. / CTC Concrete, Inc. Job Location 8902 Wandering Willow Drive, Richmond, TX 77406 Date 4/12/2016 Bond No. LSM0860226, Permit No. 2016-9234 to make use of certain Fort Bend County property subject to, "A Revised Order Regulating the Laying, Construction, Maintenance, and Repair of Buried Cables, Conduits, and Pole Lines, In, Under, Across or Along Roads, Streets, Highways, and Drainage Ditches in Fort Bend County, Texas, Under the Jurisdiction of the Commissioners Court of Fort Bend County, Texas," as passed by the Commissioners Court of Fort Bend County, Texas the 3rd day of August, 1987, recorded in Volume _____ of the Minutes of the Commissioners Court of Fort Bend County, Texas, to the extent that such order is not inconsistent with Article 1436a, Vernon's Texas Civil Statutes. Upon Motion of Commissioner Myers, seconded by Commissioner Prestage, duly put and carried, it is ORDERED, ADJUDGED AND DECREED that said notice of said above purpose is hereby acknowledged by the Commissioners Court of Fort Bend County, Texas, and that said notice be placed on record according to the regulation order thereof.

Notes:

1. Evidence of review by the Commissioners Court must be kept on the job site and failure to do so constitutes grounds for job shutdown.
2. Written notices are required:
 - a. 48 hours in advance of construction start up, and
 - b. when construction is completed and ready for final inspection
 Mail notices to: Permit Administrator
 Fort Bend County Engineering
 301 Jackson Street
 Richmond, Texas 77469
 281-633-7500
3. This permit expires one (1) year from date of permit if construction has not commenced.

By: _____

for Charles O. Wolf
County Engineer

Presented to Commissioners Court and approved.

Recorded in Volume 10:25:14 141
Minutes of Commissioners Court

By: _____

N/A

Drainage District Engineer/Manager

Clerk of Commissioners Court

By: _____

Brandon Wilkins
Deputy

County of Fort Bend

Engineering Department

301 Jackson Street
Richmond, Texas 77469

Phone: (281) 633-7500

Permit Application Review Form For Cable, Conduit, and Pole Line Activity In Fort Bend County

Permit No. 2016-9234

The following "Notice of Proposed Cable, Conduit, and/or Pole Line activity in Fort Bend County" and accompanying attachments have been reviewed and the notice conforms to appropriate regulations set by Commissioner's Court of Fort Bend County, Texas.

- (1) Complete Application Form:
 - a. Name of road, street, and/or drainage ditch affected.
 - b. Vicinity map showing course of directions
 - c. Plans and specifications
- (2) Bond:
 - District Attorney, approval when applicable.
 - Perpetual bond currently posted.
 - No: LSM0860226
 - Amount: \$50,000.00
 - Performance bond submitted.
 - No: _____
 - Amount: _____
 - Cashier's Check
 - No: _____
 - Amount: _____

(3) Verbal permission given for emergencies, to start construction before approved in Commissioner's Court.


Precinct Engineer Acknowledgment _____
Date

Precinct Commissioner Acknowledgment _____
Date

(4)

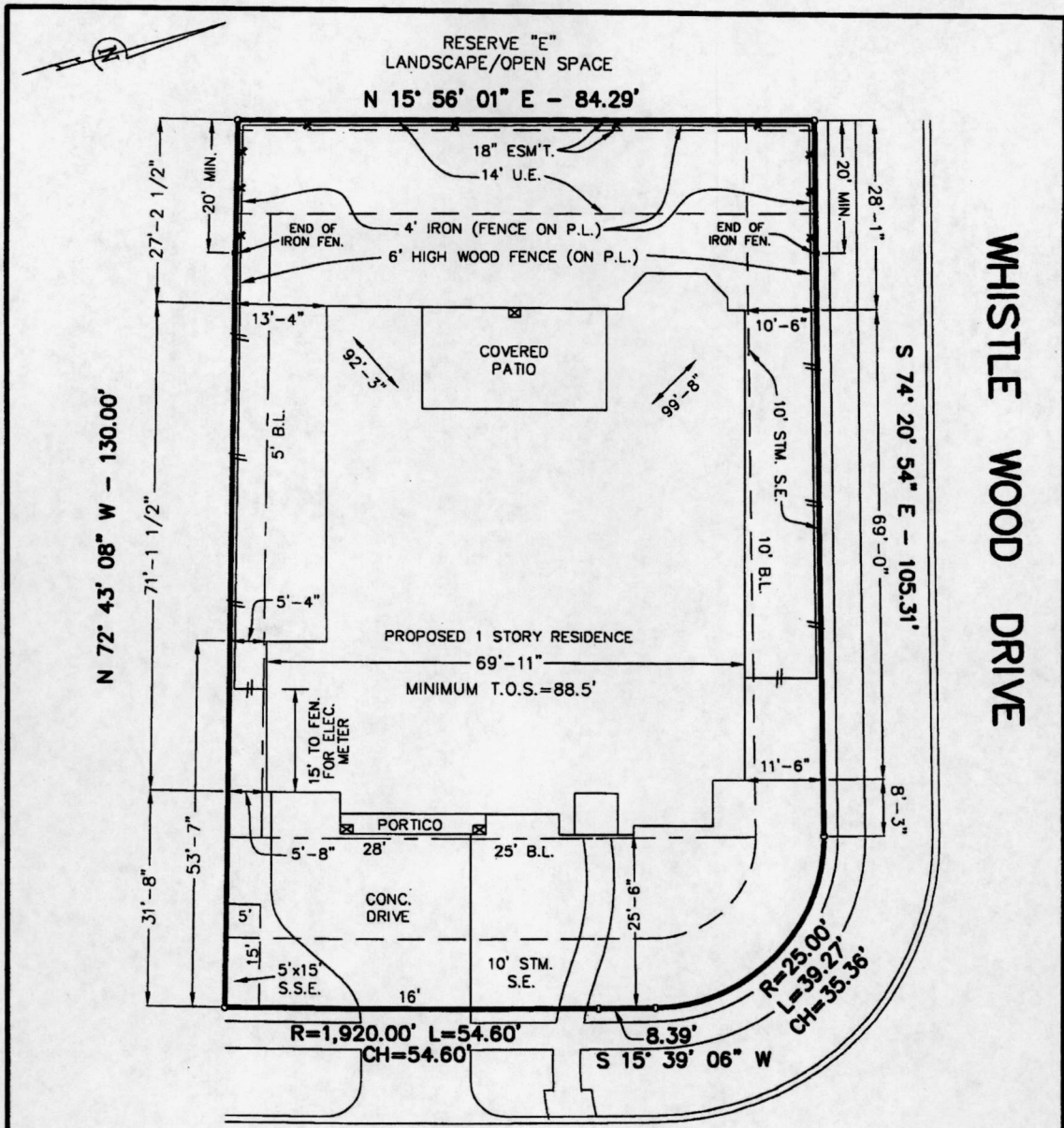
Drainage District Approval when applicable

We have reviewed this project and agree it meets minimum requirements.



Assistant County Engineer

10/17/16
Date



WANDERING WILLOW DRIVE

WHISTLE WOOD DRIVE

NOTES:

1. THIS SITE PLAN WAS PERFORMED IN CONNECTION WITH INFORMATION PROVIDED IN TITLE REPORT G.F. NO. 1415745660 OF STEWART TITLE COMPANY, EFFECTIVE DATE OF AUGUST 18, 2016.
2. RESTRICTIONS OF RECORD AS DESCRIBED AND RECORDED UNDER PLAT NO. 20130300 OF THE PLAT RECORDS OF FORT BEND COUNTY, TEXAS AND CLERK'S FILE NO. 2004075152, 2014030021, 2006055044, 2009132668, 2011094926, 2011111991 AND 2016050371, MAY AFFECT THIS TRACT.
3. THE SUBJECT PROPERTY IS AFFECTED BY AN AGREEMENT WITH CENTERPOINT ENERGY HOUSTON ELECTRIC, LLC TO PROVIDE ELECTRICAL SERVICE PER F.B.C.C.F. NO. 2014054794.

LOT AREA=11,096 SQ. FT./0.2547 AC.

THE MINIMUM SLAB ELEVATION SHALL BE 88.50 FEET. IN NO CASE SHALL THE SLAB BE LESS THAN 18 INCHES ABOVE NATURAL GROUND.

SITE PLAN		SCALE: 1"=20'		J. PATRICK HOMES	
THIS IS NOT A BOUNDARY SURVEY AND SHOULD NOT BE USED AS SUCH.		DATE: 8-30-16			
NOTE : BUILDER SHOULD VERIFY ALL BUILDING LINES, EASEMENTS, BUILDING RESTRICTIONS (DEED RESTRICTIONS, ETC.) AND ZONING ORDINANCES, IF ANY, THAT MAY AFFECT SUBJECT PROPERTY, BEFORE STARTING CONSTRUCTION.		SUBDIVISION: LONG MEADOW FARMS, SEC. 35			
FINAL PLACEMENT OF STRUCTURES ON LOT WILL BE DETERMINED BASED ON SPECIFIC LOT CONDITIONS.		LOT: 35		BLOCK: 1	
THIS SITE PLAN IS FOR INFORMATIONAL PURPOSES ONLY.		COUNTY: FORT BEND			
CHECKED BY: <i>Matthew</i>		ADDRESS: 8902 WANDERING WILLOW DRIVE			
ROE SURVEYING COMPANY		JOB NO. 1401-2078		PLAN: 3635 A (S) CUSTOM	
5019 Hardyway Street Houston, Texas 77092 (713)957-3311		DWG. LMF35L35B1			

CTC **CONCRETE, INC.**

August 17, 2016

CTC Concrete Traffic Control Plan

CTC Concrete's Traffic Control Plan is as follows:

- Concrete trucks (and crew's trucks) will be positioned in a manner where traffic will not be blocked, and passing traffic will have a clear path around the jobsite.
- If traffic flow around the jobsite is limited to 1-way only, we will manage the flow by alternating each direction.
- The jobsite area will be identified.
- Fresh-poured concrete will be marked with yellow "Caution" tape.
- Debris will be cleaned from street to keep traffic flow uninterrupted.



RICH MAYNARD, CTC CONCRETE