

**INTERLOCAL AGREEMENT BETWEEN
FORT BEND COUNTY AND
FORT BEND COUNTY MUNICIPAL UTILITY DISTRICT NO. 190**

This Interlocal Agreement (“Agreement”) is made and entered into, to be effective on the date signed by the last party hereto, by and between **FORT BEND COUNTY**, a political subdivision of the State of Texas (the “County”) and **FORT BEND COUNTY MUNICIPAL UTILITY DISTRICT NO. 190**, a political subdivision of the State of Texas (the “District”). The County and the District may be referred to herein collectively as “Parties” and individually as a “Party.”

BACKGROUND

The County participated in a project to improve and expand the Fort Bend Westpark Tollway (“Tollway”); and

The District was legally created and operates pursuant to the general laws of the State of Texas applicable to conservation and reclamation districts for the purpose, among others, to provide for the construction, acquisition, maintenance, and operation of water, sewer, and drainage facilities to serve the District; and

The Parties are authorized to make and enter into this Agreement under Chapter 791 of the of the Texas Government Code, and as otherwise authorized and permitted by the laws of the State of Texas, as applicable; and

The County owns fee title to that certain 11.322-acre tract of land adjacent to the Tollway and surrounded by the District, as more fully described on **Exhibit A** attached hereto (“Property”), previously owned by the Fort Bend County Toll Road Authority through acquisition from TXI OPERATIONS, LP (“TXI”) by virtue of that certain Special Warranty Deed recorded in the Fort Bend County Real Property Records under Clerk’s File No. 2004049483 (“Deed”); and

The County has constructed and maintains a detention basin on the Property, as generally shown on **Exhibit B** attached hereto (“Facilities”); which serves approximately 34.6 acre feet of detention from the Tollway; and

Pursuant to the terms of the Deed, TXI reserved for itself, its successors and assigns a non-exclusive easement to utilize the Property for drainage and detention purposes and expand the detention basin subject to the terms therein (collectively, “Easement Rights”), and TXI has assigned the District the Easement Rights; and

The District now desires to expand and make certain improvements to the Facilities pursuant to its Easement Rights to provide an additional 49.1 acre feet of detention capacity (“Additional Detention Capacity”), as generally shown on **Exhibit C** attached hereto (“Improvements”), for certain surrounding property located within the boundaries of the District; and

The District shall fund the cost of constructing the Improvements, and the County shall grant the District the right to maintain the Facilities (as improved by the Improvements), pursuant to the terms and conditions set forth herein; and

NOW, THEREFORE, for and in consideration of the mutual agreements contained herein, the Parties agree as follows:

AGREEMENT

Section 1. Scope and Cost of Improvements. The District will cause its engineer to design and construct the Improvements as generally shown on **Exhibit C**. The Improvements will consist of the expansion and modification of the Facilities necessary to provide the Additional Detention Capacity, including (i) the widening and adding onto the existing basin to provide detention for approximately 64.61 acres of the Lakeview Retreat subdivision west of Longpoint Slough, north of Bellaire Blvd., and east of Harlem Road, (ii) excavating the existing detention basin deeper and converting the basin from a dry bottom to a wet bottom basin, and (iii) excavation of material to be placed within the Lakeview Retreat subdivision. For the purposes herein, the completed facilities shall be defined as the "Expanded Facility." The District shall be responsible for all costs associated with the construction of the Improvements, including but not limited to, costs associated with design and construction phase engineering services, as well as actual construction costs. The County shall not be obligated to reimburse the District for any portion of the Improvements.

Section 2. Design and Award of Improvements.

(a) The District shall oversee the design and construction of the Improvements. The District shall cause its engineer to design the Improvements to meet the requirements of the District, the County, and all other applicable jurisdictions. The plans and specifications shall be subject to review and approval by the County, or their respective authorized agents, which review and approval will not be unreasonably withheld, conditioned or delayed.

(b) The District, in its sole discretion, will award and enter into a contract for the construction of the Improvements ("Construction Contract"). The District will notify the County in writing of the award of the Construction Contract.

Section 3. Construction.

(a) The District shall administer the Construction Contract in its sole discretion. Such construction shall meet all County and District construction standards and requirements. The District, through its engineer or authorized representative, shall provide on-site inspection of the construction of the Improvements in accordance with the Construction Contract. The District shall approve or deny all pay applications and requests for extensions of time' and shall pay all valid pay applications issued under the Construction Contract within forty-five (45) days of receipt. The County, at its sole cost, shall at all times have the right to have its engineer or other authorized agent access and inspect the construction of the Improvements.

(b) The District, in its sole discretion, shall have the right to terminate the Construction Contract and to enforce its remedies thereunder. In the event of any such termination, the District shall have the right to complete and/ or cause the completion of the Improvements itself and/or through such other contractor(s) as the District determines to be appropriate; provided that all work done in connection with such completion shall be in compliance with the plans and specifications approved therefore. The cost of any necessary and approved work necessary for the completion of the Improvements shall be borne by the District.

(c) The District shall cause the District's engineer to notify the County or its designated representative in writing of the time and date of the final inspection of the Improvements at least 5 business days in advance of such inspection. Prior to granting final acceptance of the Improvements, the District shall cause the construction contractor to address all of the County's inspection comments necessary for the Improvements to comply with the approved plans and specifications.

Section 4. Grant of Access. The County hereby authorizes the District the right to enter onto, over, upon, along, across, and under the Property to carry out any inspections, testing, surveying, construction work, or other related activities necessary to construct the Improvements to exercise the District's rights under the Easement Rights. The District's right of access shall continue until this Agreement is terminated as set forth in Section 6 hereof.

Section 5. Ownership and Maintenance of the Improvements. Upon completion of the Improvements, the County shall retain ownership of the Property, subject to the Easement Rights and the District shall retain any ownership of their property on which the Additional Detention Capacity is constructed. Upon completion of the Improvements, the County shall have 34.6 acre feet of capacity and the District shall have 49.1 acre feet of capacity in the Expanded Facility. During construction of the Improvements, the District shall be responsible for maintaining the Facilities, including the Improvements, to the standard at which the County generally maintains its detention facilities. The District will warrant that the Improvements will be free from defects for a period of one (1) year from the date of final acceptance and will include and enforce such warranty within the Construction Contract. Following completion of the Improvements, the District hereby agrees to maintain the Expanded Facility to the standard to which the County generally maintains its detention facilities for the entirety of the term of this Agreement; provided however, that the District shall retain the right, but not the obligation, to maintain the Expanded Facility to a higher standard in its sole discretion. The District shall perform all regular maintenance of the Expanded Facility, including, routine mowing and fertilization. The County shall retain the right, but not the obligation, to maintain the Expanded Facility to the standard to which the County generally maintains its detention facilities in the event the District fails to maintain the Expanded Facility.

In the event that in the course of performing regular maintenance the District's maintenance contractor observes any repairs or extraordinary maintenance that needs to be performed on the Expanded Facility, the District's maintenance contractor shall provide information related to such repair or maintenance to the District's Board of Directors at its next regular meeting, and the District shall in turn notify the County in writing within fourteen (14) calendar days of the date of such meeting. Upon receipt of the written notification by the District, the District and the County shall work in good faith to jointly determine a scope of work mutually agreeable to both Parties to perform any repairs or extraordinary maintenance, with costs associated for such work to be borne based on each Party's pro-rata share of the Detention Capacity and the Additional Detention Capacity relative to the overall capacity of the Facilities, which for purposes of this Agreement is 58.66% by the District and 41.34% by the County. In the event that the Parties cannot mutually agree on a scope of work within ninety (90) days following the delivery of written notification of the repair or extraordinary maintenance by the District to the County, either Party may proceed with the necessary work as determined in that Party's sole and reasonable discretion, with costs associated for such work to be borne based on each Party's pro-rata share of the Detention Capacity and the Additional Detention Capacity relative to the overall capacity of the Expanded Facility. The Parties agree that the District shall have the right to make emergency repairs to the Expanded Facility, as determined necessary in

the sole and reasonable discretion of the District's Board of Directors, in order to protect the structural integrity or functionality of the Expanded Facility; provided, however that should the District opt to make such emergency repairs, such repairs shall be made at the District's sole cost and expense, subject to the County's right to pay for its pro-rata share in its sole discretion.

Section 6. Termination of Agreement. This Agreement is to remain in full force and effect unless terminated by mutual agreement of the Parties hereto.

Section 7. Notices. Any notice, demand, request, or other instrument authorized or required to be given under this Agreement shall be deemed to have been given only upon receipt. Notices may be given by (i) electronic mail, (ii) first class mail, postage prepaid or (iii) overnight delivery service to the addresses set forth herein or such other address as may be designated by a Party.

If to the District: Fort Bend County Municipal Utility District No. 190
c/o Allen Boone Humphries Robinson LLP
3200 Southwest Freeway, Suite 2600
Houston, Texas 77027
Attn: Greer Pagan
gpagan@abhr.com
Tel: (713) 860-6417

If to the County: Fort Bend County
Attn: County Judge
401 Jackson Street
Richmond, Texas 77469

With a copy to:
Fort Bend County Engineering
Attn: County Engineer
301 Jackson Street
Richmond, Texas 77469

Section 9. Entire Agreement; Modification. This Agreement and the Deed constitute the entire agreement between the Parties concerning the Improvements. There have been and are no agreements, covenants, representations, or warranties between the parties other than those expressly stated or provided for herein. No modification hereof or subsequent agreement relative to the subject matter hereof shall be binding on any party unless reduced to writing and signed by the parties.

Section 10. Parties in Interest. This Agreement shall be for the sole and exclusive benefit of the County and the District and shall not be construed to confer any benefit or right upon any other party, including particularly any resident of the District.

Section 11. Severability. The provisions of this Agreement are severable, and if any word, phrase, clause, sentence, paragraph, section, or other part of this Agreement or the application thereof to any other person or circumstance shall ever be held by any court of competent jurisdiction to contravene or be invalid under the constitution or laws of the State of Texas for any reason, that contravention or invalidity shall not invalidate the entire Agreement. Instead, this Agreement shall be construed as if it did not contain the particular provision or provisions held to be invalid, the rights

and obligations of the parties shall be enforced accordingly, and this Agreement shall remain in full force and effect, as construed. The remainder of this Agreement and the application of such word, phrase, clause, sentence, paragraph, section, or other part of this Agreement to the other parties or circumstances shall not be affected thereby.

Section 12. Successors and Assigns. This Agreement shall apply to and be binding upon the parties hereto and their respective officers, directors, successors, and assigns. This Agreement and any of the rights obtained hereunder are not assignable by any party hereto without the express written consent of the other parties, which consent shall not be unreasonably withheld.

Section 13. Authorization. Each party represents that (i) execution and delivery of this Agreement by it has been duly authorized by its governing body or other persons from whom such party is legally bound to obtain authorization; (ii) that the consummation of the contemplated transactions will not result in a breach or violation of, or a default under, any agreement by which it or any of its properties is bound, or by any statute, rule, regulation, order, or other law to which it is subject; and (iii) this Agreement is a binding and enforceable agreement on its part.

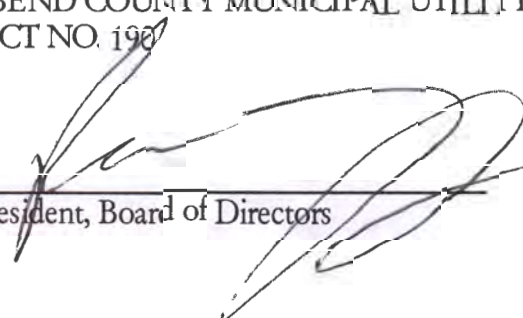
Section 14. Assignment. This Agreement is not assignable by either Party except with the prior written consent of the other Party.

Section 15. Applicable Law. This Agreement shall be governed and construed in accordance with the laws of the State of Texas. Venue shall be in Fort Bend County.

[Execution pages follow.]

The Parties have executed this Agreement in multiple counterparts, each of which shall be deemed to be an original, as of the date and year first written above.

FORT BEND COUNTY MUNICIPAL UTILITY
DISTRICT NO. 190

By: 

President, Board of Directors

FORT BEND COUNTY

KP George, County Judge

ATTEST:

Laura Richard, County Clerk

EXHIBIT A

Property Description

(see attached)

Exhibit "C"

Property Description for Parcel 11A

Being a 11.322 acre (493,181 square feet) parcel of land situated in the Day Land & Cattle Survey, Abstract Number 451, Fort Bend County, Texas; being out of and part of a called 88.27 acre tract conveyed to Texas Industries, Inc., as recorded in Volume 534, Page 480 of the Fort Bend County Deed Records (F.B.C.D.R.); said 11.322 acre parcel being more particularly described by metes and bounds as follows:

COMMENCING from the P.O.B. (Point of Beginning) of proposed Parcel 11 of Fort Bend Westpark Tollway, being at the intersection of the east right-of-way line of Harlem Road and the south line of the remainder of a Metropolitan Transit Authority Right-of-Way as recorded in Volume 2478, Page 1664 of Official Records of Fort Bend County (O.R.F.B.C.), having surface coordinates of X=3,011,422.11 and Y=13,820,319.94 (All bearings and coordinates are based on the Texas State Plane Coordinate System, South Central Zone, NAD 83, 1993 adjustment); thence as follows;

South 02°02'40" East, along said east right-of-way line of Harlem Road, a distance of 113.22 feet to a point;

Thence, North 87°57'20" East, along said south right-of-way line of Fort Bend Westpark Tollway, a distance of 25.00 feet to a point;

Thence, North 40°30'08" East, continuing along said south right-of-way line of Fort Bend Westpark Tollway, a distance of 21.00 feet to a point;

Thence, North 83°02'15" East, continuing along said south right-of-way line of Fort Bend Westpark Tollway, a distance of 1,411.36 feet to a point;

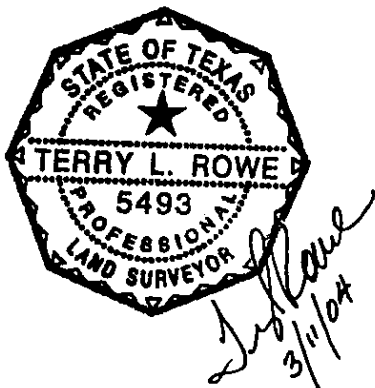
Thence, North 87°42'50" East, continuing along said proposed south right-of-way line of Fort Bend Westpark Tollway, a distance of 116.38 feet to a 5/8 inch iron rod with cap stamped "PBS&J" set at the **POINT OF BEGINNING** at engineer's station 886+83.58, 200.38' Rt., having surface coordinates of X=3,012,982.87 and Y=13,820,399.60;

- 1.) **THENCE**, North 87°42'50" East, along said proposed south right-of-way line of Fort Bend Westpark Tollway, a distance of 353.85 feet to a 5/8 inch iron rod with cap stamped "PBS&J" set for corner;
- 2.) **THENCE**, South 22°59'25" West, over and across said 88.27 acre tract, a distance of 1,329.56 feet to a 5/8 inch iron rod with cap stamped "PBS&J" set at the beginning of a curve to the right;

- 3.) **THENCE**, along said curve to the right, having a radius of 78.00 feet, a central angle of $100^{\circ}31'51''$, an arc length of 136.86 feet, and a chord bearing and distance of South $73^{\circ}15'20''$ West, 119.97 feet to a set 5/8 inch iron rod with cap stamped "PBS&J";
- 4.) **THENCE**, North $56^{\circ}28'44''$ West, a distance of 284.61 feet to a 5/8 inch iron rod with cap stamped "PBS&J" set at the beginning of a curve to the right;
- 5.) **THENCE**, along said curve to the right, having a radius of 78.00 feet, a central angle of $85^{\circ}21'42''$, an arc length of 116.21 feet, and a chord bearing and distance of North $13^{\circ}47'53''$ West, 105.75 feet to a set 5/8 inch iron rod with cap stamped "PBS&J";
- 6.) **THENCE**, North $28^{\circ}52'58''$ East, a distance of 1,124.39 feet to the **POINT OF BEGINNING** and containing a computed 11.322 acres (493,181 square feet) of land.

Notes:

1. All coordinates and distances are surface and may be converted to grid by multiplying by a combined scale factor of 0.999884341.
2. This metes and bounds description was prepared in conjunction with a survey plat of even date.
3. This metes and bounds description was prepared based on data provided by Weisser Engineering and Brown and Gay Engineers.



DAY LAND & CATTLE
COMPANY SURVEY
A-451

REMAINDER OF
METROPOLITAN
TRANSIT AUTHORITY R.O.W.
VOL. 2478, PG. 1664
O.R.F.B.C.

100 0 200

SCALE: 1" = 200'

F.M. 1093
(100' R.O.W.)

PROPOSED B.L. F.M. 1093

880+00

885+00

7M PT. 1

890+00

9

PROPOSED F.M. 1093 R.O.W.

P.O.C. PARCEL 11A
(P.O.B. PARCEL 11)
X=3,011,422.11
Y=13,820,319.94

P.O.B.
PARCEL 11A
X=3,012,982.87
Y=13,820,399.60
STA. 886+83.58
200.38' RT.

L1 = S02° 02' 40" E 113.22'
L2 = N87° 57' 20" E 25.00'
L3 = N40° 30' 08" E 21.00'
L4 = N83° 02' 15" E 1,411.36'
L5 = N87° 42' 50" E 116.38'

TEXAS INDUSTRIES, INC.
VOL. 534, PG. 480
F.B.C.D.R.
CALLED 88.27 AC.

110' DRAINAGE ESMT.
LONGPOINT CREEK

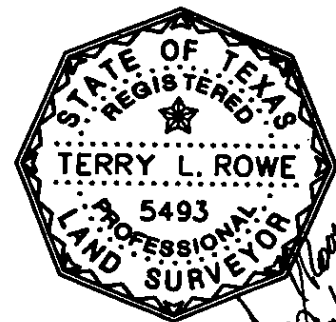
TEXAS INDUSTRIES, INC.
VOL. 496, PG. 64
O.R.F.B.C.
CALLED 229.47 AC.

LEGEND

○ SET 5/8" IRON ROD WITH
PBS&J CAP UNLESS
OTHERWISE NOTED

R=78.00'
L=116.21'
Δ=85° 21' 42"
CHD=N13° 47' 53" W
105.75'

R=78.00'
L=136.86'
Δ=100° 31' 51"
CHD=S73° 15' 20" W
119.97'



EXISTING	TAKING	REMAINING
83.214 AC. (CALC)	11.322 AC.	71.892 AC.

PARCEL SKETCH
SHOWING PROPERTY OF

PARCEL 11A

FORT BEND COUNTY

PBSJ

SCALE: 1" = 200' JANUARY, 2004

NOTES:

ALL BEARINGS ARE BASED ON THE TEXAS STATE PLANE
COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD83 (1993
ADJUSTMENT). ALL COORDINATES AND DISTANCES ARE SURFACE
AND MAY BE CONVERTED TO GRID BY MULTIPLYING BY A COMBINED
ADJUSTMENT FACTOR OF 0.999884341.

F.B.C.D.R. DENOTES FORT BEND COUNTY DEED RECORDS,
O.R.F.B.C. DENOTES OFFICIAL RECORDS OF FORT BEND COUNTY.

ABSTRACTING WAS NOT PERFORMED BY SURVEYOR.

PREPARED IN CONJUNCTION WITH A PROPERTY DESCRIPTION
OF EVEN DATE.

EXHIBIT B

Diagram of the Facilities

(see attached)



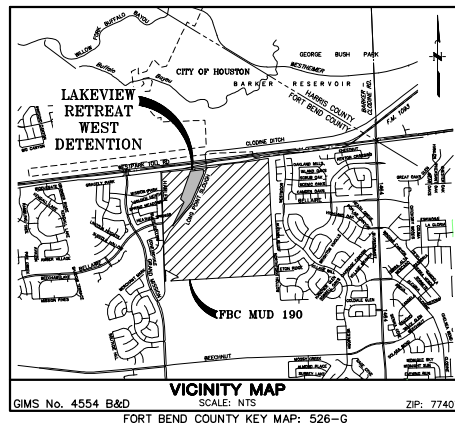
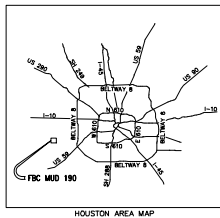
EXHIBIT C

Diagram of the Improvements

(see attached)

CONSTRUCTION OF LAKEVIEW RETREAT WEST DETENTION FOR FORT BEND COUNTY M.U.D. No. 190 IN FORT BEND COUNTY, TX

MARCH 2021



INDEX OF DRAWINGS

SHEET No.	TITLE
1	COVER SHEET & INDEX
2	GENERAL CONSTRUCTION NOTES
3	VICINITY MAP
4	OVERALL LAYOUT
5	BASELINE A
6	BASELINE A
7	CROSS SECTIONS A-A & B-B
8	OUTFALL A & OUTFALL B
9	STORM WATER POLLUTION PREVENTION PLAN
10	STORM WATER POLLUTION PREVENTION PLAN DETAILS
11	MISCELLANEOUS DETAILS
12	MISCELLANEOUS DETAILS
13	FILL & GRADING PLAN - SHEET 1 OF 2
14	FILL & GRADING PLAN - SHEET 2 OF 2

FORT BEND COUNTY ENGINEER

ENGINEER: J. STACY SLAWINSKI, P.E.

DATE: THESE SIGNATURES ARE VOID IF CONSTRUCTION HAS NOT COMMENCED IN ONE (1) YEAR FROM DATE OF APPROVAL.

APPROVED: DEVELOPMENT COORDINATOR

DATE:

NOTES:

These plans were prepared to meet or exceed the specifications and requirements of City of Houston and Fort Bend County as currently amended.

Approval by Fort Bend County will be deemed void if construction has not begun within one year of approval date.

Construction shall not begin before the plat of this section is filed in the Fort Bend County Map Records.

Construction will be monitored under the supervision of a licensed professional engineer of JONES & CARTER.

Contractor shall notify the Fort Bend County Engineering Department at least 48 hours prior to commencement at construction@fortbendcountytexas.gov.

I, Kyle J. Blank, a Professional Engineer licensed in the State of Texas do hereby certify that these plans were prepared under my supervision to meet or exceed the specifications and requirements of Fort Bend County, Texas.

Kyle J. Blank, P.E. 03/12/2021 Date

ILMS No. 20106791
CPC 101 REF. No. LVR Section 11 2020-2313 C3F

DETENTION PLANS INFORMATION:

- Storm Water Drainage Design Report.
Report Title: Drainage Impact Analysis for Lakeview Retreat
8.4 Acre Expansion
Date: July 2020, Engineering Firm: Jones & Carter
Date of Acknowledgement by Fort Bend County Levee Improvement District No. 14: July 21, 2020
Date of Acknowledgement by Fort Bend County Drainage District: March 2, 2021

FEMA FIRM PANEL INFORMATION

FIRM NUMBER: 48157C0130L
PANEL 130 OF 575
BFE: 90.3

I, Kyle J. Blank, P.E. certify that this project is entirely located outside the area with 100-year flood frequency.

**ONE-CALL NOTIFICATION SYSTEM
CALL BEFORE YOU DIG**
(713) 223-4567 (in Houston)
(New Statewide Number Outside Houston)
1-800-545-6005
OR
TEXAS811 (DIG TESS): 1-800-344-8377
OR
LONE STAR NOTIFICATION CENTER: 1-800-669-8344
**CALL AT LEAST 2 WORKING DAYS
(48 HOURS) BEFORE YOU DIG**

CONTRACTOR SHALL NOTIFY THE CITY OF HOUSTON, HOUSTON PUBLIC WORKS, OFFICE OF THE CITY ENGINEER, 48 HOURS BEFORE STARTING WORK ON THIS PROJECT. TELEPHONE No. 832-394-9098

JONES & CARTER
Texas Board of Professional Engineers Registration No. F-439
6330 West Loop South, Suite 150 • Bellaire, TX 77401 • 713.777.5337

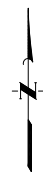
NO.	DATE	REVISION	APP.
 Jones & Carter, Inc. Texas Board of Professional Engineers Registration No. F-439 6330 West Loop South, Suite 150 The Woodlands, Texas 77380 713.777.5337 KYLE J. BLANK 9842 LICENSED PROFESSIONAL ENGINEER			
NOTE: CITY SIGNATURES VALID FOR ONE YEAR ONLY AFTER DATE OF SIGNATURES			
CITY OF HOUSTON HOUSTON PUBLIC WORKS			
WATER WASTE WATER STORM WATER TRAFFIC SIGNAL		STORM WATER QUALITY FACILITIES TRAFFIC & TRANSPORTATION/ STREET & BRIDGE	
CITY ENGINEER DATE		DIRECTOR OF DATE HOUSTON PUBLIC WORKS	
SHEET NO 1 OF 14 SHEETS FOR CITY OF HOUSTON USE ONLY			

X:\14910\14910-0065-00 Lakeview West Retreat-Detention\2 Design Phase\CAD\Plans\MISC0.dwg Mar 12, 2021 - 3:16pm DC

- STORM SEWER CONSTRUCTION NOTES:

- FBC ENGINEERING APPROVAL

K:\1490\1490-00-0000-00_Lakeview West Retreat-Station10.2_Design Phase\CAD\Plans\UTIL.dwg Mar 12, 2021 - 3:17pm, DC



LEGEND	
EXISTING	PROPOSED
STORM SEWER w/ MANHOLE	STORM SEWER w/ INLET
SWALE CENTERLINE	TOP OF BANK
TOE OF SLOPE	TOE OF SLOPE
LOTS LINES	EASEMENTS
PROP DETENTION	PROP DETENTION
SERVICE AREA	SERVICE AREA
DRAINAGE AREAS	DRAINAGE AREAS
AC	ACRES
CF	CLERK'S FILE
DE	DRAINAGE EASEMENT
GCOPR	GALVESTON COUNTY OFFICIAL
GI	PUBLIC RECORDS
LF	GRATE INLET
MH	MANHOLE
NO	NUMBER
PG	PAGE
RCP	REINFORCED CONC PIPE
ROW	RIGHT-OF-WAY
STM	STORM
TOB	TOP OF BANK
TOE	TOE OF SLOPE
MB	MAINTENANCE BERM

BENCH MARK
ELEVATIONS SHOWN HEREON ARE BASED ON HARRIS COUNTY FLOODPLAIN REFERENCE MARK THE NO. 214400, BEING A BRASS PEG LOCATED IN THE CENTER OF THE HEADWALL ON THE WEST SIDE OF TARRANT ROAD, LOCATED APPROXIMATELY 0.5 MILE SOUTH FROM THE INTERSECTION OF TARRANT ROAD AND FARM MARKET ROAD 1903.
ELEVATION = 88.4', (NAVD 88, 2001 ADL.)
TEMP. 1"
TEMPORARY BENCHMARK "1" BEING A SQUARE CUT ON THE CENTERLINE OF BRIDGE WIDE TRAIL AT GRAND VISTA LAKES SECTION 2 BOUNDARY.
ELEVATION = 93.08', (NAVD 88, 2001 ADL.)
100-YEAR FLOOD PLANE
ACCORDING TO MAP NO. 481570030L OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR FORT BEND COUNTY, TEXAS AND INCORPORATED AREAS OF CITY OF HOUSTON, DATED APRIL 02, 2014, THE SUBJECT TRACT IS SITUATED PARTIALLY WITHIN THE FLOOD ZONE INDICATED ZONE A, DEEMED AS AREAS DETERMINED TO BE OUTSIDE OF THE 1% ANNUAL CHANCE FLOODPLAIN. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, OR THAT OCCASIONAL FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

NOTICE:
FOR YOUR SAFETY, YOU ARE REQUIRED BY TEXAS LAW TO CALL 811 AT LEAST 48 HOURS BEFORE YOU DIG SO THAT UNDERGROUND LINES CAN BE MARKED. THIS SIGNATURE DOES NOT FULFILL YOUR OBLIGATION TO CALL 811.
VERIFICATION OF PRIVATE UTILITY LINES

Date
CenterPoint Energy natural gas utilities shown. (Gas service lines are not shown). This signature not be used for conflict verification.
Signature valid for six months.

Date
CenterPoint Energy/UNDERGROUND Electrical Facilities Verification ONLY. (This signature verifies existing underground facilities – not to be used for conflict verification).
Signature valid for six months.

Date
Approved for A/E/C underground conduit facilities only.
Signature valid for one year.

Jones & Carter, Inc.
Texas Board of Professional Engineers
Registration No. F-029
6330 West Loop South, Suite 100
The Woodlands, Texas 77380
713.777.3333

LAKEVIEW RETREAT WEST DETENTION
FORT BEND COUNTY MUD NO. 190

VICINITY MAP

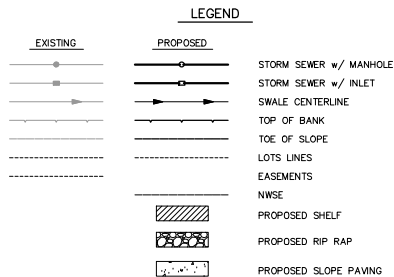
NOTE: CITY SIGNATURES VALID FOR ONE YEAR ONLY AFTER DATE OF SIGNATURES
CITY OF HOUSTON
HOUSTON PUBLIC WORKS

WATER	STORM WATER QUALITY
WASTE WATER	FACILITIES
STORM WATER	TRAFFIC & TRANSPORTATION/ STREET & BRIDGE
FILE NO.:	SCALE: 1"=200'
PROJECT NO.:	
DGN BY:	
DWG. BY:	
SHEET NO. 3 OF 14	DATE: MARCH 2021

FOR CITY OF HOUSTON USE ONLY

A PERMIT MUST BE OBTAINED PRIOR TO ANY WORK WITHIN THE FORT BEND COUNTY DRAINAGE DISTRICT RIGHT-OF-WAY. CONTACT THE FORT BEND COUNTY ENGINEERING DEPARTMENT, (281) 633-7500.

FBC ENGINEERING APPROVAL

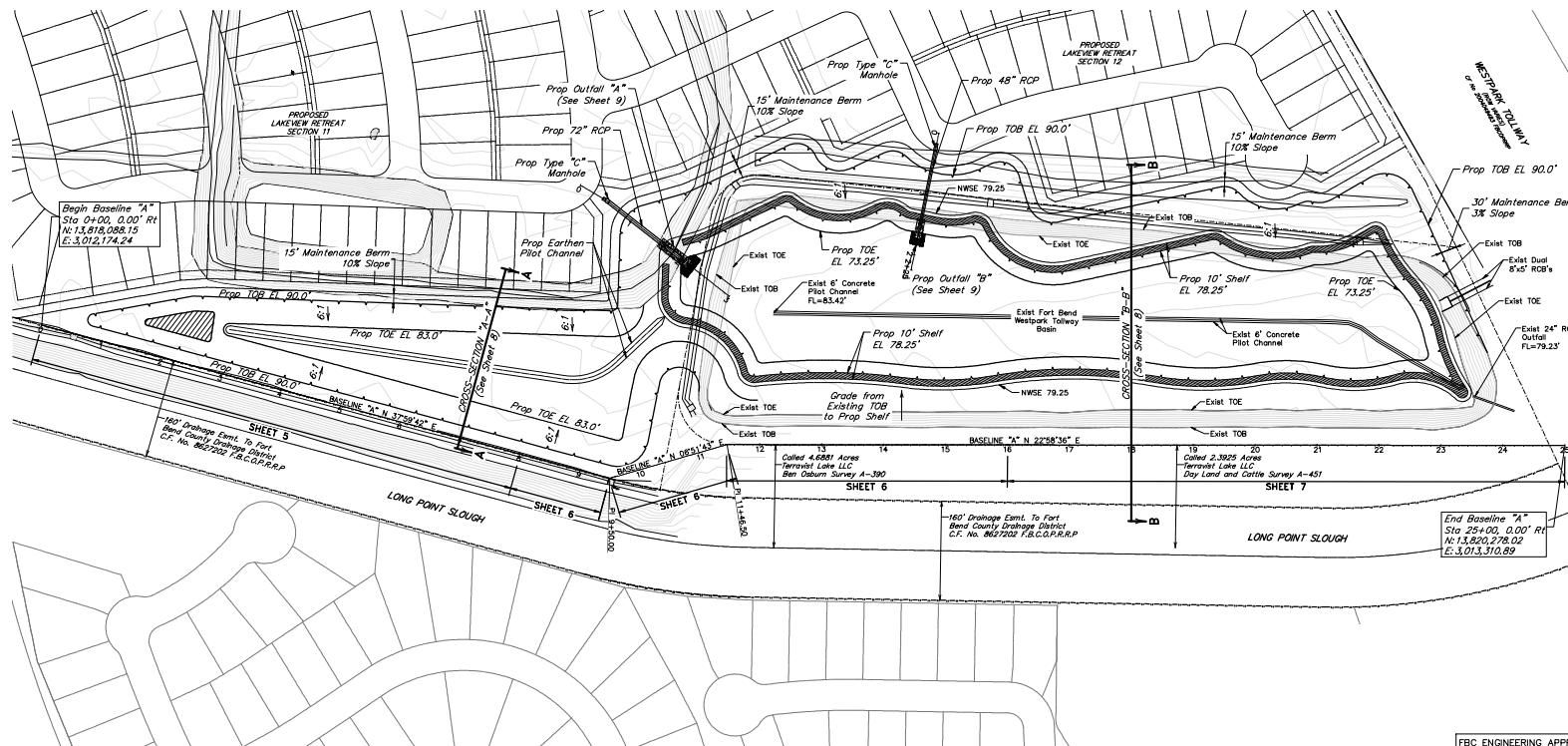


Lakeview West Retreat Detention Information (per Drainage Analysis)	
Detention Service Area	234.02 acres
Detention Storage Rate (per Region)	12.76 ac-in per acre
Required Storage	2985 ac-in
Storage Provided	3025 ac-in
Storage Rate Provided	13.02 ac-in per acre
Volume Excess for Floodplain	39 ac-in
Attenuation	78.33%

Detention Service Area Breakdown	
Area	Acres
Detention - Office Area	45.12 acres
Detention - Other	188.90 acres
Detention - Other (See Sheet 12)	38.77 acres
Detention - Other (See Sheet 13)	24.00 acres
Detention - Other (See Sheet 14)	35.79 acres

Elevation Storage Table	
NWSE @ 79.25	
Elevation	Volume (ac-ft)
79.25	0.00
80	5.36
81	12.95
82	21.13
83	30.42
84	40.85
85	51.33
86	63.68
87	76.18
88	89.39
89	103.31

Area	Manhole From	Manhole To	Contributing Area (Acres)	Total Area (Acres)	Runoff Coefficient (C)	3-yr Intensity (i)	Intensity (in/hr)			Flow (FS/Sec)			Time of Concentration (min)	Pipe Length (feet)	Pipe Diameter (in)	Slope (%)	Manning's n ^{1/4}	Design Capacity (cfs)	Design Velocity (ft/sec)	Full (feet)
							3-yr	25-yr	100-yr	3-yr	25-yr	100-yr								
DA1	NH	OUTFALL	0	37.71	0.55	4.60	4.60	6.97	8.63	95.00	144.51	223.70	15.85	22	72	0.1	0.023	155.85	4.74	0.02
DA2	NH	OUTFALL	0	13.96	0.55	5.59	5.59	8.50	10.62	42.50	65.26	81.54	13.09	120	48	0.1	0.023	45.42	3.61	0.12



BENCH MARK
ELEVATIONS SHOWN HEREON ARE BASED ON HARRIS COUNTY FLOODPLAIN ELEVATIONS. MARK NO. 104000, BEING A BRASS PEG LOCATED IN THE CENTER OF BRIDGE ROAD, AT GRAND VISTA LAKES SECTION 2 BOUNDARY, IS LOCATED APPROXIMATELY 0.5 MILE SOUTH FROM THE INTERSECTION OF HARMON ROAD AND FARM MARKET ROAD 100'S.

ELEVATION = 88.4', (NAVD 88, 2001 ADJ.)

TEMP. 1"
TEMPORARY BENCHMARK "1" BEING A SQUARE CUT ON THE CENTERLINE OF BRIDGE ROAD, AT GRAND VISTA LAKES SECTION 2 BOUNDARY, IS LOCATED APPROXIMATELY 0.5 MILE SOUTH FROM THE INTERSECTION OF HARMON ROAD AND FARM MARKET ROAD 100'S.

ELEVATION = 83.00', (NAVD 88, 2001 ADJ.)

100-YEAR FLOOD PLAIN
ACCORDING TO MAP NO. 48157001-030, OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR FORT BEND COUNTY, TEXAS AND INCORPORATED AREAS OF CITY OF HOUSTON, DATED APRIL 02, 2014, THE SUBJECT TRACT IS SITUATED PARTIALLY WITHIN THE FLOOD ZONE INDICATED ZONE A, DENIED AS AREAS DETERMINED TO BE UNDESIRABLE FOR THE 100-YEAR FLOOD PLAIN. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY OR STRUCTURES HEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, OR IN SOME OCCASIONS FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE WORKED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

NOTICE:
FOR YOUR SAFETY, YOU ARE REQUIRED BY TEXAS LAW TO CALL 811 AT LEAST 48 HOURS BEFORE YOU DIG SO THAT UNDERGROUND LINES CAN BE MARKED. THIS SIGNATURE DOES NOT FULFILL YOUR OBLIGATION TO CALL 811.

VERIFICATION OF PRIVATE UTILITY LINES

Date
CenterPoint Energy natural gas utilities shown. (Gas service lines are not shown). This signature not used for conflict verification.
Signature valid for six months.

Date
CenterPoint Energy/UNDERGROUND Electrical Facilities Verification ONLY. (This signature verifies existing underground facilities - not to be used for conflict verification).
Signature valid for six months.

Date
Approved for AT&T underground conduit facilities only.
Signature valid for one year.



Jones & Carter, Inc.
Texas Board of Professional Engineers
Registration No. F-429
6330 West Loop South, Suite 150
The Woodlands, Texas 77380
713.777.1331



03/12/2021

LAKEVIEW RETREAT WEST DETENTION
FORT BEND COUNTY MUD NO. 190

OVERALL LAYOUT

NOTE: CITY SIGNATURES VALID FOR ONE YEAR ONLY AFTER DATE OF SIGNATURES

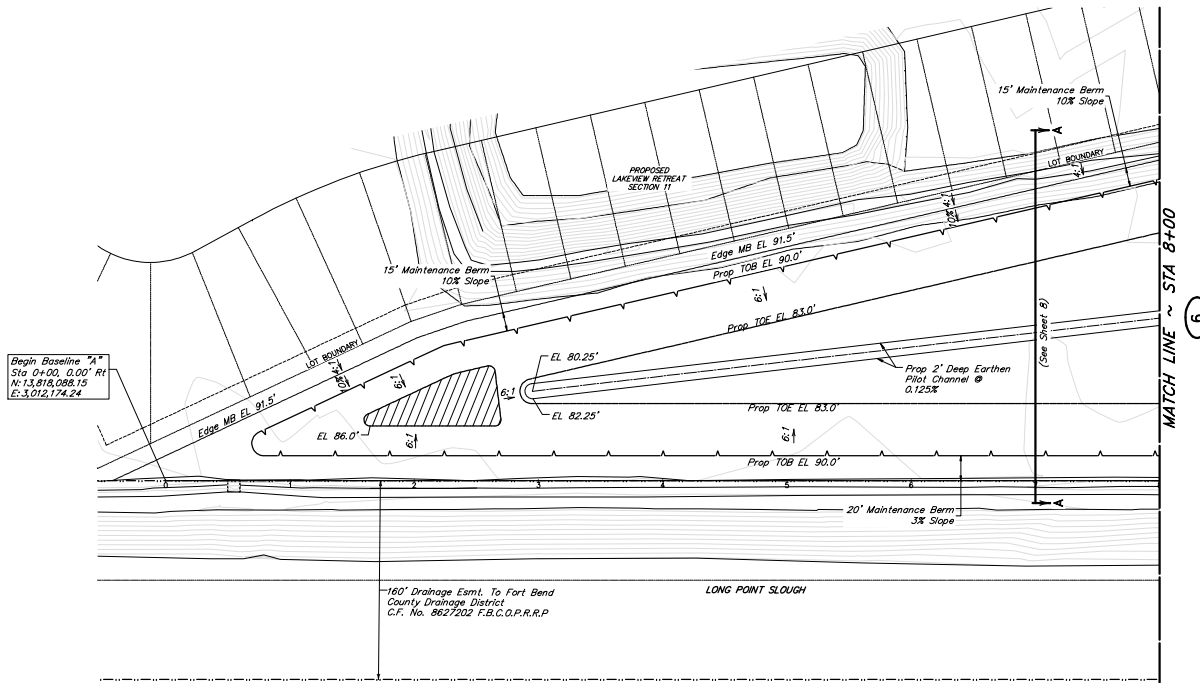
CITY OF HOUSTON
HOUSTON PUBLIC WORKS

WATER	STORM WATER QUALITY
WASTE WATER	FACILITIES
STORM WATER	TRAFFIC & TRANSPORTATION/ STREET & BRIDGE
FILE NO.:	SCALE: 1"=100'
PROJECT NO.:	
DGN BY:	
DWG. BY:	
SHEET NO. 4 OF 14	DATE: MARCH 2021

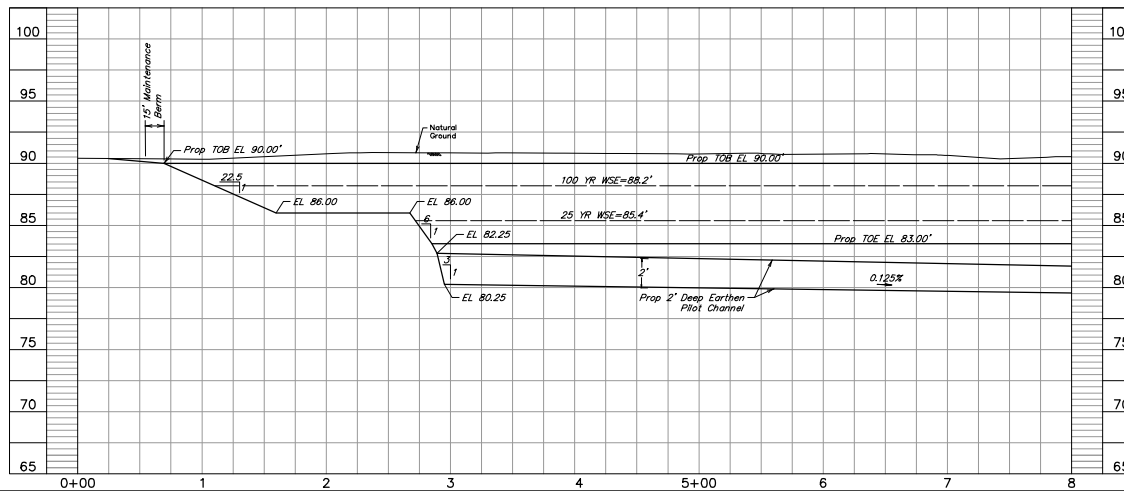
FOR CITY OF HOUSTON USE ONLY

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FBC ENGINEERING APPROVAL



BASELINE "A"



BENCH MARK
ELEVATIONS SHOWN HEREON ARE BASED ON HARRIS COUNTY FLOODPLAIN REFERENCE MARK NO. 214040, BEING A BRASS PEG LOCATED IN THE CENTER OF THE HEADWALL ON THE WEST SIDE OF TRAILER ROAD, LOCATED APPROXIMATELY 0.5 MILE SOUTH FROM THE INTERSECTION OF WARDEN ROAD AND FARM MARKET ROAD 1903.
ELEVATION = 88.4', (NAVD 83, 2001 ADJ.)

TEMP. "T"
TEMPORARY BENCHMARK "T" BEING A SQUARE CUT ON THE CENTERLINE OF BRIDGE WIDE TRAIL AT GRAND VISTA LAKES SECTION 2 BOUNDARY.
ELEVATION = 93.00', (NAVD 83, 2001 ADJ.)

100-YEAR FLOOD PLANE
ACCORDING TO MAP NO. 4815100130L OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR FORT BEND COUNTY, TEXAS AND INCORPORATED AREAS OF CITY OF HOUSTON, DATED APRIL 02, 2014, THE SUBJECT TRACT IS SITUATED PARTIALLY WITHIN THE FLOOD ZONE INDICATED ZONE A, DENIED AS AREAS DETERMINED TO BE OUTSIDE OF THE 1% ANNUAL CHANCE FLOODPLAIN. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY OR STRUCTURES HEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, OR RARE OCCASIONS FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE WORSE THAN MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

NOTICE:
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VERIFICATION OF PRIVATE UTILITY LINES

Date _____
CenterPoint Energy natural gas utilities shown. (Gas service lines are not shown). This signature not to be used for conflict verification.
Signature valid for six months.

Date _____
CenterPoint Energy/UNDERGROUND Electrical Facilities Verification ONLY. (This signature verifies existing underground facilities - not to be used for conflict verification).
Signature valid for six months.

Date _____
Approved for AT&T underground conduit facilities only.
Signature valid for one year.



LAKEVIEW RETREAT WEST DETENTION
FORT BEND COUNTY MUD NO. 190

BASELINE "A"
0+00 TO 8+00

NOTE: CITY SIGNATURES VALID FOR ONE YEAR ONLY AFTER DATE OF SIGNATURES

CITY OF HOUSTON
HOUSTON PUBLIC WORKS

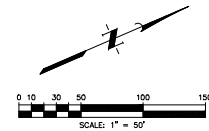
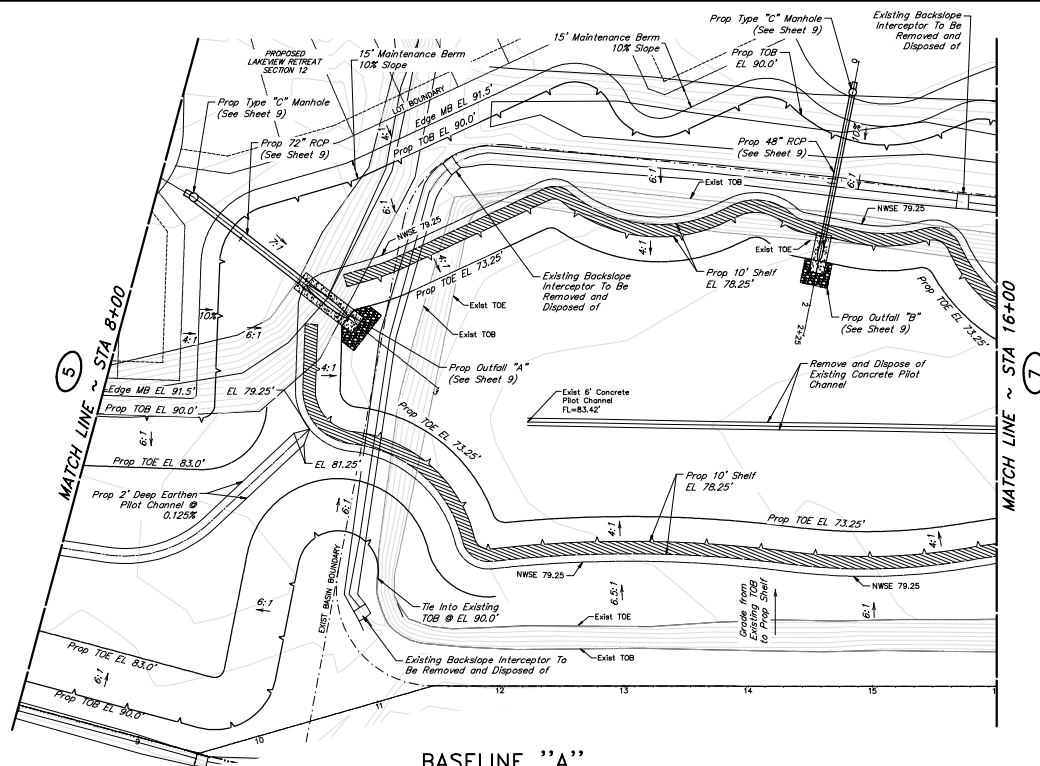
WATER _____ STORM WATER QUALITY _____
WASTE WATER _____ FACILITIES _____
STORM WATER _____ TRAFFIC & TRANSPORTATION/ STREET & BRIDGE _____

FILE NO.: _____ SCALE: 1"=50' H.
PROJECT NO.: _____ 1"=5' V.
DCN BY: _____
DWG. BY: _____

SHEET NO. 5 OF 14 DATE: MARCH 2021
FOR CITY OF HOUSTON USE ONLY

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FBC ENGINEERING APPROVAL



BENCH MARK
ELEVATIONS SHOWN HEREON ARE BASED ON HARRIS COUNTY FLOODPLAIN REFERENCE MARK THE NO. 214000, BEING A BRASS PEG LOCATED IN THE CENTER OF THE HEADWALL OF THE WEST SIDE OF TRAILER ROAD, LOCATED APPROXIMATELY 0.5 MILE SOUTH FROM THE INTERSECTION OF WARDEN ROAD AND FARM MARKET ROAD 1905.
ELEVATION = 88.4', (NAVD 88, 2001 ADL.)

TEMP. BENCH MARK
TEMPORARY BENCHMARK "T" BEING A SQUARE CUT ON THE CENTERLINE OF BRIDGE ROAD TRAIL AT GRAND VISTA LAKES SECTION 2 BOUNDARY.
ELEVATION = 93.0', (NAVD 88, 2001 ADL.)

100-YEAR FLOOD PLANE
ACCORDING TO MAP NO. 48151001-0301 OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR FORT BEND COUNTY, TEXAS AND INCORPORATED AREAS OF CITY OF HOUSTON, DATED APRIL 02, 2014, THE SUBJECT TRACT IS SITUATED PARTIALLY WITHIN THE FLOOD ZONE INDICATED ZONE A, DENIED AS AREAS DETERMINED TO BE OUTSIDE OF THE 1% ANNUAL CHANCE FLOODPLAIN. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY OR STRUCTURES THEREON WILL BE PROTECTED FROM FLOODING OR FLOOD DAMAGE, OR IN SOME OCCASIONS FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE WORKED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

NOTICE:
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VERIFICATION OF PRIVATE UTILITY LINES

Date _____
CenterPoint Energy natural gas utilities shown. (Gas service lines are not shown). This signature not be used for conflict verification.
Signature valid for six months.

Date _____
CenterPoint Energy/UNDERGROUND Electrical Facilities Verification ONLY. (This signature verifies existing underground facilities – not to be used for conflict verification).
Signature valid for six months.

Date _____
Approved for AT&T underground conduit facilities only.
Signature valid for one year.



LAKEVIEW RETREAT WEST DETENTION
FORT BEND COUNTY MUD NO. 190

BASELINE "A"
8+00 TO 16+00

NOTE: CITY SIGNATURES VALID FOR ONE YEAR ONLY AFTER DATE OF SIGNATURES

CITY OF HOUSTON
HOUSTON PUBLIC WORKS

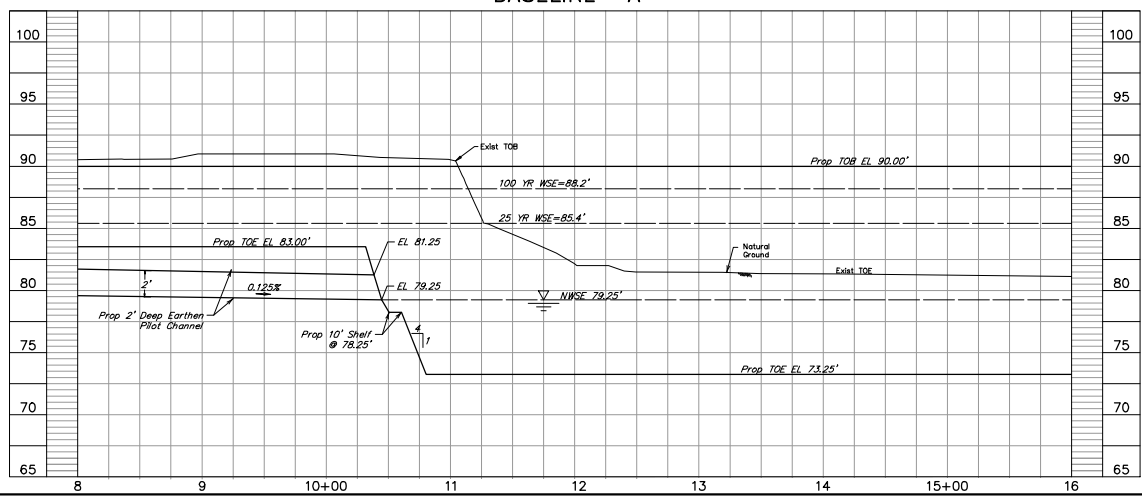
WATER _____ STORM WATER QUALITY _____
WASTE WATER _____ FACILITIES _____
STORM WATER _____ TRAFFIC & TRANSPORTATION/ STREET & BRIDGE _____

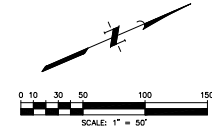
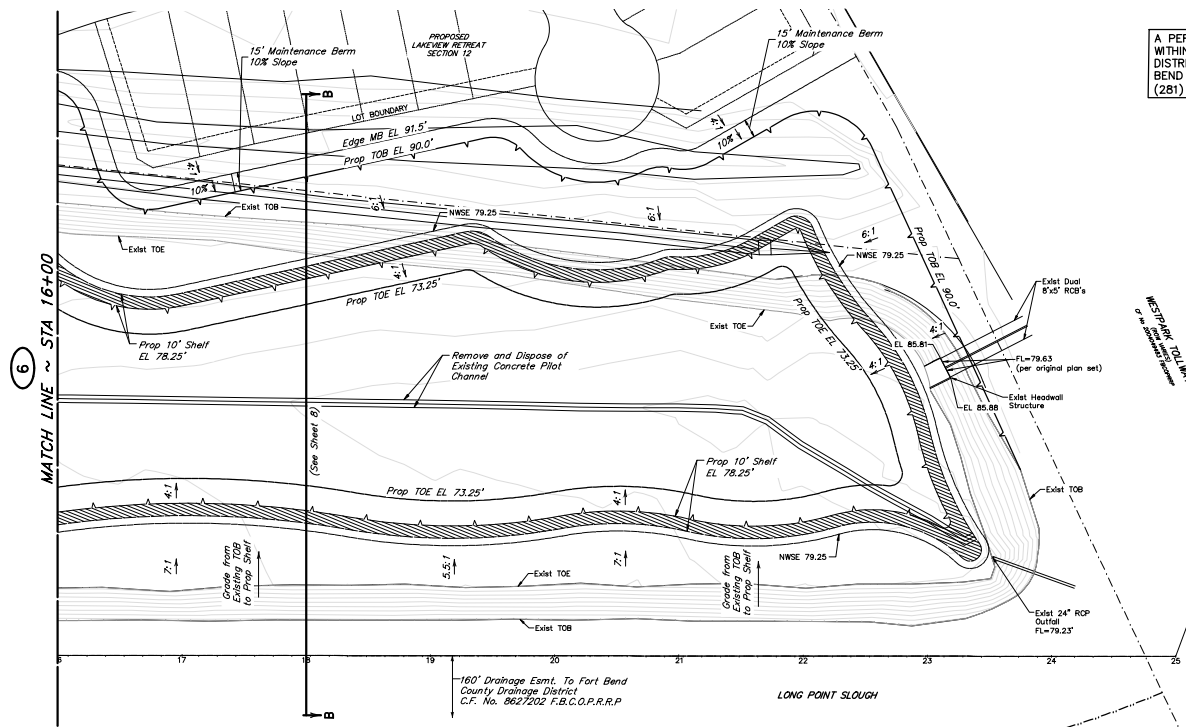
FILE NO.: _____ SCALE: 1"=50' H.
PROJECT NO.: _____ 1"=5' V.
DCN BY: _____
DWG. BY: _____

SHEET NO. 6 OF 14 DATE: MARCH 2021
FOR CITY OF HOUSTON USE ONLY

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FBC ENGINEERING APPROVAL





BENCH MARK:
ELEVATIONS SHOWN HEREON ARE BASED ON HARRIS COUNTY FLOODPLAIN REFERENCE MARK NO. 214000, BEING A BRASS PEG LOCATED IN THE GROUND APPROXIMATELY 0.5 MILE SOUTH FROM THE INTERSECTION OF WARDEN ROAD AND FIRM MARKET ROAD.
ELEVATION = 88.4' (NAVD 88, 2001 ADJ.)

TEMP. BENCH MARK:
TEMPORARY BENCHMARK "T" BEING A SQUARE CUT ON THE CENTERLINE OF BRIDGE WIDE TRAIL AT GRAND VISTA LAKES SECTION 2 BOUNDARY.
ELEVATION = 93.0' (NAVD 88, 2001 ADJ.)

100-YEAR FLOOD PLANE:
ACCORDING TO MAP NO. 48157001.03L OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR FORT BEND COUNTY, TEXAS AND INCORPORATED AREAS OF CITY OF HOUSTON, DATED APRIL 02, 2014, THE SUBJECT TRACT IS SITUATED PARTIALLY WITHIN THE FLOOD ZONE UNDESIGNED ZONE A, DENIED AS AREAS DETERMINED TO BE OUTSIDE OF THE 1% ANNUAL CHANCE FLOODPLAIN. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY OR STRUCTURES HEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON SOME OCCASIONS FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

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Date _____
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Signature valid for six months.

Date _____
Approved for A/E/C underground conduit facilities only.
Signature valid for one year.



LAKEVIEW RETREAT WEST DETENTION
FORT BEND COUNTY MUD NO. 190

BASELINE "A"
16+00 TO 25+00

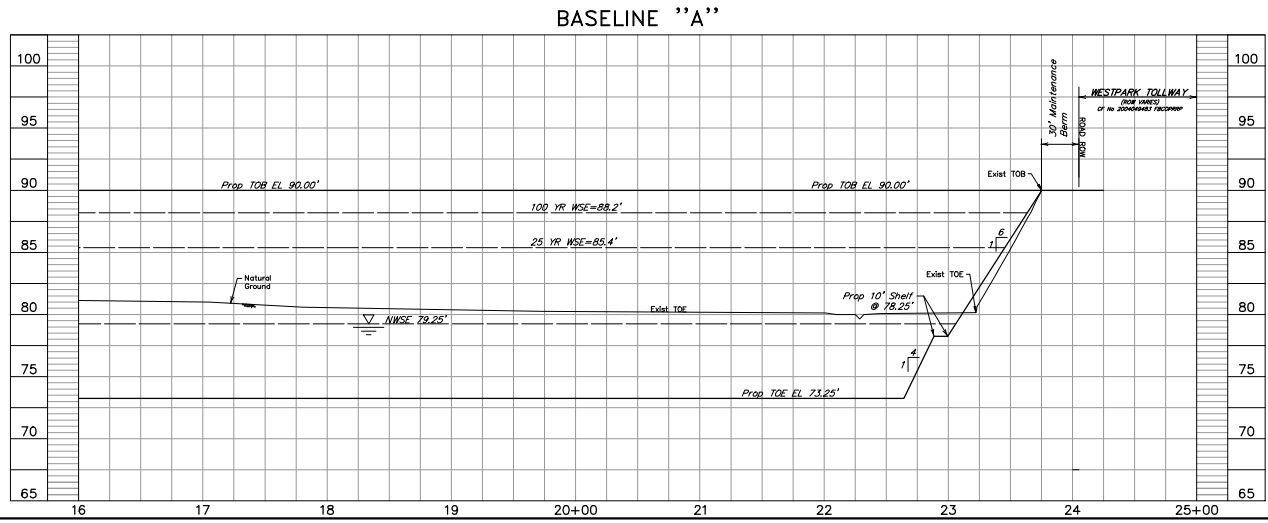
NOTE: CITY SIGNATURES VALID FOR ONE YEAR ONLY AFTER DATE OF SIGNATURES

CITY OF HOUSTON
HOUSTON PUBLIC WORKS

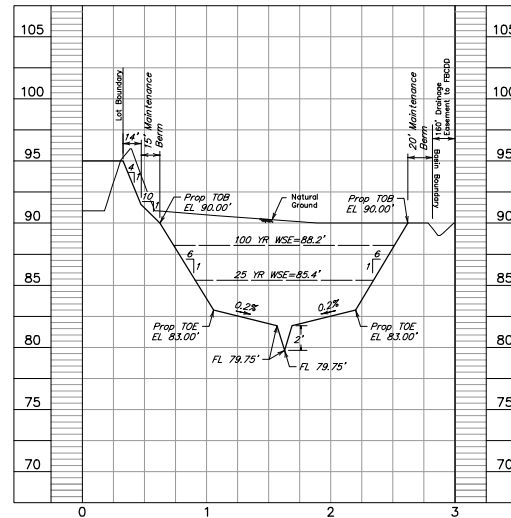
WATER	STORM WATER QUALITY
WASTE WATER	FACILITIES
STORM WATER	TRAFFIC & TRANSPORTATION/ STREET & BRIDGE
FILE NO.: PROJECT NO.: DGN BY: DWG. BY:	SCALE: 1"=50' H. 1"=5' V.
SHEET NO. 7 OF 14	DATE: MARCH 2021

FOR CITY OF HOUSTON USE ONLY

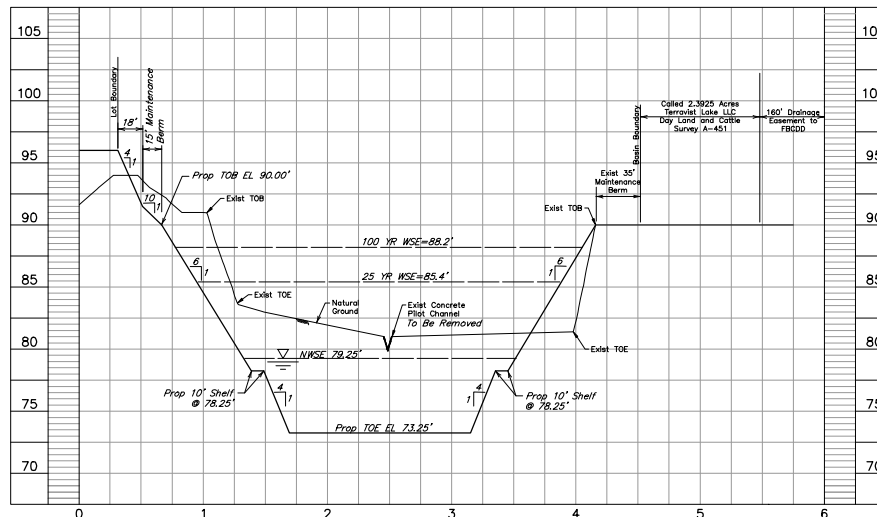
FBC ENGINEERING APPROVAL



CROSS SECTION "A-A"



CROSS SECTION "B-B"



BENCH MARK
ELEVATIONS SHOWN HEREON ARE BASED ON HARRIS COUNTY FLOODPLAIN REFERENCE MARK THE NO. 210480, BEING A BRASS PEG LOCATED IN THE CENTER OF THE HEADWALL OF THE WEST SIDE OF TRAILER ROAD, LOCATED APPROXIMATELY 0.5 MILE SOUTH FROM THE INTERSECTION OF WARDEN ROAD AND FARM MARKET ROAD 1903.
ELEVATION = 88.4', (NAVD 88, 2001 ADL)

TEMP. PT
TEMPORARY BENCHMARK "T" BEING A SQUARE CUT ON THE CENTERLINE OF BRIDGE WIDE TRAIL AT GRAND VISTA LAKES SECTION 2 BOUNDARY.
ELEVATION = 93.00', (NAVD 88, 2001 ADL)

100-YEAR FLOOD PLANE
ACCORDING TO MAP NO. 481570030L OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR FORT BEND COUNTY, TEXAS AND INCORPORATED AREAS OF CITY OF HOUSTON, DATED APRIL 02, 2014, THE SUBJECT TRACT IS SITUATED PARTIALLY WITHIN THE FLOOD ZONE UNSHADED ZONE A, DEFINED AS AREAS DETERMINED TO BE OUTSIDE OF THE 1% ANNUAL CHANCE FLOODPLAIN. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY OR STRUCTURES HEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON SOME OCCASIONS FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE WORSE THAN MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

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VERIFICATION OF PRIVATE UTILITY LINES

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Signature valid for six months.

Date
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Signature valid for six months.

Date
Approved for AT&T underground conduit facilities only.
Signature valid for one year.

JC
Jones & Carter, Inc.
Texas Board of Professional Engineers
Registration No. F-629
6330 West Loop South, Suite 150
The Woodlands, Texas 77461
713.777.3333

KYLE J. BLANK
08442
PROFESSIONAL ENGINEER
03/12/2021

**LAKEVIEW RETREAT WEST DETENTION
FORT BEND COUNTY MUD NO. 190**

**CROSS SECTIONS
A-A & B-B**

NOTE: CITY SIGNATURES VALID FOR ONE YEAR ONLY AFTER DATE OF SIGNATURES

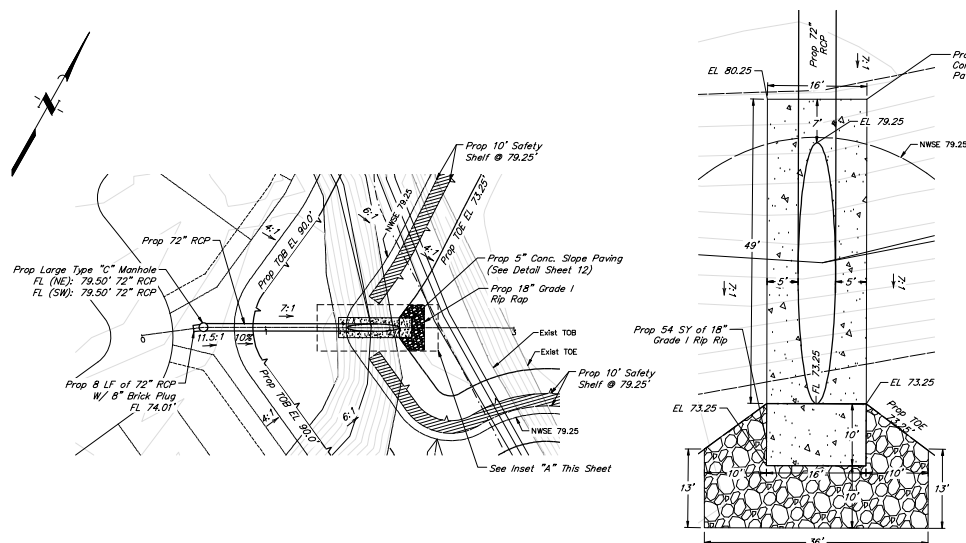
CITY OF HOUSTON
HOUSTON PUBLIC WORKS

WATER	STORM WATER QUALITY
WASTE WATER	FACILITIES
STORM WATER	TRAFFIC & TRANSPORTATION/ STREET & BRIDGE
FILE NO.: PROJECT NO.: DCN BY: DWG. BY:	SCALE: 1"=200'
SHEET NO. 8 OF 14	DATE: MARCH 2021

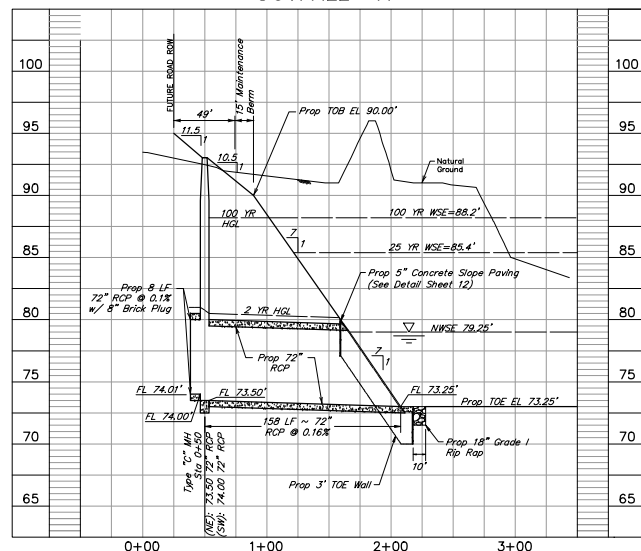
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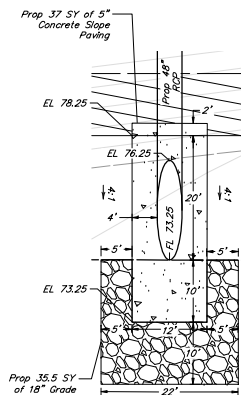
FBC ENGINEERING APPROVAL



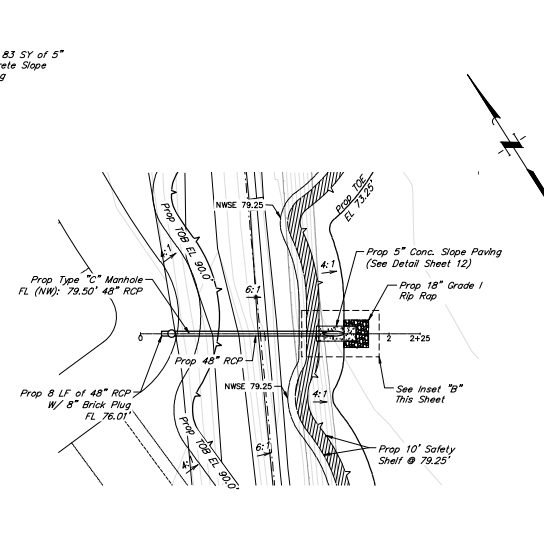
OUTFALL "A"



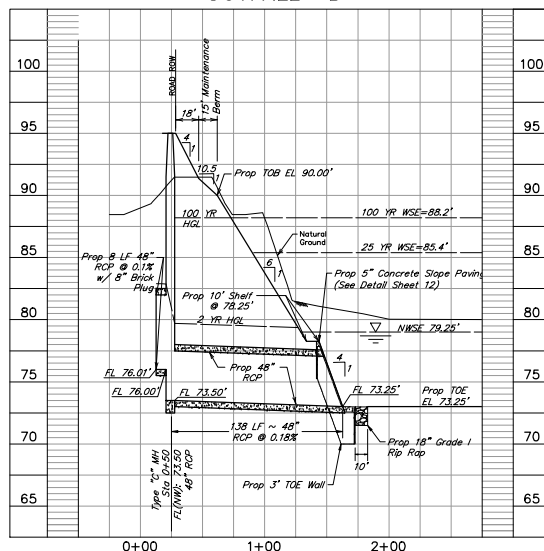
INSET "A"
SCALE 1"=10'



INSET "B"
SCALE 1"=10'



OUTFALL "B"



CEMENT STABILIZED SAND BACKFILL FOR MANHOLES:

CEMENT STABILIZED SAND SHOULD BE USED AS BACKFILL FOR ALL STORM SEWER MANHOLES. CEMENT STABILIZED SAND SHOULD MEET REQUIREMENTS IN DIVISION 2, CEMENT-SAND BACKFILL. BACKFILL TO BE PLACED AROUND MANHOLE COMPACTED IN 8 LIFTS (MAX).

FBC ENGINEERING APPROVAL

BENCH MARK
ELEVATIONS SHOWN HEREON ARE BASED ON HARRIS COUNTY FLOODPLAIN REFERENCE MARK NO. 10480, BEING A BRASS PEG LOCATED IN THE CENTER OF BRIDGE HOSE TRAIL AT GRAND VISTA LAKES SECTION 2 BOUNDARY. LOCATED APPROXIMATELY 0.5 MILE SOUTH FROM THE INTERSECTION OF WARDEN ROAD AND FARM MARKET ROAD 1083.
ELEVATION = 88.4'. (NAVD 88, 2001 ADL)

TEMP. B.M.
TEMPORARY BENCHMARK "T" BEING A SQUARE CUT ON THE CENTERLINE OF BRIDGE HOSE TRAIL AT GRAND VISTA LAKES SECTION 2 BOUNDARY. ELEVATION = 83.00'. (NAVD 88, 2001 ADL)

100-YEAR FLOOD PLAIN
ACCORDING TO MAP NO. 48157001-001 OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR FORT BEND COUNTY, TEXAS AND INCORPORATED AREAS OF CITY OF HOUSTON, DATED APRIL 02, 2014, THE SUBJECT TRACT IS SITUATED PARTIALLY WITHIN THE FLOOD ZONE INDICATED ZONE A, DEFINED AS AREAS DETERMINED TO BE WITHIN THE 0.2% ANNUAL CHANCE FLOODPLAIN. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY OR STRUCTURES THEREON WILL BE PROTECTED FROM FLOODING OR FLOOD DAMAGE, OR BASE OCCASIONS FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE WORKED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

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VERIFICATION OF PRIVATE UTILITY LINES

Date _____

CenterPoint Energy natural gas utilities shown. (Gas service lines are not shown). This signature not to be used for conflict verification.
Signature valid for six months.

Date _____

CenterPoint Energy/UNDERGROUND Electrical Facilities Verification ONLY. (This signature verifies existing underground facilities – not to be used for conflict verification).
Signature valid for six months.

Date _____

Approved for All underground conduit facilities only.
Signature valid for one year.

J.C.
Jones & Carter, Inc.
Texas Board of Professional Engineers
Registration No. F-239
6300 West Loop South, Suite 150
The Woodlands, Texas 77463
713.777.3333

KYLE J. BLANK
08442
03/12/2021

LAKEVIEW RETREAT WEST DETENTION
FORT BEND COUNTY MUD NO. 190

OUTFALL A & OUTFALL B

NOTE: CITY SIGNATURES VALID FOR ONE YEAR ONLY AFTER DATE OF SIGNATURES

CITY OF HOUSTON
HOUSTON PUBLIC WORKS

WATER	STORM WATER QUALITY
WASTE WATER	FACILITIES
STORM WATER	TRAFFIC & TRANSPORTATION/ STREET & BRIDGE

FILE NO.: _____
PROJECT NO.: _____
DGN BY: _____
DWG. BY: _____

SHEET NO. **9** OF 14 DATE: MARCH 2021

FOR CITY OF HOUSTON USE ONLY

EROSION AND SEDIMENTATION CONTROL NOTES

1. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL INSTALL EROSION AND SEDIMENTATION CONTROLS AT LOCATION SHOWN ON PLANS.
2. CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENTATION CONTROL SYSTEMS SPECIFIED HEREIN, AT A MINIMUM OF ONCE EVERY CALENDAR DAY.
3. CONTRACTOR SHALL MAINTAIN, REPAIR AND/OR REPLACE DAMAGED EROSION AND SEDIMENTATION CONTROL SYSTEM THROUGHOUT THE DURATION OF THE CONTRACT. (NO SEPARATE PAY).
4. CONTRACTOR SHALL PROVIDE PROTECTED STORAGE AREAS FOR CHEMICALS, PAINTS, SOLVENTS, FERTILIZERS, AND OTHER POTENTIALLY TOXIC MATERIALS.
5. CONTRACTOR SHALL LOCATE FUEL/MATERIAL STORAGE AREAS AWAY FROM STORM WATER CONVEYANCE SYSTEMS. CONTRACTOR SHALL USE SILT FENCING, HAY BALES, OR BERING AROUND FUEL STORAGE AREAS. (NO SEPARATE PAY).
6. CONTRACTOR SHALL ADVISE OWNER IMMEDIATELY, VERBALLY AND IN WRITING, OF ANY FUEL OR TOXIC MATERIAL SPILLS ONTO THE PROJECT/CONSTRUCTION AREA AND THE ACTION TAKEN TO REMEDY THE PROBLEM.
7. CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF HIS FUELS, MATERIALS, AND CONTAMINATED EXCAVATIONS IN A LEGALLY APPROVED MANNER. (NO SEPARATE PAY).
8. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE ENVIRONMENTAL LAWS.
9. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATELY MAINTAINED SANITARY FACILITIES.
10. AT COMPLETION OF THE CONTRACT, OWNER AND/OR OWNER'S REPRESENTATIVE WITH THE CONTRACTOR SHALL EXAMINE EROSION AND SEDIMENTATION CONTROL SYSTEM BEFORE RELIEVING CONTRACTOR OF HIS MAINTENANCE RESPONSIBILITIES.
11. IF EROSION AND SEDIMENTATION CONTROL SYSTEM IS EXISTING FROM PRIOR CONTRACTS, OWNER AND/OR OWNER'S REPRESENTATIVES WITH THE CONTRACTOR SHALL EXAMINE THE EXISTING EROSION AND SEDIMENTATION CONTROL SYSTEM FOR DAMAGE PRIOR TO CONSTRUCTION STARTING CONSTRUCTION OF THE CONTRACT. ANY DAMAGE NOTED AT THIS TIME SHALL BE REPAIRED AT OWNER'S EXPENSE.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR STREET CLEANING ON DAILY BASIS, ALL MUD AND DIRT DEPOSITED ON THE EXISTING PAVEMENT DUE TO HIS CONSTRUCTION ACTIVITY.
13. IF PAVING CONTRACTOR REMOVES OR PUNCTURES TIMBER GRATE TO ESTABLISH DRAINAGE, INLET MUST BE SURROUNDED BY FILTER FABRIC FENCE AS SHOWN IN DETAIL ON THIS SHEET.

COFFERDAM NOTE

1. CONTRACTOR TO INSTALL COFFERDAM FOR OUTFALL F. COFFER DAM TO BE BUILT AT AN ELEVATION 1' HIGHER THAN THE PERMANENT WATER SURFACE ELEVATION (EL. 13.56')

MANHOLE/INLET PROTECTION NOTES

1. INLETS AND MANHOLES THAT ARE NOT COMPLETE AND/OR ARE SUBJECT TO CONVEYING STORM WATER FLOWS ARE TO BE PROTECTED TO PREVENT SEDIMENT FROM ENTERING THE PROPOSED OR EXISTING STORM SEWER SYSTEM.
2. PROTECTION SHALL CONSIST OF ONE LAYER OF 3/42-INCH DAK TIMBERS, ONE (1) INCH APART, COVERED WITH ONE LAYER OF WOVEN POLYPROPYLENE OR POLYESTER FILTER FABRIC (EXION GTF 100%, PHILLIPS SUPAC 4W(U) OR APPROVED EQUAL) HELD IN PLACE WITH 1/2" STAPLES. TIMBERS SHALL BE HELD IN PLACE WITH TWO (2) 2x4s NAILD SECURELY TO EACH TIMBER OVER THE FILTER FABRIC. THE FILTER FABRIC SHALL EXTEND BEYOND THE PERIMETER OF THE DAK TIMBERS AS TO ENSURE ONE (1) FOOT OF BURY BETWEEN THE MANHOLE OR INLET AND THE SURROUNDING SOIL AS SHOWN.
3. FILTER FABRIC TO BE CLEANED OR REPLACED WHEN IT CEASES TO FUNCTION PROPERLY OR AS DIRECTED BY THE ENGINEER.
4. CONTRACTOR MAY SUBMIT PLANS FOR ALTERNATE METHODS OF PROTECTION. THESE ALTERNATE METHODS MUST BE APPROVED PRIOR TO USE IN THE FIELD.
5. NO SEPARATE PAYMENT SHALL BE MADE FOR INLET AND MANHOLE PROTECTION. INCLUDE THE COST IN THE UNIT PRICE FOR THE INLETS AND MANHOLES.

LEGEND

- IPB INLET PROTECTION BARRIERS FOR STAGE II INLETS
- SC STABILIZED CONSTRUCTION ACCESS
- CTW CONCRETE TRUCK WASHOUT AREA
- RFB FILTER FABRIC FENCE Min. 2' FROM E.O.C.
- CD COFFERDAM
- RFD ROCK FILTER DAM

BENCH MARK

ELEVATIONS SHOWN HEREON ARE BASED ON HARRIS COUNTY FLOODPLAIN REFERENCES MARK THE NO. 214400, BEING A BRASS PEG LOCATED IN THE CENTER OF THE HEADLAMP ON THE WEST SIDE OF TRAILHEAD, LOCATED APPROXIMATELY 0.5 MILE SOUTH FROM THE INTERSECTION OF WARREN ROAD AND FARM MARKET ROAD 1005.

ELEVATION = 88.47', (NAVD 88, 2001 ADJ.)

TEMP. 7" TEMPORARY BENCHMARK 7" BEING A SQUARE CUT ON THE CENTERLINE OF BRIDGE WIDE TRAIL AT GRAND VISTA LAKES SECTION 2 BOUNDARY.

ELEVATION = 83.02', (NAVD 88, 2001 ADJ.)

100-YEAR FLOOD PLANE

ACCORDING TO MAP NO. 48157003.DSL OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR FORT BEND COUNTY, TEXAS AND INCORPORATED AREAS OF CITY OF HOUSTON, DATED APRIL 02, 2014, THE SUBJECT TRACT IS SITUATED PARTIALLY WITHIN THE FLOOD ZONE UNDESIGNED ZONE A, DEFINED AS AREAS DETERMINED TO BE AT RISK OF THE 1% ANNUAL CHANCE FLOODPLAIN. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY OR STRUCTURES HEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE WORKED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

NOTICE:

FOR YOUR SAFETY, YOU ARE REQUIRED BY TEXAS LAW TO CALL 811 AT LEAST 48 HOURS BEFORE YOU DIG SO THAT UNDERGROUND LINES CAN BE MARKED. THIS SIGNATURE DOES NOT FULFILL YOUR OBLIGATION TO CALL 811.

VERIFICATION OF PRIVATE UTILITY LINES

Date
CenterPoint Energy natural gas utilities shown. (Gas service lines are not shown). This signature not be used for conflict verification.
Signature valid for six months.

Date
CenterPoint Energy/UNDERGROUND Electrical Facilities Verification ONLY. (This signature verifies existing underground facilities – not to be used for conflict verification)
Signature valid for six months.

Date
Approved for AT&T underground conduit facilities only.
Signature valid for one year.



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Texas Board of Professional Engineers
Registration No. F-429
6330 West Loop South, Suite 150
The Woodlands, Texas 77380
713.777.3333



LAKEVIEW RETREAT WEST DETENTION
FORT BEND COUNTY MUD NO. 190

STORM WATER
POLLUTION
PREVENTION PLAN

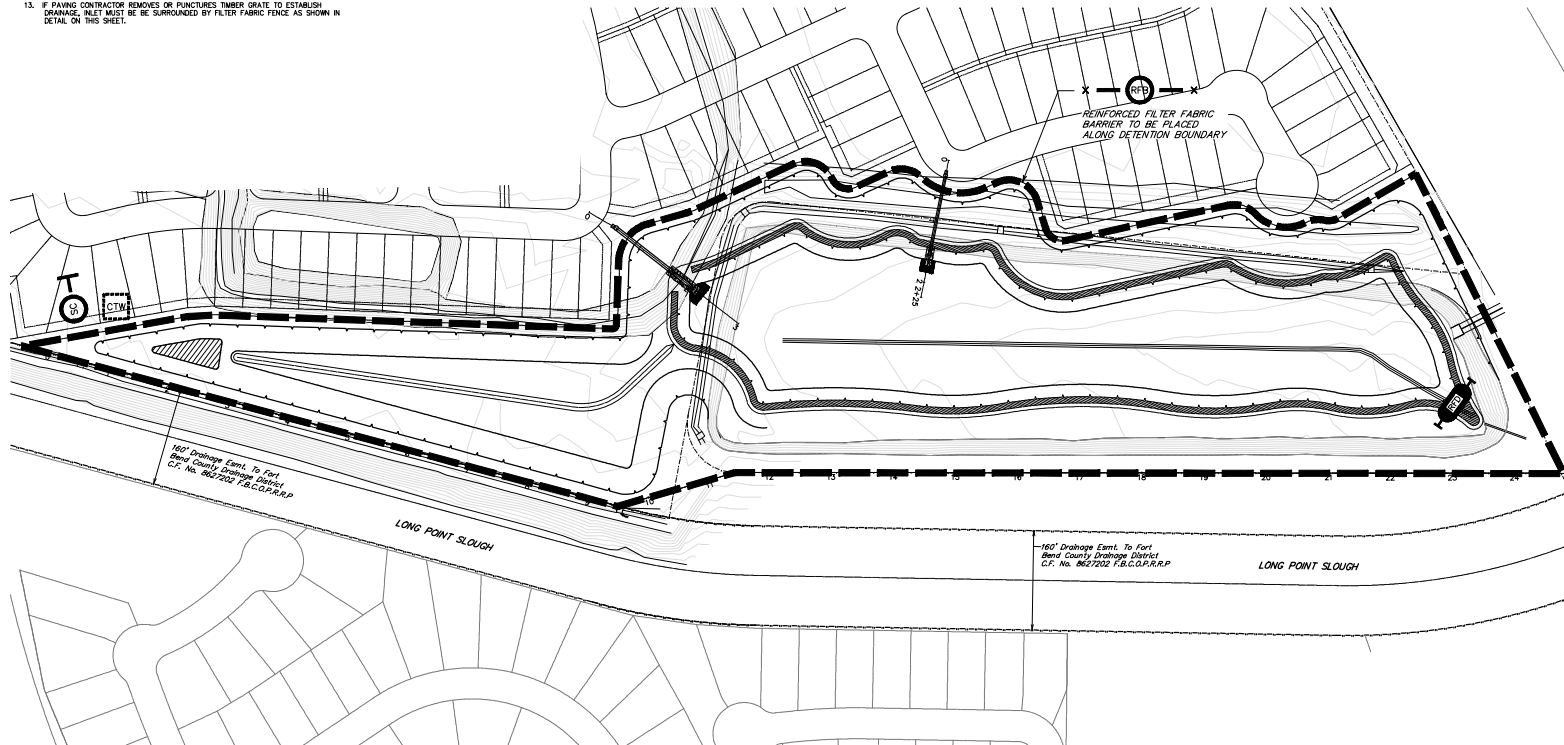
NOTE: CITY SIGNATURES VALID FOR ONE YEAR ONLY AFTER DATE OF SIGNATURES

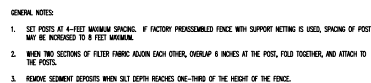
CITY OF HOUSTON
HOUSTON PUBLIC WORKS

WATER	STORM WATER QUALITY
WASTE WATER	FACILITIES
STORM WATER	TRAFFIC & TRANSPORTATION/ STREET & BRIDGE
FILE NO.:	SCALE: 1"=100'
PROJECT NO.:	
DCN BY:	
DWG. BY:	
SHEET NO. 10 OF 14	DATE: MARCH 2021

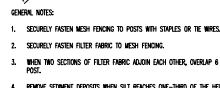
FOR CITY OF HOUSTON USE ONLY

FBC ENGINEERING APPROVAL

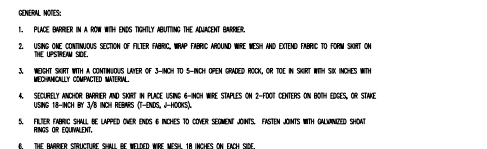




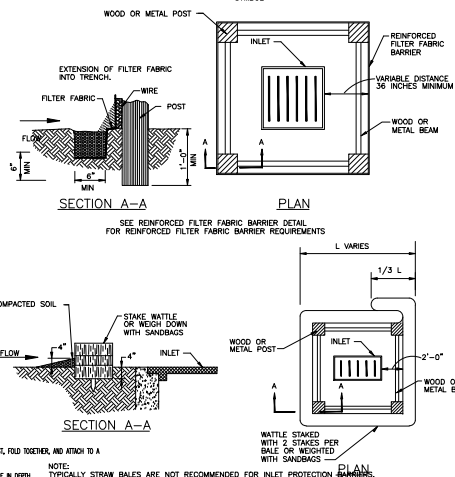
SYMBOL



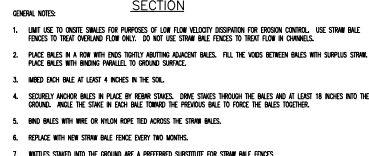
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SYMBOL



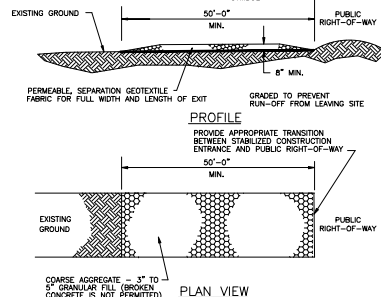
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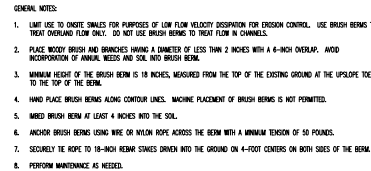
IPB
SMBN



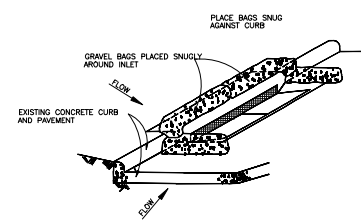
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SYMBOL



STABILIZED CONSTRUCTION ACCESS



x

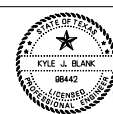


IPB

APPROVED: _____
DEVELOPMENT COORDINATOR

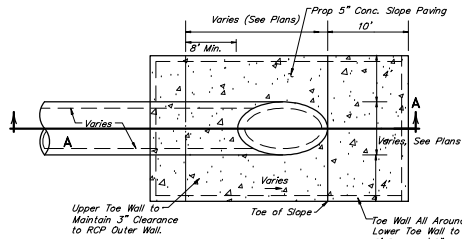
DATE: _____

FORT BEND COUNTY
ENGINEERING DEPARTMENT

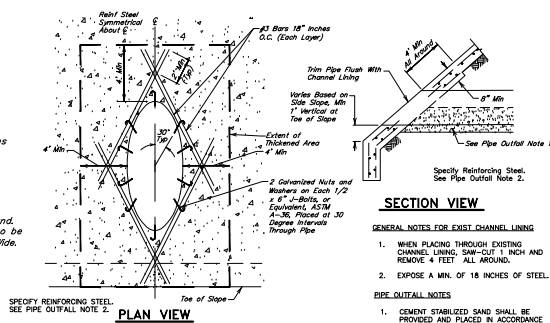


03/12/2021

LAKEVIEW RETREAT WEST DETENTION			
2000YR #01	ISSUE DESCRIPTION	2000YR #02	
R.L.S.	STORM WATER POLLUTION	14910--0065--06	
000YR #01	PREVENTION PLAN DETAILS	PLZ WAGE	
00000		00000	
N.T.S.		PLZ WAGE	
0000	APPROVED #01	0000	
00000		0000	

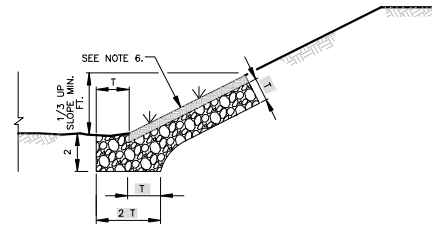


PIPE OUTFALL DETAIL
NOT TO SCALE

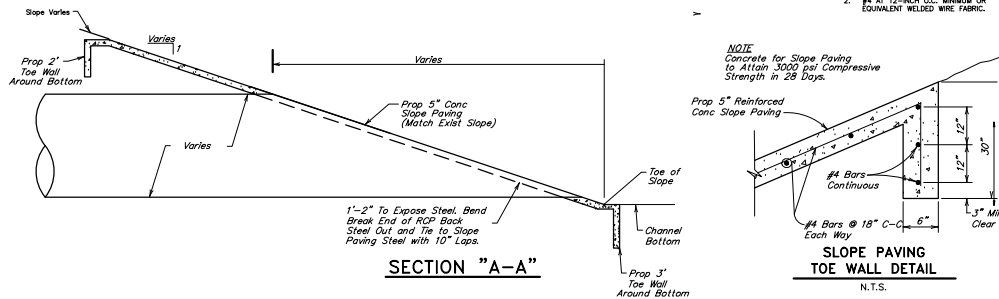


SECTION VIEW

- GENERAL NOTES FOR EXIST CHANNEL LINING**
1. WHEN PLACING THROUGH EXISTING CHANNEL LINING, SAW-CUT 1 INCH AND REMOVE 4 FEET ALL AROUND.
 2. EXPOSE A MIN. OF 18 INCHES OF STEEL.
- PIPE OUTFALL NOTES**
1. CEMENT STABILIZED SAND SHALL BE PROVIDED AND PLACED IN ACCORDANCE WITH SPECIFICATIONS FOR CEMENT STABILIZED SAND.
 2. #4 AT 12-INCH O.C. MINIMUM OR EQUIVALENT WELDED WIRE FABRIC.



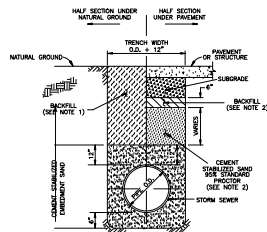
TYPICAL RIPRAP LINING DETAIL-SIDE SLOPE ONLY
NOT TO SCALE



SECTION "A-A"

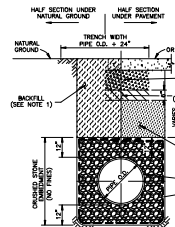
SLOPE PAVING TOE WALL DETAIL
N.T.S.

TYPICAL BASIN OUTFALL DETAILS



- NOTES**
1. BACKFILL SHALL BE NATIVE SOIL, FREE OF DEBRIS, PLACED IN LIFTS, 8" THICK OR LESS, COMPACTED TO 95% STANDARD PROCTOR DENSITY, EXCEPT AS REQUIRED BELOW.
 2. BACKFILL UNDER AND WITHIN 3 FEET OF DRIVEWAYS AND PUBLIC STREETS SHALL BE CEMENT STABILIZED SAND (1.5 SHOTS OF CEMENT PER CUBIC YARD OF SAND), EXCEPT THE TOP 4" SHALL BE NATIVE SOIL, FREE OF DEBRIS. ALL BACKFILL UNDER PAVING SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.

STORM SEWER BEDDING



- NOTES**
1. BACKFILL SHALL BE NATIVE SOIL, FREE OF DEBRIS, PLACED IN LIFTS, 8" THICK OR LESS, COMPACTED TO 95% STANDARD PROCTOR DENSITY, EXCEPT AS REQUIRED BELOW.
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STORM SEWER BEDDING FOR WET CONDITIONS

FBC ENGINEERING APPROVAL



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Texas Board of Professional Engineers
Registration No. F-628
6330 West Loop South, Suite 150
The Woodlands, Texas 77380
713.777.3337



03/12/2021

LAKEVIEW RETREAT WEST DETENTION
FORT BEND COUNTY MUD NO. 190

NOTE: CITY SIGNATURES VALID FOR ONE YEAR ONLY AFTER DATE OF SIGNATURES

CITY OF HOUSTON
HOUSTON PUBLIC WORKS

WATER	STORM WATER QUALITY
WASTE WATER	FACILITIES
STORM WATER	TRAFFIC & TRANSPORTATION/ STREET & BRIDGE
FILE NO.: PROJECT NO.: DCN BY: DWG. BY:	SCALE: DATE: MARCH 2021
SHEET NO. 12 OF 14	FOR CITY OF HOUSTON USE ONLY

K:\14810\14810-0000-00_Lakeview West Retreat-Detention\2. Design Phase\CAD\Draws\Main\Drawings\Lakeview West Retreat-Detention.dwg, Mar 12, 2021, 12:51pm, for

- LEGEND**
- EXIST GROUND CONTOUR
 - SWALE ELEVATION
 - FUTURE LOT ELEVATION
 - FUTURE TOP OF CURB ELEVATION
 - GRADE BREAK
 - DRAINAGE FLOW PATH
 - FUTURE PAVEMENT
 - EXIST PAVEMENT
 - SLOPE OF FINISHED GRADE

CAUTION!
EXIST OVERHEAD
POWER LINES

CONTRACTOR TO USE EXTREME CAUTION WHEN WORKING
NEAR ADJACENT UTILITIES & FENCES. ANY DAMAGES TO
EXISTING UTILITIES OR FENCES WILL BE REPAIRED AT
THE CONTRACTOR'S EXPENSE.

WESTPARK TOLLWAY
(ROW VARIES)
OF NO. 2004048431
FBC09999

FUTURE PLAT BOUNDARY

PROP EXISTING
BASIN EXPANSION

KEY-MAP

GRADING NOTES

- LINES AND GRADES ON THIS GRADING PLAN DO NOT IMPLY AUTHORIZATION TO PERFORM ANY GRADING WORK ON OTHER PROPERTIES. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN SUCH APPROVALS FROM THE OWNER PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL COMPLETE ALL EROSION CONTROL ACTIVITIES TO THE LINES AND GRADES SHOWN BY THIS PLAN. UNIFORM SMOOTH GRADING OF ALL AREAS SHALL BE ACCOMPLISHED. ALL AREAS TO BE STRAIGHT GRADED FROM ELEVATION TO ELEVATION AS SHOWN. THE FINISHED SURFACE SHALL BE REASONABLY SMOOTH AND FREE FROM IRREGULARITIES.
- THE CONTRACTOR MAY FIELD ADJUST THE PROPOSED LOCATION AND ROUTING OF SURFACE DRAINAGE SWALES TO OPTIMIZE DRAINAGE, AS REQUIRED, CONTRACTOR TO OBTAIN APPROVAL FROM ENGINEER PRIOR TO MAKING ADJUSTMENTS (NO SEPARATE PAY).
- LOT AREAS THAT ARE TO RECEIVE FILL SHALL BE PREPARED AS FOLLOWS (NO SEPARATE PAY)
 - AREAS TO RECEIVE FILL WITH EXISTING GRASS OR SHRUBBERY HIGHER THAN 2 FEET MUST BE MOWED PRIOR TO THE PLACEMENT OF FILL STRIPS.
 - CLEARING OF SCATTERED TREES UP TO 4 INCH CALIPER IN AREAS DESIGNATED TO RECEIVE FILL IS INCIDENTAL TO THE CONTRACT. INCLUDE COSTS IN PRICE BID FOR LOT GRADING.
 - AREAS TO RECEIVE FILL WILL BE STRIPPED TO A DEPTH OF 3 INCHES. STRIPPINGS SHALL BE STOCKPILED AND THEN SPREAD EVENLY ON THE SURFACE OF FILLED AREAS. FINAL LOT ELEVATIONS ARE BASED ON FINISH GRADES WITH STRIPPING SPREAD ON GRADED AREAS. STRIPPINGS PLACED WITHIN FUTURE BUILDING PADS TO BE PLACED NO MORE THAN 3 INCHES THICK AND COMPACTED.
- CONTRACTOR TO PROOF ROLL ALL LOTS WITHIN THE PROJECT BOUNDARY AS PART OF LOT GRADING. PRIOR TO THE PLACEMENT OF ANY MATERIAL ON NATIVE EARTH, THE AREA SHALL BE PROOF ROLLED. THE NATIVE SOIL SHALL BE ROLLED WITH SUFFICIENT INTENSITY TO BRING OUT WEAK SPOTS IN THE SUB-GRADE WHICH WOULD OTHERWISE FAIL DURING THE CONSTRUCTION PROCESS. THE PROOF ROLLING SHALL BE COMPLETED WITH EQUIPMENT WEIGHING AT LEAST 30 TONS WITH TIRE PRESSURES BETWEEN 50 PSI AND 100 PSI. A MINIMUM OF TWO COVERAGE'S OF THE PROOF ROLLER WILL BE REQUIRED. EACH SUCCESSFUL TRY OF THE PROOF ROLLER SHALL BE OFFSET BY NOT GREATER THAN ONE (1) INCH. ROLLERS SHALL BE OPERATED AT SPEEDS BETWEEN 2 AND 4 MPH. SHOULD SOFT UNSTABLE AREAS APPEAR IN THE LOTS, THE CONTRACTOR SHALL REMOVE THE UNSTABLE MATERIAL, AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL REPLACE THIS WITH A SUITABLE MATERIAL, COMPACTED AS REQUIRED (NO SEPARATE PAY FOR A DEPTH UP TO 1.0 FEET).
- PLACEMENT OF FILL SHALL NOT CREATE PONDING ON ADJACENT LOTS OR PROPERTY.
- LOT FILL SHALL BE PLACED IN A MAXIMUM COARSENESS OF 8 INCHES OF LESS AND COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM TO +5% MOISTURE CONTENT AS DETERMINED BY AASHTO TEST METHOD T-99.
- ALL EXISTING DRAINAGE SWALES IN FILL AREAS SHALL BE STRIPPED OF ANY VEGETATION, CLEANED AND MUCKED OUT TO SUITABLE SUBGRADE MATERIAL AND THEN FILLED AS SHOWN WITH DRAINAGE MATERIAL IN MAXIMUM 8 INCH LIFT. LOTS WITH EACH LIFT COMPACTED TO AT LEAST 95% PROCTOR DENSITY AS DETERMINED BY AASHTO TEST METHOD T-99.
- ENGINEER WILL PROVIDE APPROXIMATE BACK LOT LINE FINISH ELEVATIONS. CONTRACTOR SHALL VERIFY FINAL LOT GRADES AND ELEVATIONS TIED TO PROJECT BENCHMARK. CONTRACTOR SHALL INCLUDE COST IN BID ITEM FOR LOT GRADING.
- EROSION CONTROL MEASURES ARE TO BE COMPLETELY IMPLEMENTED PRIOR TO ANY GRADING WORK.
- FINAL PAYMENT SHALL BE CONTINGENT ON THE ENGINEER'S VERIFICATION THAT LOT GRADING IS IN ACCORDANCE WITH THE GRADING PLAN AND THAT SOIL COMPACTION TESTS WERE PERFORMED AS REQUIRED.
- ALL LOTS SHALL BE GRADED SO THAT NO PORTION OF ANY LOT SHALL DRAIN ONTO OR ACROSS ANY OTHER LOT, BUT SHALL DRAIN DIRECTLY TO STREET UNLESS DESIGNATED OTHER THAN TYPE "A" GRADING.

CROSS SECTION A-A

"HOME BUILDER TO ENSURE RUNOFF FROM IMPERVIOUS AREAS OF STRUCTURE TO DRAIN TOWARDS STREET."

CROSS SECTION B-B

"HOME BUILDER TO ENSURE RUNOFF FROM IMPERVIOUS AREAS OF STRUCTURE TO DRAIN TOWARDS STREET."

CROSS SECTION C-C

"HOME BUILDER TO ENSURE RUNOFF FROM IMPERVIOUS AREAS OF STRUCTURE TO DRAIN TOWARDS STREET."

BENCHMARK
ELEVATIONS SHOWN HEREON ARE BASED ON HARRIS COUNTY FLOODPLAIN
REFERENCES MARK NO. 10400, BEING A BRASS PEG LOCATED IN THE
EAST CORNER OF THE REAR WALL OF THE WEST SIDE OF THE HOUSE
LOCATED APPROXIMATELY 0.5 MILE SOUTH FROM THE INTERSECTION OF
HARLEM ROAD AND PARK MARKET ROAD 1043
ELEVATION = 88.4' (NAVD 88, 2001 ADA)

TEMP. "T"
TEMPORARY BENCHMARK "T" BEING A SQUARE CUT ON THE CENTERLINE
OF BRIDGE WIDE TRAIL AT GRAND VISTA LAKES SECTION 2 BOUNDARY.
ELEVATION = 83.0' (NAVD 88, 2001 ADA)

100-YEAR FLOOD PLAIN
ACCORDING TO MAP NO. 48157001-001 OF THE FEDERAL EMERGENCY
MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR FORT BEND
COUNTY, TEXAS AND INCORPORATED AREAS OF CITY OF HOUSTON, DATED
APRIL 02, 2014, THE SUBJECT TRACT IS SITUATED PARTIALLY WITHIN THE
FLOOD ZONE INDICATED ZONE A, DEFINED AS AREAS ESTIMATED TO BE
SUBMERGED BY THE 1% ANNUAL CHANCE FLOODPLAIN. THIS FLOOD
STATEMENT DOES NOT IMPLY THAT THE PROPERTY OR STRUCTURES
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FOR YOUR SAFETY, YOU ARE REQUIRED BY TEXAS LAW TO CALL 811
AT LEAST 48 HOURS BEFORE YOU DIG SO THAT UNDERGROUND LINES
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VERIFICATION OF PRIVATE UTILITY LINES

Date _____
CenterPoint Energy natural gas utilities shown. (Gas service lines are not
shown). This signature not be used for conflict verification.
Signature valid for six months.

Date _____
CenterPoint Energy/UNDERGROUND Electrical Facilities Verification ONLY.
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Signature valid for one year.



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713.777.9333



3-12-21

LAKEVIEW RETREAT WEST DETENTION
FORT BEND COUNTY MUD NO. 190

**FILL PLAN II FOR
FUTURE SEC 12**

NOTE: CITY SIGNATURES VALID FOR ONE
YEAR ONLY AFTER DATE OF SIGNATURES

CITY OF HOUSTON
HOUSTON PUBLIC WORKS

WATER	STORM WATER QUALITY
WASTE WATER	FACILITIES
STORM WATER	TRAFFIC & TRANSPORTATION/ STREET & BRIDGE
FILE NO.:	SCALE: 1"=100'
PROJECT NO.:	
DGN BY:	
DWG. BY:	
SHEET NO. 14 OF 14	DATE: MARCH 2021

FOR CITY OF HOUSTON USE ONLY

FBC ENGINEERING APPROVAL