

May 4, 2018

Fort Bend County Engineering  
Mr. Richard Stolleis  
301 Jackson St. Suite 401  
Richmond, Texas 77469

Re: Fairpark Village Section 8 Sidewalk Variance Request Along Fairhaven Lane  
Within Fort Bend County Municipal Utility District No. 5

Dear Mr. Stolleis,

May this letter serve as a formal request for a variance from "Note 15" on the Fairpark Village Section 8 plat recorded on June 13, 2017 under the recording number 2017064937. "Note 15" is a Fort Bend County standard that states "sidewalks shall be built or caused to be built not less than 5 feet in width on both sides of all dedicated rights-of-way within said plat and on the contiguous right-of-way of all perimeter roads surrounding said plat, in accordance with A.D.A."

We believe Fairhaven Lane constitutes a special circumstance such as listed in Section 2.21 of the Fort Bend County Regulations of Subdivisions to request a variance. As shown on the attached Exhibit, Fairhaven Lane provides a third point of access for F.B.C.M.U.D. No.5 residents to utilize and is bordered by the Caldwell Nursery to the northeast and private homeowners to the southwest. The Caldwell Nursery has access off of Band Road and the private homeowners are provided access by Pecha Lane. In order to ensure privacy to all parties involved, Woodmere Development Co. Ltd. (the Developer), is constructing an 8' cedar fence along the southwest border of Fairhaven Lane with landscaping within reserve "B" of said plat as a welcoming environment to the public and residents.

A main concern that is addressed is accessibility for the public. Fairhaven Lane is approximately 1,550 linear feet in length. Following ADA requirements a handicapped individual would have no need to utilize the opposite side of the street as there are no buildings or structures to access. As cited in the 2010 ADA Standards Manual Section 206.2 at least one accessible route shall be required to serve the public. The sidewalk on the northeastern side of Fairhaven Lane is an accessible route and provides the ability to safely traverse the subdivision.

The construction of this sidewalk would provide no additional benefit to the public. It is of my professional opinion that this request be taken into consideration and a variance be granted not to construct approximately 1,550 linear feet of sidewalk along the southwestern ROW of Fairhaven Lane. For your reference, please find a copy of the following documents included with this request; HOA maintenance letter, landscape and irrigation plan and the Fairpark Village Section 8 plat.

**r. g. miller**  
**engineers**

Fort Bend County Engineering  
May 4, 2018  
Page 2 of 2

Please call me at 713-461-9600 or email [jwagner@rgmiller.com](mailto:jwagner@rgmiller.com) should you have any questions regarding this matter or require additional information.

Regards,

**R.G. Miller Engineers, Inc.**

A handwritten signature in blue ink, appearing to read "Justin S. Wagner".

Justin S. Wagner, P.E.  
Land Department Manager

Cc: Maggie Dalton – Fort Bend County Engineering  
Andrew Rue – Woodmere Development Co., Ltd.

JSW/kc/aa

P 3257.008/F  
L:\3260\_FBCMUD\_5\Fairpark\_Village\3257.008 Fairpark Village Sec 8\Admin\Correspondence\L-20 FBCE Variance Request.doc

**Fairpark Village Homeowners Association, Inc.**  
c/o Crest Management  
17171 Park Row, Suite 310  
Houston, TX 77084  
(281) 579-0761 FAX 281-579-7062

May 2, 2018

Fort Bend County Engineering  
c/o Mr. Richard Stolleis  
301 Jackson Street Suite 401  
Richmond, Texas 77469

RE: Fairpark Village Section 8 Homeowners Association Maintenance

Dear Mr. Stolleis,

This letter declares that the Fairpark Village Homeowners Association (HOA) shall be the responsible entity for maintaining Reserve "B" as depicted on the Fairpark Village Section 8 recorded plat. This shall include irrigation, landscaping and all related appurtenances that are intended for the community's benefit.

If you require additional information, please do not hesitate to contact me at 832-331-3894.

Sincerely,

A handwritten signature in cursive script, appearing to read "cindy n. bojé", followed by a horizontal flourish line.

Cindy N. Bojé, CMCA | Community Manager  
Fairpark Village Homeowners Association, Inc.



STATE OF TEXAS  
COUNTY OF FORT BEND

WE, WOODMERE DEVELOPMENT CO., LTD., A TEXAS LIMITED PARTNERSHIP, ACTING BY AND THROUGH RICHARD RUE, PRESIDENT, AND JASON ERVIN, VICE PRESIDENT, BOTH BEING OFFICERS OF WOODMERE GP, L.L.C., A LIMITED LIABILITY COMPANY, ITS GENERAL PARTNER, OWNERS OF THE 15.483 ACRE TRACT DESCRIBED IN THE ABOVE AND FOREGOING MAP OF FAIRPARK VILLAGE SECTION 8, DO HEREBY MAKE AND ESTABLISH SAID SUBDIVISION AND DEVELOPMENT PLAT OF SAID PROPERTY ACCORDING TO ALL LINES, DEDICATIONS, RESTRICTIONS AND NOTATIONS ON SAID MAPS OR PLAT AND HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER, ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES SHOWN THEREON FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED; AND DO HEREBY BIND OURSELVES, OUR HEIRS, AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE TO THE LAND SO DEDICATED.

FURTHER, WE DO HEREBY DEDICATE FOR PUBLIC UTILITY PURPOSES AN UNOBSTRUCTED AERIAL EASEMENT FIVE (5) FEET IN WIDTH FROM A PLANE TWENTY (20) FEET ABOVE THE GROUND LEVEL UPWARD, LOCATED ADJACENT TO PUBLIC UTILITY EASEMENTS THAT ARE DESIGNED WITH AERIAL EASEMENTS (U.E. & A.E.) AS SHOWN HEREON.

FURTHER, WE DO HEREBY DECLARE THAT ALL PARCELS OF LAND DESIGNATED AS LOTS ON THIS PLAT ARE INTENDED FOR THE CONSTRUCTION OF SINGLE FAMILY RESIDENTIAL DWELLING UNITS THEREON AND SHALL BE RESTRICTED FOR SAME UNDER THE TERMS AND CONDITIONS OF SUCH RESTRICTIONS FILED SEPARATELY.

FURTHER, WE DO HEREBY COVENANT AND AGREE THAT ALL OF THE PROPERTY WITHIN THE BOUNDARIES OF THIS PLAT SHALL BE RESTRICTED TO PREVENT THE DRAINAGE OF ANY SEPTIC TANKS INTO ANY PUBLIC OR PRIVATE STREET, ROAD OR ALLEY OR ANY DRAINAGE DITCH, EITHER DIRECTLY OR INDIRECTLY.

FURTHER, WE DO HEREBY DEDICATE TO THE PUBLIC A STRIP OF LAND TWENTY (20) FEET WIDE ON EACH SIDE OF THE CENTER LINE OF ANY AND ALL BAYOUS, CREEKS, GULLIES, RAVINES, DRAWS AND DRAINAGE DITCHES LOCATED IN SAID SUBDIVISION, AS EASEMENTS FOR DRAINAGE PURPOSES. FORT BEND COUNTY OR OTHER GOVERNMENTAL AGENCY SHALL HAVE THE RIGHT TO ENTER UPON SAID EASEMENT AT ANY AND ALL TIMES FOR THE PURPOSES OF CONSTRUCTION AND MAINTENANCE OF DRAINAGE FACILITIES AND STRUCTURES.

FURTHER, WE DO HEREBY COVENANT AND AGREE THAT ALL OF THE PROPERTY WITHIN THE BOUNDARIES OF THIS SUBDIVISION AND ADJACENT TO ANY DRAINAGE EASEMENT, DITCH, GULLY, CREEK OR NATURAL DRAINAGE WAY SHALL HEREBY BE RESTRICTED TO KEEP SUCH DRAINAGE WAYS AND EASEMENTS CLEAR OF FENCES, BUILDINGS, EXCESSIVE VEGETATION AND OTHER OBSTRUCTIONS TO THE OPERATIONS AND MAINTENANCE OF THE DRAINAGE FACILITY AND THAT SUCH ADJUTING PROPERTY SHALL NOT BE PERMITTED TO DRAIN DIRECTLY INTO THIS EASEMENT EXCEPT BY MEANS OF AN APPROVED DRAINAGE STRUCTURE.

FURTHER, WE DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF ALL PROPERTY IMMEDIATELY ADJACENT TO THE BOUNDARIES OF THE ABOVE AND FOREGOING SUBDIVISION OF FAIRPARK VILLAGE SECTION 8 WHERE BUILDING SETBACK LINES OR PUBLIC UTILITY EASEMENTS ARE TO BE ESTABLISHED OUTSIDE THE BOUNDARIES OF THE ABOVE AND FOREGOING SUBDIVISION AND DO HEREBY MAKE AND ESTABLISH ALL BUILDING SETBACK LINES AND DEDICATE TO THE USE OF THE PUBLIC, ALL PUBLIC UTILITY EASEMENTS SHOWN IN SAID ADJACENT ACREAGE.

FURTHER, WE DO HEREBY ACKNOWLEDGE THE RECEIPT OF THE "ORDERS FOR REGULATION OF OUTDOOR LIGHTING IN THE UNINCORPORATED AREAS OF FORT BEND COUNTY, TEXAS", AND DO HEREBY COVENANT AND AGREE AND SHALL COMPLY WITH THIS ORDER AS ADOPTED BY FORT BEND COUNTY COMMISSIONERS COURT ON MARCH 23, 2004, AND ANY SUBSEQUENT AMENDMENTS.

IN TESTIMONY WHEREOF, THE WOODMERE DEVELOPMENT CO., LTD., A TEXAS LIMITED PARTNERSHIP, HAS CAUSED THESE PRESENTS TO BE SIGNED BY RICHARD RUE, ITS PRESIDENT, HEREUNTO AUTHORIZED, ATTESTED BY ITS VICE PRESIDENT, JASON ERVIN, BOTH BEING OFFICERS OF WOODMERE GP, L.L.C., A LIMITED LIABILITY COMPANY, ITS GENERAL PARTNER, AND ITS COMMON SEAL HEREUNTO AFFIXED THIS 24th DAY OF May, 2017.

WOODMERE DEVELOPMENT CO., LTD., A TEXAS LIMITED PARTNERSHIP  
BY: WOODMERE GP, L.L.C., A LIMITED LIABILITY COMPANY  
ITS GENERAL PARTNER

BY: Richard Rue  
RICHARD RUE, PRESIDENT

ATTEST: Jason Ervin  
JASON ERVIN, VICE PRESIDENT

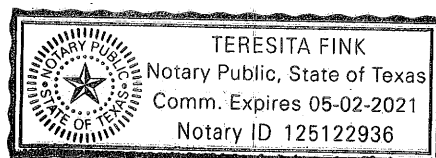
STATE OF TEXAS  
COUNTY OF FORT BEND

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RICHARD RUE, PRESIDENT AND JASON ERVIN, VICE PRESIDENT, KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGE TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN AND HEREIN SET OUT, AND AS THE ACT AND DEED OF SAID CORPORATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 24th DAY OF April, 2017.

Teresita Fink  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS  
PRINT NAME: Teresita Fink

MY COMMISSION EXPIRES: 5-2-21



I, JUSTIN S. WAGNER, A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT MEETS ALL REQUIREMENTS OF FORT BEND COUNTY TO THE BEST OF MY KNOWLEDGE.

Justin S. Wagner  
JUSTIN S. WAGNER  
TEXAS REGISTRATION NO. 108942



I, CAROLYN J. QUINN, AM REGISTERED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THE ABOVE SUBDIVISION IS TRUE AND CORRECT, WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND AND THAT ALL BOUNDARY CORNERS, ANGLE POINTS AND POINTS OF CURVATURE AND OTHER POINTS OF REFERENCE HAVE BEEN MARKED WITH IRON RODS HAVING AN OUTSIDE DIAMETER OF FIVE EIGHTH OF ONE INCH (5/8) AND A LENGTH OF THREE (3) FEET UNLESS OTHERWISE NOTED.

Carolyn J. Quinn  
CAROLYN J. QUINN  
REGISTERED PROFESSIONAL LAND SURVEYOR  
TEXAS REGISTRATION NO. 6033



STATE OF TEXAS  
COUNTY OF FORT BEND

THIS IS TO CERTIFY THAT THE PLANNING COMMISSION OF THE VILLAGE OF PLEAK, TEXAS HAS APPROVED THIS PLAT AND SUBDIVISION OF FAIRPARK VILLAGE SECTION 8 IN CONFORMANCE WITH THE LAWS OF THE STATE OF TEXAS AND THE ORDINANCES OF THE VILLAGE OF PLEAK AS SHOWN HEREON AND AUTHORIZES THE RECORDING OF THIS PLAT

THIS 24th DAY OF May, 2017.

David Thielemann  
DAVID THIELEMAN, CHAIRPERSON

John Gonzales  
JOHN GONZALES, VICE-CHAIRPERSON

THIS IS TO CERTIFY THAT THE CITY COUNCIL FOR THE VILLAGE OF PLEAK, TEXAS HAS APPROVED THIS PLAT AND SUBDIVISION OF FAIRPARK VILLAGE SECTION 8 IN CONFORMANCE WITH THE LAWS OF THE STATE OF TEXAS AND THE ORDINANCES OF THE VILLAGE OF PLEAK AS SHOWN HEREON AND AUTHORIZES THE RECORDING OF THIS PLAT

THIS 24th DAY OF May, 2017.

Larry Bittner  
LARRY BITTNER, MAYOR

Nancy Walker  
NANCY WALKER, CITY SECRETARY

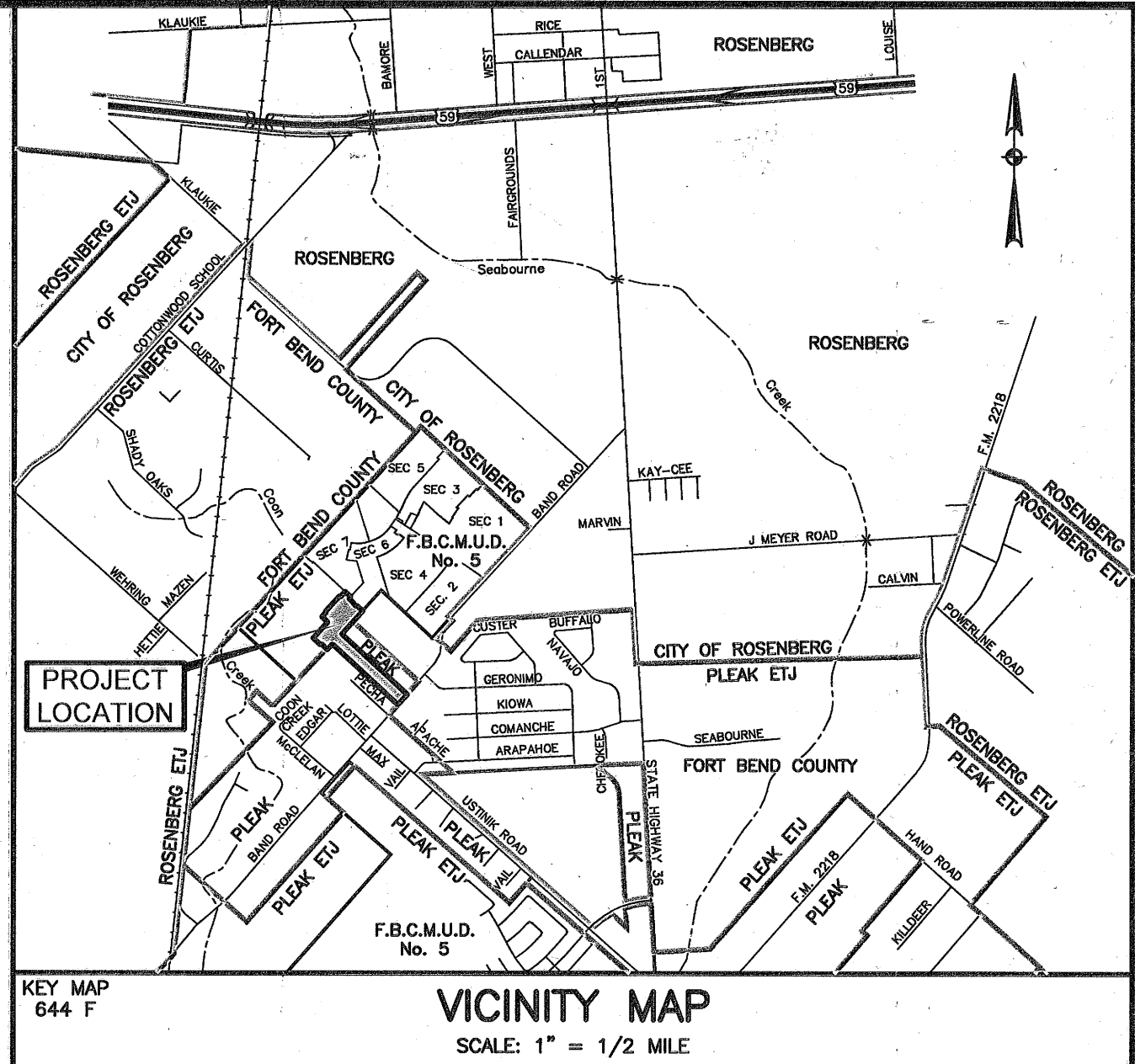
Michael John  
MICHAEL JOHN, MAYOR PRO-TEM

Al Warnasch  
AL WARNASCH, ALDERMAN

Brenda Jaynes  
BRENDA JAYNES, ALDERWOMAN

Wade A. Goates  
WADE A. GOATES, ALDERMAN

Damon Kuhn  
DAMON KUHN, ALDERMAN



I, RICHARD W. STOLLES, P.E., FORT BEND COUNTY ENGINEER, DO HEREBY CERTIFY THAT THE PLAT OF THIS SUBDIVISION COMPLIES WITH ALL OF THE EXISTING RULES AND REGULATIONS OF THIS OFFICE AS ADOPTED BY THE FORT BEND COUNTY COMMISSIONERS' COURT. HOWEVER, NO CERTIFICATION IS HEREBY GIVEN AS TO THE EFFECT OF DRAINAGE FROM THIS SUBDIVISION ON THE INTERCEPTING DRAINAGE ARTERY OR PRESENT STREAM OR ON ANY OTHER AREA OR SUBDIVISION WITHIN THE WATERSHED.

Richard W. Stollis  
RICHARD W. STOLLES, P.E.  
FORT BEND COUNTY ENGINEER

APPROVED BY THE COMMISSIONERS' COURT OF FORT BEND COUNTY, TEXAS, THIS 13th DAY OF June, 2017.

Vincent Morales, Jr.  
VINCENT MORALES, JR.  
COMMISSIONER, PRECINCT 1

Grady Prestage  
GRADY PRESTAGE  
COMMISSIONER, PRECINCT 2

W.A. Andy Meyers  
W.A. "ANDY" MEYERS  
COMMISSIONER, PRECINCT 3

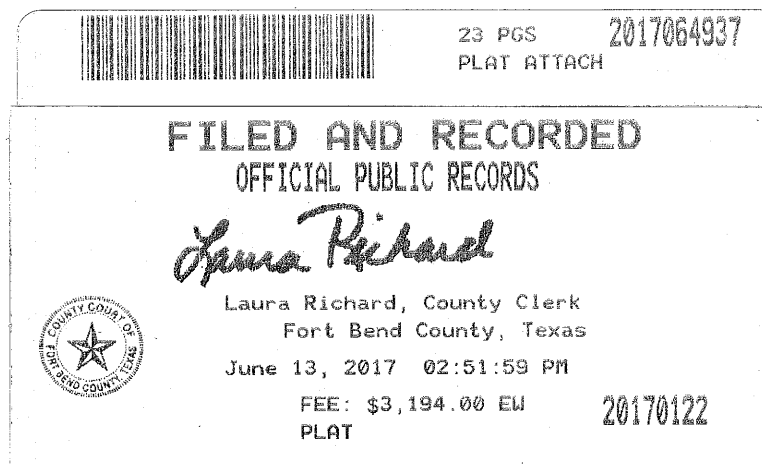
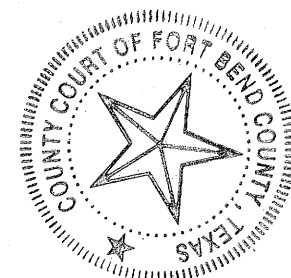
James Patterson  
JAMES PATTERSON  
COMMISSIONER, PRECINCT 4

Robert E. Hebert  
ROBERT E. HERBERT  
COUNTY JUDGE

I, LAURA RICHARD, COUNTY CLERK IN AND FOR FORT BEND COUNTY, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORDATION IN MY OFFICE ON May 22, 2017 AT 2:51 O'CLOCK P.M., IN PLAT NUMBER 2017064937 OF THE PLAT RECORDS OF FORT BEND COUNTY, TEXAS.

WITNESS MY HAND AND SEAL OF OFFICE, AT RICHMOND, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

Laura Richard  
LAURA RICHARD,  
COUNTY CLERK  
FORT BEND COUNTY, TEXAS  
BY: Erica Wise  
DEPUTY



## FAIRPARK VILLAGE SECTION 8

A SUBDIVISION OF 15.483 ACRES OF LAND LOCATED  
IN THE GEORGE S. PENTECOST SURVEY, A-298  
FORT BEND COUNTY, TEXAS

55 LOTS 5 BLOCKS 3 RESERVES  
DATE: APRIL, 2017 SCALE: 1" = 100'

OWNER:

WOODMERE DEVELOPMENT CO., LTD.,  
A TEXAS LIMITED PARTNERSHIP  
15915 KATY FREEWAY #405  
HOUSTON, TEXAS 77094  
PHONE: 281-646-1727  
ROGER MEDORS, MANAGER

**r.g.miller**  
engineers

16340 Park Ten Place - Suite 350  
Houston, Texas 77084  
(713) 461-9600

TEXAS FIRM REGISTRATION NO. F-487

JACK P. MILLER, P.E.

**MILLER**  
SURVEY GROUP

1760 WEST SAM HOUSTON PARKWAY NORTH, HOUSTON TEXAS 77043  
PHONE 713-413-1900 FAX 713-413-1944

BRIAN E. WILSON, R.P.L.S.



FIELD NOTES FOR 15.483 ACRES

BEING A 15.483 ACRE (793,678 SQUARE FEET) TRACT OF LAND, LOCATED IN THE GEORGE S. PENTECOST SURVEY, ABSTRACT--298, FORT BEND COUNTY, TEXAS; SAID 15.483 ACRE TRACT BEING OUT OF A CALLED 68.546 ACRE TRACT RECORDED IN THE NAME OF WOODMERE DEVELOPMENT CO., LTD., UNDER FORT BEND COUNTY CLERK'S FILE (F.B.C.C.F.) NUMBER 2012148053; SAID 15.483 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS (BEARINGS REFERENCED TO THE TEXAS COORDINATE SYSTEM OF 1983, SOUTH CENTRAL ZONE):

BEGINNING AT A 5/8-INCH IRON ROD WITH MILLER SURVEY GROUP (M.S.G.) CAP FOUND ON THE NORTHWEST LINE OF A CALLED 18 ACRE TRACT RECORDED IN THE NAME OF MARTHA WYGRYS, TRUSTEE UNDER F.B.C.C.F. NO. 2001065478, AT THE SOUTH CORNER OF LOT 25, BLOCK 1 OF FAIRPARK VILLAGE SECTION 6, A PLAT OF RECORD UNDER PLAT NO. 20130266 OF THE FORT BEND COUNTY PLAT RECORDS (F.B.C.P.R.), FOR THE NORTHERLY EAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, WITH THE LINE COMMON TO SAID 68.546 ACRE TRACT, AND SAID 18 ACRE TRACT, A CALLED 5.146 ACRE TRACT RECORDED IN THE NAME OF MARTHA WYGRYS, TRUSTEE UNDER F.B.C.C.F. NO. 2001065478 AND A CALLED 9.583 ACRE TRACT, RECORDED IN THE NAME OF JOSE A. GARCIA AND WIFE, CRISELDA GARCIA UNDER F.B.C.C.F. NO. 2013158385, THE FOLLOWING TWO (2) COURSES:

- SOUTH 42 DEGREES 21 MINUTES 25 SECONDS WEST, A DISTANCE OF 224.73 FEET, TO A 1-INCH IRON PIPE AT AN ANGLE POINT OF THE HEREIN DESCRIBED TRACT;
- SOUTH 42 DEGREES 27 MINUTES 21 SECONDS WEST, A DISTANCE OF 281.16 FEET, TO A 1-INCH IRON PIPE FOUND AT THE WEST CORNER OF SAID 9.583 ACRE TRACT, FOR AN INNER CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, WITH THE LINE COMMON TO SAID 68.546 ACRE TRACT AND SAID 9.583 ACRE TRACT, A CALLED 0.9684 ACRE TRACT RECORDED IN THE NAME OF PATRICIA LYND-GONZALES, IN VOLUME 739, PAGE 502, FORT BEND COUNTY DEED RECORDS (F.B.C.D.R.), A CALLED 0.9684 ACRE TRACT RECORDED IN THE NAME OF CHARLES E. CALDWELL, III, IN F.B.C.C.F. NO. 9658801, A CALLED 0.9684 ACRE TRACT RECORDED IN THE NAME OF CHARLES E. CALDWELL, III, IN VOLUME 2777, PAGE 288, F.B.C.D.R., A CALLED 0.9684 ACRE TRACT RECORDED IN THE NAME OF CHARLES E. CALDWELL, III, IN VOLUME 1370, PAGE 427, F.B.C.D.R., A CALLED 0.9684 ACRE TRACT RECORDED IN THE NAME OF CHARLES E. CALDWELL, III, IN VOLUME 739, PAGE 505, AND A CALLED 1.5991 ACRE TRACT RECORDED IN THE NAME OF CHARLES E. CALDWELL, III, IN VOLUME 2090, PAGE 911, F.B.C.D.R., SOUTH 47 DEGREES 17 MINUTES 43 SECONDS EAST, A DISTANCE OF 1,484.34 FEET, TO A CONCRETE NAIL IN ASPHALT FOUND THE SOUTHERLY EAST CORNER OF SAID 68.546 ACRE TRACT. SAME BEING WITHIN THE R.O.W. OF BAND ROAD (75 FEET IN WIDTH PER VOLUME 30, PAGE 586, F.B.C.D.R., FOR AN ANGLE POINT OF THE HEREIN DESCRIBED TRACT;

THENCE, WITH THE SOUTHEASTERLY LINE OF SAID 68.546 ACRE TRACT AND WITH THE CENTER LINE OF SAID BAND ROAD, SOUTH 42 DEGREES 27 MINUTES 29 SECONDS WEST, A DISTANCE OF 229.28 FEET TO A CONCRETE NAIL IN ASPHALT FOUND FOR AN ANGLE POINT IN SAID 68.546 ACRE TRACT AND THE HEREIN DESCRIBED TRACT;

THENCE, WITH SOUTHWESTERLY LINES OF SAID 68.546 ACRE TRACT, AND THE NORTHEASTERLY LINES OF A CALLED 1.174 ACRE TRACT RECORDED IN THE NAME OF EDWARD D. GILL, IN F.B.C.C.F. NO. 2015145049 (1/2 INTEREST IN MATTHEW W. GILL UNDER F.B.C.C.F. NO. 2015145408, A CALLED 1 ACRE TRACT RECORDED IN THE NAME OF ALLEN L. VYVALI, IN VOLUME 489, PAGE 27, F.B.C.D.R., A CALLED 1.00 ACRE TRACT RECORDED IN THE NAME OF LARRY J. BITTNER, IN VOLUME 1806, PAGE 325, F.B.C.D.R., A CALLED 0.5 ACRE TRACT RECORDED IN THE NAME OF AMELIA BURKE, UNDER F.B.C.C.F. NO. 9746889; A CALLED 0.4578 ACRE TRACT RECORDED IN THE NAME OF IRENE L. ANDRADE, IN VOLUME 2393, PAGE 1186, F.B.C.D.R. AND A CALLED 3.640 ACRE TRACT RECORDED IN THE NAME OF LARRY JAMES BITTNER, UNDER F.B.C.C.F. NO. 2013143211, THE FOLLOWING TWO (2) COURSES:

- NORTH 47 DEGREES 08 MINUTES 05 SECONDS WEST, A DISTANCE OF 782.18 FEET, TO 5/8-INCH IRON ROD WITH MSG CAP SET AT AN ANGLE POINT;
- NORTH 47 DEGREES 29 MINUTES 03 SECONDS WEST, A DISTANCE OF 702.31 FEET, TO A 1/2-INCH IRON PIPE FOUND AT THE NORTH CORNER OF SAID 3.640 ACRE TRACT, FOR AN INNER CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, WITH SOUTHEASTERLY LINES OF SAID 68.546 ACRE TRACT, THE NORTHWESTERLY LINES OF SAID 3.640 ACRE TRACT, AND A CALLED 6.3866 ACRE TRACT RECORDED IN THE NAME OF FREDERICK A. WYGRYS UNDER F.B.C.C.F. NO. 9546444, SOUTH 42 DEGREES 23 MINUTES 41 SECONDS WEST, A DISTANCE OF 119.97 FEET, TO A 5/8-INCH IRON ROD WITH MSG CAP SET AT AN ANGLE POINT;

THENCE, THROUGH AND ACROSS SAID 68.546 ACRE TRACT, THE FOLLOWING THIRTEEN (13) COURSES:

- NORTH 47 DEGREES 32 MINUTES 39 SECONDS WEST, A DISTANCE OF 129.98 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET FOR AN INTERIOR CORNER;
- SOUTH 42 DEGREES 27 MINUTES 21 SECONDS WEST, A DISTANCE OF 17.63 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET FOR AN ANGLE POINT;
- NORTH 47 DEGREES 32 MINUTES 39 SECONDS WEST, A DISTANCE OF 170.01 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET FOR THE WEST CORNER OF THE HEREIN DESCRIBED TRACT;
- NORTH 42 DEGREES 27 MINUTES 27 SECONDS EAST, A DISTANCE OF 350.87 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET FOR AN INTERIOR CORNER;
- NORTH 47 DEGREES 32 MINUTES 39 SECONDS WEST, A DISTANCE OF 130.00 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET FOR AN ANGLE POINT;
- NORTH 42 DEGREES 27 MINUTES 21 SECONDS EAST, A DISTANCE OF 110.00 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET FOR AN INTERIOR CORNER;
- NORTH 47 DEGREES 32 MINUTES 39 SECONDS WEST, A DISTANCE OF 13.92 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET FOR AN ANGLE POINT;
- NORTH 42 DEGREES 27 MINUTES 21 SECONDS EAST, A DISTANCE OF 170.00 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET FOR AN INTERIOR CORNER;
- NORTH 47 DEGREES 32 MINUTES 39 SECONDS WEST, A DISTANCE OF 2.20 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET FOR AN ANGLE POINT;
- NORTH 42 DEGREES 27 MINUTES 21 SECONDS EAST, A DISTANCE OF 170.00 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET FOR AN ANGLE POINT;
- SOUTH 47 DEGREES 32 MINUTES 39 SECONDS EAST, A DISTANCE OF 21.55 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET FOR AN INTERIOR CORNER;
- NORTH 42 DEGREES 27 MINUTES 21 SECONDS EAST, A DISTANCE OF 110.00 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET FOR THE NORTH CORNER OF THE HEREIN DESCRIBED TRACT;
- SOUTH 47 DEGREES 32 MINUTES 39 SECONDS EAST, A DISTANCE OF 124.11 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET ON THE NORTHWEST LINE OF LOT 16, BLOCK 2 OF SAID FAIRPARK VILLAGE SEC 6, FOR AN ANGLE POINT;

THENCE, WITH THE NORTHWEST LINE OF SAID LOT 16, SOUTH 42 DEGREES 21 MINUTES 25 SECONDS WEST, A DISTANCE OF 201 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP FOUND AT THE WEST CORNER OF SAID LOT 16, FOR AN INTERIOR CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, WITH THE SOUTHWEST LINE OF SAID LOT 16, SOUTH 47 DEGREES 38 MINUTES 35 SECONDS EAST, A DISTANCE OF 110.00 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP FOUND ON THE NORTHEAST R.O.W. LINE OF ZEPHYR LANE (SIXTY-FOOT WIDE PER PLAT NO. 20130266 OF THE F.B.C.P.R.), AT THE SOUTH CORNER OF SAID LOT 16;

THENCE, WITH THE NORTHWEST R.O.W. LINE OF SAID ZEPHYR LANE, SOUTH 42 DEGREES 21 MINUTES 25 SECONDS WEST, A DISTANCE OF 13.00 FEET TO A POINT AT THE NORTHWEST END OF THE TERMINUS LINE OF SAID ZEPHYR LANE;

THENCE, WITH SAID TERMINUS LINE, SOUTH 47 DEGREES 38 MINUTES 35 SECONDS EAST, A DISTANCE OF 60.00 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP FOUND AT THE SOUTHEAST END OF SAID TERMINUS LINE;

THENCE, WITH THE SOUTHEAST R.O.W. LINE OF SAID ZEPHYR LANE, NORTH 42 DEGREES 21 MINUTES 25 SECONDS EAST, A DISTANCE OF 14.52 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP FOUND AT THE WEST CORNER OF SAID LOT 25;

THENCE, WITH THE SOUTHWEST LINE OF SAID LOT 25, SOUTH 47 DEGREES 38 MINUTES 35 SECONDS EAST, A DISTANCE OF 130.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 15.483 ACRES OF LAND.

SYMBOL	DESCRIPTION	RESERVE USE	AREA
(A)	RESTRICTED RESERVE "A"	RESTRICTED TO PARK/DRAINAGE USE	0.9514 AC. -- 41,442 S.F.
(B)	RESTRICTED RESERVE "B"	RESTRICTED TO UTILITY/DRAINAGE USE	0.3598 AC. -- 15,674 S.F.
(C)	RESTRICTED RESERVE "C"	RESTRICTED TO LANDSCAPE/OPEN SPACE USE	0.0829 AC. -- 3,611 S.F.
<b>TOTAL</b>			<b>1.3941 AC. -- 60,727 S.F.</b>

LINE	BEARING	LENGTH
L1	S42°27'29"W	229.28'
L2	S42°23'41"W	119.97'
L3	N47°32'39"W	129.98'
L4	S42°27'21"W	17.63'
L5	N47°32'39"W	170.01'
L6	N47°32'39"W	130.00'
L7	N42°27'21"E	110.00'
L8	N47°32'39"W	13.92'
L9	N42°27'21"E	170.00'
L10	N47°32'39"W	2.20'
L11	N42°27'21"E	170.00'
L12	S47°32'39"E	21.55'
L13	N42°27'21"E	110.00'
L14	S47°32'39"E	124.11'
L15	S42°21'25"W	40.01'
L16	S47°38'35"E	110.00'
L17	S42°21'25"W	13.00'
L18	S47°38'35"E	60.00'
L19	N42°21'25"E	14.52'
L20	S47°38'35"E	130.00'
L21	S42°23'41"W	129.99'

CURVE	RADIUS	DELTA	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	10000.00'	0°20'58"	60.99'	N47°18'34"W	60.99'
C2	10000.00'	0°05'56"	17.26'	N42°24'23"E	17.26'
C3	25.00'	90°00'00"	39.27'	N2°32'39"W	35.36'
C4	25.00'	90°00'00"	39.27'	N87°27'21"E	35.36'
C5	9970.00'	0°05'56"	17.21'	N42°24'23"E	17.21'
C6	25.00'	89°54'04"	39.23'	N2°35'37"W	35.32'
C7	25.00'	90°05'56"	39.31'	N87°24'23"E	35.39'
C8	10030.00'	0°05'56"	17.31'	N42°24'23"E	17.31'
C9	25.00'	89°56'24"	39.24'	S2°30'51"E	35.34'
C10	10030.00'	0°20'58"	61.17'	N47°18'34"W	61.17'
C11	30.00'	90°24'26"	47.34'	N87°39'42"E	42.58'
C12	30.00'	48°11'23"	25.23'	N23°02'24"W	24.49'
C13	9970.00'	0°20'58"	60.81'	N47°18'34"W	60.81'
C14	25.00'	90°03'36"	39.30'	S87°29'09"W	35.37'

ACREAGE  
68.546 ACRES  
WOODMERE DEVELOPMENT CO., LTD.  
F.B.C.C.F. NO. 2012148053

2.8920 ACRES  
JOSE A. GARCIA AND WIFE, CRISELDA GARCIA  
F.B.C.C.F. NO. 313158385

ACREAGE  
68.546 ACRES  
WOODMERE DEVELOPMENT CO., LTD.  
F.B.C.C.F. NO. 2012148053

6.3866 ACRES  
FREDERICK A. WYGRYS  
F.B.C.C.F. NO. 9546444

3.640 ACRES  
LARRY JAMES BITTNER  
F.F.C.C.F. NO. 2013143211

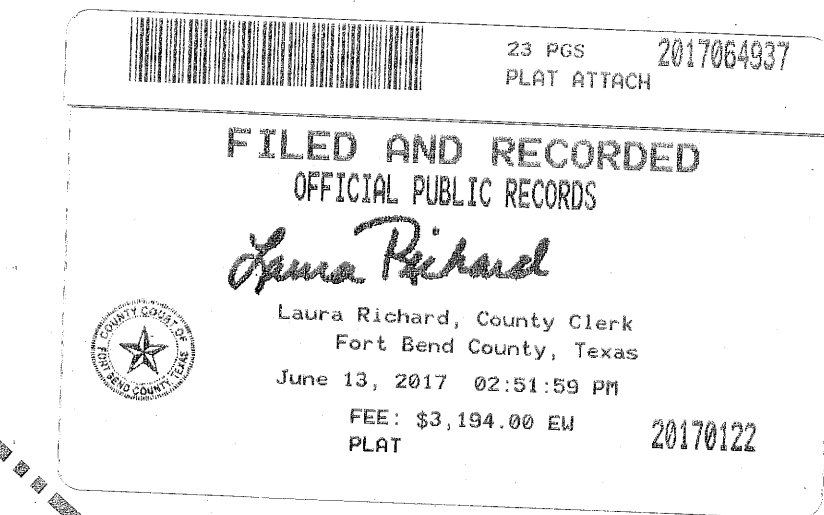
18 ACRES  
MARTHA WYGRYS, TRUSTEE  
F.B.C.C.F. NO. 2001065478  
X=2979199.26  
Y=13748801.36

LEGEND

AC.	=	ACRE
A.E.	=	AERIAL EASEMENT
B.L.	=	BUILDING LINE
ETJ	=	EXTRATERRITORIAL JURISDICTION
F.B.C.C.F.	=	FORT BEND COUNTY CLERK'S FILE
F.B.C.D.R.	=	FORT BEND COUNTY DEED RECORDS
F.B.C.M.U.D.	=	FORT BEND COUNTY MUNICIPAL UTILITY DISTRICT
F.B.C.P.R.	=	FORT BEND COUNTY PLAT RECORDS
LTD.	=	LIMITED
NO.	=	NUMBER
PG.	=	PAGE
R=	=	RADIUS
R.O.W.	=	RIGHT-OF-WAY
S.F.	=	SQUARE FEET
S.S.E.	=	SANITARY SEWER EASEMENT
STM.S.E.	=	STORM SEWER EASEMENT
U.E.	=	UTILITY EASEMENT
VOL.	=	VOLUME
W.L.E.	=	WATER LINE EASEMENT
X	=	EASTING COORDINATE
Y	=	NORTHING COORDINATE
==	=	CITY LIMITS
==	=	F.B.C.M.U.D. No. 5 LIMITS
①	=	BLOCK NUMBER
•	=	SET 5/8-INCH IRON ROD W/MSG CAP (UNLESS OTHERWISE NOTED)
⊙	=	FOUND 5/8-INCH IRON ROD W/MSG CAP (UNLESS OTHERWISE NOTED)

LOT SUMMARY:

- 558 TOTAL LOTS IN SECTIONS 1 -- 8
- 5.2995 ACRES IN PARK RESERVES IN SECTIONS 1 -- 8
- 138 -- 55' WIDE LOTS IN SECTIONS 1 -- 8  
24.73% OF THE LOTS ARE 55' WIDE.



## FAIRPARK VILLAGE SECTION 8

A SUBDMISION OF 15.483 ACRES OF LAND LOCATED  
IN THE GEORGE S. PENTECOST SURVEY, A-298  
FORT BEND COUNTY, TEXAS

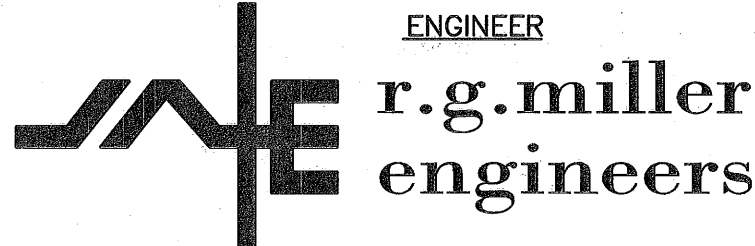
55 LOTS    5 BLOCKS    3 RESERVES  
DATE: APRIL, 2017    SCALE: 1" = 100'

OWNER:

WOODMERE DEVELOPMENT CO., LTD.,  
A TEXAS LIMITED PARTNERSHIP

15915 KATY FREEWAY #405  
HOUSTON, TEXAS 77094  
PHONE: 281-646-1727  
ROGER MEDORS, MANAGER

ENGINEER



18340 Park Ten Place - Suite 350  
Houston, Texas 77064  
(713) 461-9600

TEXAS FIRM REGISTRATION NO. F-487

JACK P. MILLER, P.E.

SURVEYOR



1760 WEST SAM HOUSTON PARKWAY NORTH, HOUSTON TEXAS 77043  
PHONE 713-413-1900    FAX 713-413-1944

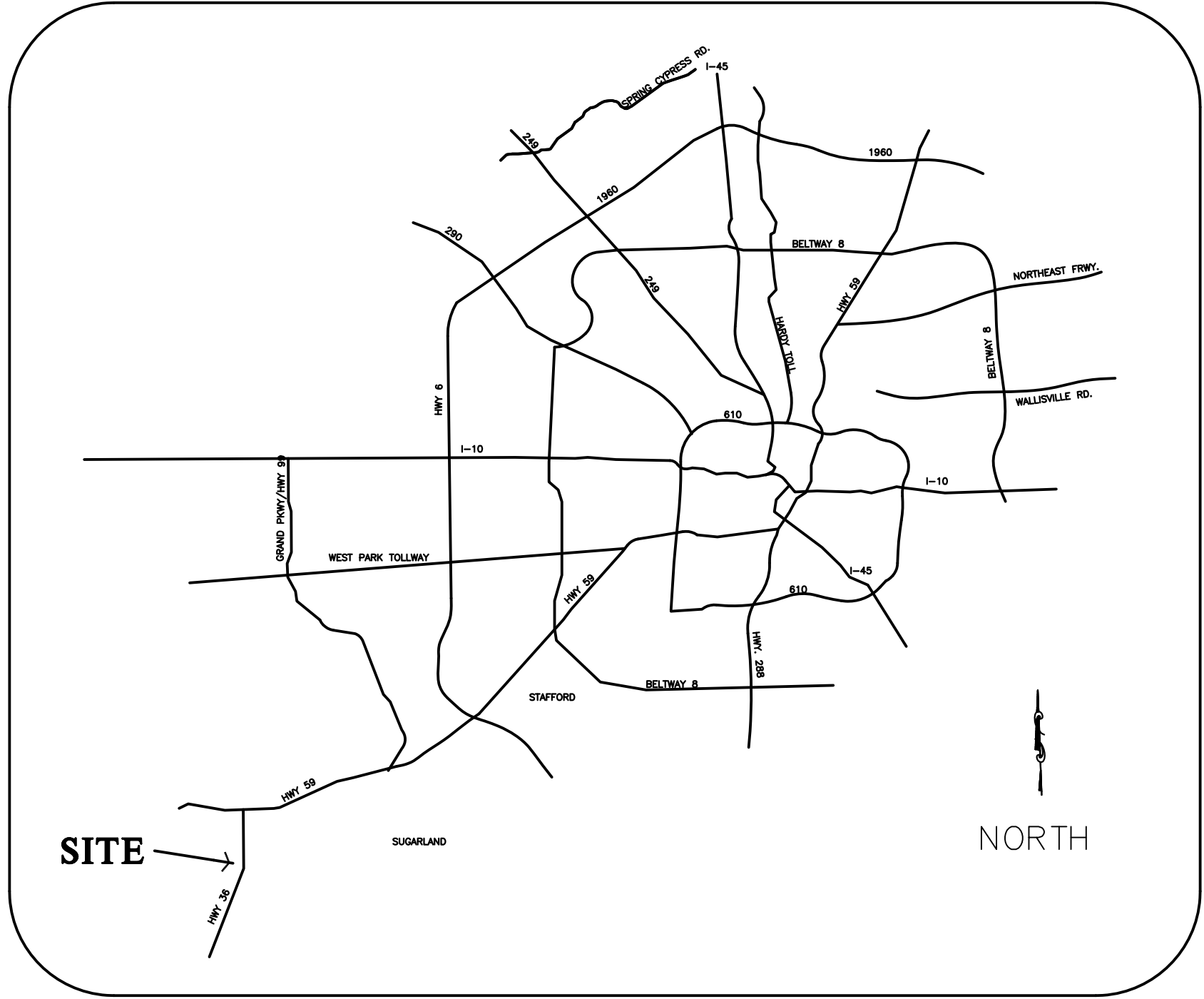
BRIAN E. WILSON, R.P.L.S.



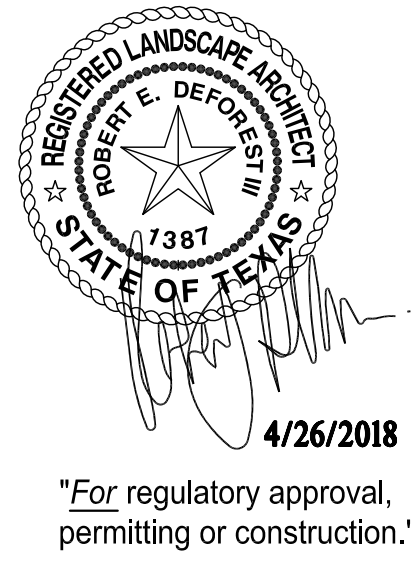
# Fairpark Estates

## Section 8 Landscape Improvements

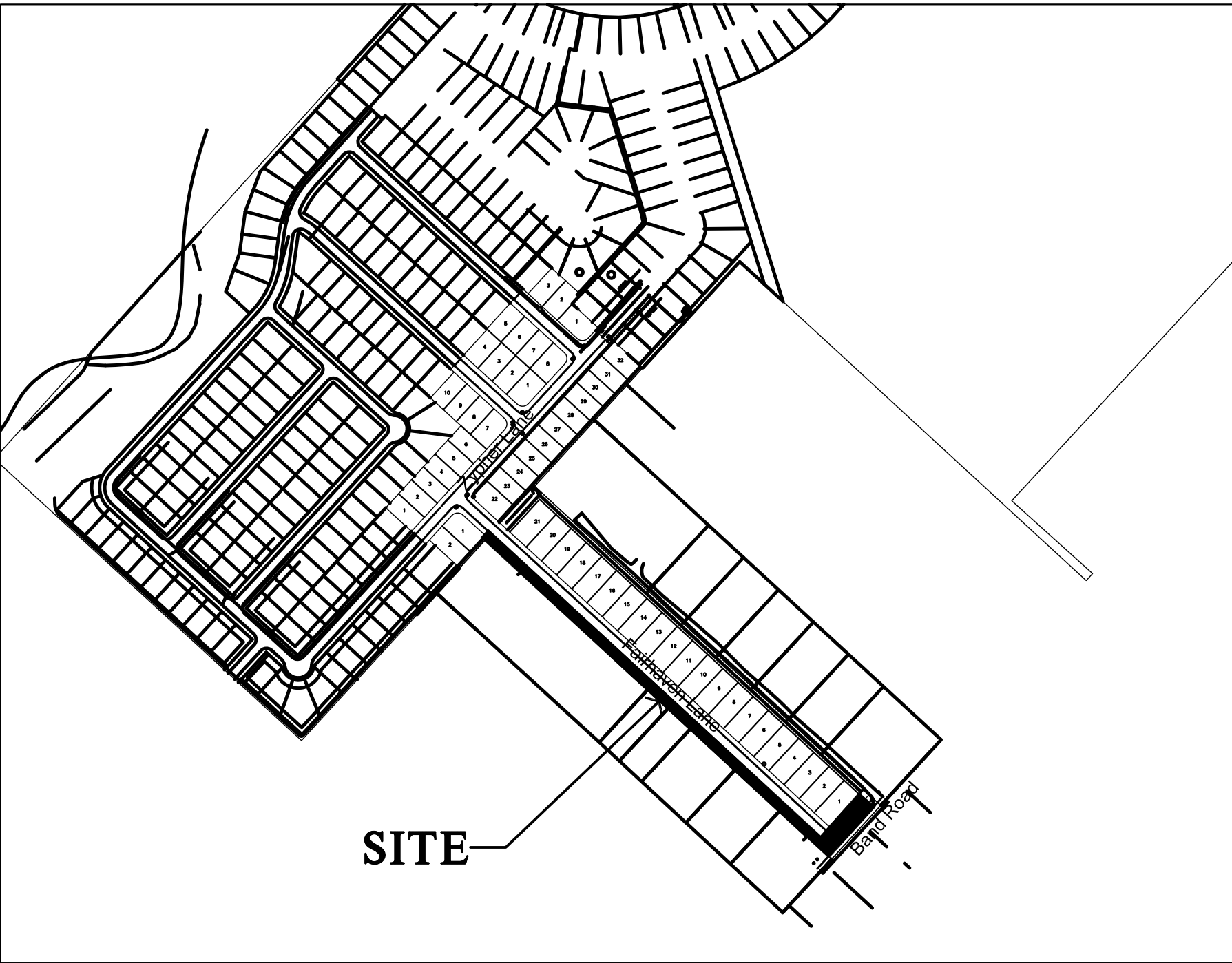
### FORT BEND COUNTY



**SITE REFERENCE MAP**  
F.B.C. KEY MAP 644 - L



### CITY OF PLEAK, TEXAS



**SITE REFERENCE MAP**  
F.B.C. KEY MAP 644 - L

a project developed for  
**Fort Bend MUD No. 5**  
by



**K. DEFOREST.DESIGN, LLC**  
LANDSCAPE ARCHITECTURE

23501 Cinco Ranch Blvd. Suite A-250 Katy Texas 77494  
Phone 281.646.1602 Fax 281.646.1641

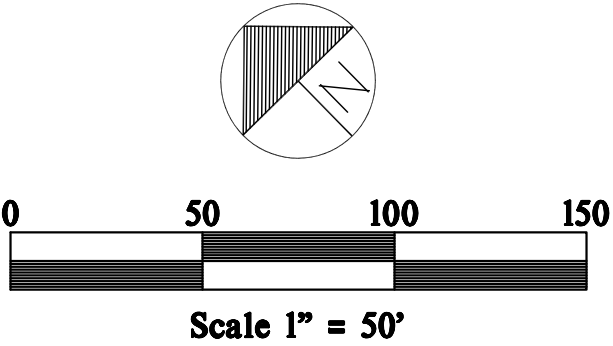
**Issued For Construction 4/26/18**

Sheet No.	Description
R-1	Reference Plans
L-1	Landscape Plan
L-2	Landscape Notes and Details
IR-1	Irrigation Plan
IR-2	Irrigation Plan
IR-3	Irrigation Notes and Details



"For regulatory approval,  
permitting or construction."

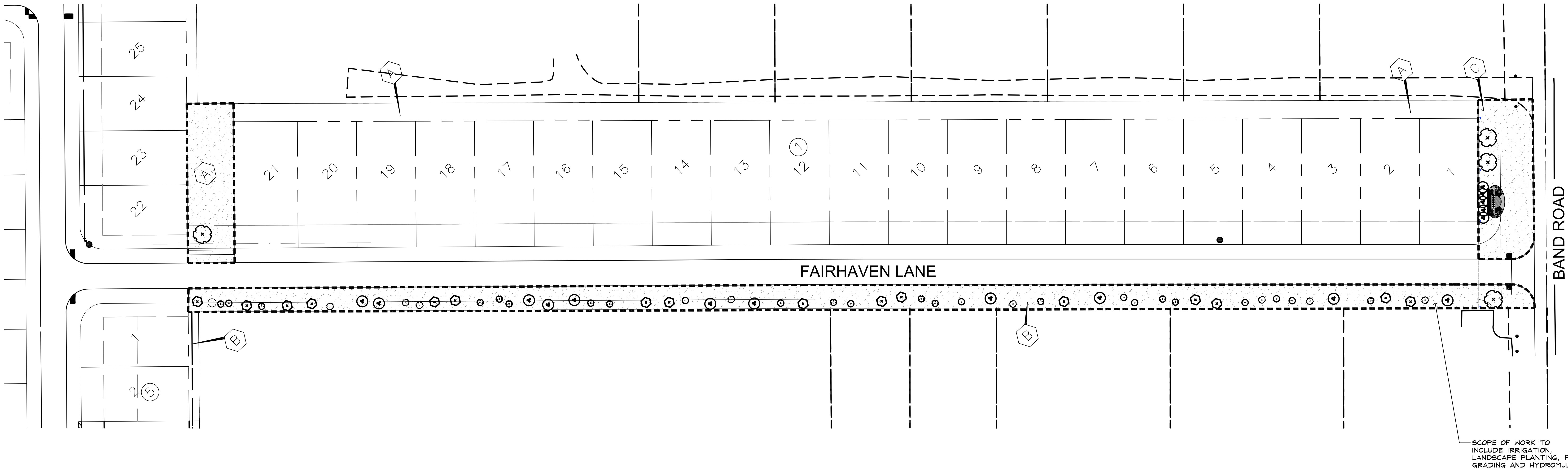
Fairpark Estates Section 8  
Landscape Improvements  
Fort Bend MUD No. 5  
Fort Bend County, Texas



Reference  
Plan

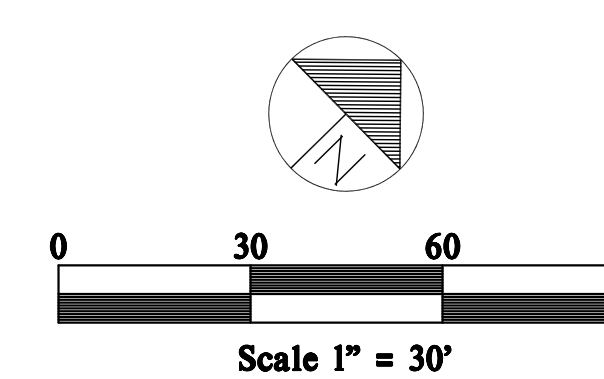
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Scale:  
Job No: 87-17-44  
Revised:

R-1





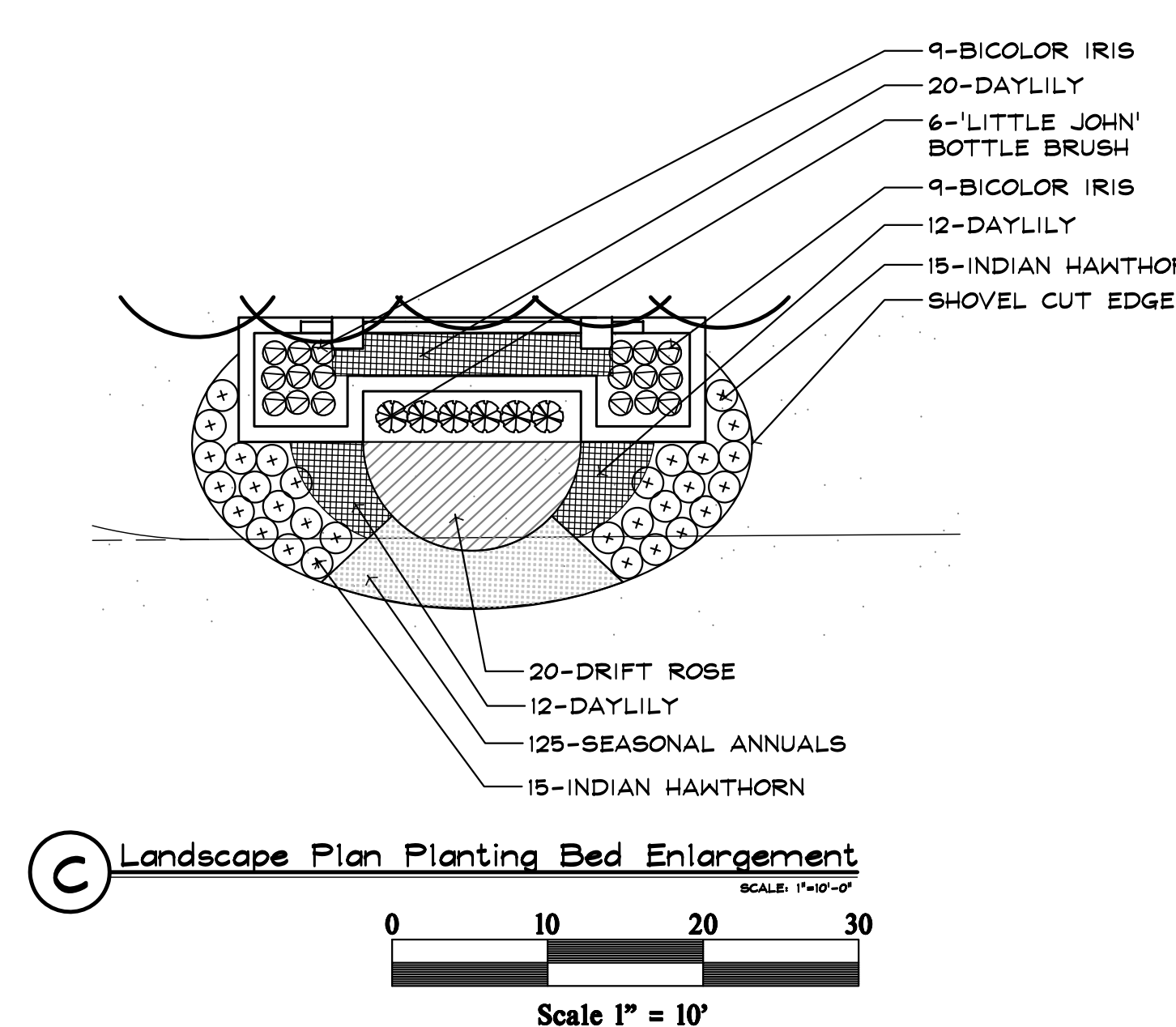
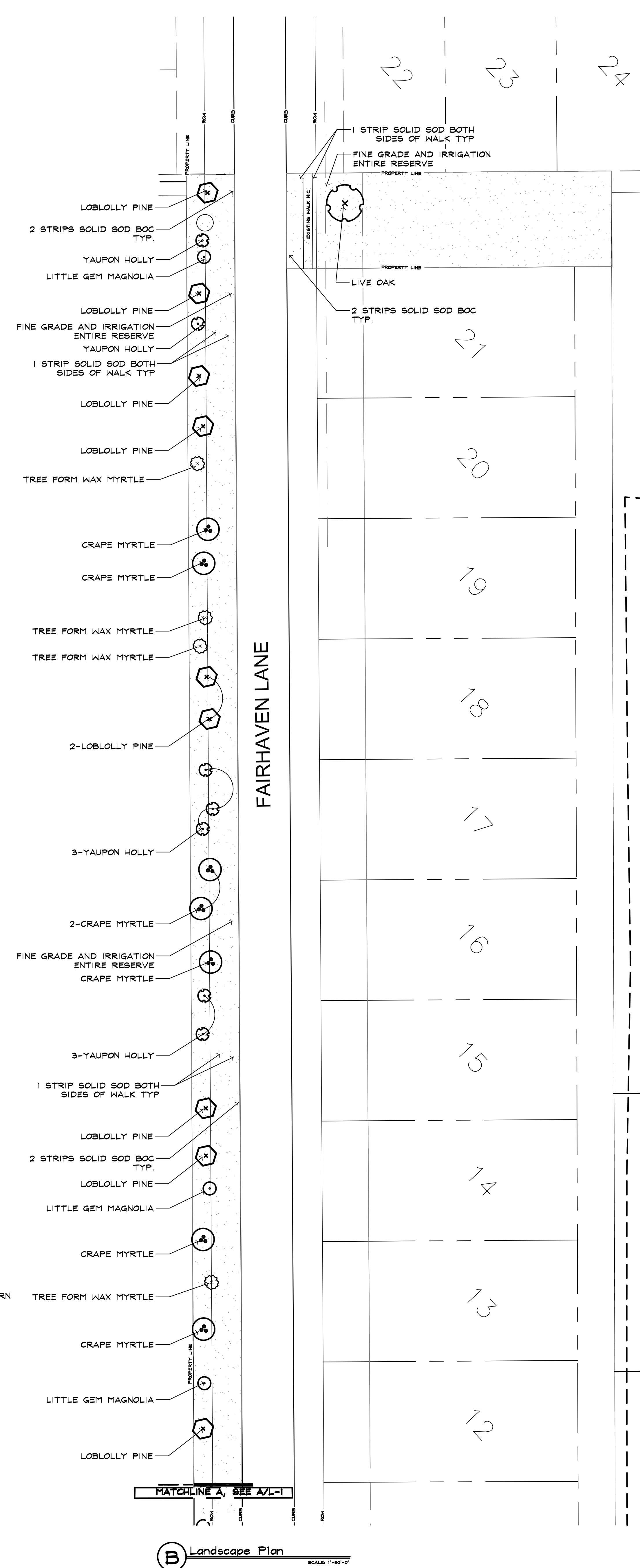
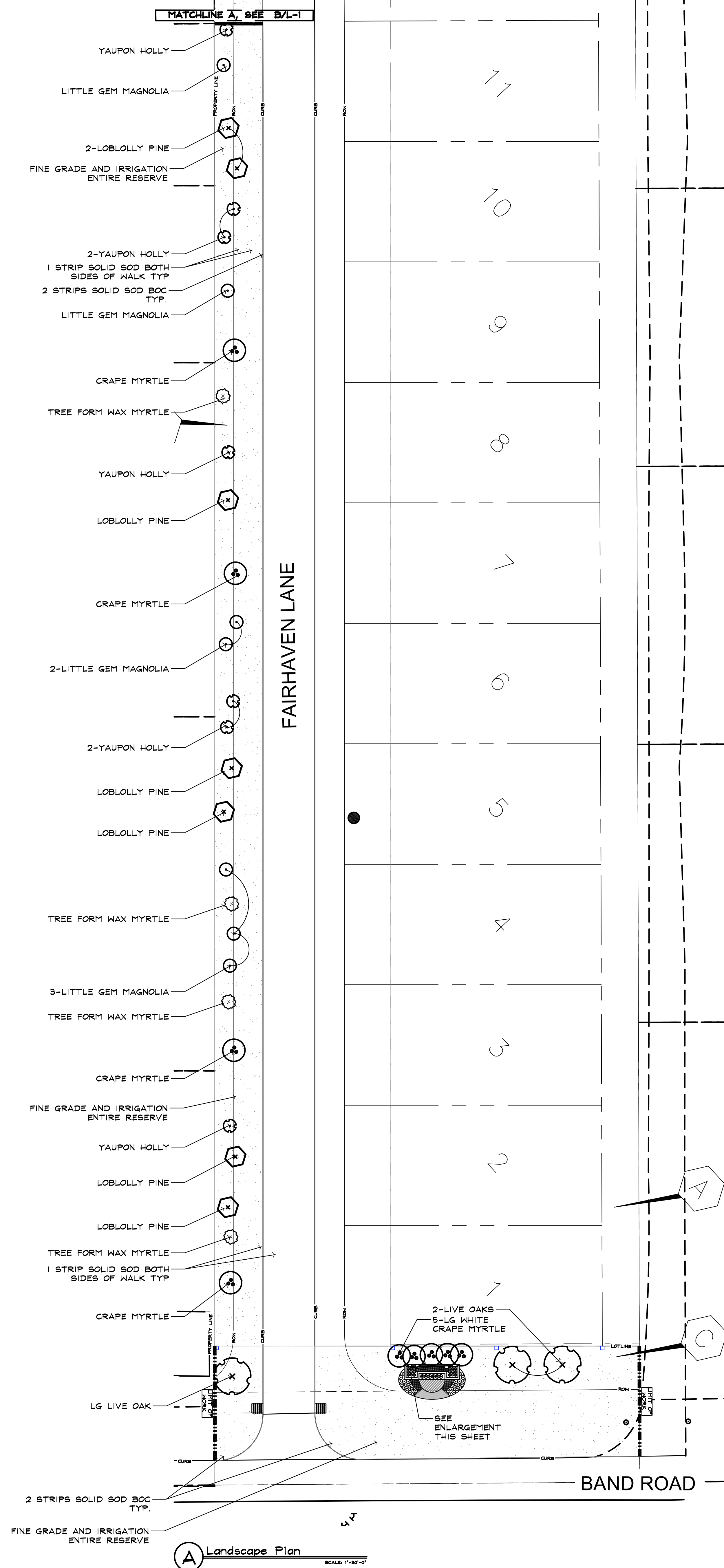
Fairpark Estates Section 8  
Landscape Improvements  
Fort Bend MUD No. 5  
Fort Bend County, Texas



Landscape  
Plan

Date: 11/7/17  
Scale:  
Job No: 87-17-44  
Revised:

L-1





PLANT SCHEDULE				
BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS
TREES				
Quercus virginiana	Large Live Oak	6" caliper	Machine Moved	16' min Ht., 8' min. sprd., full, straight trunk, 80" blade minimum spade size.
Pinus taeda	Loblolly Pine	45 GAL.	CONTAINER	10'-12' HT., 4'-6' SPRD., 2 1/2"-3" CAL., Full, Straight Trunk
Ilex vomitoria	Treeform Yaupon	30 Gal.	B & B	Multi-Trunk, 1"-1 1/2" Cal. 5'-7' Sprd.5-7 Canes, Matching. 40" Ball Min.,
Myrica cerifera	TF Wax Myrtle	45 GAL.	CONTAINER	8'-10' HT., 4'-6' SPRD., 2 3/4-3 1/4" CAL.
Lagerstroemia indica 'Choctaw'	Crapemyrtle (Choctaw)	45 GAL.	CONTAINER	8'-10' HT., 4'-6' SPRD., 3-5 Canes Matching
Lagerstroemia indica 'Natchez'	Large Crapemyrtle (Natchez)	65 GAL.	CONTAINER	10'-12' HT., 6'-8' SPRD., 3-5 Canes Matching
Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	45 Gal.	CONTAINER	8'-12' Ht., 5'-7" sprd., full, straight trunk
SHRUBS				
Callistemon citrinus 'Little John'	Bottlebrush 'Little John'	5 Gal.	CONTAINER	18"-24" Ht., 20"-24" sprd., Full Pot, 36" o.c.
Rosa meijocosa 'drift rose	Drift Rose	3 Gal.	CONTAINER	Full pot, well rooted, 12"-18" HT., 18"-24" SPRD., 24" O.C.
Rapheolepis indica 'Clara'	Clara Indian Hawthorn	3 GAL.	CONTAINER	Full pot, well rooted, 18"-20" HT., 20"-24" SPRD., 30" O.C.
Hemerocallis x 'Sunscape'	Gold Daylily	1 Gal.	CONTAINER	10"-12" Ht., 10"-12" sprd., Full Pot, 18" o.c.
Dietes vegeta	African Iris	3 GAL.	CONTAINER	Full pot, well rooted, 15"-18" HT., 12"-15" SPRD., 18" O.C.
GROUNDCOVER				
Seasonally Appropriate	Seasonal Color	4" Pot	Container	Full, well rooted, 9" o.c. (species as dictated by season)
Cynodon dactylon 'Common Bermuda'	Solid Sod	See Plans for Location of Proposed Sod Strips & Sod Infill Areas		

PLANTING NOTES:

1. CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO COMMENCING WORK. CONTACT ALL UTILITY COMPANIES A MINIMUM 48 HOURS PRIOR TO ANY WORK. ANY DAMAGE DONE TO EXISTING UTILITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
2. CONTRACTOR SHALL RAISE OR LOWER ALL WATER VALVES, FIRE HYDRANTS, MANHOLES, ETC. AS REQUIRED BY THE GRADING WORK IN THIS PACKAGE. COORDINATE WITH LANDSCAPE ARCHITECT FOR CORRECT HEIGHTS OF EACH ELEMENT IN RELATION TO FINAL GRADE.
3. ALL AREAS DESIGNED TO RECEIVE SOLID SOD COMMON BERMUDAGRASS SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO GRASSING OPERATIONS. FINISH GRADE AT TURF AREAS SHALL BE 3/4"- 1" BELOW TOP OF ADJACENT PAVEMENT OR CURBS.
4. ALL BED EDGES AND TREE LOCATIONS SHALL BE STAKED FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING BED PREPARATION OR TREE PLANTING.
5. GRADE ENTIRE SITE TO FINISH GRADE PRIOR TO SCHEDULING TREE INSTALLATION.
6. CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL CONTRACTORS WORKING ON THE SITE.
7. CONTRACTOR SHALL APPLY FOR AND PROCURE ALL REQUIRED PERMITS PRIOR TO COMMENCING WORK.
8. THE QUANTITIES SHOWN ON THE PLANTING PLANS ARE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR SHALL VERIFY ALL QUANTITIES AND REPORT ALL DISCREPANCIES TO THE LANDSCAPE ARCHITECT IMMEDIATELY DURING THE BID PERIOD SO THAT CORRECTIONS MAY BE MADE PRIOR TO THE BID.
9. ALL PLANTS ARE TO BE SPECIMEN QUALITY. FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE. SHRUBS SHALL BE FULL TO GROUND.
10. CONTRACTOR TO PROVIDE SAMPLES OF EACH SHRUB AND GROUNDCOVER SPECIES FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO THE SITE.
11. PLANT MATERIAL OF THE SAME SPECIES SHALL BE OBTAINED FROM THE SAME SOURCE.
12. ALTERNATE SPACING OF PLANT MATERIAL WHEN PLANTING LARGE MASSES, UNLESS OTHERWISE NOTED.
13. ALL PLANTING BED EDGES SHALL BE SHOVEL CUT.

GENERAL NOTE:

CONTRACTOR SHALL FLAG THE LOCATIONS OF ALL TREES, SHRUBS, & GROUND COVER PLANTINGS FOR OWNER/ LANDSCAPE ARCHITECT APPROVAL PRIOR TO INSTALLATION. ALL PLANTING INSTALLATION LOCATIONS NOT APPROVED BY THE OWNER/ LANDSCAPE ARCHITECT AND DEEMED UNACCEPTABLE BY THE OWNER/ LANDSCAPE ARCHITECT SHALL BE REMOVED AND REPLANTED AT NO EXPENSE TO THE OWNER.

CONTRACTOR SHALL EXERCISE DUE CARE IN MAINTAINING THE INTEGRITY AND POSITION OF ALL LOT/PROPERTY PINS/STAKES AS WELL AS UTILITY COMPANY STAKING PRESENT WITHIN THE LIMITS OF WORK AS DESIGNATED BY THESE CONTRACT DOCUMENTS. ALL PINS/STAKES THAT ARE NOT PRESENT AT THE END OF CONSTRUCTION SHALL BE REPLACED AND RE-ESTABLISHED AT THE CONTRACTOR'S EXPENSE.



"For regulatory approval, permitting or construction."

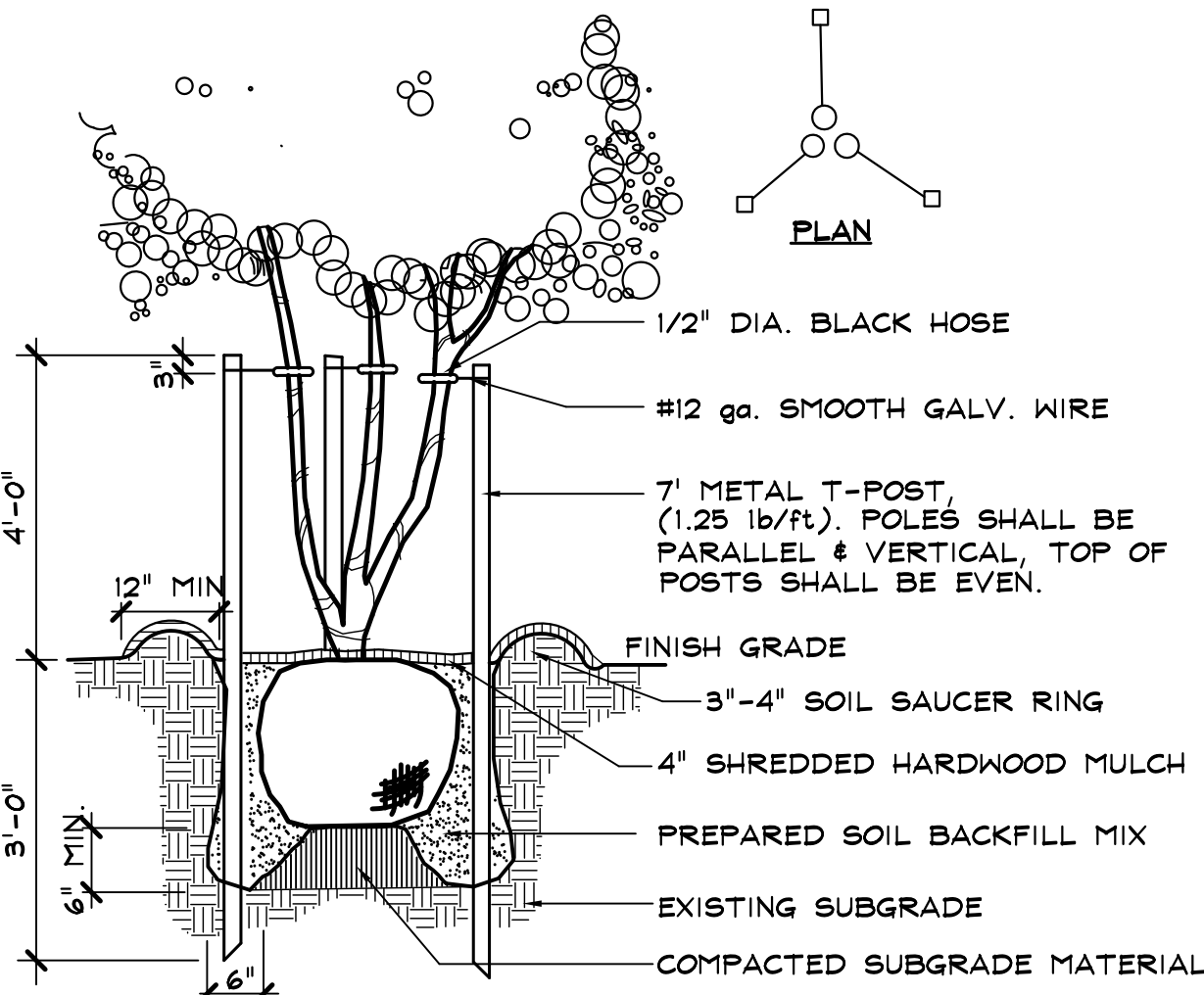
OVER SEEDING:

IF THE CONTRACT WARRANTY PERIOD FALLS DURING THE WINTER SEASON (OCT. 2 - APRIL 14), OVERSEEDING SHALL BE WINTER RYE GRASS. IF THE CONTRACT WARRANTY PERIOD FALLS DURING THE SPRING SEASON (APRIL 15 - OCT. 1), OVERSEEDING SHALL BE BERMUDA GRASS.

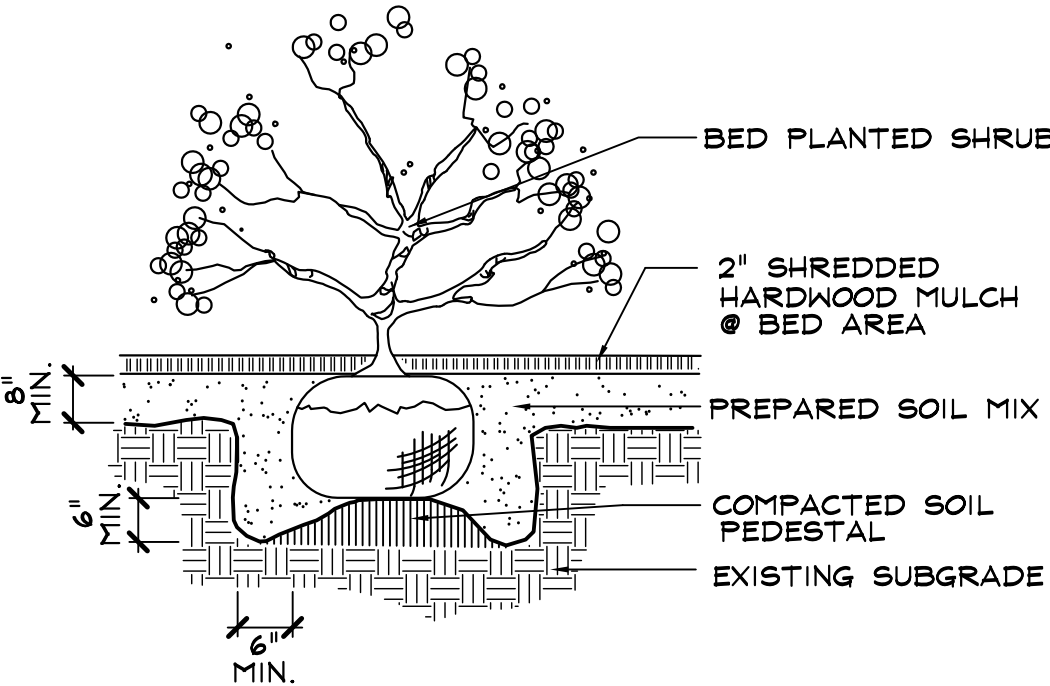
BOTH SEASONS SHALL INCLUDE THE APPLICATION OF PRE-EMERGENT HERBICIDE AND POST-EMERGENT HERBICIDE AT ALL TREE RINGS AND SHRUB BED AREAS. ALL AREAS THAT ARE HYDOMULCHED AND SODDED AS PART OF THE INITIAL LANDSCAPE INSTALLATION SHALL BE OVERSEEDDED.

AT THE END OF EACH SEASON, ALL GRASSED AREAS THAT ARE THICK AND WELL-ESTABLISHED SHALL BE MOWED LOW TO ALLOW THE SEED TO REACH THE SOIL LAYER. CONTRACTORS SHALL APPLY FERTILIZERS AS NECESSARY FOR THE ESTABLISHMENT OF THE RYE OR BERMUDA GRASS, WHICHEVER APPLIES TO CONTRACT.

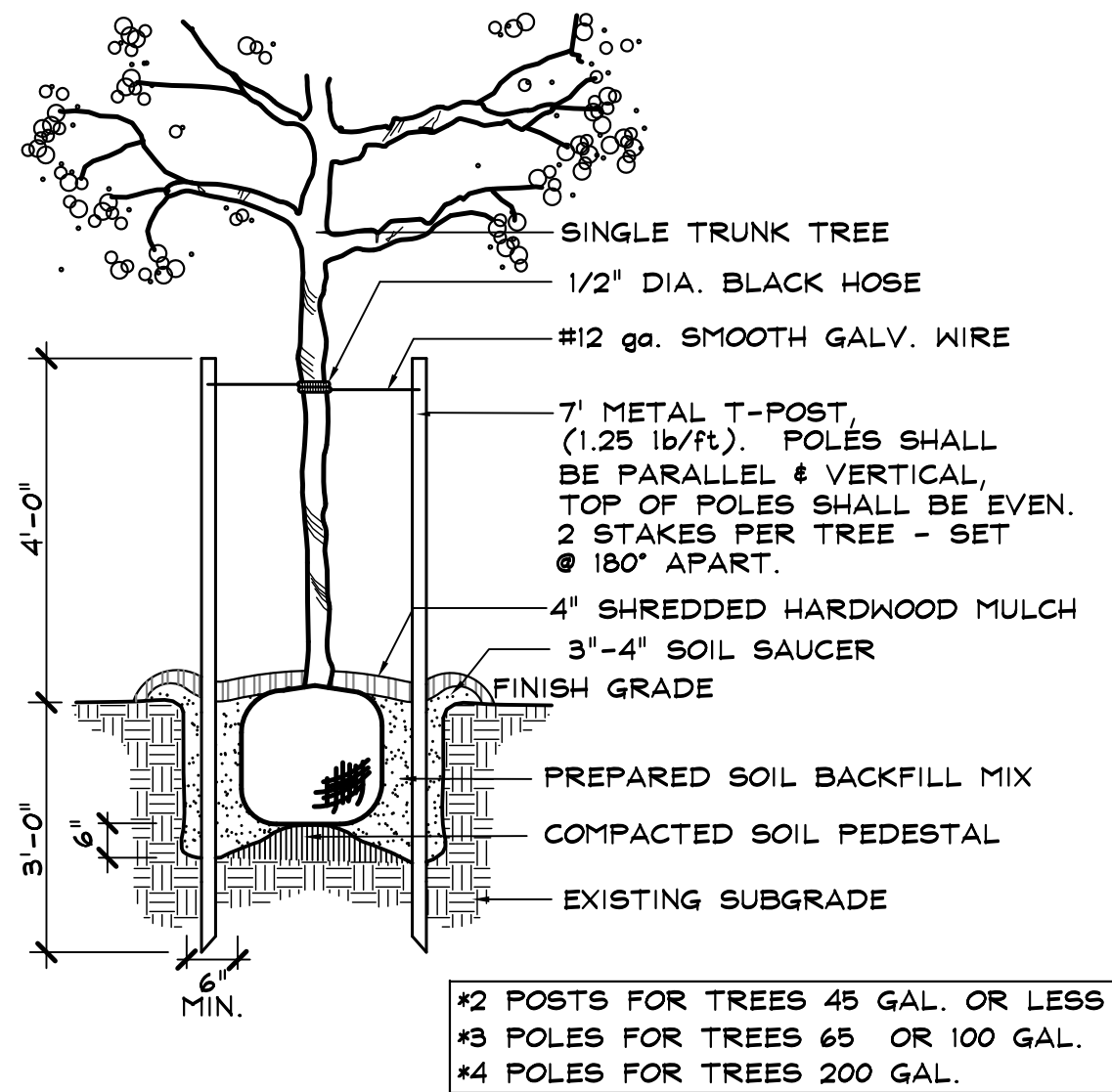
NOTE:  
COMMON BERMUDA OVERSEEDING SHALL ALSO BE MIXED IN W/ THE APPLICATION OF RYE GRASS DURING WINTER SEASON.



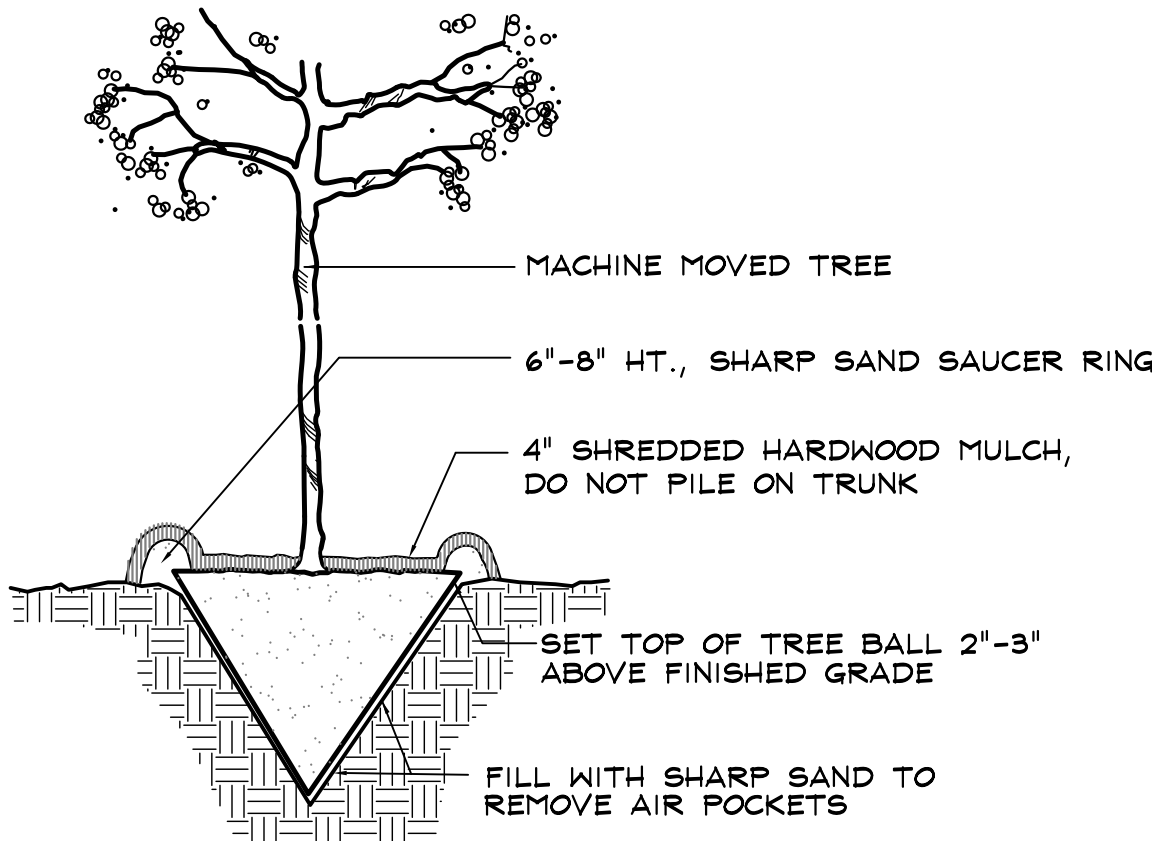
C MULTI TRUNK TREE STAKING NTS



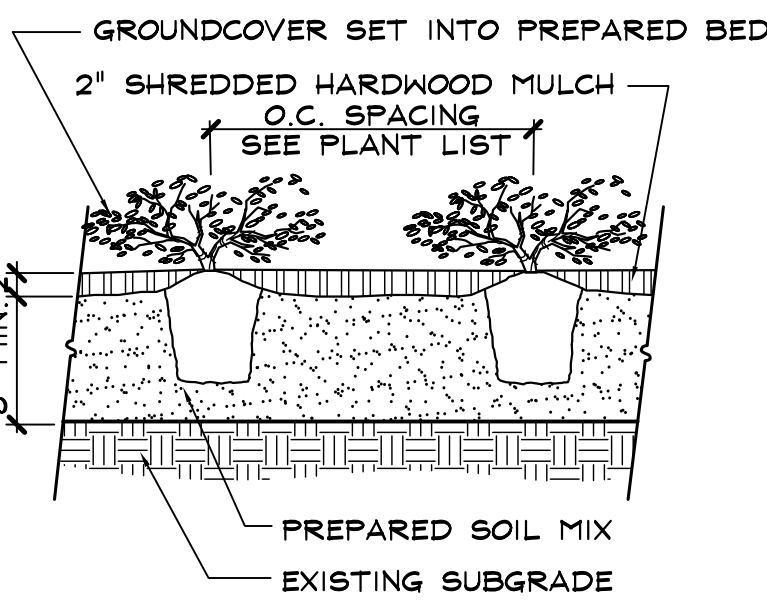
B BED PLANTED SHRUB NTS



E STAKING DETAIL NTS



D MACHINE MOVED TREE NTS



A GROUNDCOVER PLANTING NTS

Fairpark Estates Section 8  
Landscape Improvements  
Fort Bend MUD No. 5  
Fort Bend County, Texas

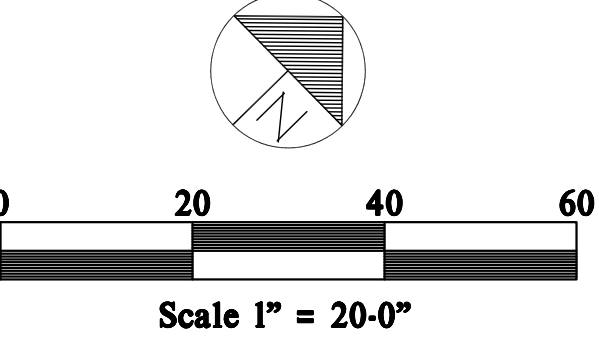
Landscape  
Planting and  
Notes

Date: 11/7/17  
Scale:  
Job No: 87-17-44  
Revised:



"For regulatory approval,  
permitting or construction."

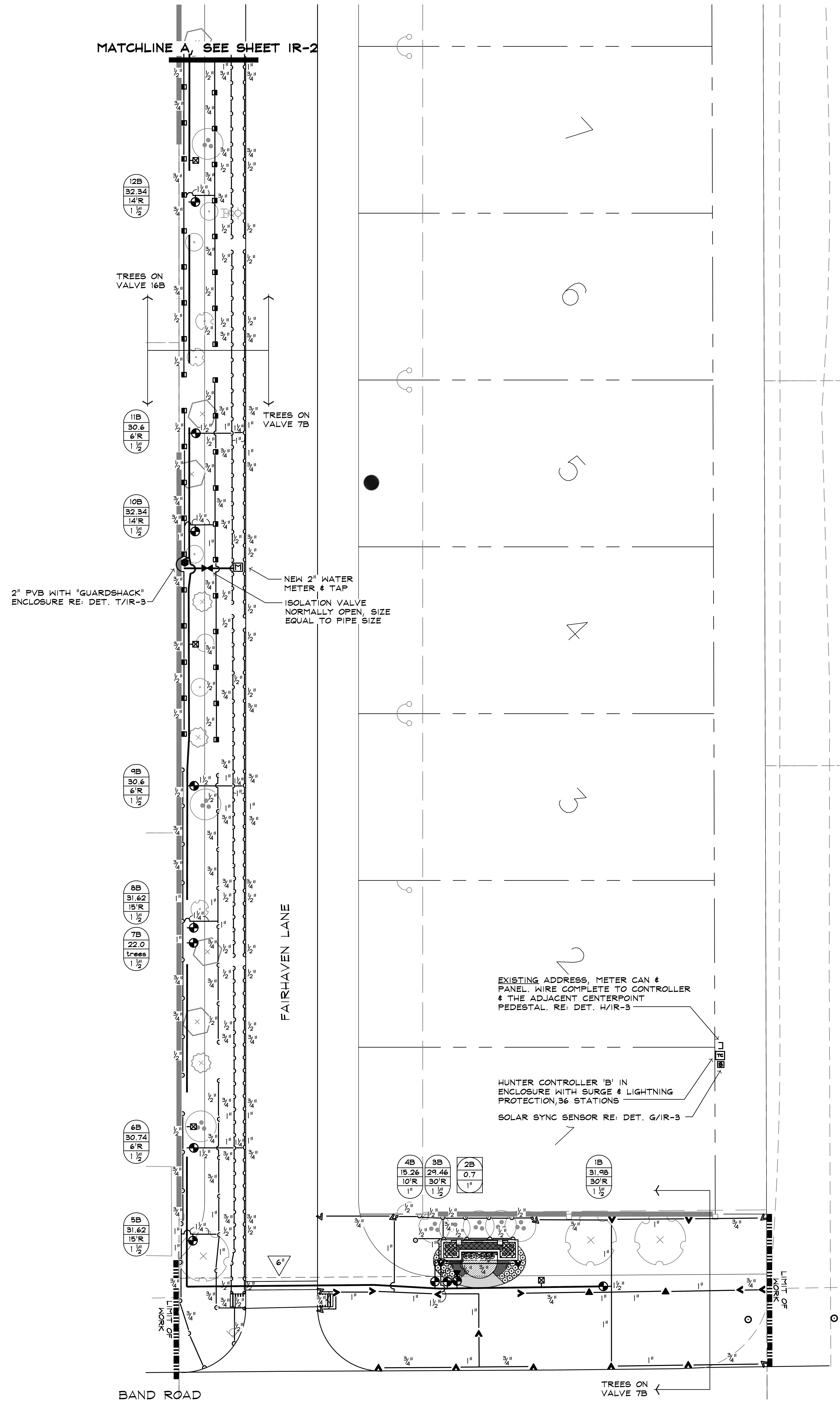
Fairpark Estates Section 8  
Landscape Improvements  
Fort Bend MUD No. 5  
Fort Bend County, Texas



Irrigation  
Plan

Date: 11/7/17  
Scale: 1"= 20'-0"  
Job No: 87-17-44  
Revised:

IR-1



IRRIGATION LEGEND	
SYMBOL	DESCRIPTION
▲▲▲	Hunter PGP-04-PRB 4" Pop-up Rotary, MPR-30 Nozzle, 35 PSI
△△△	Hunter MP3000 4" Rotator, 25 PSI
○●●	Hunter PROS-04-CV Spray, 30 PSI
■	Hunter PROS-04-CV Spray, 20 PSI
Hunter MSBN-50H-6 Tree Bubbler Nozzle, 2 Per Tree, 30 PSI Re: Det. L/IR-3	
⊙	Hunter IGV-R-AS-xx Valve with Non-potable Tag and Pressure Regulator (Size per Heads)
⊙	Hunter Valve & ICZ-101-25 Drip Zone Control Kit with PLD-06 Tubing
▨	Drip Irrigation Zone Designation Hunter PLD-06 Tubing Re: Det. M/IR-3
●	2" Febco #765 Pressure Vacuum Breaker in "GuardShack" Enclosure or Approved Equal
⊗	Hunter Quick Coupling Valve HQ-33D-LRC-R with Purple Cap, Purple Valve Box Cover & "Non-potable" Tag
⊞	Hunter Solar Sync Sensor
⊞	Hunter ACC-PED-3600-SS Controller 'B' in a Stainless Steel Pedestal, 36 Stations (IR-1) Re: Det. A/IR-3
⊞	Isolation Valve Normally Open, Size Equal to Pipe Size
⊞	2" Water Meter (IR-1)
—	2 1/2" SCH 40 Main Line, Unless Otherwise Noted
—	Class 200 PVC WHITE Lateral Pipe, Sized per Plan
—	Irrigation Sleeve
▽	Bore and Irrigation Sleeve Size
1 gpm IR-1 2"	Valve # GPM Head Radius Valve Size
1 gpm IR-1 1"	Drip Valve # Total GPM of Area Valve Size
All Quick Coupling Valve Boxes Shall Have Purple Lids.	
DESIGN PRESSURE 50psi	

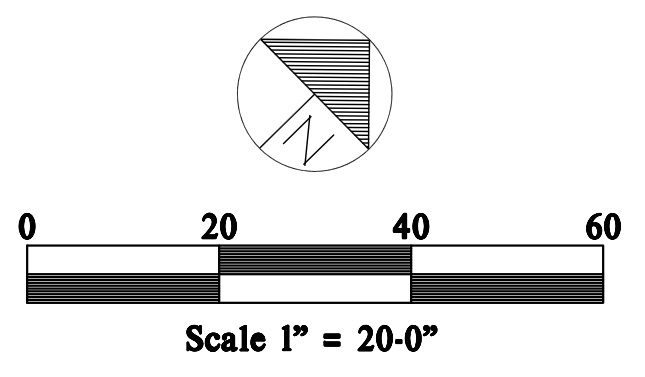
REFER TO SHEET IR-3 FOR IRRIGATION  
NOTES AND IRRIGATION DETAILS





4/26/2018  
 \*For regulatory approval, permitting or construction.\*

**Fairpark Estates Section 8**  
**Landscape Improvements**  
**Fort Bend MUD No. 5**  
 Fort Bend County, Texas



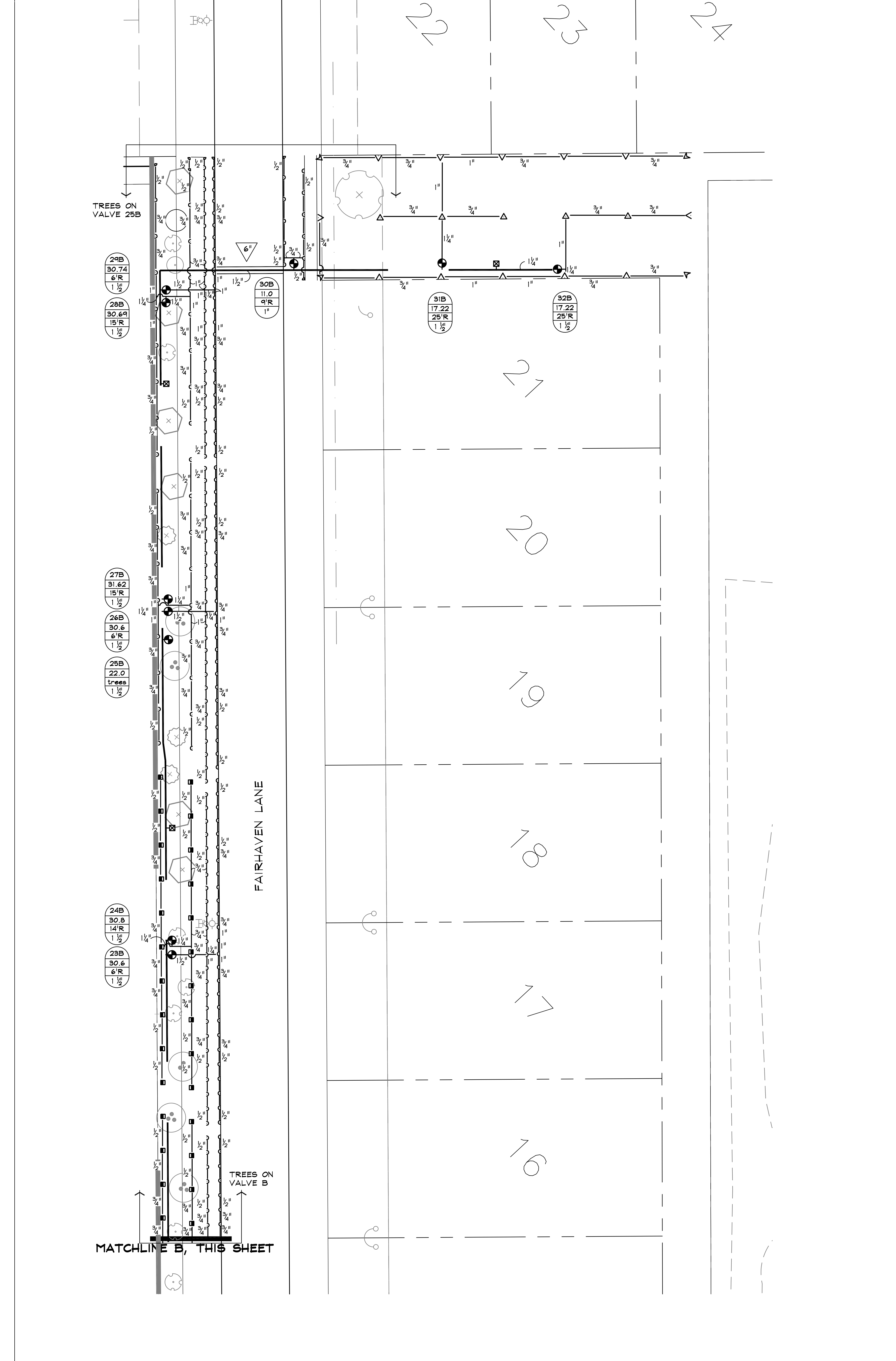
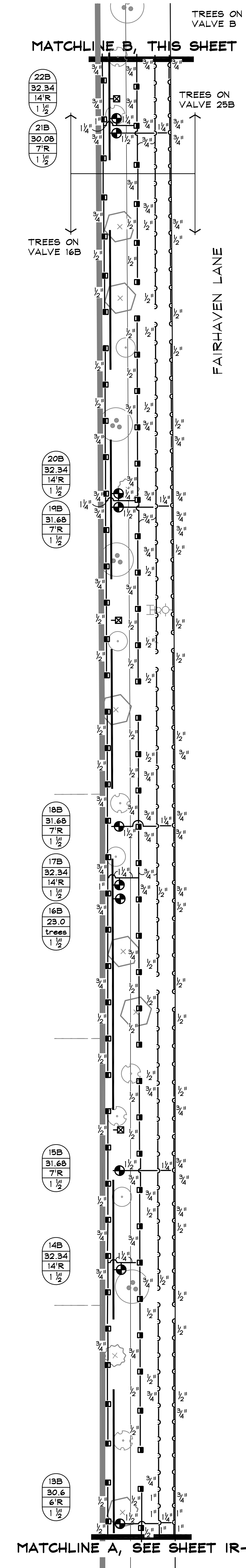
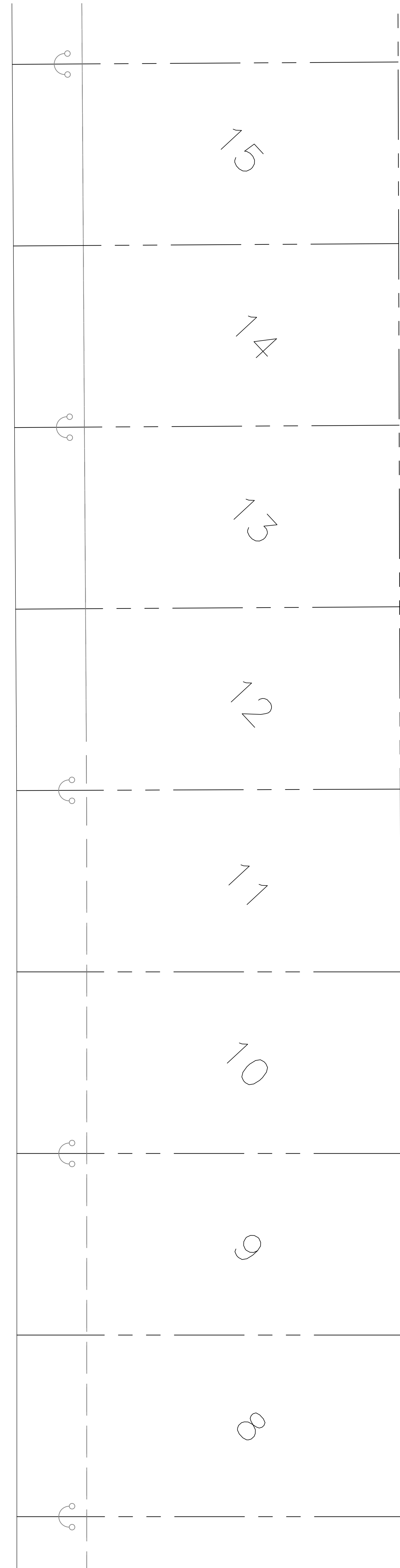
**Irrigation**  
**Plan**

Date: 11/7/17  
 Scale: 1" = 20'-0"  
 Job No: 87-17-44  
 Revised:

**IR-2**

IRRIGATION LEGEND	
SYMBOL	DESCRIPTION
▲▲▲	Hunter PGP-04-PRB 4" Pop-up Rotary, MPR-30 Nozzle, 35 PSI
△△△	Hunter MP3000 4" Rotator, 25 PSI
○ ~ ○	Hunter PROS-04-CV Spray, 30 PSI
■	Hunter PROS-04-CV Spray, 20 PSI
Hunter MSBN-50H-6 Tree Bubbler Nozzle, 2 Per Tree, 30 PSI Re: Det. L/IR-3	
⊕	Hunter IGV-R-AS-xx Valve with Non-potable Tag and Pressure Regulator (Size per Heads)
⊗	Hunter Valve & ICZ-101-25 Drip Zone Control Kit With PLD-06 Tubing
▨	Drip Irrigation Zone Designation Hunter PLD-06 Tubing Re: Det. M/IR-3
●	2" Febco #765 Pressure Vacuum Breaker in "GuardShack" Enclosure or Approved Equal
⊠	Hunter Quick Coupling Valve HQ-35D-LRC-R with Purple Cap, Purple Valve Box Cover & "Non-potable" Tag
☼	Hunter Solar Sync Sensor
⌚	Hunter ACC-PED-3600-SS Controller 'B' in a Stainless Steel Pedestal, 36 Stations (IR-1) Re: Det. A/IR-3
⌘	Isolation Valve Normally Open, Size Equal to Pipe Size
⌚	2" Water Meter (IR-1)
—	2 1/2" SCH 40 Main Line, Unless Otherwise Noted
—	Class 200 PVC WHITE Lateral Pipe, Sized per Plan
—	Irrigation Sleeve
△	Bore and Irrigation Sleeve Size
⊕	Valve # GPM Head Radius Valve Size
⊕	Drip Valve # Total GPM Of Area Valve Size
All Quick Coupling Valve Boxes Shall Have Purple Lids. DESIGN PRESSURE 50psi	

REFER TO SHEET IR-3 FOR IRRIGATION NOTES AND IRRIGATION DETAILS

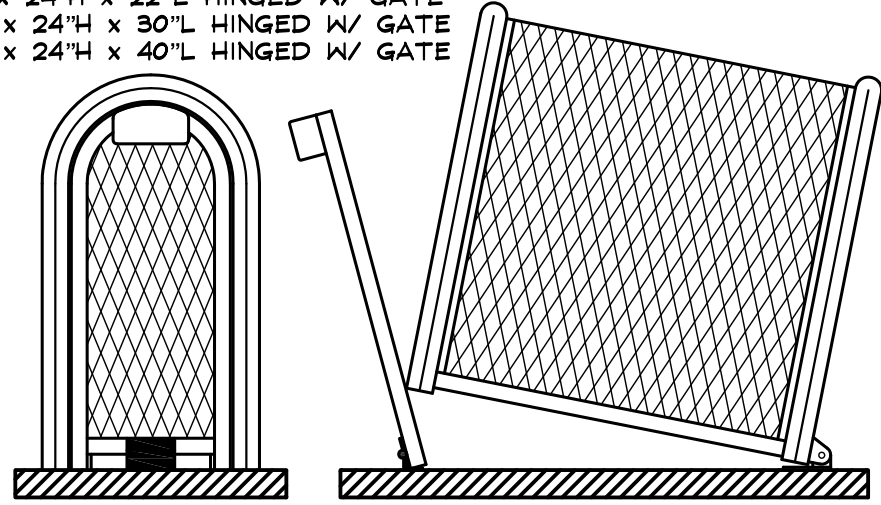


# IRRIGATION NOTES:

- The contractor shall make arrangements and pay costs for installation of irrigation water meters at the approximate locations. Verify with Owner's Representative for the addresses for each.
- Except as otherwise noted, the contractor shall procure permits and licenses, pay charges and fees and give notices necessary and incidental to the due lawful prosecution of the work.
- The contractor shall follow the applicable City Department of Public Works specifications for installation of water meter and hot tapping.
- The contractor shall notify pertinent utility companies 48 hours prior to construction for current utility locations. Extreme care shall be exercised in excavating and working near existing utilities. Contractor shall verify the location and condition of utilities and be responsible for damage to utilities.
- The contractor shall at all times protect his work from damage and theft, and replace all damaged or stolen parts until the work is accepted in writing by owner.
- The contractor shall not willfully install the sprinkler system as shown on the drawings when it is obvious in the field that obstructions, grade differences or differences in the area's dimensions exist that might not have been in the design. Such obstructions or differences shall be brought, to the attention of the Landscape Architect. In the event this notification is not performed, the irrigation contractor shall assume full responsibility for any revisions necessary.
- The contractor shall clearly mark exposed excavations, materials and equipment. Cover or barricade trenches when contractor is not on site.
- For purposes of clarity, some irrigation lines and valves may be shown outside of property or in paved areas. Locate all lines and valves in planting area unless otherwise noted.
- Adjust arc of irrigation heads for even coverage. Head layout shall be as per plans.
- Avoid existing or future location of tree balls when laying pipe.
- The contractor shall stake controller and PVB locations for approval by Landscape Architect prior to their installation.
- The contractor shall place lateral lines and irrigation heads adjacent to lot lines a minimum of 24" within landscape reserve.
- When connecting to an existing irrigation system, schedule to have existing system shut down for as short a time as possible.
- Patch and repair any and all damage done to existing plant material and grading during installation of this work.
- Contractor shall provide original and 2 copies of Pressure Vacuum Breaker certification to the Owner at completion of project.
- Install GuardShack Enclosure By Backflow Prevention Device Enclosures. Enclosure To Be Determined By Size Of Backflow Preventer. 1-800-266-5411 or local rep Amnstrong/Weatherly 713-642-5566
- All pop-up sprays or rotary sprinkler heads must be installed no closer than 4" from a landscape. All pipes and underground electrical wires must be buried a minimum of 6" deep.
- PVC pipe and fittings must be primed with colored primer.
- All unused sleeves shall be capped at 6" deep and the hole filled in with top soil to match the finish grade.

## STANDARD GUARDSHACK SIZES INTERNAL DIMENSIONS

HGS- 1 10"X 24" X 22" HINGED W/ GATE  
HGS- 2 10"X 24" X 30" HINGED W/ GATE  
HGS- 3 10"X 24" X 40" HINGED W/ GATE



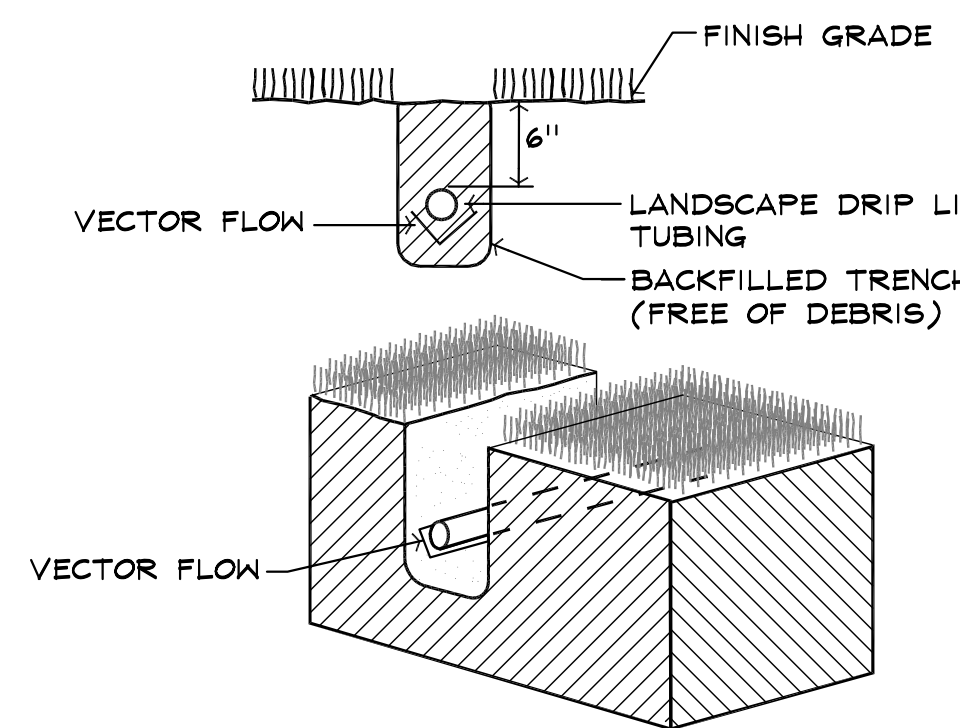
## GUARDSHACK DIVISION OF B.P.D.I. 1-800-266-5411 www.guardshackenclosures.com

- GUARDSHACK™ GENERAL SPECIFICATIONS**
- All pipe shall be 1" x 1/2" schedule 40 A.S.T.M. A-53 Grade A- Electric field pipe.
  - Angle iron shall be 1" x 1" x 1/8" steel.
  - Expanded metal shall be 1/2" spacing x # 18 Ga. flattened diamond pattern steel.
  - All Enclosures shall have an integrated Lock Shield Bracket (LSB).
  - There shall be no exposed ends of expanded metal on the outside of the enclosure.
  - Welding shall be a minimum of 1/4" long welds on 4" spacing.
  - Hardware kits provided for mounting enclosures.
  - All hardware shall be securely attached to enclosures.
  - All mounting hardware shall be concealed internally.
  - All enclosures shall withstand a minimum of 200 lbs. per square foot without any permanent deflection or distortion.
  - 3/8" spacing between angle iron framework of enclosure and slab to prevent rusting. Only pipe ends to touch slab.

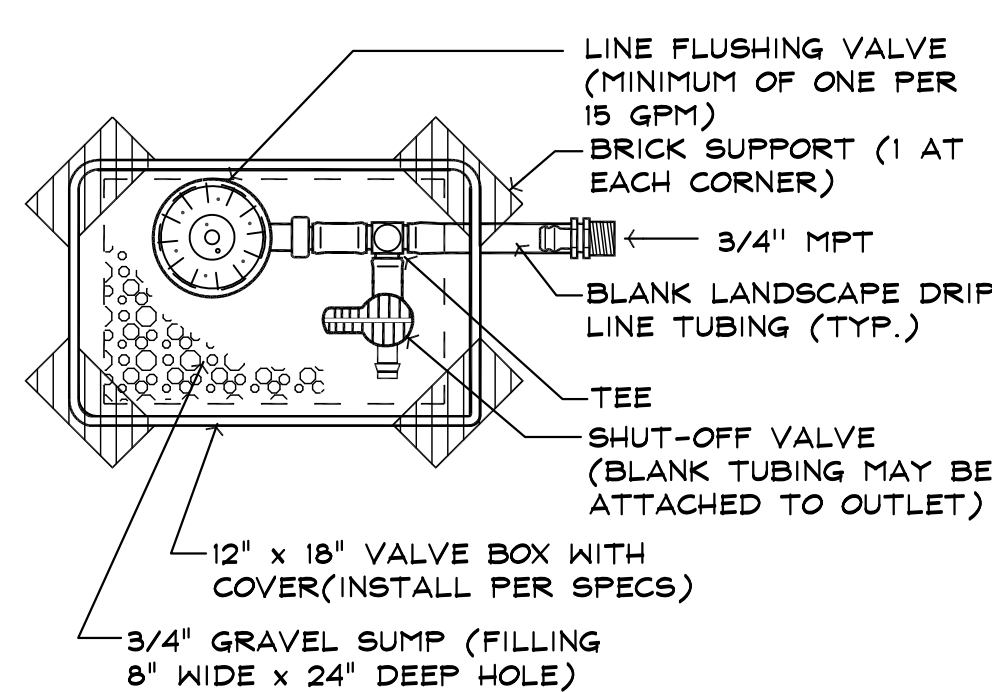
- POWDERCOATED TREATMENT PROCESS**  
Pre-powdercoat Treatment Process  
Clean GuardShack E unit with a S-44 alkaline cleaner, overflow rinse, apply an AC-B15 iron phosphate treatment, overflow rinse and finish with a #18 sealer rinse to prevent rusting and improve adhesion.

- Powdercoat Treatment Process**  
Units shall be preheated and coated by electrostatic application of 2.0 to 3.5 mil thickness on all surfaces. Powder shall be RAL 1019 Woodlands Tan or TCI 6810-6058 Forest Green or approved equal Impact Resistance Finish 160 inch pounds direct 160 inch pounds reverse, per ASTM D-2764 specs. glass Finish 165, per ASTM D-1223. Adhesion to be rated excellent when tested to ASTM D-3359 standards.

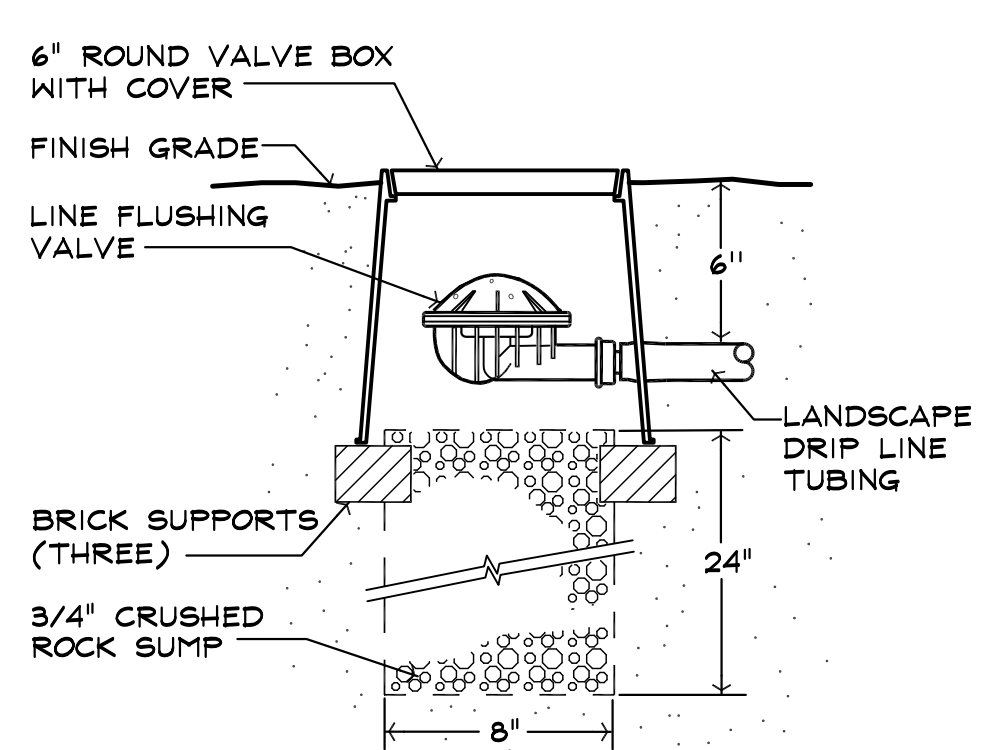
## GUARDSHACK™ ENCLOSURES HGS SERIES



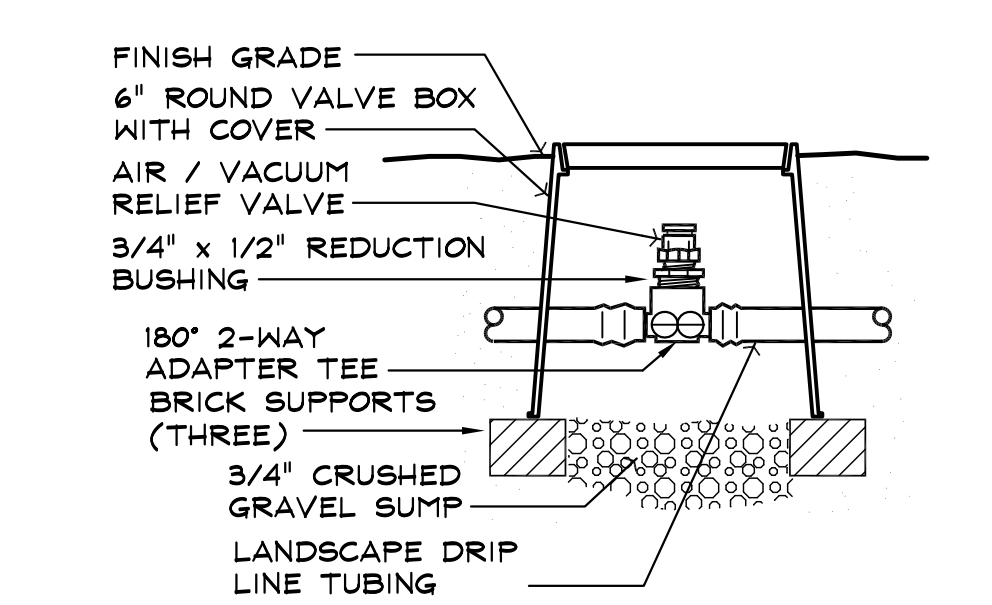
## LANDSCAPE DRIP LINE TRENCHING



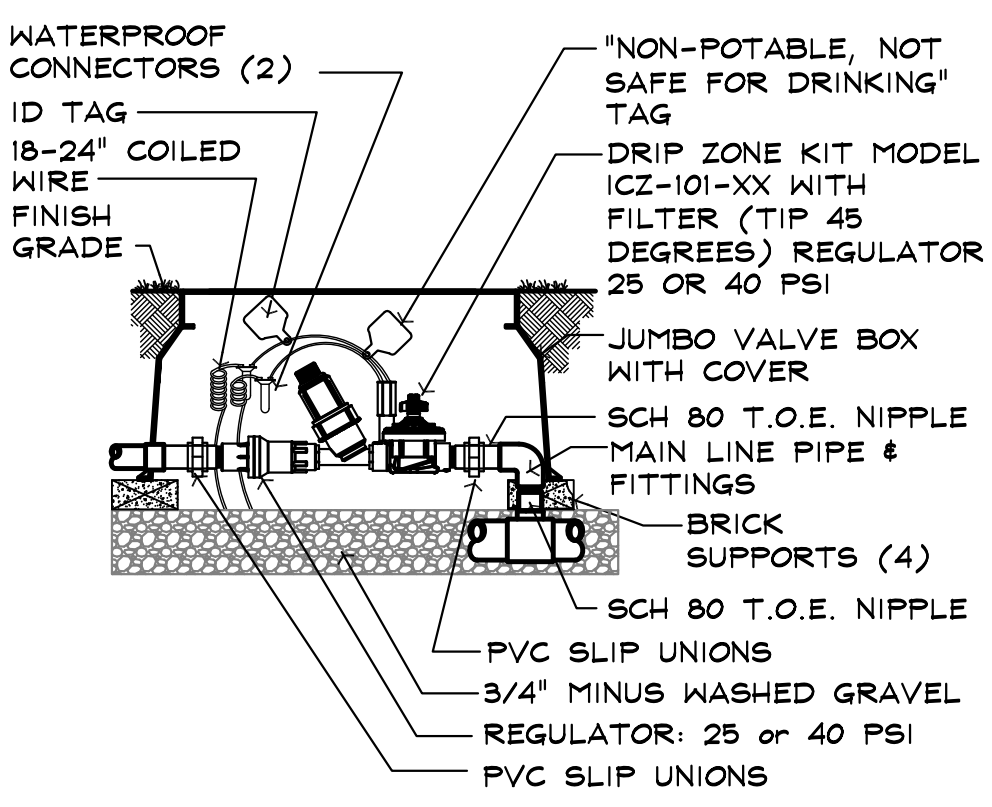
## HUNTER® LANDSCAPE DRIP LINE FLUSHING & SHUT-OFF VALVE



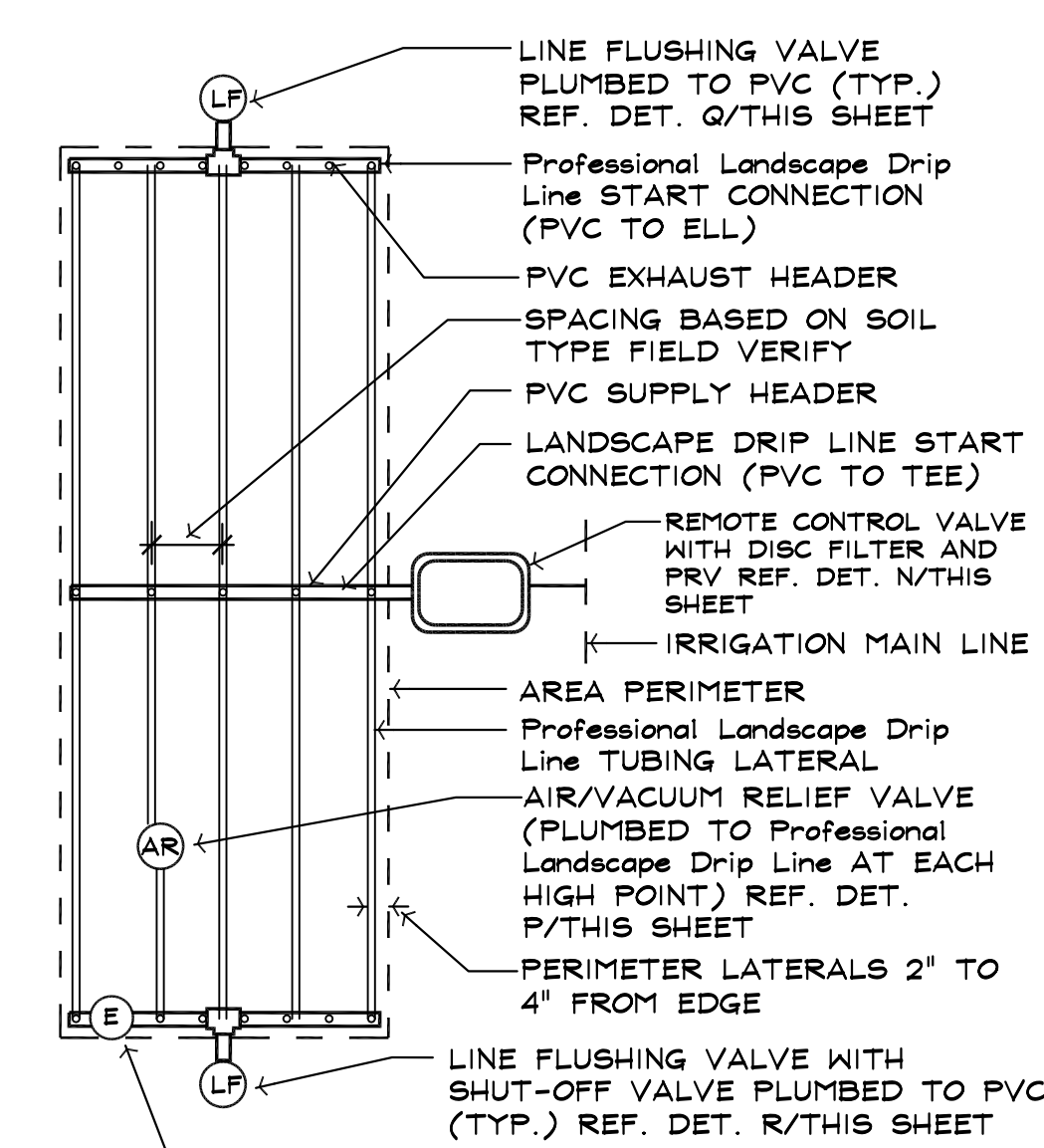
## HUNTER® LANDSCAPE DRIP LINE FLUSHING VALVE



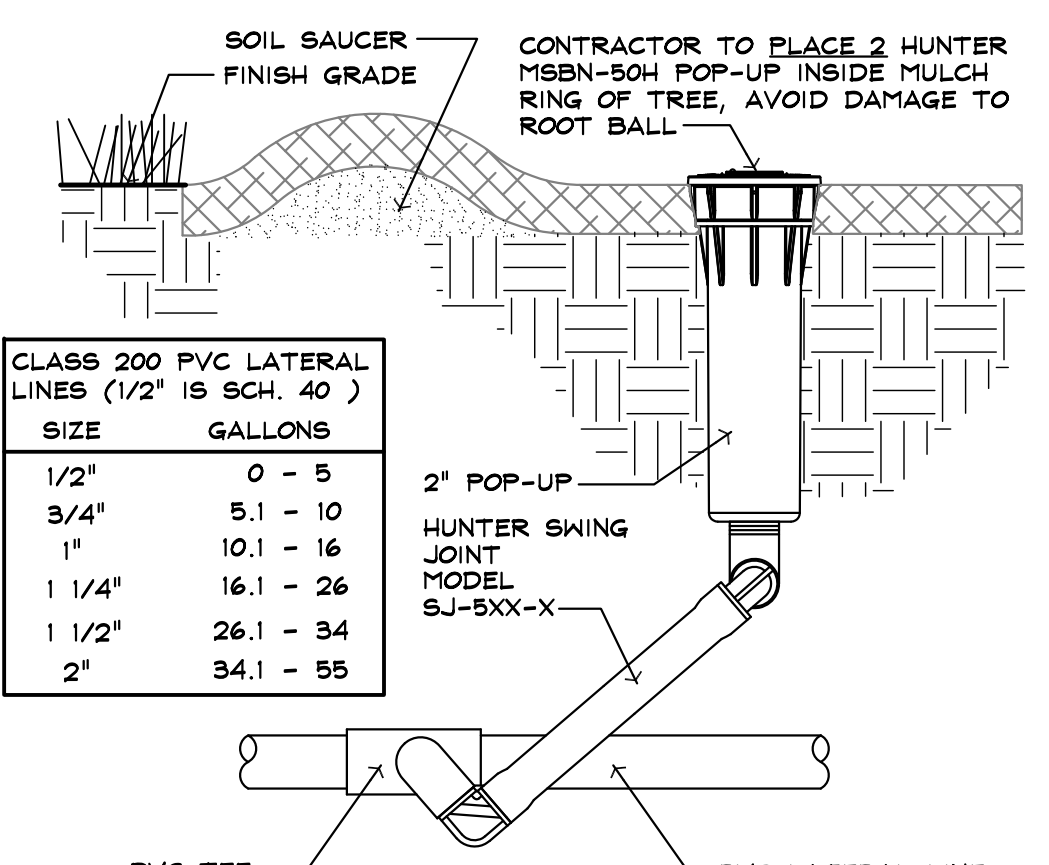
## HUNTER® LANDSCAPE DRIP LINE RELIEF VALVE



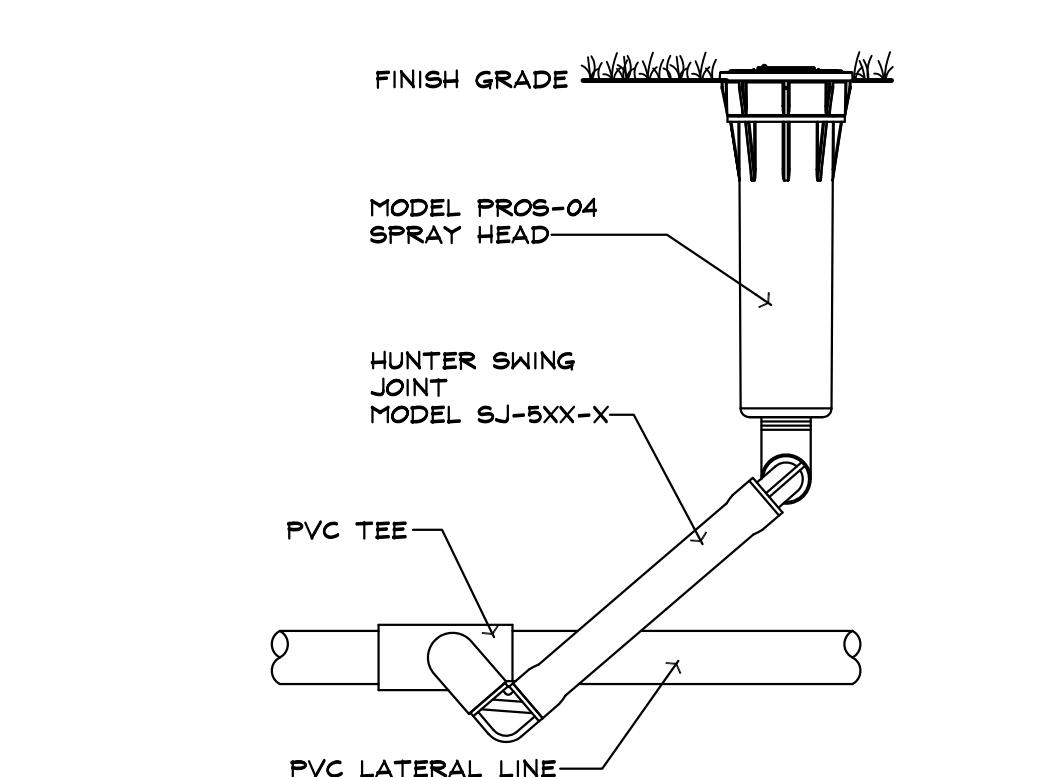
## HUNTER® DRIP CONTROL ZONE ICZ-101-xx KIT



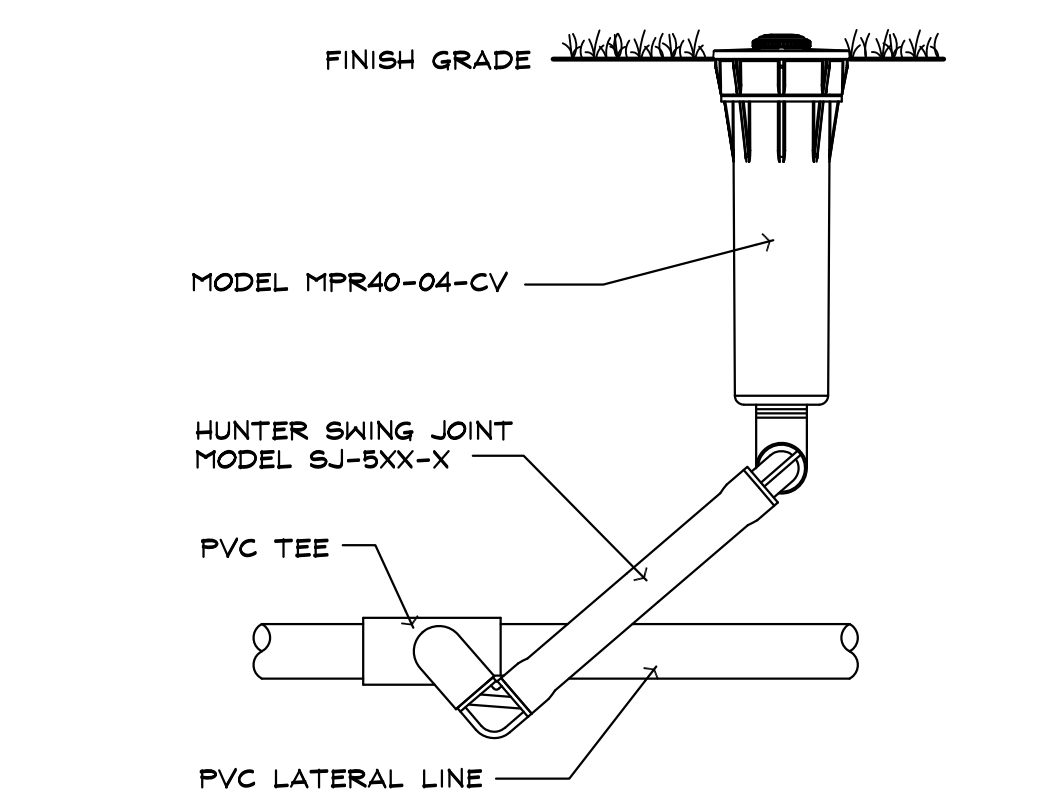
## HUNTER® LANDSCAPE DRIP LINE "CENTER FEED" LAYOUT



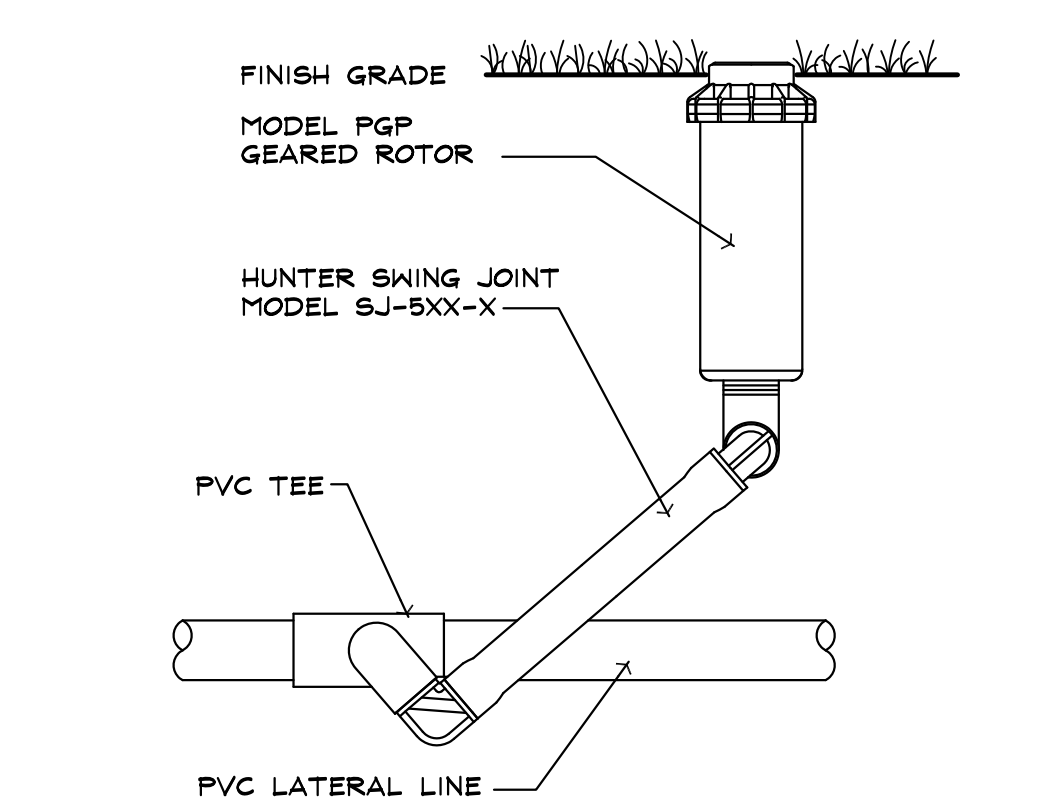
## HUNTER® BUBBLER HEAD SWING INSTALLATION DETAIL



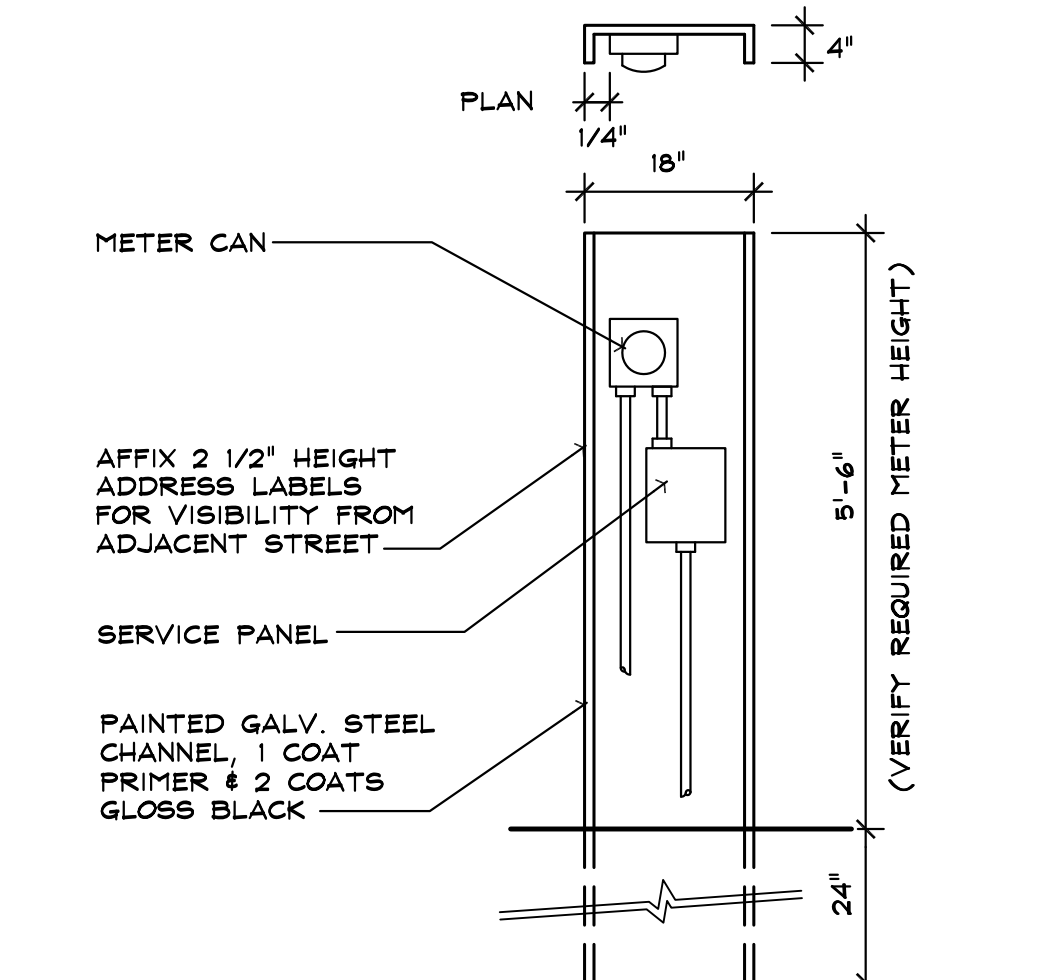
## HUNTER® PROS-04 SPRAY HEAD SWING INSTALLATION DETAIL



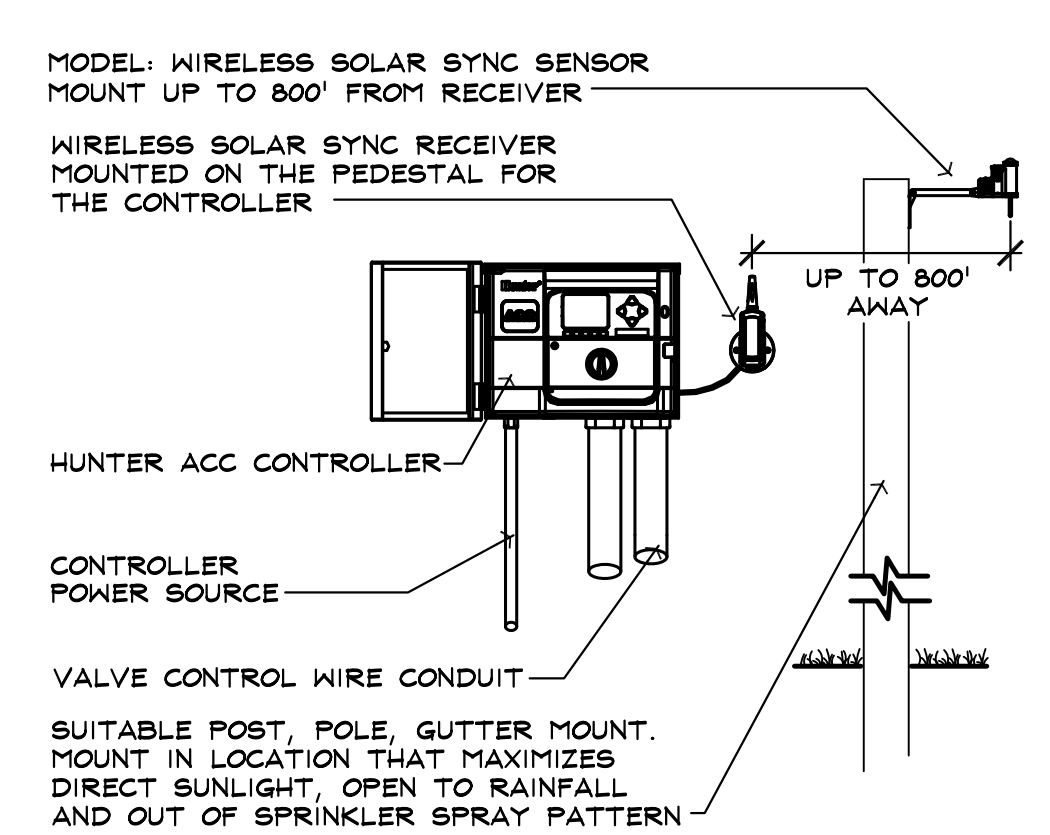
## HUNTER® MP ROTATOR SPRINKLER SWING INSTALLATION DETAIL



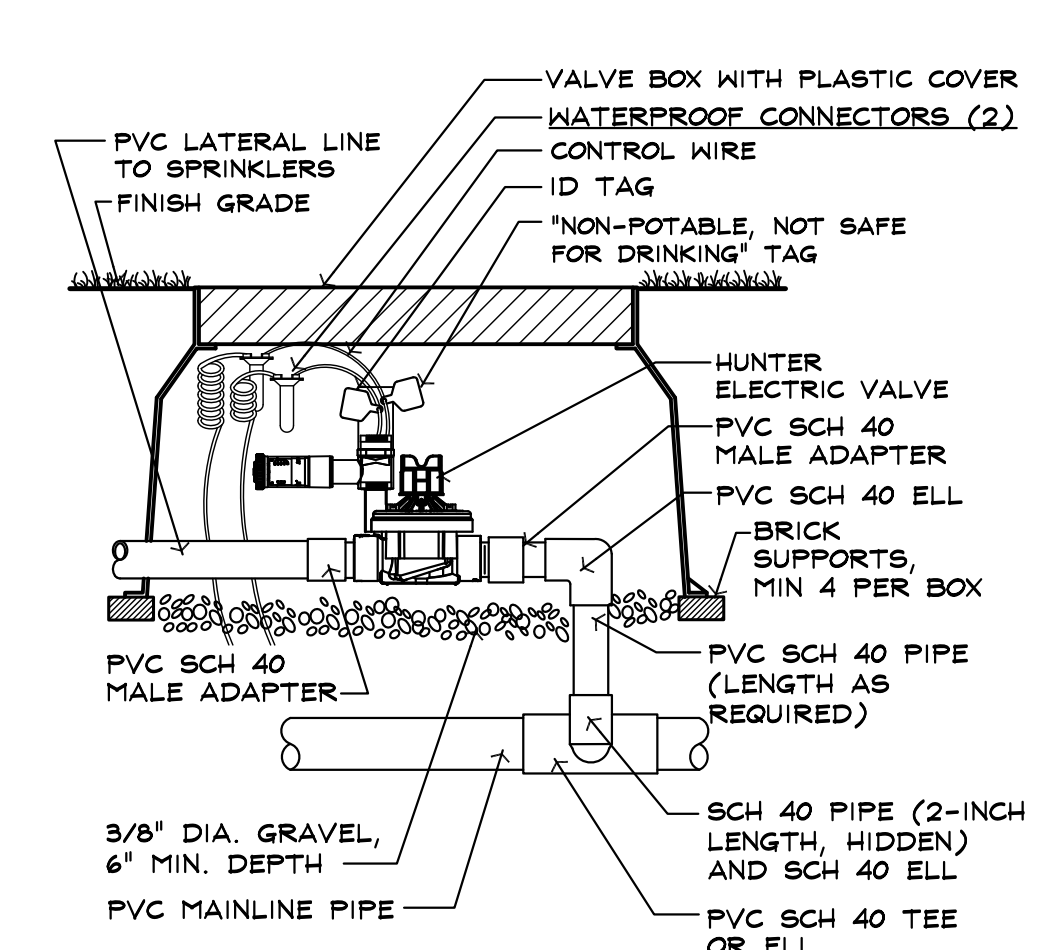
## HUNTER® PGP GEAR DRIVE SWING INSTALLATION DETAIL



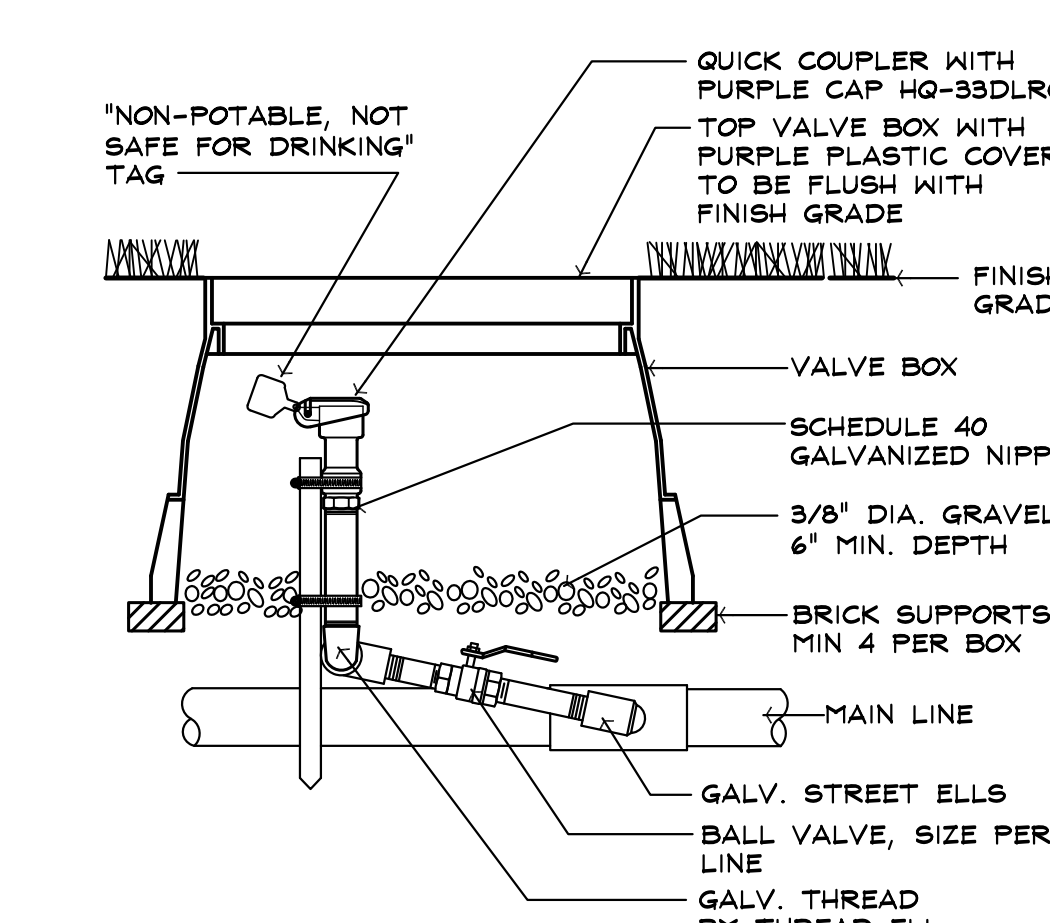
## EXISTING GALV. STEEL CHANNEL DETAIL



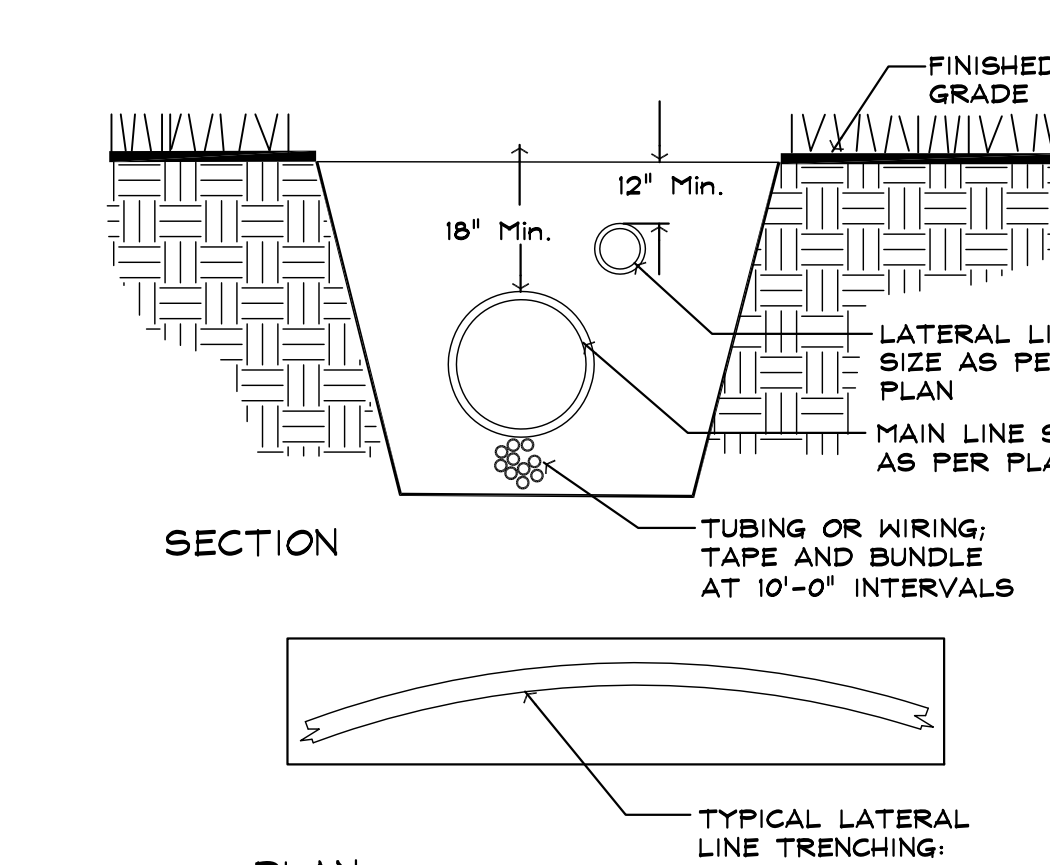
## HUNTER® WIRELESS SOLAR SYNC SENSOR SYSTEM



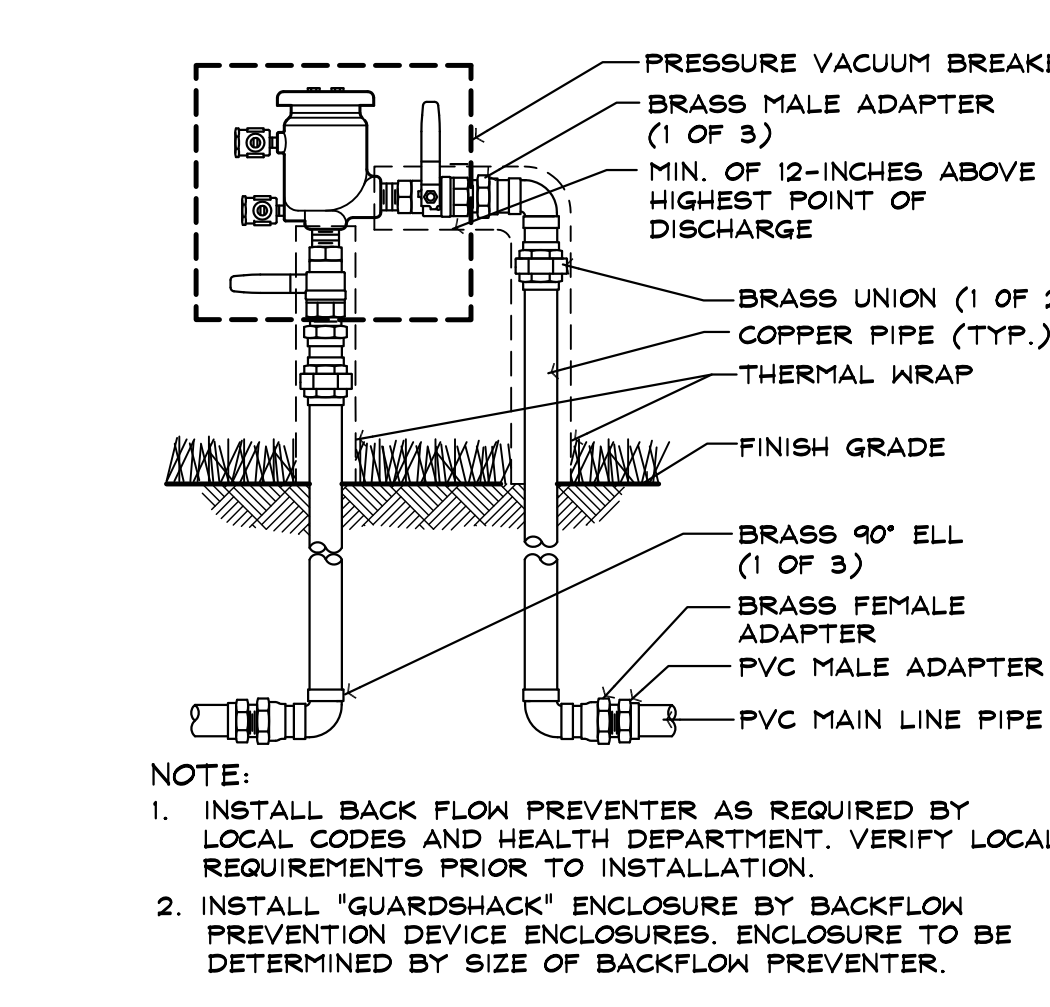
## HUNTER® ICV VALVE WITH ACCU-SYNC INSTALLATION DETAIL



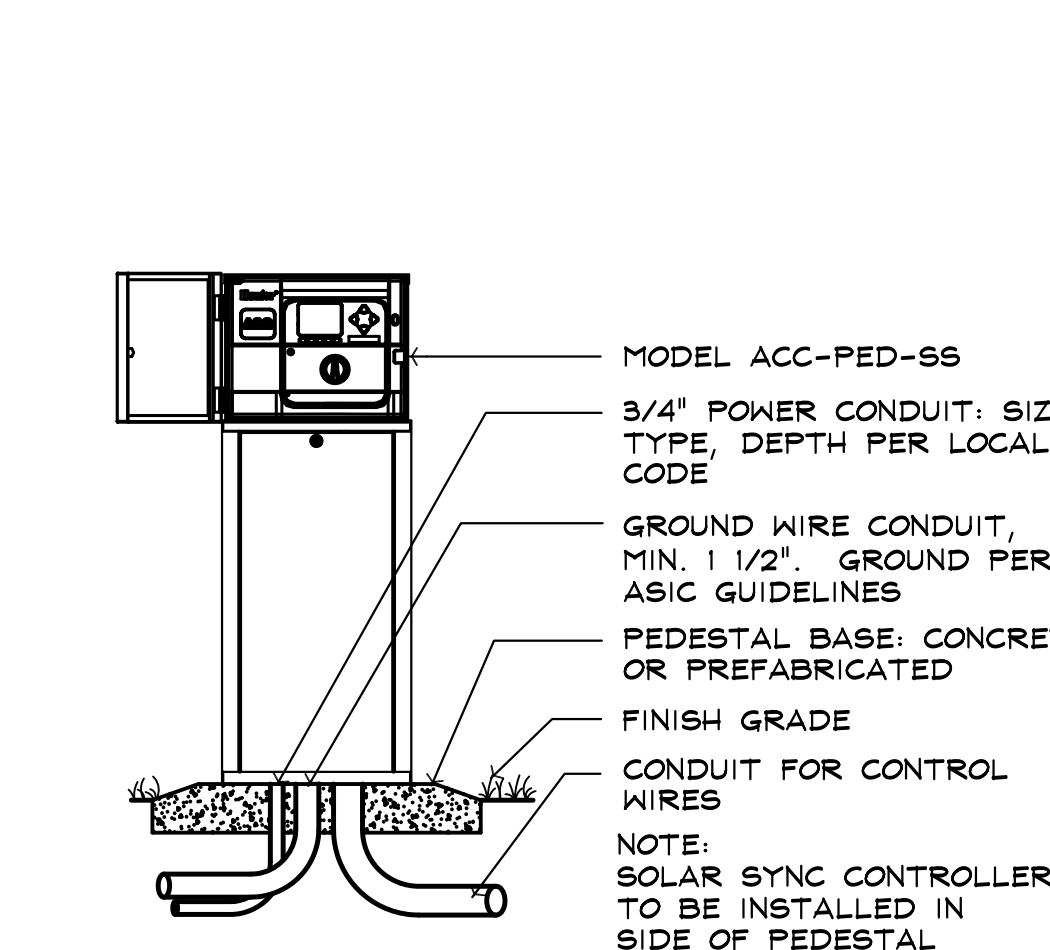
## QUICK COUPLING



## MAIN LINE IN TRENCH



## PRESSURE VACUUM BREAKER-FEBCO #765 PVB

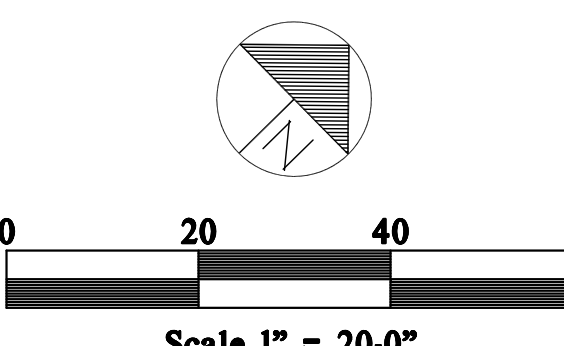


## HUNTER® ACC-PED-SS CONTROLLER IN STAINLESS STEEL PEDESTAL



4/26/2018  
"For regulatory approval, permitting or construction."

# Fairpark Estates Section 8 Landscape Improvements Fort Bend MUD No. 5 Fort Bend County, Texas



## Irrigation Details

Date: 11/7/17  
Scale: AS SHOWN  
Job No: 87-17-44  
Revised:

## IR-3