

## REVIEW BY FORT BEND COUNTY COMMISSIONERS COURT

On this 5th day of April, 2016, Commissioners Court came on to be heard and reviewed the accompanying notice of Terra Associates, Inc. / Landmark Interest Corp.  
 Job Location 25595 Westheimer Parkway, Katy, TX 77494  
 Date 3/17/2016 Bond No. 5203271, Permit No. 2016-6140 to make use of certain Fort Bend County property subject to, "A Revised Order Regulating the Laying, Construction, Maintenance, and Repair of Buried Cables, Conduits, and Pole Lines, In, Under, Across or Along Roads, Streets, Highways, and Drainage Ditches in Fort Bend County, Texas, Under the Jurisdiction of the Commissioners Court of Fort Bend County, Texas," as passed by the Commissioners Court of Fort Bend County, Texas the 3rd day of August, 1987, recorded in Volume \_\_\_\_\_ of the Minutes of the Commissioners Court of Fort Bend County, Texas, to the extent that such order is not inconsistent with Article 1436a, Vernon's Texas Civil Statutes. Upon Motion of Commissioner Neyers, seconded by Commissioner Patterson, duly put and carried, it is ORDERED, ADJUDGED AND DECREED that said notice of said above purpose is hereby acknowledged by the Commissioners Court of Fort Bend County, Texas, and that said notice be placed on record according to the regulation order thereof.

### Notes:

1. Evidence of review by the Commissioners Court must be kept on the job site and failure to do so constitutes grounds for job shutdown.
2. Written notices are required:
  - a. 48 hours in advance of construction start up, and
  - b. when construction is completed and ready for final inspection
 Mail notices to: Permit Administrator  
 Fort Bend County Engineering  
 301 Jackson Street  
 Richmond, Texas 77469  
 281-633-7500
3. This permit expires one (1) year from date of permit if construction has not commenced.

By: Charles O. Dy  
 for County Engineer

Presented to Commissioners Court and approved.

Recorded in Volume 4-05-16 12L  
 Minutes of Commissioners Court

By: N/A  
 Drainage District Engineer/Manager

Clerk of Commissioners Court

By: Sandra Wells  
 Deputy



**PERFORMANCE BOND COVERING ALL CABLE, CONDUIT AND/OR POLE LINE  
ACTIVITY IN, UNDER, ACROSS OR ALONG FORT BEND COUNTY ROADS  
AUTHORIZED**

BOND NO 5203271  
THE STATE OF TEXAS §  
COUNTY OF FORT BEND §

**KNOW ALL MEN BY THESE PRESENTS:**

THAT WE, Landmark Interest Corp. whose address is 1320 Cedar Bayou Rd Baytown, TX 77520, Texas, hereinafter called the Principal, and SureTec Insurance Company, a Corporation existing under and by virtue of the laws of the State of Texas and authorized to do an indemnifying business in the State of Texas, and whose principal office is located at 1330 Post Oak Blvd., Suite 1100 Houston, TX 77056, whose officer residing in the State of Texas, authorized to accept service in all suits and actions brought within said State is Steven D. Nelson and whose address is 9737 Great Hills Trail, Suite 320, Austin, TX 78759, hereinafter called the Surety, are held and firmly bound unto, Robert E. Hebert, County Judge of Fort Bend County, Texas, or his successors in office, in the full sum of Five Thousand Dollars (\$ 5,000.00) current, lawful money of the United States of America, to be paid to said Robert E. Hebert, County Judge of Fort Bend County, Texas, or his successors in office, to which payment well and truly to be made and done, we, the undersigned, bind ourselves and each of us, our heirs, executors, administrators, successors, assigns, and legal representatives, jointly and severally, by these presents.

THE CONDITION OF THIS BOND IS SUCH THAT, WHEREAS, the above bounden principal contemplates laying, constructing, maintaining and/or repairing one or more cables, conduits, and/or pole lines in, under, across and/or along roads, streets and highways in the County of Fort Bend, and the State of Texas, under the jurisdiction of the Commissioners' Court of Fort Bend County, Texas, pursuant to the Commissioners' Court order adopted on the 1st day of December, A.D. 1980, recorded in Volume 13, of the Commissioners' Court Minutes of Fort Bend County, Texas, regulating same, which Commissioners' Court order is hereby referred to and made a part hereof for all purposes as though fully set out herein.

AND WHEREAS, the principal desires to provide Fort Bend County with a performance bond covering all such cable, conduit and/or pole line activity;

NOW, THEREFORE, if the above bounden principal shall faithfully perform all its cable, conduit and/or pole line activity (including, but not limited to the laying, construction, maintenance and/or repair of cables, conduits and/or pole lines) in, under, across and/or along roads, streets and highways in the County of Fort Bend and State of Texas, under the jurisdiction of the Commissioners Court of Fort Bend County, Texas, pursuant to and in accordance with minimum requirements and conditions of the above mentioned Commissioners' Court order set forth and specified to be by said principal done and performed, at the time and in the manner therein specified, and shall pay over and make good and reimburse Fort Bend County, all loss and damages which Fort Bend County may sustain by reason of any failure or default on the part of said principal, then this obligation shall be null and void otherwise to remain in full force and effect.

This bond is payable at the County Courthouse in the County of Fort Bend and State of Texas.

It is understood that at any time Fort Bend County deems itself insecure under this bond, it may require further and/or additional bonds of the principal.

EXECUTED this 30th day of July, 2015.

Landmark Interest Corp.

PRINCIPAL

BY

SureTec Insurance Company

SURETY

BY

Marie E. Novak-Hogan, Attorney in Fact

CCM 4-0516 #12L  
Fort Bend County Clerk  
Return Admin Serv Coord

**SureTec Insurance Company**  
**THIS BOND RIDER CONTAINS IMPORTANT COVERAGE INFORMATION**

**Statutory Complaint Notice/Filing of Claims**

To obtain information or make a complaint: You may call the Surety's toll free telephone number for information or to make a complaint or file a claim at: 1-866-732-0099. You may also write to the Surety at:

SureTec Insurance Company  
9737 Great Hills Trail, Suite 320  
Austin, Tx 78759

You may contact the Texas Department of Insurance to obtain information on companies, coverage, rights or complaints at 1-800-252-3439. You may write the Texas Department of Insurance at

PO Box 149104  
Austin, TX 78714-9104  
Fax#: 512-490-1007  
Web: <http://www.tdi.state.tx.us>  
Email: [ConsumerProtection@tdi.texas.gov](mailto:ConsumerProtection@tdi.texas.gov)

**PREMIUM OR CLAIM DISPUTES:** Should you have a dispute concerning your premium or about a claim, you should contact the Surety first. If the dispute is not resolved, you may contact the Texas Department of Insurance.

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# SureTec Insurance Company

## LIMITED POWER OF ATTORNEY

**Know All Men by These Presents,** That SURETEC INSURANCE COMPANY (the "Company"), a corporation duly organized and existing under the laws of the State of Texas, and having its principal office in Houston, Harris County, Texas, does by these presents make, constitute and appoint

Marie E. Novak-Hogan

its true and lawful Attorney-in-fact, with full power and authority hereby conferred in its name, place and stead, to execute, acknowledge and deliver any and all bonds, recognizances, undertakings or other instruments or contracts of suretyship to include waivers to the conditions of contracts and consents of surety for:

**Principal:** Landmark Interest Corp.  
**Obligee:** Fort Bend County Judge  
**Amount:** \$ 5,000.00

and to bind the Company thereby as fully and to the same extent as if such bond were signed by the President, sealed with the corporate seal of the Company and duly attested by its Secretary, hereby ratifying and confirming all that the said Attorney-in-Fact may do in the premises. Said appointment is made under and by authority of the following resolutions of the Board of Directors of the SureTec Insurance Company:

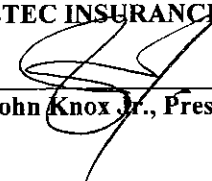
*Be it Resolved,* that the President, any Vice-President, any Assistant Vice-President, any Secretary or any Assistant Secretary shall be and is hereby vested with full power and authority to appoint any one or more suitable persons as Attorney(s)-in-Fact to represent and act for and on behalf of the Company subject to the following provisions:

*Attorney-in-Fact* may be given full power and authority for and in the name of and of behalf of the Company, to execute, acknowledge and deliver, any and all bonds, recognizances, contracts, agreements or indemnity and other conditional or obligatory undertakings and any and all notices and documents canceling or terminating the Company's liability thereunder, and any such instruments so executed by any such Attorney-in-Fact shall be binding upon the Company as if signed by the President and sealed and effected by the Corporate Secretary.

*Be it Resolved,* that the signature of any authorized officer and seal of the Company heretofore or hereafter affixed to any power of attorney or any certificate relating thereto by facsimile, and any power of attorney or certificate bearing facsimile signature or facsimile seal shall be valid and binding upon the Company with respect to any bond or undertaking to which it is attached. (Adopted at a meeting held on 20<sup>th</sup> of April, 1999.)

**In Witness Whereof,** SURETEC INSURANCE COMPANY has caused these presents to be signed by its President, and its corporate seal to be hereto affixed this 21st day of March, A.D. 2013.

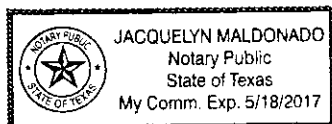
SURETEC INSURANCE COMPANY

By:   
 John Knox Jr., President

State of Texas                      ss:  
 County of Harris



On this 21st day of March, A.D. 2013 before me personally came John Knox Jr., to me known, who, being by me duly sworn, did depose and say, that he resides in Houston, Texas, that he is President of SURETEC INSURANCE COMPANY, the company described in and which executed the above instrument; that he knows the seal of said Company; that the seal affixed to said instrument is such corporate seal; that it was so affixed by order of the Board of Directors of said Company; and that he signed his name thereto by like order.

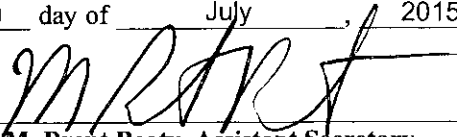




Jacquelyn Maldonado, Notary Public  
 My commission expires May 18, 2017

I, M. Brent Beaty, Assistant Secretary of SURETEC INSURANCE COMPANY, do hereby certify that the above and foregoing is a true and correct copy of a Power of Attorney, executed by said Company, which is still in full force and effect; and furthermore, the resolutions of the Board of Directors, set out in the Power of Attorney are in full force and effect.

Given under my hand and the seal of said Company at Houston, Texas this 30th day of July, 2015, A.D.

  
 M. Brent Beaty, Assistant Secretary

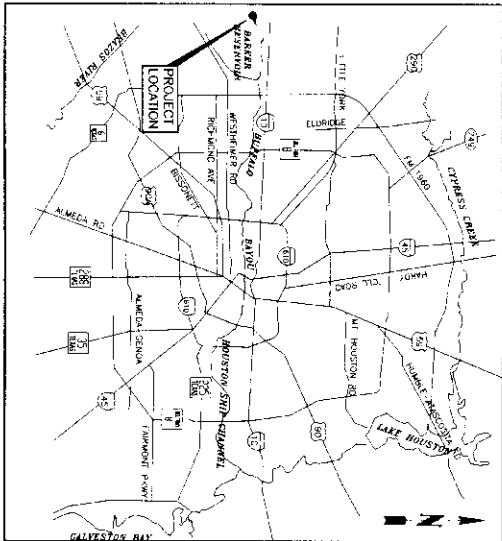
Any instrument issued in excess of the penalty stated above is totally void and without any validity.  
 For verification of the authority of this power you may call (713) 812-0800 any business day between 8:00 am and 5:00 pm CST.

# PLANS FOR CONSTRUCTION OF PRIVATE SITE WORK TO SERVE LAACO KATY SELF STORAGE 25595 WESTHEIMER PARKWAY KATY, TEXAS 77494

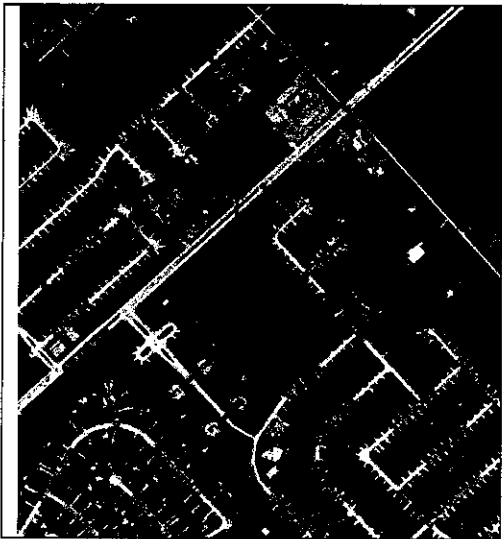
**OWNER**  
LAACO, LTD.  
431 W. 7TH STREET  
LOS ANGELES, CALIFORNIA 90014

**ARCHITECT**  
EDGECONB & ASSOCIATES, INC.  
3701 KIRBY DRIVE, SUITE 800  
HOUSTON, TEXAS 77058

**ENGINEER**  
**TIERRA**  
CONSULTING ENGINEERS  
1445 N. LOOP WEST - SUITE 450  
HOUSTON, TEXAS 77028  
PHONE: 713-943-0333  
FAX: 713-943-0333  
TYPE REGISTRATION NO.: F-002822



GREATER HOUSTON AREA  
**AREA MAP**  
NOT-TO-SCALE



FORT BEND COUNTY, TEXAS  
**LOCATION MAP**  
NOT-TO-SCALE  
KEY MAP No. 484-R

SHEET	TITLE
C1	COVER SHEET
C2	GENERAL NOTES
C3	EXISTING CONDITIONS
C4	PROPOSED SITE PLAN
C5	STORM WATER POLLUTION PREVENTION PLAN
C6	IRRIGATION AND IUDS
C7	SITE UTILITY PLAN
C8	SITE PAVING PLAN
C9	STORM WATER POLLUTION PREVENTION PLAN
C10	IRRIGATION CONTROL PLAN
C11	STORM WATER POLLUTION PREVENTION PLAN DETAILS
C12	SITE UTILITY DETAILS
C13	SITE PAVING DETAILS (1 OF 2)
C14	SITE PAVING DETAILS (2 OF 2)
L11	LANDSCAPE PLAN
L12	IRRIGATION PLAN
L13	LANDSCAPE DETAILS
L14	IRRIGATION DETAILS

ACCORDING TO THE STATE ADMINISTRATION REGULATORY BOARD, ALL PLANS AND SPECIFICATIONS FOR THE CONSTRUCTION OF THIS PROJECT MUST BE APPROVED BY THE STATE ADMINISTRATION REGULATORY BOARD. THE STATE ADMINISTRATION REGULATORY BOARD HAS REVIEWED AND APPROVED THESE PLANS AND SPECIFICATIONS FOR THE CONSTRUCTION OF THIS PROJECT.

ONE-CALL NOTIFICATION SYSTEM  
CALL BEFORE YOU DIG!  
800-4-A-SAFE (SAFE)  
(See www.800-4-a-safe.com for details)

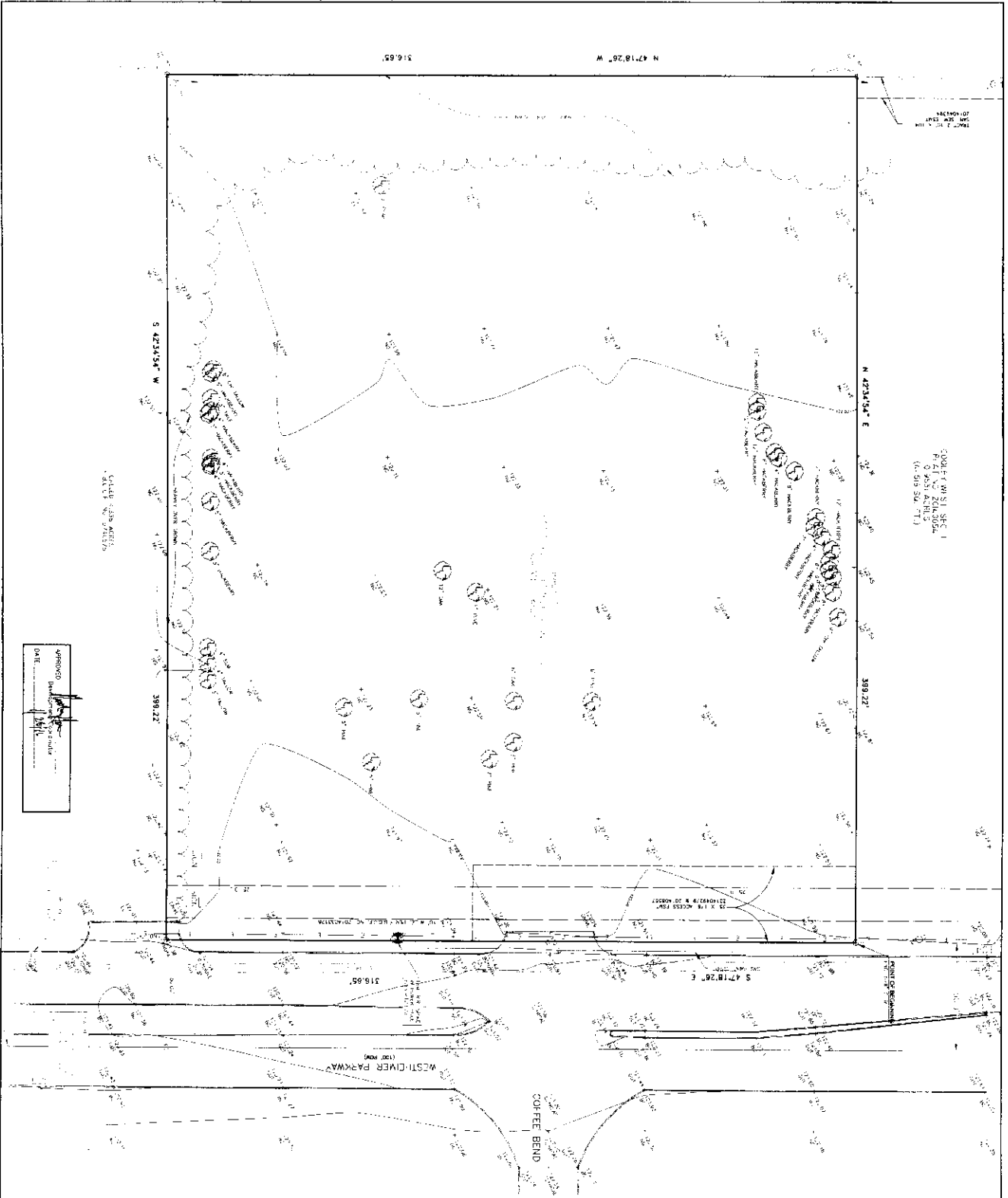
**TIERRA**  
CONSULTING ENGINEERS  
1445 N. LOOP WEST - SUITE 450  
HOUSTON, TEXAS 77028  
PHONE: 713-943-0333  
FAX: 713-943-0333  
TYPE REGISTRATION NO.: F-002822

TAI PROJECT No. 1681-1408  
CONTRACT No. 1  
NOVEMBER 5, 2015

SEAL  
DATE: 8/27/16  
PROJECT: LAACO KATY SELF STORAGE  
APPROVED: [Signature]  
DATE: 11/16/15







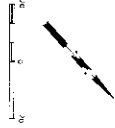
CONTRACT NO. 1685-1  
 PLAN NO. 2016-0056  
 0.9551 ACRES  
 (0.0195 SQ. FT.)

APPROVED: *[Signature]*  
 DATE: 1/18/16

**COORDINATE INFORMATION**  
 DATUM: NAD 83  
 PROJECTION: UTM  
 ZONE: 16N  
 UNIT: METERS

**BENCHMARK INFORMATION**  
 BENCHMARK: 1685-1  
 ELEVATION: 100.00

A NORTH ARROW POINT TO THE RIGHT OF THE SHEET INDICATES THE DIRECTION OF THE SURVEY. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACT, R.S. 48:221. THE SURVEY WAS CONDUCTED BY TERRA ASSOCIATES, INC. ON 1/18/16.



- LEGEND**
- 1. EXISTING BUILDING FOOTPRINT
  - 2. EXISTING DRIVEWAY
  - 3. EXISTING SIDEWALK
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NO.	DESCRIPTION	DATE	BY

**LAACO KATY SELF STORAGE**

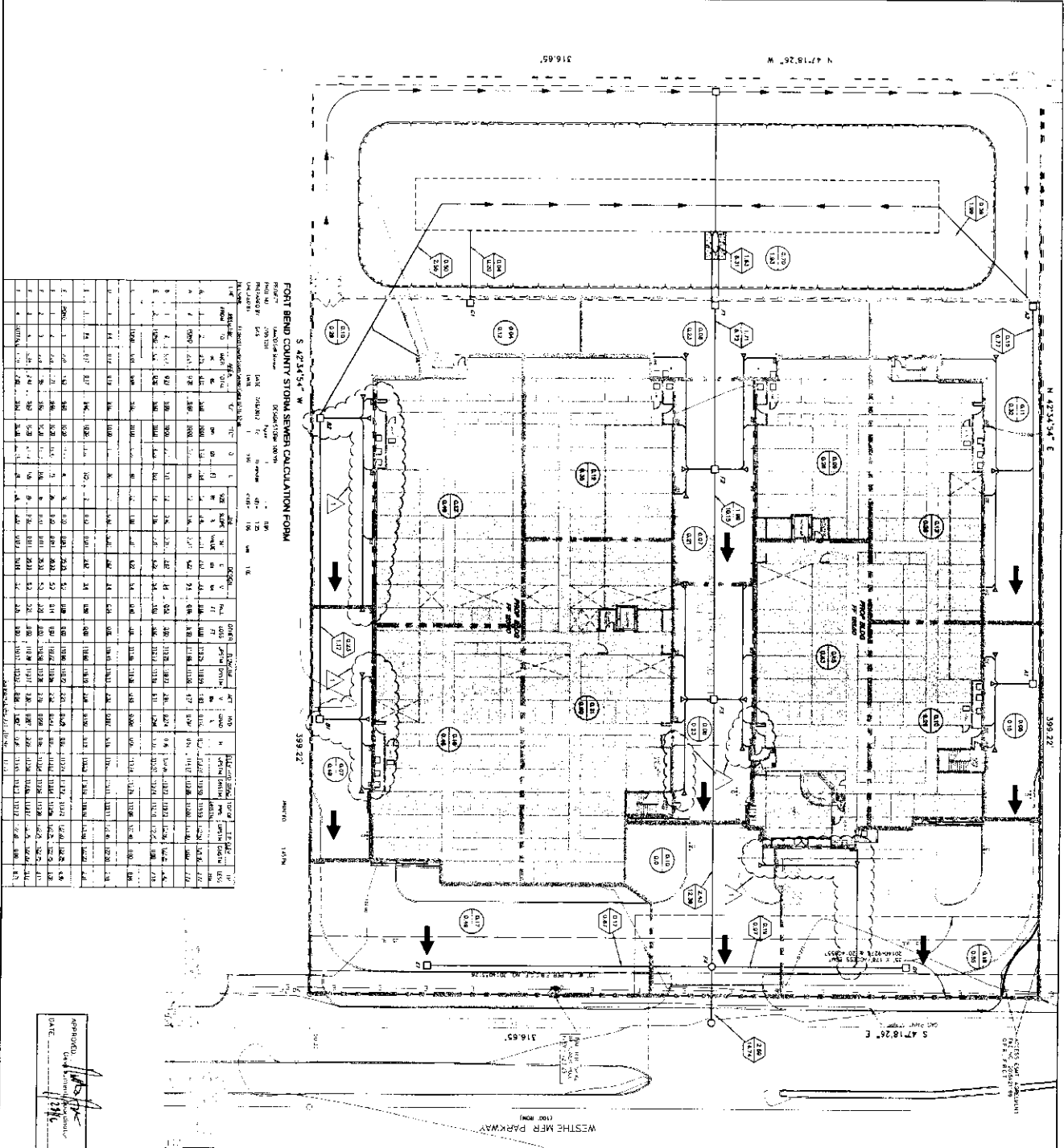
**EXISTING CONDITIONS**

**TERRA** 1440 N. LOOP WEST - SUITE 400  
 HOUSTON, TEXAS 77057  
 CONSULTING ENGINEERS  
 SCALE: 1" = 20'  
 PROJECT NO. 1685-1  
 SHEET 03 OF 015









**FORT BEND COUNTY STORM SEWER CALCULATION FORM**

Project No: 1601-1406  
 Date: 12/14/15  
 Designer: JM  
 Checker: JM

NO.	DESCRIPTION	AREA (SQ. FT.)	PERCENT IMPERVIOUS	DRAINAGE AREA (SQ. FT.)	DRAINAGE AREA (ACRES)	PEAK FLOW (GPM)	PEAK FLOW (MGD)
1	ROOF	100,000	100%	100,000	1.43	1,430	0.0143
2	PAVEMENT	50,000	100%	50,000	0.715	715	0.00715
3	DRIVEWAYS	10,000	100%	10,000	0.143	143	0.00143
4	WALKWAYS	5,000	100%	5,000	0.0715	71.5	0.000715
5	LANDSCAPE	100,000	5%	5,000	0.0715	71.5	0.000715
6	TOTAL	265,000		170,000	2.38	2,380	0.0238

APPROVED: *[Signature]*  
 DATE: 12/14/15

**LAACO KATY SELF STORAGE**

**DRAINAGE AREA MAP**

**TERRA**  
 1445 N. LOOP WEST - SUITE 450  
 HOUSTON, TEXAS 77057  
 PHONE: 281.485.2700  
 WWW.TERRAENGINEERS.COM

PROJECT NO: 1601-1406  
 SHEET C7 OF C15

**LEGEND**

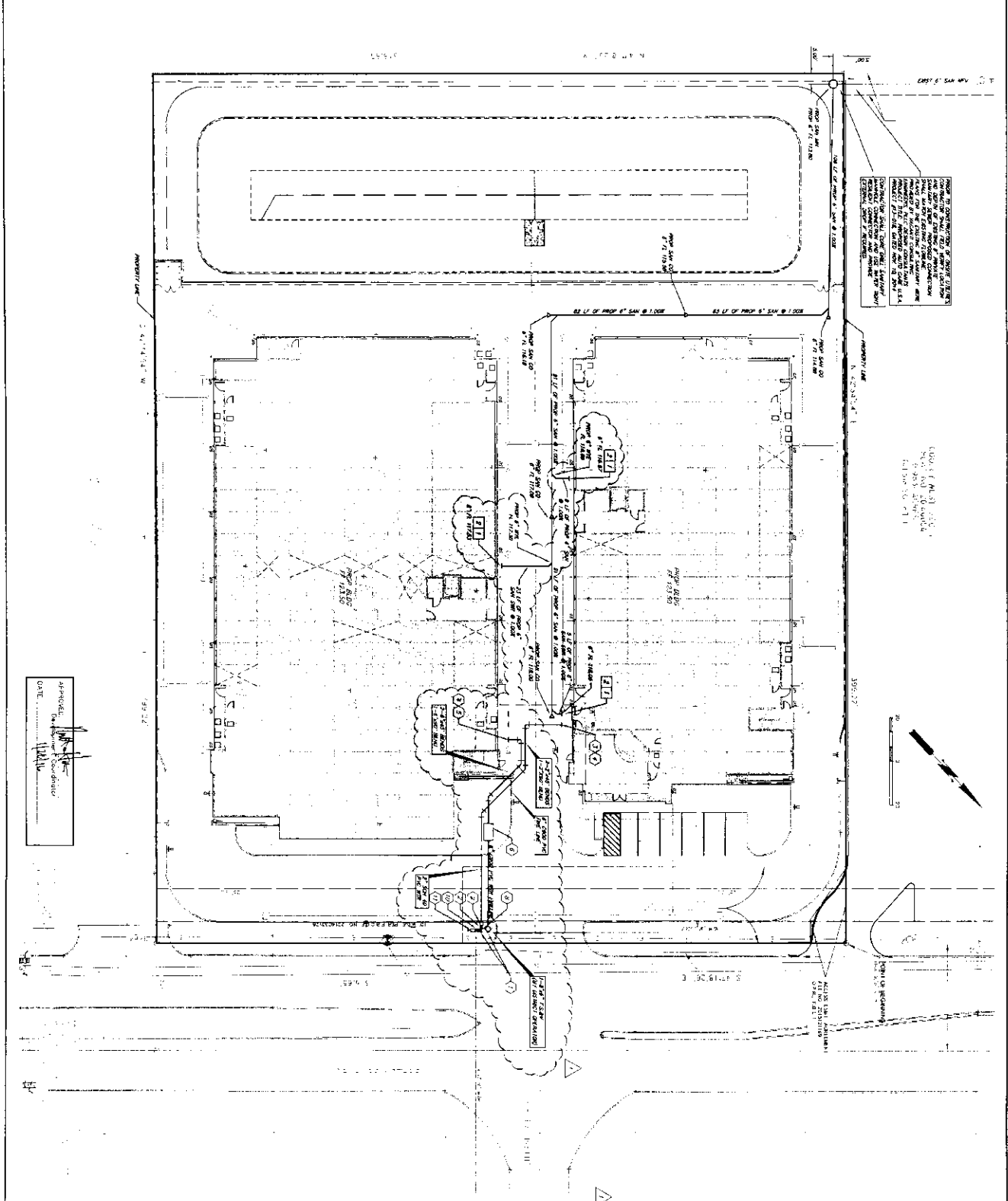
- PROPOSED DRAINAGE AREA DIVIDE
- EXISTING INLET
- PROPOSED INLET
- PROPOSED MANHOLE
- PROPOSED SHEET PILE FLOW ROUTE
- IMPERVIOUS DRAINAGE AREA ACRES
- 5 YR. IMPERVIOUS FLOW, CFS
- QUALITATIVE AREA ACRES
- 5 YR. QUALITATIVE FLOW, CFS

**FLOOR PLAN INFORMATION**

PROJECT NO: 1601-1406  
 SHEET C7 OF C15

**BENCHMARK INFORMATION**

ALL DIMENSIONS SHOWN THEREON ARE BASED ON U.S. SURVEY CONTROL MONUMENTS AND SURVEY DATA. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE BENCHMARK INFORMATION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



NOTE: THE EXISTING UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE RECORD DRAWINGS PROVIDED BY THE UTILITY COMPANIES. THE EXISTING UTILITIES SHOWN ON THIS PLAN ARE NOT TO BE CONSIDERED AS A GUARANTEE OF THE LOCATION, DEPTH, OR CHARACTER OF THE UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND CHARACTER OF THE UTILITIES PRIOR TO CONSTRUCTION.

DATE: 1/5/16  
 DRAWN BY: JOM  
 CHECKED BY: JOM

APPROVED:  
 Terra Associates Inc.  
 Julie O. Mesquedo

**LEGEND**

- EXISTING MANHOLE
- PROPOSED MANHOLE
- PROPOSED MANHOLE w/ SALES TOP
- PROPOSED CLEANOUT
- PROPOSED GATE VALVE
- PROPOSED WATER METER
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED WATER LINE

**WATER NOTES:**

1. EXISTING WATER MAIN CONNECTION TO THE STREET AT THE INTERSECTION OF THE STREET AND THE PROPERTY LINE.
2. EXISTING WATER MAIN CONNECTION TO THE PROPERTY LINE AT THE INTERSECTION OF THE STREET AND THE PROPERTY LINE.
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**SEWER NOTES:**

1. EXISTING SEWER MAIN CONNECTION TO THE STREET AT THE INTERSECTION OF THE STREET AND THE PROPERTY LINE.
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**STORM SEWER NOTES:**

1. EXISTING STORM SEWER MAIN CONNECTION TO THE STREET AT THE INTERSECTION OF THE STREET AND THE PROPERTY LINE.
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6. EXISTING STORM SEWER MAIN CONNECTION TO THE PROPERTY LINE AT THE INTERSECTION OF THE STREET AND THE PROPERTY LINE.
7. EXISTING STORM SEWER MAIN CONNECTION TO THE PROPERTY LINE AT THE INTERSECTION OF THE STREET AND THE PROPERTY LINE.
8. EXISTING STORM SEWER MAIN CONNECTION TO THE PROPERTY LINE AT THE INTERSECTION OF THE STREET AND THE PROPERTY LINE.
9. EXISTING STORM SEWER MAIN CONNECTION TO THE PROPERTY LINE AT THE INTERSECTION OF THE STREET AND THE PROPERTY LINE.
10. EXISTING STORM SEWER MAIN CONNECTION TO THE PROPERTY LINE AT THE INTERSECTION OF THE STREET AND THE PROPERTY LINE.

**HERCULES NO. 5 HOSES:**

1. EXISTING HERCULES NO. 5 HOSES CONNECTION TO THE STREET AT THE INTERSECTION OF THE STREET AND THE PROPERTY LINE.
2. EXISTING HERCULES NO. 5 HOSES CONNECTION TO THE PROPERTY LINE AT THE INTERSECTION OF THE STREET AND THE PROPERTY LINE.
3. EXISTING HERCULES NO. 5 HOSES CONNECTION TO THE PROPERTY LINE AT THE INTERSECTION OF THE STREET AND THE PROPERTY LINE.
4. EXISTING HERCULES NO. 5 HOSES CONNECTION TO THE PROPERTY LINE AT THE INTERSECTION OF THE STREET AND THE PROPERTY LINE.
5. EXISTING HERCULES NO. 5 HOSES CONNECTION TO THE PROPERTY LINE AT THE INTERSECTION OF THE STREET AND THE PROPERTY LINE.
6. EXISTING HERCULES NO. 5 HOSES CONNECTION TO THE PROPERTY LINE AT THE INTERSECTION OF THE STREET AND THE PROPERTY LINE.
7. EXISTING HERCULES NO. 5 HOSES CONNECTION TO THE PROPERTY LINE AT THE INTERSECTION OF THE STREET AND THE PROPERTY LINE.
8. EXISTING HERCULES NO. 5 HOSES CONNECTION TO THE PROPERTY LINE AT THE INTERSECTION OF THE STREET AND THE PROPERTY LINE.
9. EXISTING HERCULES NO. 5 HOSES CONNECTION TO THE PROPERTY LINE AT THE INTERSECTION OF THE STREET AND THE PROPERTY LINE.
10. EXISTING HERCULES NO. 5 HOSES CONNECTION TO THE PROPERTY LINE AT THE INTERSECTION OF THE STREET AND THE PROPERTY LINE.

**STAMP:**  
 Terra Associates Inc.  
 Julie O. Mesquedo  
 Professional Engineer  
 State of Texas  
 License No. 12345

NO.	REVISION	DATE

**LAACO KATY SELF STORAGE**

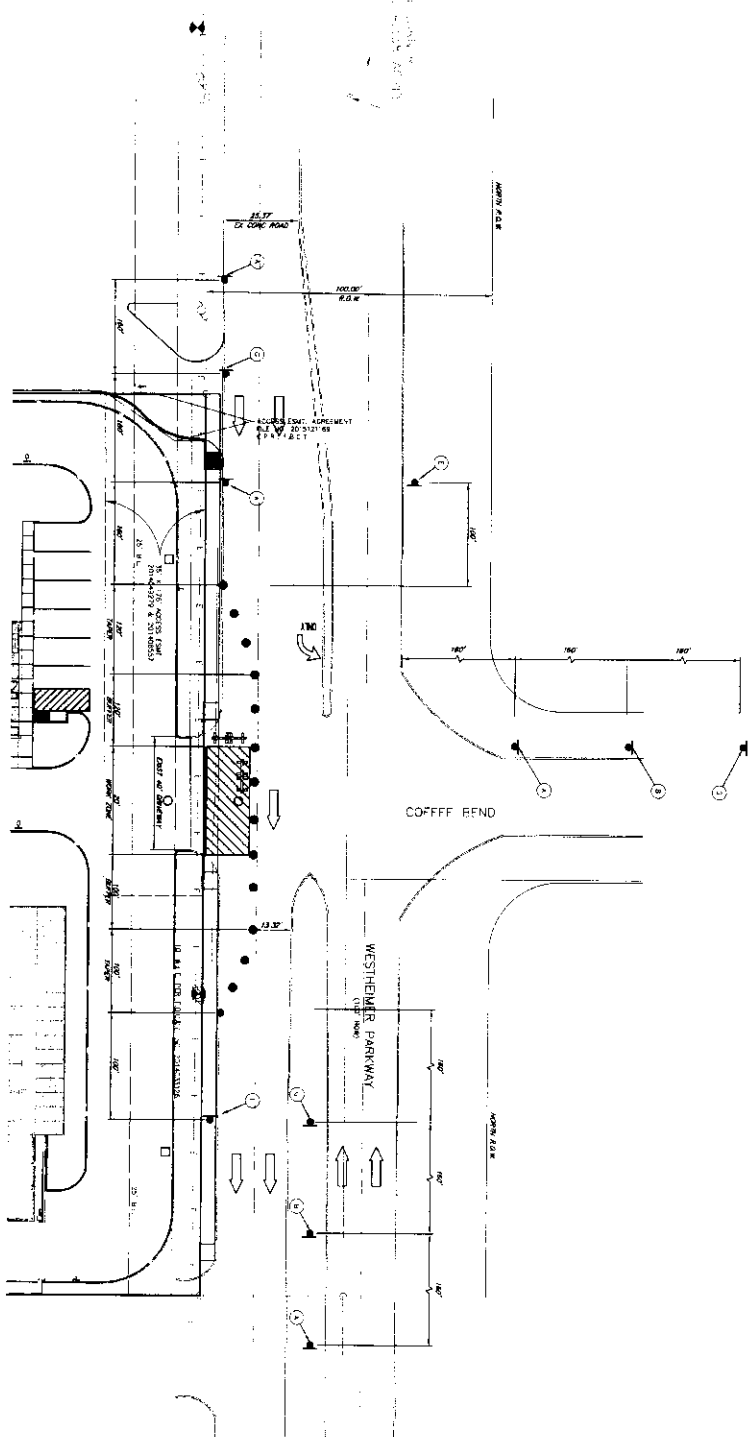
**SITE UTILITY PLAN**

**TERRA**  
 1445 N. LOOP WEST - SUITE 450  
 HOUSTON, TEXAS 77060  
 (713) 865-1100  
 TERRY REGISTRATION NO. F-003832

DATE: NOVEMBER 3, 2015 SHEET: C8 OF C15







**ONE LANE - TWO WAY FLAGGING OPERATION**  
(DURING THE EVENING HOURS ONLY)

Length for Longitudinal Buffer	Minimum	Maximum
Plastic Barricade	10 FT	15 FT
Off-Duty Uniformed Police Officer on Foot	10 FT	15 FT
Off-Duty Uniformed Police Officer on Barricade	10 FT	15 FT

Legend for signs and symbols:

- ROAD WORK (A1-2)
- ROAD WORK (A1-3)
- ROAD WORK (A1-4)
- ROAD WORK (A1-5)

**SPECIAL TRAFFIC REQUIREMENTS**

- CONTRACTOR SHALL PROVIDE AND INSTALL TRAFFIC CONTROL DEVICES AND OPERATIONS WITHIN THE WORK ZONE AND APPROVED TRAFFIC CONTROL PLAN.
- ALL TRAFFIC CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE PROJECT DURATION.
- ALL TRAFFIC CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE PROJECT DURATION.
- ALL TRAFFIC CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE PROJECT DURATION.
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- ALL TRAFFIC CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE PROJECT DURATION.

**SPACING FOR CHANNELIZING DEVICES**

- SPACING FOR CHANNELIZING DEVICES SHALL BE MAINTAINED THROUGHOUT THE PROJECT DURATION.
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- SPACING FOR CHANNELIZING DEVICES SHALL BE MAINTAINED THROUGHOUT THE PROJECT DURATION.
- SPACING FOR CHANNELIZING DEVICES SHALL BE MAINTAINED THROUGHOUT THE PROJECT DURATION.

APPROVED: *[Signature]*  
DATE: 1/18/16

**TRAFFIC CONTROL PLAN**

**LAACO KATY SELF STORAGE**

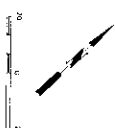
**TERRELLA** 1445 N. LOOP WEST - SUITE 450  
HOUSTON, TEXAS 77040  
COMMERCIAL ENGINEERS  
CONSULTING ENGINEERS  
SCALE: 1" = 20'  
PROJECT NO. 1681-1406  
DRAWN BY: JAZ  
DATE: 1/18/16  
CHECKED BY: JAZ  
DATE: 1/18/16  
SCALE: 1" = 20'  
PROJECT NO. 1681-1406  
DRAWING NO. C11 of C15

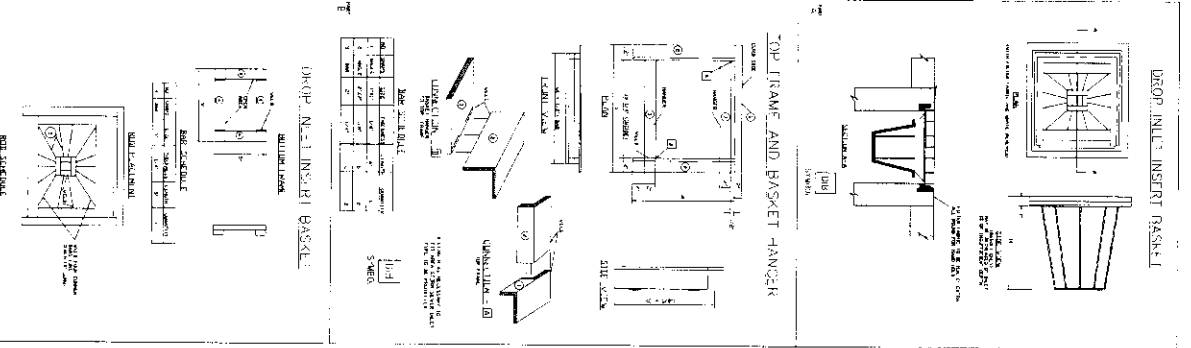
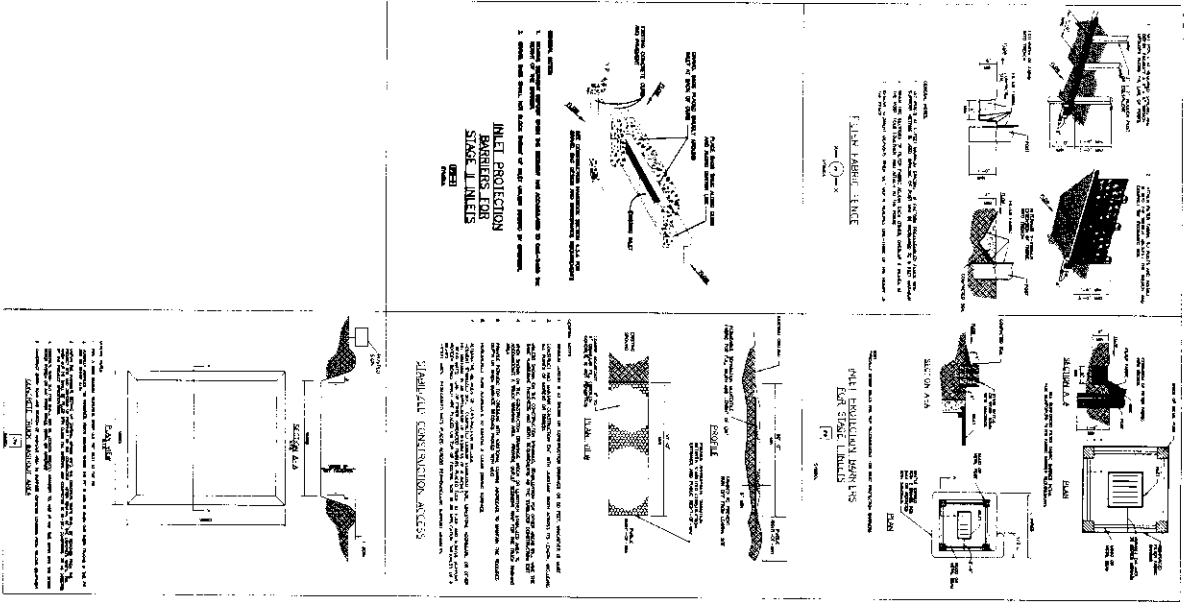


NOTE: ALL DRIVEWAYS TO REMAIN ACCESSIBLE AT ALL TIMES.

**LEGEND**

- WORK ZONE
- SMALL
- BARRICADE
- FLAGGER
- ONE WAY TRAFFIC
- TWO WAY TRAFFIC





**STORM WATER POLLUTION PREVENTION NOTES**

1. THE POLLUTION PREVENTION PLAN SHALL BE DESIGNED TO PREVENT POLLUTION FROM THE PROJECT SITE FROM ENTERING THE RECEIVING WATER BODY.
2. THE POLLUTION PREVENTION PLAN SHALL BE DESIGNED TO PREVENT POLLUTION FROM THE PROJECT SITE FROM ENTERING THE RECEIVING WATER BODY.
3. THE POLLUTION PREVENTION PLAN SHALL BE DESIGNED TO PREVENT POLLUTION FROM THE PROJECT SITE FROM ENTERING THE RECEIVING WATER BODY.
4. THE POLLUTION PREVENTION PLAN SHALL BE DESIGNED TO PREVENT POLLUTION FROM THE PROJECT SITE FROM ENTERING THE RECEIVING WATER BODY.
5. THE POLLUTION PREVENTION PLAN SHALL BE DESIGNED TO PREVENT POLLUTION FROM THE PROJECT SITE FROM ENTERING THE RECEIVING WATER BODY.
6. THE POLLUTION PREVENTION PLAN SHALL BE DESIGNED TO PREVENT POLLUTION FROM THE PROJECT SITE FROM ENTERING THE RECEIVING WATER BODY.
7. THE POLLUTION PREVENTION PLAN SHALL BE DESIGNED TO PREVENT POLLUTION FROM THE PROJECT SITE FROM ENTERING THE RECEIVING WATER BODY.
8. THE POLLUTION PREVENTION PLAN SHALL BE DESIGNED TO PREVENT POLLUTION FROM THE PROJECT SITE FROM ENTERING THE RECEIVING WATER BODY.
9. THE POLLUTION PREVENTION PLAN SHALL BE DESIGNED TO PREVENT POLLUTION FROM THE PROJECT SITE FROM ENTERING THE RECEIVING WATER BODY.
10. THE POLLUTION PREVENTION PLAN SHALL BE DESIGNED TO PREVENT POLLUTION FROM THE PROJECT SITE FROM ENTERING THE RECEIVING WATER BODY.

**LAACO KATY SELF STORAGE**

**STORM WATER POLLUTION PLAN DETAILS**

1445 N. LOOP WEST - SUITE 450  
HOUSTON, TEXAS 77008  
3602 WESTHELL BLVD. HOUSTON, TEXAS 77057  
3602 WESTHELL BLVD. HOUSTON, TEXAS 77057

DATE: 11/30/16  
SCALE: N/A  
PROJECT: 1681-1406  
SHEET: C12 OF C15

APPROVED: [Signature]  
DESIGNER: [Signature]  
DATE: 11/30/16

TERRA  
TERRA ASSOCIATES, INC.  
1445 N. LOOP WEST - SUITE 450  
HOUSTON, TEXAS 77008  
3602 WESTHELL BLVD. HOUSTON, TEXAS 77057  
3602 WESTHELL BLVD. HOUSTON, TEXAS 77057

<p>IRRIGATION SLEEVE DETAIL</p> <p>No. 143</p>	<p>YARD GRATE DETAIL</p> <p>No. 144</p>	<p>STONE SEWER MANHOLE TYPE 7" FOR 42" DIAMETER AND SMALLER</p> <p>No. 148</p>	<p>WASTE WATER SAMPLING WELL</p> <p>No. 157</p>	<p>BACKSIPHON INTERCEPTOR STRUCTURE</p> <p>No. 158</p>
<p>PRIVATE SEWER STANDOUT SANDS AND STORM</p> <p>No. 154</p>	<p>BEDDING FOR STORM SEWER 36" AND SMALLER IN DIAMETER</p> <p>No. 160</p>	<p>SANDTRAP SEWER BEDDING AND BACKFILL</p> <p>No. 161</p>	<p>WATERLINE BEDDING AND BACKFILL</p> <p>No. 162</p>	<p>TYPICAL GATE VALVE INSTALLATION</p> <p>No. 159</p>
<p>MANHOLE FRAME AND COVER</p> <p>No. 150</p>	<p>INLET DETAILS TYPE 7" &amp; 8"</p> <p>No. 151</p>	<p>SAWTOOTH OR SPOKE STEEL REINFORCED CONCRETE FOUNDATION FOR 8" STEEL THROUGH</p> <p>No. 152</p>	<p>THRUST BLOCK DETAIL</p> <p>No. 201</p>	<p>IBX GATE VALVE</p> <p>No. 153</p>

**TERRA**  
1445 N. LOOP WEST - SUITE 450  
AMARICO, TEXAS, INC.  
75725-3283-0333/0308  
CORPORATE ENGINEERS  
3000 WEST LOOP WEST  
SUITE 1000  
AMARICO, TEXAS 75725-3283

PROJECT: LAACO KATY SELF STORAGE  
SITE UTILITY DETAILS

DATE: NOVEMBER 3, 2016  
DRAWN BY: J.M.  
CHECKED BY: J.M.

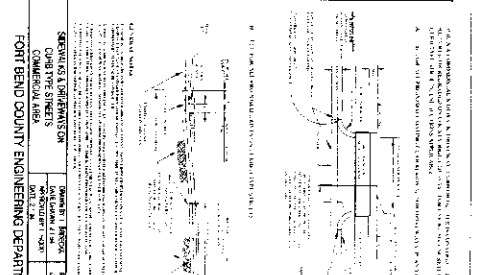
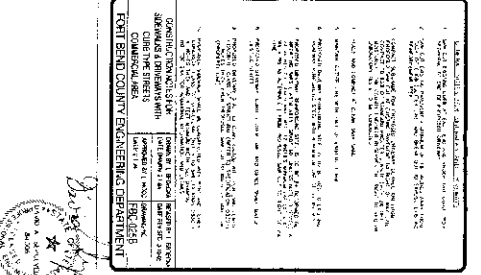
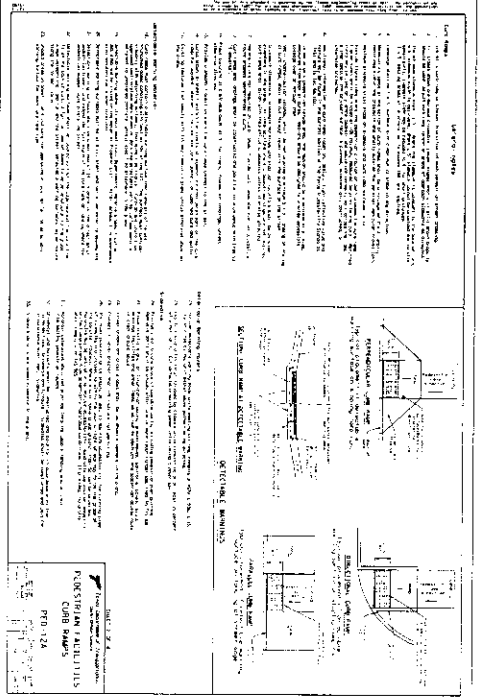
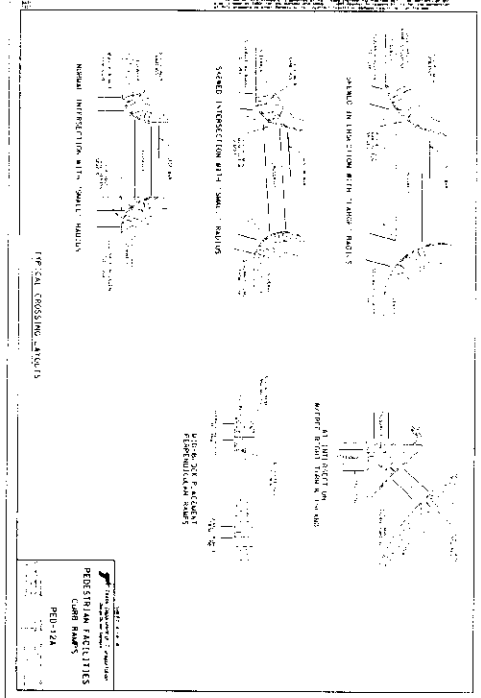
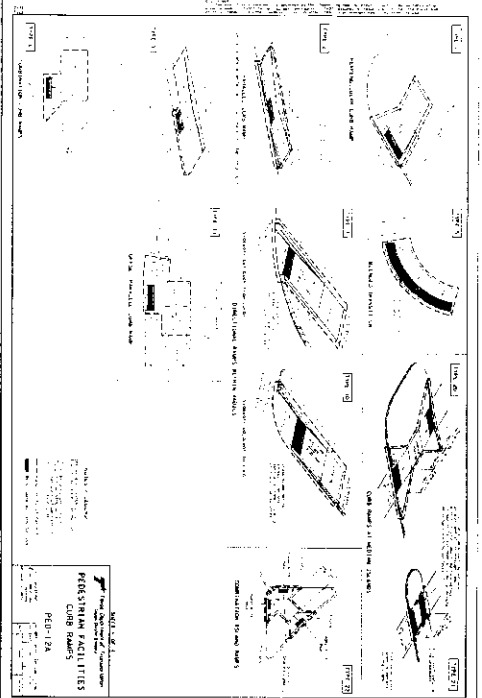
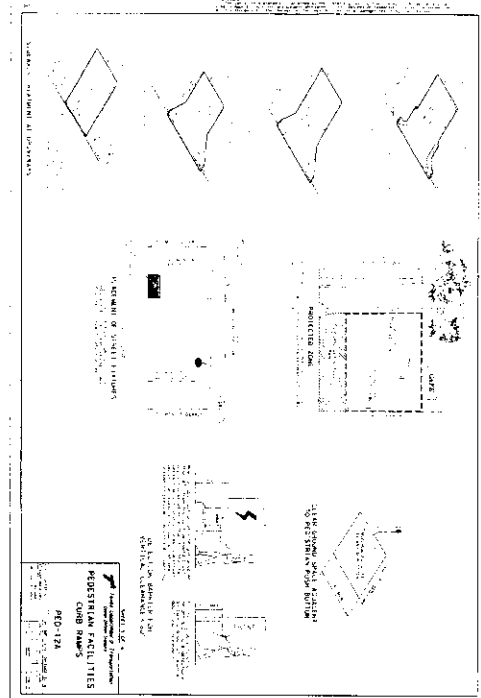
SCALE: 1/4" = 1'-0"

DATE: NOVEMBER 3, 2016

NO. 013 OF 015


**LAACO KATY SELF STORAGE**  
**SITE PAVING DETAILS (1 OF 2)**  
**TERRA**  
 1445 N. LOOP WEST - SUITE 400  
 HOUSTON, TEXAS 77040  
 PHONE: 281.442.1333  
 FAX: 281.442.1334  
 PROJECT NO. 1881-104  
 DRAWING NO. 47  
 SCALE: N/A  
 DATE: NOVEMBER 3, 2016  
 SHEET 014 OF 015

APPROVED: *[Signature]*  
 DATE: 11/18/16  
 PROJECT: LAACO KATY SELF STORAGE  
 SHEET 014 OF 015

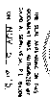


NO.	DESCRIPTION	DATE	BY

**LAACO KATY SELF STORAGE**  
**SITE PAVING DETAILS (2 OF 2)**

**TERRA**  
1445 N. LOOP WEST - SUITE 450  
HOUSTON, TEXAS 77057  
PHONE: 281-483-2327  
FAX: 281-483-2327  
1801 REGISTRATION NO. 1-003432

DESIGNED BY: JLM  
SCALE: N/A  
PROJECT NO.: 168-1406  
DRAWN BY: JLM  
DATE: NOVEMBER 8, 2015  
SHEET: CIS OF C13



FOR THE ARCHITECT:  
DATE: 11/18/15  
BY: JLM

**FORT BEND COUNTY ENGINEERING DEPARTMENT**

COMMERCIAL AREA  
CUBBY STREET  
FOOTING

1. ALL PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS DEPARTMENT OF TRANSPORTATION (TxDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC ROADS AND BRIDGES, SECTION 801.01, AND THE LATEST EDITIONS OF THE TEXAS DEPARTMENT OF TRANSPORTATION (TxDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION OF AIRPORTS, SECTION 401.01.

2. ALL PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS DEPARTMENT OF TRANSPORTATION (TxDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC ROADS AND BRIDGES, SECTION 801.01, AND THE LATEST EDITIONS OF THE TEXAS DEPARTMENT OF TRANSPORTATION (TxDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION OF AIRPORTS, SECTION 401.01.

3. ALL PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS DEPARTMENT OF TRANSPORTATION (TxDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC ROADS AND BRIDGES, SECTION 801.01, AND THE LATEST EDITIONS OF THE TEXAS DEPARTMENT OF TRANSPORTATION (TxDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION OF AIRPORTS, SECTION 401.01.

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5. ALL PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS DEPARTMENT OF TRANSPORTATION (TxDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC ROADS AND BRIDGES, SECTION 801.01, AND THE LATEST EDITIONS OF THE TEXAS DEPARTMENT OF TRANSPORTATION (TxDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION OF AIRPORTS, SECTION 401.01.

**FORT BEND COUNTY ENGINEERING DEPARTMENT**

COMMERCIAL AREA  
CUBBY STREET  
FOOTING

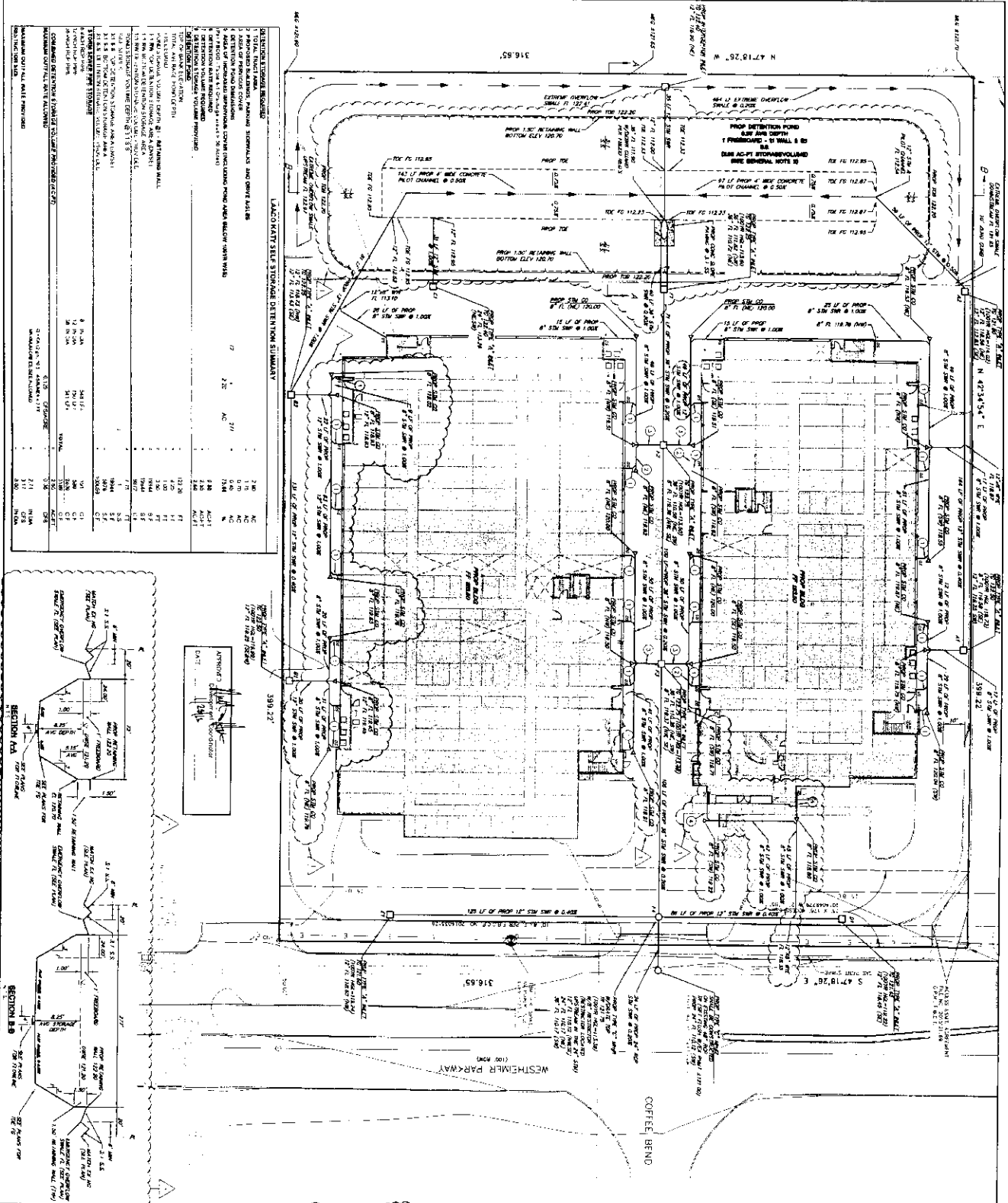
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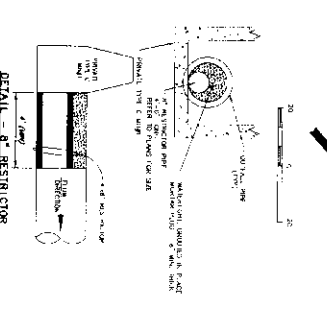
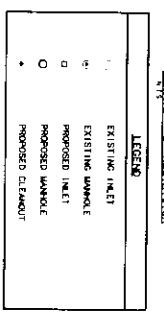
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DISTURBED AREAS		TOTAL	
1. TOTAL DISTURBED AREA	2.86 AC	1. TOTAL DISTURBED AREA	2.86 AC
2. AREA OF IMPROVED CURBS	0.00 AC	2. AREA OF IMPROVED CURBS	0.00 AC
3. AREA OF IMPROVED DRIVEWAYS	0.00 AC	3. AREA OF IMPROVED DRIVEWAYS	0.00 AC
4. AREA OF IMPROVED SIDEWALKS	0.00 AC	4. AREA OF IMPROVED SIDEWALKS	0.00 AC
5. AREA OF IMPROVED PAVEMENT	0.00 AC	5. AREA OF IMPROVED PAVEMENT	0.00 AC
6. AREA OF IMPROVED ASPHALT	0.00 AC	6. AREA OF IMPROVED ASPHALT	0.00 AC
7. AREA OF IMPROVED CONCRETE	0.00 AC	7. AREA OF IMPROVED CONCRETE	0.00 AC
8. AREA OF IMPROVED GRAVEL	0.00 AC	8. AREA OF IMPROVED GRAVEL	0.00 AC
9. AREA OF IMPROVED SAND	0.00 AC	9. AREA OF IMPROVED SAND	0.00 AC
10. AREA OF IMPROVED SOIL	0.00 AC	10. AREA OF IMPROVED SOIL	0.00 AC
11. AREA OF IMPROVED VEGETATION	0.00 AC	11. AREA OF IMPROVED VEGETATION	0.00 AC
12. AREA OF IMPROVED UTILITIES	0.00 AC	12. AREA OF IMPROVED UTILITIES	0.00 AC
13. AREA OF IMPROVED STRUCTURES	0.00 AC	13. AREA OF IMPROVED STRUCTURES	0.00 AC
14. AREA OF IMPROVED FENCES	0.00 AC	14. AREA OF IMPROVED FENCES	0.00 AC
15. AREA OF IMPROVED SIGNAGE	0.00 AC	15. AREA OF IMPROVED SIGNAGE	0.00 AC
16. AREA OF IMPROVED LIGHTING	0.00 AC	16. AREA OF IMPROVED LIGHTING	0.00 AC
17. AREA OF IMPROVED LANDSCAPING	0.00 AC	17. AREA OF IMPROVED LANDSCAPING	0.00 AC
18. AREA OF IMPROVED UTILITIES	0.00 AC	18. AREA OF IMPROVED UTILITIES	0.00 AC
19. AREA OF IMPROVED STRUCTURES	0.00 AC	19. AREA OF IMPROVED STRUCTURES	0.00 AC
20. AREA OF IMPROVED FENCES	0.00 AC	20. AREA OF IMPROVED FENCES	0.00 AC
21. AREA OF IMPROVED SIGNAGE	0.00 AC	21. AREA OF IMPROVED SIGNAGE	0.00 AC
22. AREA OF IMPROVED LIGHTING	0.00 AC	22. AREA OF IMPROVED LIGHTING	0.00 AC
23. AREA OF IMPROVED LANDSCAPING	0.00 AC	23. AREA OF IMPROVED LANDSCAPING	0.00 AC
24. AREA OF IMPROVED UTILITIES	0.00 AC	24. AREA OF IMPROVED UTILITIES	0.00 AC
25. AREA OF IMPROVED STRUCTURES	0.00 AC	25. AREA OF IMPROVED STRUCTURES	0.00 AC
26. AREA OF IMPROVED FENCES	0.00 AC	26. AREA OF IMPROVED FENCES	0.00 AC
27. AREA OF IMPROVED SIGNAGE	0.00 AC	27. AREA OF IMPROVED SIGNAGE	0.00 AC
28. AREA OF IMPROVED LIGHTING	0.00 AC	28. AREA OF IMPROVED LIGHTING	0.00 AC
29. AREA OF IMPROVED LANDSCAPING	0.00 AC	29. AREA OF IMPROVED LANDSCAPING	0.00 AC
30. AREA OF IMPROVED UTILITIES	0.00 AC	30. AREA OF IMPROVED UTILITIES	0.00 AC
31. AREA OF IMPROVED STRUCTURES	0.00 AC	31. AREA OF IMPROVED STRUCTURES	0.00 AC
32. AREA OF IMPROVED FENCES	0.00 AC	32. AREA OF IMPROVED FENCES	0.00 AC
33. AREA OF IMPROVED SIGNAGE	0.00 AC	33. AREA OF IMPROVED SIGNAGE	0.00 AC
34. AREA OF IMPROVED LIGHTING	0.00 AC	34. AREA OF IMPROVED LIGHTING	0.00 AC
35. AREA OF IMPROVED LANDSCAPING	0.00 AC	35. AREA OF IMPROVED LANDSCAPING	0.00 AC
36. AREA OF IMPROVED UTILITIES	0.00 AC	36. AREA OF IMPROVED UTILITIES	0.00 AC
37. AREA OF IMPROVED STRUCTURES	0.00 AC	37. AREA OF IMPROVED STRUCTURES	0.00 AC
38. AREA OF IMPROVED FENCES	0.00 AC	38. AREA OF IMPROVED FENCES	0.00 AC
39. AREA OF IMPROVED SIGNAGE	0.00 AC	39. AREA OF IMPROVED SIGNAGE	0.00 AC
40. AREA OF IMPROVED LIGHTING	0.00 AC	40. AREA OF IMPROVED LIGHTING	0.00 AC
41. AREA OF IMPROVED LANDSCAPING	0.00 AC	41. AREA OF IMPROVED LANDSCAPING	0.00 AC
42. AREA OF IMPROVED UTILITIES	0.00 AC	42. AREA OF IMPROVED UTILITIES	0.00 AC
43. AREA OF IMPROVED STRUCTURES	0.00 AC	43. AREA OF IMPROVED STRUCTURES	0.00 AC
44. AREA OF IMPROVED FENCES	0.00 AC	44. AREA OF IMPROVED FENCES	0.00 AC
45. AREA OF IMPROVED SIGNAGE	0.00 AC	45. AREA OF IMPROVED SIGNAGE	0.00 AC
46. AREA OF IMPROVED LIGHTING	0.00 AC	46. AREA OF IMPROVED LIGHTING	0.00 AC
47. AREA OF IMPROVED LANDSCAPING	0.00 AC	47. AREA OF IMPROVED LANDSCAPING	0.00 AC
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49. AREA OF IMPROVED STRUCTURES	0.00 AC	49. AREA OF IMPROVED STRUCTURES	0.00 AC
50. AREA OF IMPROVED FENCES	0.00 AC	50. AREA OF IMPROVED FENCES	0.00 AC
51. AREA OF IMPROVED SIGNAGE	0.00 AC	51. AREA OF IMPROVED SIGNAGE	0.00 AC
52. AREA OF IMPROVED LIGHTING	0.00 AC	52. AREA OF IMPROVED LIGHTING	0.00 AC
53. AREA OF IMPROVED LANDSCAPING	0.00 AC	53. AREA OF IMPROVED LANDSCAPING	0.00 AC
54. AREA OF IMPROVED UTILITIES	0.00 AC	54. AREA OF IMPROVED UTILITIES	0.00 AC
55. AREA OF IMPROVED STRUCTURES	0.00 AC	55. AREA OF IMPROVED STRUCTURES	0.00 AC
56. AREA OF IMPROVED FENCES	0.00 AC	56. AREA OF IMPROVED FENCES	0.00 AC
57. AREA OF IMPROVED SIGNAGE	0.00 AC	57. AREA OF IMPROVED SIGNAGE	0.00 AC
58. AREA OF IMPROVED LIGHTING	0.00 AC	58. AREA OF IMPROVED LIGHTING	0.00 AC
59. AREA OF IMPROVED LANDSCAPING	0.00 AC	59. AREA OF IMPROVED LANDSCAPING	0.00 AC
60. AREA OF IMPROVED UTILITIES	0.00 AC	60. AREA OF IMPROVED UTILITIES	0.00 AC
61. AREA OF IMPROVED STRUCTURES	0.00 AC	61. AREA OF IMPROVED STRUCTURES	0.00 AC
62. AREA OF IMPROVED FENCES	0.00 AC	62. AREA OF IMPROVED FENCES	0.00 AC
63. AREA OF IMPROVED SIGNAGE	0.00 AC	63. AREA OF IMPROVED SIGNAGE	0.00 AC
64. AREA OF IMPROVED LIGHTING	0.00 AC	64. AREA OF IMPROVED LIGHTING	0.00 AC
65. AREA OF IMPROVED LANDSCAPING	0.00 AC	65. AREA OF IMPROVED LANDSCAPING	0.00 AC
66. AREA OF IMPROVED UTILITIES	0.00 AC	66. AREA OF IMPROVED UTILITIES	0.00 AC
67. AREA OF IMPROVED STRUCTURES	0.00 AC	67. AREA OF IMPROVED STRUCTURES	0.00 AC
68. AREA OF IMPROVED FENCES	0.00 AC	68. AREA OF IMPROVED FENCES	0.00 AC
69. AREA OF IMPROVED SIGNAGE	0.00 AC	69. AREA OF IMPROVED SIGNAGE	0.00 AC
70. AREA OF IMPROVED LIGHTING	0.00 AC	70. AREA OF IMPROVED LIGHTING	0.00 AC
71. AREA OF IMPROVED LANDSCAPING	0.00 AC	71. AREA OF IMPROVED LANDSCAPING	0.00 AC
72. AREA OF IMPROVED UTILITIES	0.00 AC	72. AREA OF IMPROVED UTILITIES	0.00 AC
73. AREA OF IMPROVED STRUCTURES	0.00 AC	73. AREA OF IMPROVED STRUCTURES	0.00 AC
74. AREA OF IMPROVED FENCES	0.00 AC	74. AREA OF IMPROVED FENCES	0.00 AC
75. AREA OF IMPROVED SIGNAGE	0.00 AC	75. AREA OF IMPROVED SIGNAGE	0.00 AC
76. AREA OF IMPROVED LIGHTING	0.00 AC	76. AREA OF IMPROVED LIGHTING	0.00 AC
77. AREA OF IMPROVED LANDSCAPING	0.00 AC	77. AREA OF IMPROVED LANDSCAPING	0.00 AC
78. AREA OF IMPROVED UTILITIES	0.00 AC	78. AREA OF IMPROVED UTILITIES	0.00 AC
79. AREA OF IMPROVED STRUCTURES	0.00 AC	79. AREA OF IMPROVED STRUCTURES	0.00 AC
80. AREA OF IMPROVED FENCES	0.00 AC	80. AREA OF IMPROVED FENCES	0.00 AC
81. AREA OF IMPROVED SIGNAGE	0.00 AC	81. AREA OF IMPROVED SIGNAGE	0.00 AC
82. AREA OF IMPROVED LIGHTING	0.00 AC	82. AREA OF IMPROVED LIGHTING	0.00 AC
83. AREA OF IMPROVED LANDSCAPING	0.00 AC	83. AREA OF IMPROVED LANDSCAPING	0.00 AC
84. AREA OF IMPROVED UTILITIES	0.00 AC	84. AREA OF IMPROVED UTILITIES	0.00 AC
85. AREA OF IMPROVED STRUCTURES	0.00 AC	85. AREA OF IMPROVED STRUCTURES	0.00 AC
86. AREA OF IMPROVED FENCES	0.00 AC	86. AREA OF IMPROVED FENCES	0.00 AC
87. AREA OF IMPROVED SIGNAGE	0.00 AC	87. AREA OF IMPROVED SIGNAGE	0.00 AC
88. AREA OF IMPROVED LIGHTING	0.00 AC	88. AREA OF IMPROVED LIGHTING	0.00 AC
89. AREA OF IMPROVED LANDSCAPING	0.00 AC	89. AREA OF IMPROVED LANDSCAPING	0.00 AC
90. AREA OF IMPROVED UTILITIES	0.00 AC	90. AREA OF IMPROVED UTILITIES	0.00 AC
91. AREA OF IMPROVED STRUCTURES	0.00 AC	91. AREA OF IMPROVED STRUCTURES	0.00 AC
92. AREA OF IMPROVED FENCES	0.00 AC	92. AREA OF IMPROVED FENCES	0.00 AC
93. AREA OF IMPROVED SIGNAGE	0.00 AC	93. AREA OF IMPROVED SIGNAGE	0.00 AC
94. AREA OF IMPROVED LIGHTING	0.00 AC	94. AREA OF IMPROVED LIGHTING	0.00 AC
95. AREA OF IMPROVED LANDSCAPING	0.00 AC	95. AREA OF IMPROVED LANDSCAPING	0.00 AC
96. AREA OF IMPROVED UTILITIES	0.00 AC	96. AREA OF IMPROVED UTILITIES	0.00 AC
97. AREA OF IMPROVED STRUCTURES	0.00 AC	97. AREA OF IMPROVED STRUCTURES	0.00 AC
98. AREA OF IMPROVED FENCES	0.00 AC	98. AREA OF IMPROVED FENCES	0.00 AC
99. AREA OF IMPROVED SIGNAGE	0.00 AC	99. AREA OF IMPROVED SIGNAGE	0.00 AC
100. AREA OF IMPROVED LIGHTING	0.00 AC	100. AREA OF IMPROVED LIGHTING	0.00 AC

**GENERAL NOTES:**

1. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
2. ALL UTILITIES SHALL BE DEPTH MARKED AND PROTECTED.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON SPECIFICATIONS.
4. ALL MATERIALS SHALL BE APPROVED BY THE CITY OF HOUSTON.
5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
6. ALL UTILITIES SHALL BE INSTALLED AT THE PROPER DEPTHS AND SPACINGS.
7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON SPECIFICATIONS.
8. ALL MATERIALS SHALL BE APPROVED BY THE CITY OF HOUSTON.
9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
10. ALL UTILITIES SHALL BE INSTALLED AT THE PROPER DEPTHS AND SPACINGS.



**LEGEND**

- EXISTING INLET
- EXISTING MANHOLE
- PROPOSED INLET
- PROPOSED MANHOLE
- PROPOSED CLEANOUT

**DETAIL - 6" RISER INLET**

**GENERAL NOTES:**

1. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
2. ALL UTILITIES SHALL BE DEPTH MARKED AND PROTECTED.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON SPECIFICATIONS.
4. ALL MATERIALS SHALL BE APPROVED BY THE CITY OF HOUSTON.
5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
6. ALL UTILITIES SHALL BE INSTALLED AT THE PROPER DEPTHS AND SPACINGS.
7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON SPECIFICATIONS.
8. ALL MATERIALS SHALL BE APPROVED BY THE CITY OF HOUSTON.
9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
10. ALL UTILITIES SHALL BE INSTALLED AT THE PROPER DEPTHS AND SPACINGS.