



described in **Exhibit "A,"** and upon the condition that none of such operations shall be conducted so near the surface of the Property as to interfere with the intended use thereof or in any way interfere with, jeopardize, or endanger the facilities of Fort Bend County, Texas (the "County") or create a hazard to the public users thereof; it being intended, however, that nothing herein shall affect the rights of the County to take and use without additional compensation any water, stone, earth, gravel, caliche, iron ore gravel or any other road building materials upon, in and under said land for the construction and maintenance of the public and County or State Highway System of Texas.

**TO HAVE AND TO HOLD** the Property, together with, all and singular, the rights and appurtenances thereto in anywise belonging, unto Grantee, its successors and/or assigns forever; and Grantor does hereby bind itself, its successors and/or assigns, to **WARRANT AND FOREVER DEFEND**, all and singular, the Property unto Grantee, its successors and/or assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof by, through, or under Grantor, but not otherwise, subject only to the Permitted Encumbrances.

*[Signature pages follow this page.]*

EXECUTED on this the 23rd day of July, 2012.

**W.K. KING FAMILY LIMITED PARTNERSHIP**

By its General Partner,  
WKK Management LLC,  
a Texas Limited Liability Company

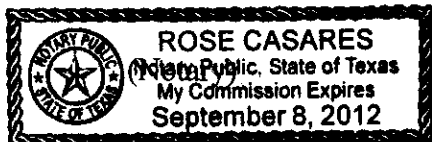
By: Jennifer Susan King  
Name: Jennifer Susan King  
Title: Co-Manager General Partner

By: Christopher F. King  
Name: Christopher F. King  
Title: Co General Partner

THE STATE OF TEXAS

COUNTY OF FORT BEND

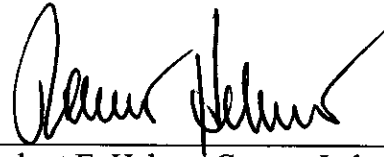
This instrument was acknowledged before me on the 23rd day of July, 2012 by the Co-managers of WKK Management, LLC, a Texas limited liability company and the General Partner of W.K. KING FAMILY LIMITED PARTNERSHIP, a Texas limited partnership, on behalf of said entities.



Rose Casares  
Notary Public in and for the State of Texas

AGREED AND ACCEPTED on this the 24 day of July, 2012.

FORT BEND COUNTY, TEXAS

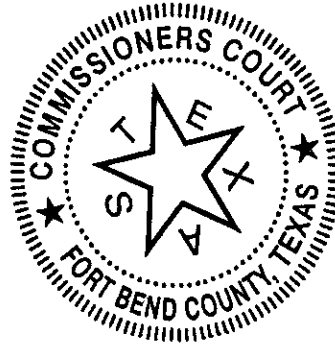
By:   
Robert E. Hebert, County Judge

ATTEST:

  
County Clerk, Fort Bend County, Texas

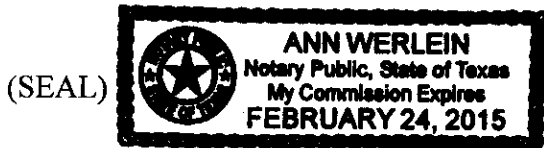
APPROVED AS TO FORM:


  
Assistant County Attorney



THE STATE OF TEXAS     §  
  §  
COUNTY OF FORT BEND   §

This instrument was acknowledged before me on the 24 day of July, 2012 by Robert E. Hebert, County Judge of Fort Bend County, Texas.



  
Notary Public in and for the State of Texas

Attachment:  
Exhibit A – Legal Description of the Property

AFTER RECORDING RETURN TO:

Fort Bend County Attorney's Office  
301 Jackson Street, Suite 728  
Richmond, Texas 77469  
Attention: Joe W. Cox

State of Texas  
County of Fort Bend

Stephen Hobemaker Survey  
Abstract No. 189

Description of  
Tract No. 4A - King  
Gaston Road and Greenbusch Road Right of Way  
3.6525 Acres

Description of a 3.6525 Acre (159,103 square foot) out of a 36.525 acre tract of land out of a 64.891 acre tract, as recorded in FBCC File No. 9818121, of land being that portion of a call 248.155 acre tract of land being in the Stephen Hobemaker Survey, Abstract No. 189, Fort Bend County, Texas. Base Bearing the Northeast line of Cinco Ranch West, Section 25 (Slide Nos. 2539B and 2540A; Plat Records) and of Cinco Ranch West, Section 26 (File No. 2004114080) North 46° 41' 32" West – Note on Plat: "All bearings are referenced to the Texas Coordinate System, South Central Zone (NAD 27)".

Beginning at a found 5/8" capped iron rod set inside an old 3/4" iron pipe found at a 6 inch PVC Pipe in the Southeast right of way line of Greenbusch Road (60 foot wide as occupied) and marking the most westerly corner of Greenbusch Estates Section One (1) (Slide 1957B, Plat Records) and being the North corner and POINT OF BEGINNING of the herein described Tract;

THENCE South 47°, 20', 22" East along a fence and the Southwest line of said Greenbusch Estates Section One (1), a distance of 20.00 feet to a found capped 5/8" iron rod stamped "TAPLIN" marking a point for corner of the herein described Tract and on the Southeast right of way line of proposed Greenbusch Road right of way (100' wide);

THENCE South 42° 39' 38" West, a distance of 995.67 feet along the Southeast line of proposed Greenbusch right of way to a set 5/8" capped iron rod stamped "JNS Engineers RPLS 4417" and a point for corner of the herein described Tract and a point of curvature of a curve to the left;

THENCE along said curve to the left having a radius of 25.00 feet with a length along the curve of 39.35 feet with a chord length of 35.41 feet having a chord bearing of South 02° 25' 56" East to a set capped 5/8" iron rod stamped "JNS Engineers RPLS 4417" marking a point for corner of the herein described Tract;

THENCE South 47° 31' 30" East, a distance of 424.18 feet along the proposed East right of way line to Gaston Road to a set capped 5/8 inch iron rod stamped "JNS Engineers RPLS 4417" set marking the most easterly corner of the herein described Tract and to a point of curvature of a curve to the left;

EXHIBIT A

THENCE along said curve to the left having a radius of 1,950.00 feet with a length along the curve of 388.19 feet with a chord length of 387.55 feet having a chord bearing of South 53° 13' 40" East to a set capped 5/8" iron rod stamped "JNS Engineers RPLS 4417" marking a point for corner of the herein described Tract;

THENCE South 58° 55' 51" East, a distance of 75.22 feet to a set capped 5/8 Inch iron rod stamped "JNS Engineers RPLS 4417" set marking the most easterly corner of the herein described Tract and to a point of curvature of a curve to the right;

THENCE along said curve to the right having a radius of 2050.00 feet with a length along the curve of 433.48 feet with a chord length of 432.67 feet having a chord bearing of South 52° 51' 30" East to a set capped 5/8" iron rod stamped "JNS Engineers RPLS 4417" marking a point for corner of the herein described Tract;

THENCE South 46° 47' 09" East, a distance of 75.40 feet to a set capped 5/8 Inch iron rod stamped "JNS Engineers RPLS 4417" set marking the most easterly corner of the herein described Tract and to a point of curvature of a curve to the left;

THENCE along said curve to the left having a radius of 25.00 feet with a length along the curve of 38.37 feet with a chord length of 34.71 feet having a chord bearing of North 89° 14' 49" East to a set capped 5/8" iron rod stamped "JNS Engineers RPLS 4417" marking a point for corner of the herein described Tract, a point of reverse curve for a curve to the right, and on the northerly right of way of proposed Falcon Landing Blvd (100 foot wide);

THENCE along said curve to the right and said Falcon Landing right of way line having a radius of 950.00 feet with a length along the curve of 187.62 feet with a chord length of 187.32 feet having a chord bearing of North 50° 56' 14" East to a found capped 5/8" iron rod stamped "Brown & Gay" marking a point for corner of the herein described Tract and on the South line of a called 36.525 Acre Tract owned by the King Family Interest, being a residue of a 64.891 acre tract as recorded in FBCC File No. 9818121;

THENCE South 43° 20' 06" West 315.46 feet along a fence and the said South line of the 36.525 Acre Tract passing a found capped 5/8" iron rod stamped "1535-4035" and passing the called 131.2601 acre tract as recorded in the FBCCD Vol. 1204, Page 495 and the Northeast line of the Katy Independent School District High School No. 7 plat as recorded in FBCC Plat No. 20110175 at a distance of 334.62 feet, continuing for a total distance of 364.62 feet to a set PK nail marking a point for corner of the herein described Tract and on the center line of the existing Gaston Road right of way (unrecorded, 60 foot wide, occupied) and the most southerly corner of the said 36.525 Acre Tract;

THENCE along said called deed line North 46° 41' 46" West of said 36.525 acre tract a distance of 1005.02 feet to the said deed call line of the said 131.2601 acre tract and the said Northeast line of the said KISD High School No. 7 plat to a point for corner of the herein described tract;

#### EXHIBIT A

THENCE departing the deed call line of said 36.525 acre tract and following the said deed call line of the said 131.2601 acre tract and the said KISD High School No. 7 plat to a point in line with the deed call of the Northwest line of said 36.525 acre tract North 48° 04' 11" West a distance of 477.48 feet to a point for corner of the herein described tract.

THENCE following the said called Northwest line of the 36.525 acre tract North 42° 39' 38" East to the most Westerly corner of the said 36.525 acre Tract at a distance of 11.45 feet and continuing for a total distance of 1073.72 feet to a point on the Southwest line of said Greenbusch Estates Section One (1) and the POINT OF BEGINNING of the herein described tract and containing 3.6525 acres (159,103 square feet).

This description is prepared in conjunction with a survey map (sheets 1 of 6 thru 6 of 6) prepared by JNS Engineers LLC dated April 13, 2012.

Dated: April 13, 2012  
Revised April 26, 2012

Job No.: 262-04  
JNS Engineers, LLC  
722 Pin Oak Road, Suite 202A  
Katy, Texas 77494  
281-391-3366

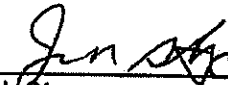
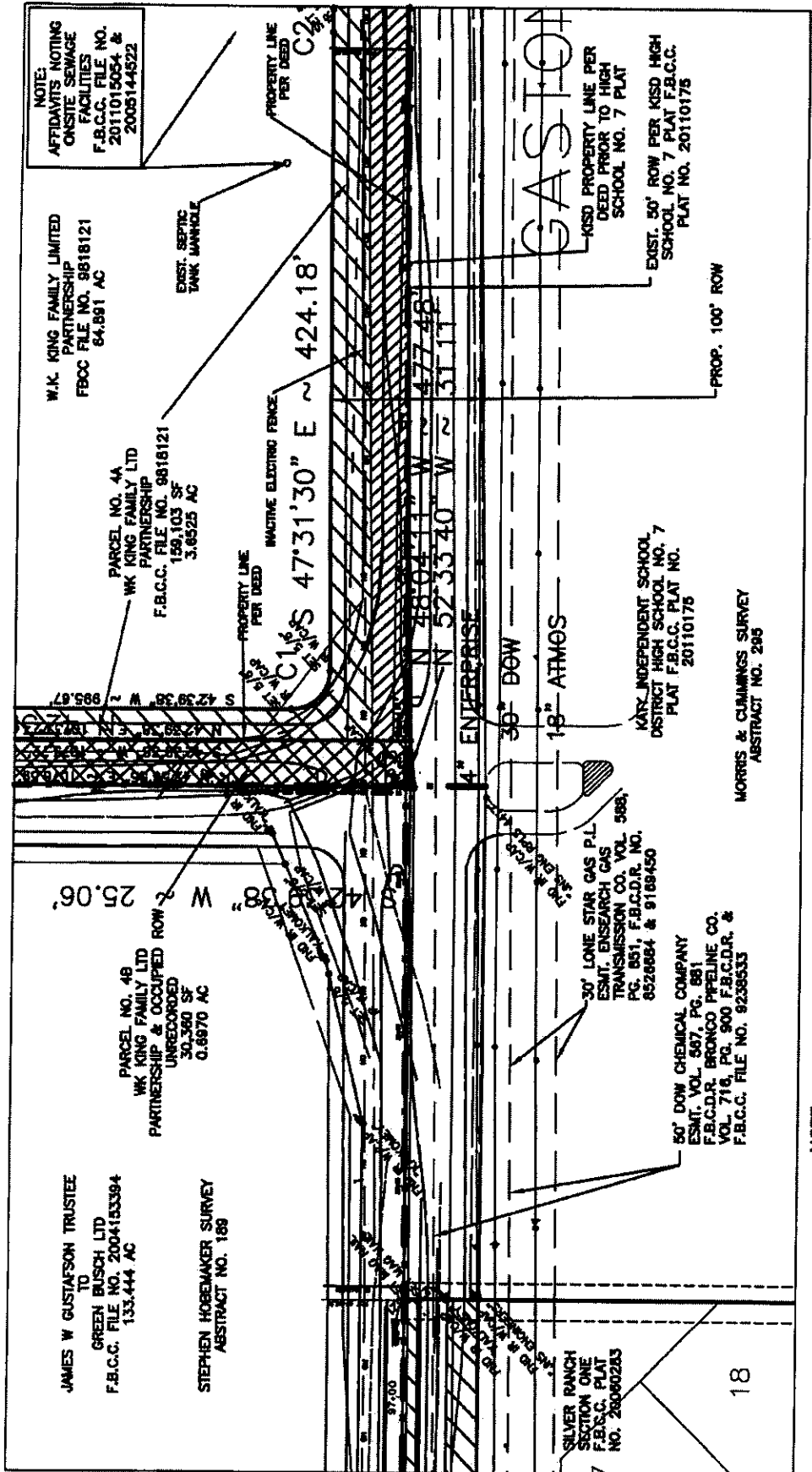
 4/26/2012  
Jon N. Strange  
Registered Professional Land Surveyor No. 4417



EXHIBIT A



**NOTE:**  
 AFFIDAVITS NOTING  
 ONSITE SEWAGE  
 FACILITIES  
 F.B.C.C. FILE NO.  
 2011015054 &  
 2005144522

W.K. KING FAMILY LIMITED  
 PARTNERSHIP  
 FBCC FILE NO. 9818121  
 64.881 AC

PARCEL NO. 4A  
 WK KING FAMILY LTD  
 PARTNERSHIP  
 F.B.C.C. FILE NO. 9818121  
 159,103 SF  
 3.6525 AC

PARCEL NO. 4B  
 WK KING FAMILY LTD  
 PARTNERSHIP & OCCUPIED ROW  
 UNRECORDED  
 30,360 SF  
 0.6970 AC

JAMES W GUSTAFSON TRUSTEE  
 TO  
 GREEN BUSCH LTD  
 F.B.C.C. FILE NO. 2004153394  
 133.444 AC

STEPHEN HOBEMAKER SURVEY  
 ABSTRACT NO. 168

EXIST. SEPTIC  
 TANK MANHOLE

PROPERTY LINE  
 PER DEED  
 C2

PROPERTY LINE  
 PER DEED  
 C1

47°31'30" E ~ 424.18'

47°31'30" W ~ 477.48'

52°33'40" W ~ 311.11'

4" ENTERPRISE

30" DOW

18" ATMOS

30' LONE STAR GAS P.L.  
 ESMT. ENSEARCH GAS  
 TRANSMISSION CO. VOL 588,  
 PG. 851, F.B.C.D.R. NO.  
 6328864 & 9188450

50' DOW CHEMICAL COMPANY  
 ESMT. VOL. 507, PG. 881  
 F.B.C.D.R. BRONCO PIPELINE CO.  
 VOL. 716, PG. 900 F.B.C.D.R. &  
 F.B.C.C. FILE NO. 9238533

MARY INDEPENDENT SCHOOL  
 DISTRICT HIGH SCHOOL NO. 7  
 PLAT F.B.C.C. PLAT NO.  
 20110175

MORRIS & CUMMINGS SURVEY  
 ABSTRACT NO. 295

KISD PROPERTY LINE PER  
 DEED PRIOR TO HIGH  
 SCHOOL NO. 7 PLAT  
 EXIST. 50' ROW PER KISD HIGH  
 SCHOOL NO. 7 PLAT F.B.C.C.  
 PLAT NO. 20110175

PROP. 100' ROW



SCALE 1"=100'

**NOTE:**  
 1. SEE SHEET 6 OF 6 FOR NOTES, ACREAGE SUMMARY AND RPLS CERTIFICATION.  
 2. PARCEL NO. 4A HAS A BOUNDARY DISCREPANCY ALONG THE SOUTHWEST LINE  
 OF THE 36.525 AC TRACT ON THE GASTON RD FRONTAGE. A GAP EXISTS BETWEEN  
 THE 131.2601 AC KISD SITE AND THE 36.525 AC PROPERTY (PARCEL NO. 4A)  
 AND AN OVERLAPPING ENCROACHMENT BETWEEN THESE TWO TRACTS OF 0.2781  
 AC. THIS GAP AND OVERLAP EXISTS IN THE OCCUPIED ROW OF GASTON RD  
 (APPROXIMATELY 60' WIDE).

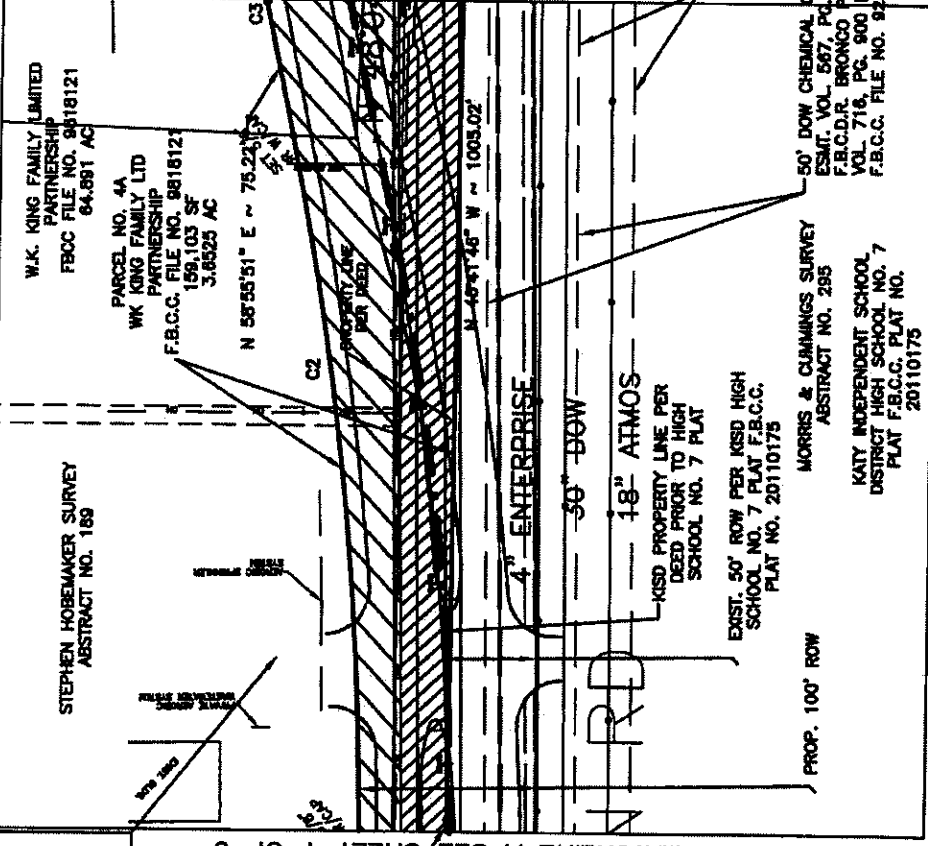
CURVE NO.	RADIUS	LA	LCH	CH BRG	CENTRAL ANGLE
C1	25.00'	39.35'	35.41'	S02°25'56"E	90°00'00"
C2	1950.00'	388.19'	387.55'	S53°13'40"E	117°24'39"

PARCEL PLAT  
 SHOWING PROPERTY OF  
 PARCEL 4A & 4B  
 SHEET 1 OF 6

GASTON ROAD  
 FT. BEND COUNTY, TEXAS  
 J.N.S. ENGINEERS, LLC  
 APRIL, 2012  
 SCALE: 1"=100'

• NOT FOUND  
 \* INDICATES SETBACKS, "S" ENGINEERS' CAP OR AS NOTED  
 © INDICATES FOUND MONUMENT AS NOTED

NOTE:  
 AFFIDAVITS NOTING  
 ON-SITE SEWAGE  
 FACILITIES  
 F.B.C.C. FILE NO.  
 201101505A &  
 2005144522



MATCHLINE A SEE SHEET 1 OF 6

MATCHLINE A SEE SHEET 3 OF 6

30' LONE STAR GAS P.L.  
 ESMT. ENSEARCH GAS  
 TRANSMISSION CO. VOL. 588,  
 PG. 881, F.B.C.D.R. NO.  
 8526684 & 91689450

50' DOW CHEMICAL COMPANY  
 ESMT. VOL. 567, PG. 881  
 F.B.C.D.R. BRONCO PIPELINE CO.  
 VOL. 716, PG. 900 F.B.C.D.R. &  
 F.B.C.C. FILE NO. 9238533

MORRIS & CUMMINGS SURVEY  
 ABSTRACT NO. 295  
 KATY INDEPENDENT SCHOOL  
 DISTRICT HIGH SCHOOL NO. 7  
 PLAT F.B.C.C. PLAT NO.  
 20110175



SCALE 1"=100'

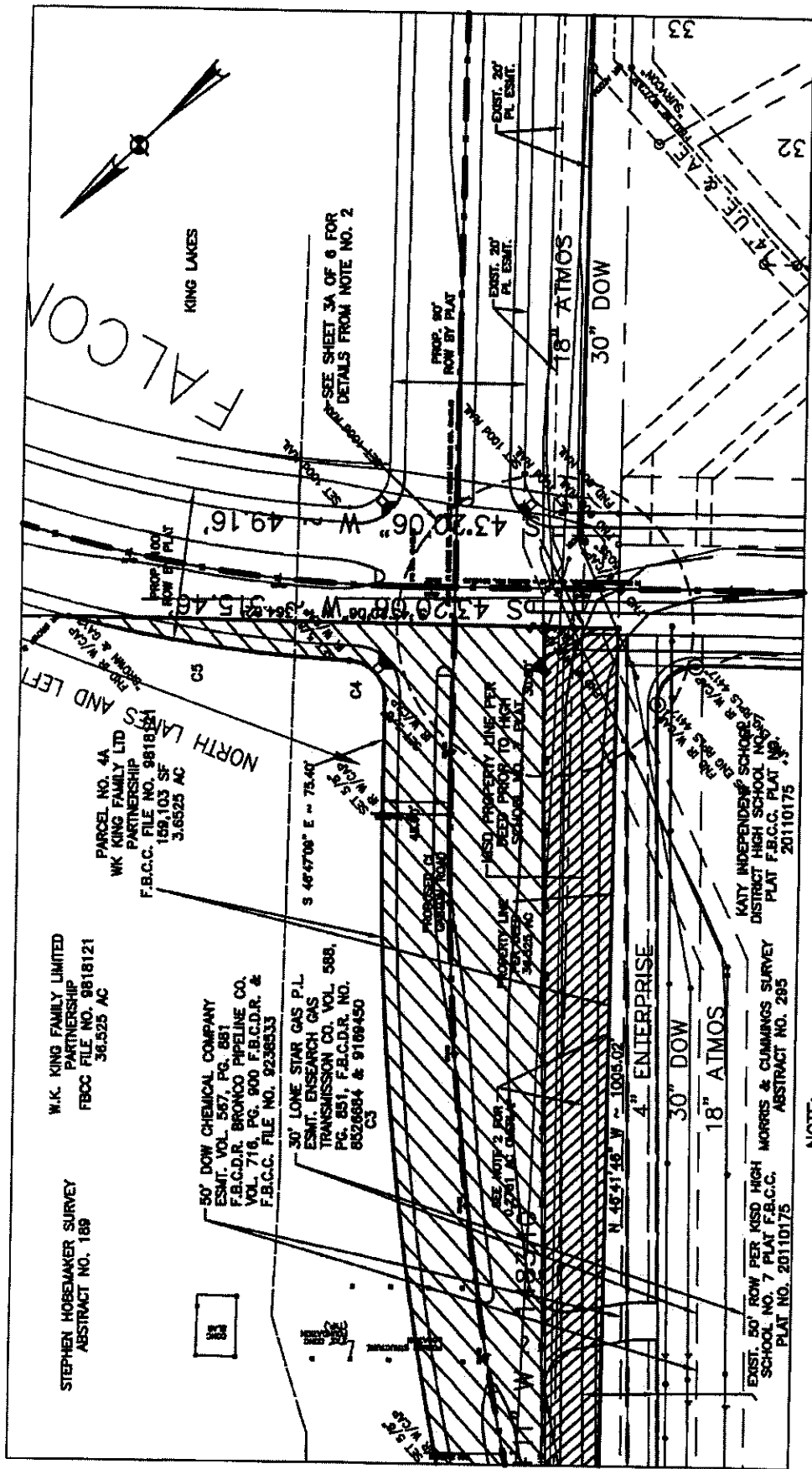
NOTE:

1. SEE SHEET 6 OF 6 FOR NOTES, ACREAGE SUMMARY AND RPLS CERTIFICATION.
2. PARCEL NO. 4A HAS A BOUNDARY DISCREPANCY ALONG THE SOUTHWEST LINE OF THE 36.525 AC TRACT ON THE GASTON RD FRONTAGE. A GAP EXISTS BETWEEN THE 131.2601 AC KIDS SITE AND THE 36.525 AC PROPERTY (PARCEL NO. 4A) AND AN OVERLAPPING ENCROACHMENT BETWEEN THESE TWO TRACTS OF 0.2781 AC. THIS GAP AND OVERLAP EXISTS IN THE OCCUPIED ROW OF GASTON RD (APPROXIMATELY 60' WIDE).

CURVE NO.	RADIUS	LA	LCH	CH BRG	CENTRAL ANGLE
C2	1950.00'	388.19'	387.65'	S53°13'40"E	11°24'39"
C3	2050.00'	433.48'	432.67'	S52°51'30"E	12°07'18"

PARCEL PLAT  
 SHOWING PROPERTY OF  
 PARCEL 4A & 4B  
 SHEET 2 OF 6  
 GASTON ROAD  
 FT. BEND COUNTY, TEXAS  
 J.N.S. ENGINEERS, LLC  
 APRIL, 2012  
 SCALE 1"=100'

● NOT FOUND  
 \* INDICATES SETBACK. \*JNS ENGINEERS\* CAP OR AS NOTED  
 ● INDICATES FOUND MONUMENT AS NOTED



STEPHEN HOBEMAKER SURVEY  
ABSTRACT NO. 189

W.K. KING FAMILY LIMITED  
PARTNERSHIP  
FBCC FILE NO. 9818121  
36.525 AC

WK KING FAMILY LTD  
PARTNERSHIP  
F.B.C.C. FILE NO. 9818121  
159,103 SF  
3.6525 AC

50' DOW CHEMICAL COMPANY  
ESMT. VOL. 567, PG. 881  
F.B.C.D.R. BRONCO PIPELINE CO.  
VOL. 716, PG. 900 F.B.C.D.R. &  
F.B.C.C. FILE NO. 9238533

30' LONE STAR GAS P.L.  
ESMT. ENSEARCH GAS  
TRANSMISSION CO. VOL. 588,  
PG. 851, F.B.C.D.R. NO.  
6826884 & 9168450

EXIST. 50' ROW PER KISD HIGH  
SCHOOL, NO. 7 PLAT F.B.C.C.  
PLAT NO. 20110175

MORRIS & CUMMINGS SURVEY  
ABSTRACT NO. 285

KATY INDEPENDENT SCHOOLS & DISTRICT  
DISTRICT HIGH SCHOOL NO. 107  
PLAT F.B.C.C. PLAT NO. 20110175

MATCHLINE B SEE SHEET 2 OF 6

0 100 200



SCALE 1"=100'

NOTE:

- SEE SHEET 6 OF 6 FOR NOTES, ACREAGE SUMMARY AND RPLS CERTIFICATION.
- PARCEL NO. 4A HAS A BOUNDARY DISCREPANCY ALONG THE SOUTHWEST LINE OF THE 36.525 AC TRACT ON THE GASTON RD FRONTAGE. A GAP EXISTS BETWEEN THE 131.2601 AC KISD SITE AND THE 36.525 AC PROPERTY (PARCEL NO. 4A) AND AN OVERLAPPING ENCROACHMENT BETWEEN THESE TWO TRACTS OF 0.2781 AC. THIS GAP AND OVERLAP EXISTS IN THE OCCUPIED ROW OF GASTON RD (APPROXIMATELY 60' WIDE).

CURVE NO.	RADIUS	LA	LCH	CH BRG	CENTRAL ANGLE
C3	2080.00'	433.46'	432.67'	S52°51'30"E	12°07'18"
C4	25.00'	38.37'	34.71'	N69°14'49"E	87°55'37"
C5	950.00'	187.82'	187.32'	N50°56'14"E	11°18'57"

⊙ NOT FOUND  
\* INDICATES SET 1/4" I.R. "JNS ENGINEERS" CAP OR AS NOTED  
⊙ INDICATES FOUND MONUMENT AS NOTED

PARCEL PLAT  
SHOWING PROPERTY OF  
PARCEL 4A & 4B  
SHEET 3 OF 6  
GASTON ROAD  
FT. BEND COUNTY, TEXAS  
J.N.S. ENGINEERS, LLC  
APRIL, 2012  
SCALE 1"=100'

PROPOSED W/CAP  
"BROWN & GAY"

PARCEL NO. 4A  
WK KING FAMILY LTD  
PARTNERSHIP  
F.B.C.C. FILE NO. 9818121  
159,103 SF  
3.6525 AC

PROPOSED FALCON  
LANDING ROW  
950.00' RADIUS

OCCUPIED ROW  
GASTON RD PER  
36.525 AC DEED

PROPERTY LINE  
PER DEED FOR  
36.525 AC

SEE NOTE 2 FOR  
0.2781 AC OVERLAP

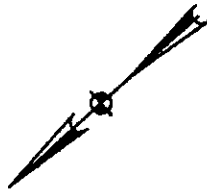
OCCUPIED ROW  
GASTON RD PER  
KISD DEED

KISD PROPERTY LINE PER  
DEED PRIOR TO HIGH  
SCHOOL NO. 7 PLAT

EXIST. 50' ROW PER KISD HIGH  
SCHOOL NO. 7 PLAT F.B.C.C.  
PLAT NO. 20110175

SEE SHEET 3 OF 6  
FOR DETAIL  
DESCRIPTION OF  
PARCEL 4A

19.16'  
30.00'  
49.16'



0 100 200



SCALE 1"=100'

NOTE:

- SEE SHEET 6 OF 6 FOR NOTES, ACREAGE SUMMARY AND RPLS CERTIFICATION.
- PARCEL NO. 4A HAS A BOUNDARY DISCREPANCY ALONG THE SOUTHWEST LINE OF THE 36.525 AC TRACT ON THE GASTON RD FRONTAGE. A GAP EXISTS BETWEEN THE 131.2601 AC KISD SITE AND THE 36.525 AC PROPERTY (PARCEL NO. 4A) AND AN OVERLAPPING ENCROACHMENT BETWEEN THESE TWO TRACTS OF 0.2781 AC. THIS GAP AND OVERLAP EXISTS IN THE OCCUPIED ROW OF GASTON RD (APPROXIMATELY 60' WIDE).

CURVE NO.	RADIUS	LA	LCH	CH BRG	CENTRAL ANGLE
C3	2050.00'	433.48'	432.67'	S82°51'30"E	12°07'18"
C4	25.00'	38.37'	34.71'	N89°14'49"E	87°55'37"
C5	950.00'	187.62'	187.32'	N50°56'14"E	11°18'57"

PARCEL PLAT  
SHOWING PROPERTY OF

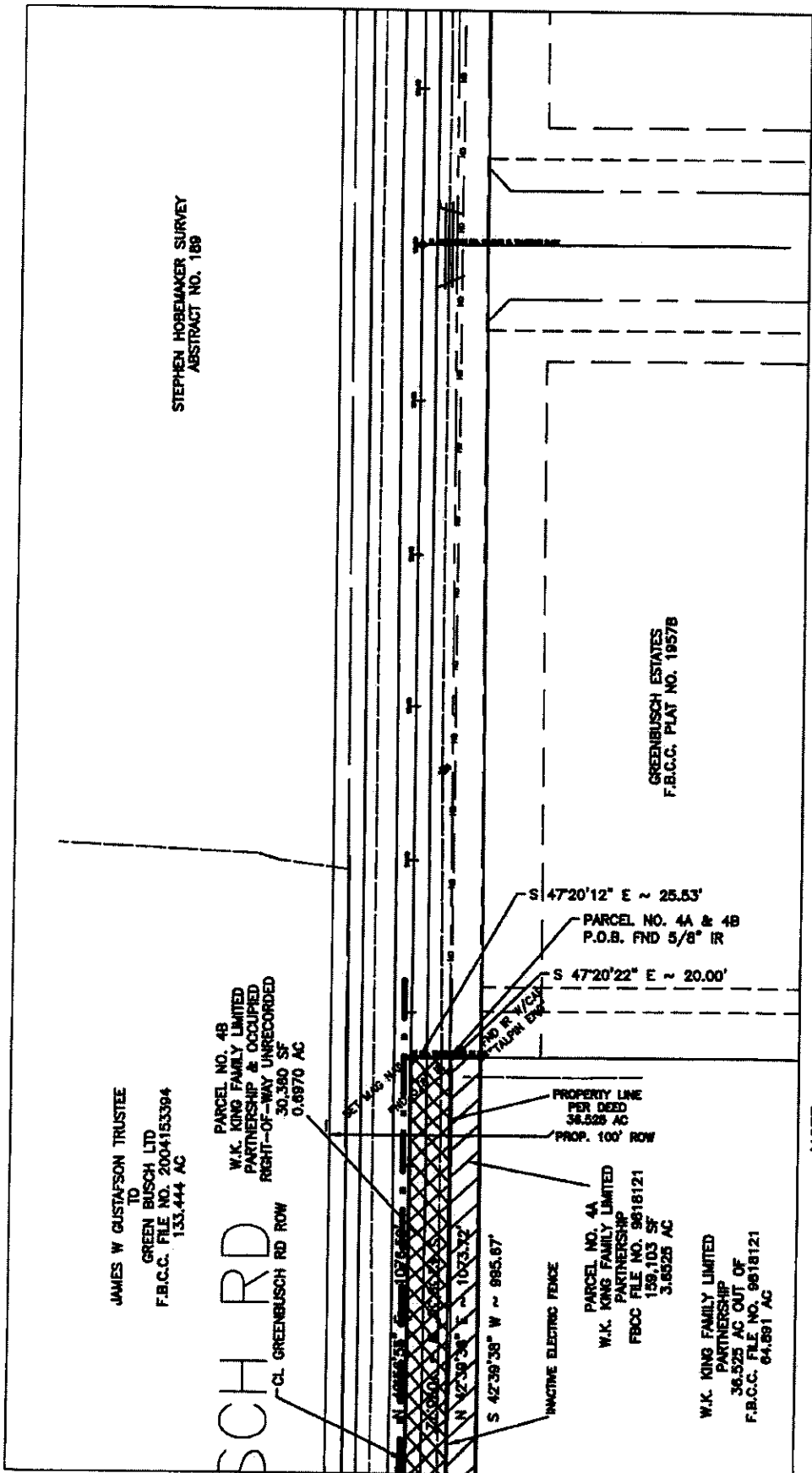
PARCEL 4A

SHEET 3A OF 6

GASTON ROAD  
FT. BEND COUNTY, TEXAS  
J.N.S. ENGINEERS, LLC  
APRIL, 2012  
SCALE 1"=100'

⊙ NOT FOUND  
⊕ INDICATES SETBACK. "JNS ENGINEERS" CAP OR AS NOTED  
⊙ INDICATES FOUND MONUMENT AS NOTED





STEPHEN HOBEMAKER SURVEY  
ABSTRACT NO. 189

JAMES W GUSTAFSON TRUSTEE  
TO  
GREEN BUSCH LTD  
F.B.C.C. FILE NO. 2004153394  
133.444 AC

PARCEL NO. 4B  
W.K. KING FAMILY LIMITED  
PARTNERSHIP & OCCUPIED  
RIGHT-OF-WAY UNRECORDED  
30,360 SF  
0.6970 AC

SCH RD  
CL GREENBUSCH RD ROW

GREENBUSCH ESTATES  
F.B.C.C. PLAT NO. 1957B

S 47°20'12" E ~ 25.53'  
PARCEL NO. 4A & 4B  
P.O.B. FND 5/8" IR

S 47°20'22" E ~ 20.00'

PROPERTY LINE  
FOR  
38.525 FEET  
PROP. 100' ROW

PARCEL NO. 4A  
W.K. KING FAMILY LIMITED  
PARTNERSHIP  
FBCC FILE NO. 9818121  
139,103 SF  
3.6525 AC

W.K. KING FAMILY LIMITED  
PARTNERSHIP  
36.525 AC OUT OF  
F.B.C.C. FILE NO. 9818121  
64,891 AC

NOTE:

1. SEE SHEET 6 OF 6 FOR NOTES, ACREAGE SUMMARY AND RPLS CERTIFICATION.
2. PARCEL NO. 4A HAS A BOUNDARY DISCREPANCY ALONG THE SOUTHWEST LINE OF THE 36.525 AC TRACT ON THE GASTON RD FRONTAGE. A GAP EXISTS BETWEEN THE 131.2601 AC KISD SITE AND THE 36.525 AC PROPERTY (PARCEL NO. 4A) AND AN OVERLAPPING ENCROACHMENT BETWEEN THESE TWO TRACTS OF 0.2781 AC. THIS GAP AND OVERLAP EXISTS IN THE OCCUPIED ROW OF GASTON RD (APPROXIMATELY 60' WIDE).

0 100 200



SCALE 1"=100'

PARCEL PLAT  
SHOWING PROPERTY OF  
PARCEL 4A & 4B  
SHEET 5 OF 6  
GREENBUSCH ROAD  
FT. BEND COUNTY, TEXAS  
J.N.S. ENGINEERS, LLC  
APRIL, 2012  
SCALE 1"=100'

● NOT FOUND  
✱ INDICATES SETBACK. ✱ JNS ENGINEERS' CAP OR AS NOTED  
○ INDICATES FOUND MONUMENT AS NOTED

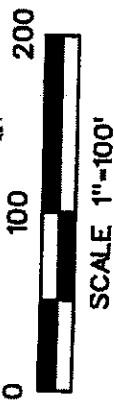
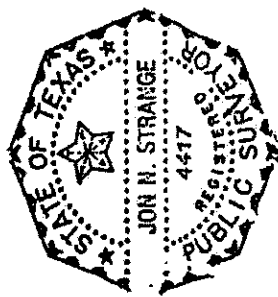
MATCHLINE C SEE SHEET 4 OF 6

EXISTING	TAKING		REMAINING
36.525 AC.	3.6525 AC.	159,103 SF	32.8725 AC. A
0.6970 AC.	0.6970 AC.	30,360 SF	0.0 AC. B

PROPOSED ROW 2.597 AC  
 EXISTING ROW PER DEED 1.0685 AC  
 GAP BETWEEN KISD AND DEED BOUNDARY 0.0711 AC  
 TOTAL PARCEL NO. 4A 3.7366 AC

NOTES

1. F.B.C.C.F.=FORT BEND COUNTY CLERK'S FILE.
2. F.B.C.P.R.=FORT BEND COUNTY PLAT RECORDS.
3. ABSTRACTING PERFORMED JAN. 2012.
4. FIELD SURVEY PERFORMED FEB. 2012.
5. SEE ROW MAPS 1 OF 3, 2 OF 3 & 3 OF 3 FOR GASTON AND GREENBUSCH RD ROW DETAILS FOR GASTON RD FROM FALCON LANDING TO 1100 LF NORTH OF ROESNER RD AND GREENBUSCH RD FROM GASTON RD TO WILLOWFORK BUFFALO BAYOU
6. SEE METES AND BOUNDS DESCRIPTION FOR THIS PARCEL AND OTHER PARCELS DESCRIBING ROW TAKINGS AS REFLECTED ON ROW MAPS DESCRIBED IN ITEM 5 ABOVE.
7. THE BEARINGS HEREON ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983 (NAD'83), 1993 ADJUSTMENT
8. PARCEL NO. 4A HAS A BOUNDARY DISCREPANCY ALONG THE SOUTHWEST LINE OF THE 36.525 AC TRACT ON GASTON RD FRONTAGE. A GAP EXISTS BETWEEN THE 131.2601 AC KISD SITE AND THE 36.525 AC KING PROPERTY (PARCEL NO. 4A) AND AN OVERLAP OF ENCROACHMENT EXISTS BETWEEN THE TWO TRACTS.
9. FRONTAGE OF SILVER RANCH SECTION ONE HAS AN APPROXIMATE 10' STRIP OF OCCUPIED UNRECORDED ROW.
10. FRONTAGE OF GREENBUSCH ESTATES AND WOODLAKE ESTATES HAS A OCCUPIED UNRECORDED ROW ALONG THE FRONTAGE OF GREENBUSCH RD. WOODLAKE ESTATES AND GREENBUSCH ESTATES PLAT DEDICATED AN ADDITIONAL 20' OF ROW OUTSIDE OF THE OCCUPIED UNRECORDED ROW.



I HEREBY CERTIFY THAT THIS PLAT IS BASED ON AN ON THE GROUND SURVEY MADE UNDER MY SUPERVISION AND, TO THE BEST OF MY KNOWLEDGE, IS TRUE AND CORRECT.

*Jon N. Strange*  
 JON N. STRANGE R.P.L.S.NO.4417

JNS CONSULTING ENGINEERS, LLC.  
 722 PIN OAK ROAD, STE 202A  
 KATY, TEXAS 77494  
 (281) 391-3366

PARCEL PLAT  
 SHOWING PROPERTY OF  
 PARCEL 4  
 SHEET 6 OF 6  
 GASTON/GREENBUSCH ROAD  
 FT. BEND COUNTY, TEXAS  
 J.N.S. ENGINEERS, LLC  
 APRIL, 2012  
 SCALE 1"=100'

• NOT FOUND  
 \* INDICATES SETBACK  
 ○ INDICATES FOUND MONUMENT AS NOTED