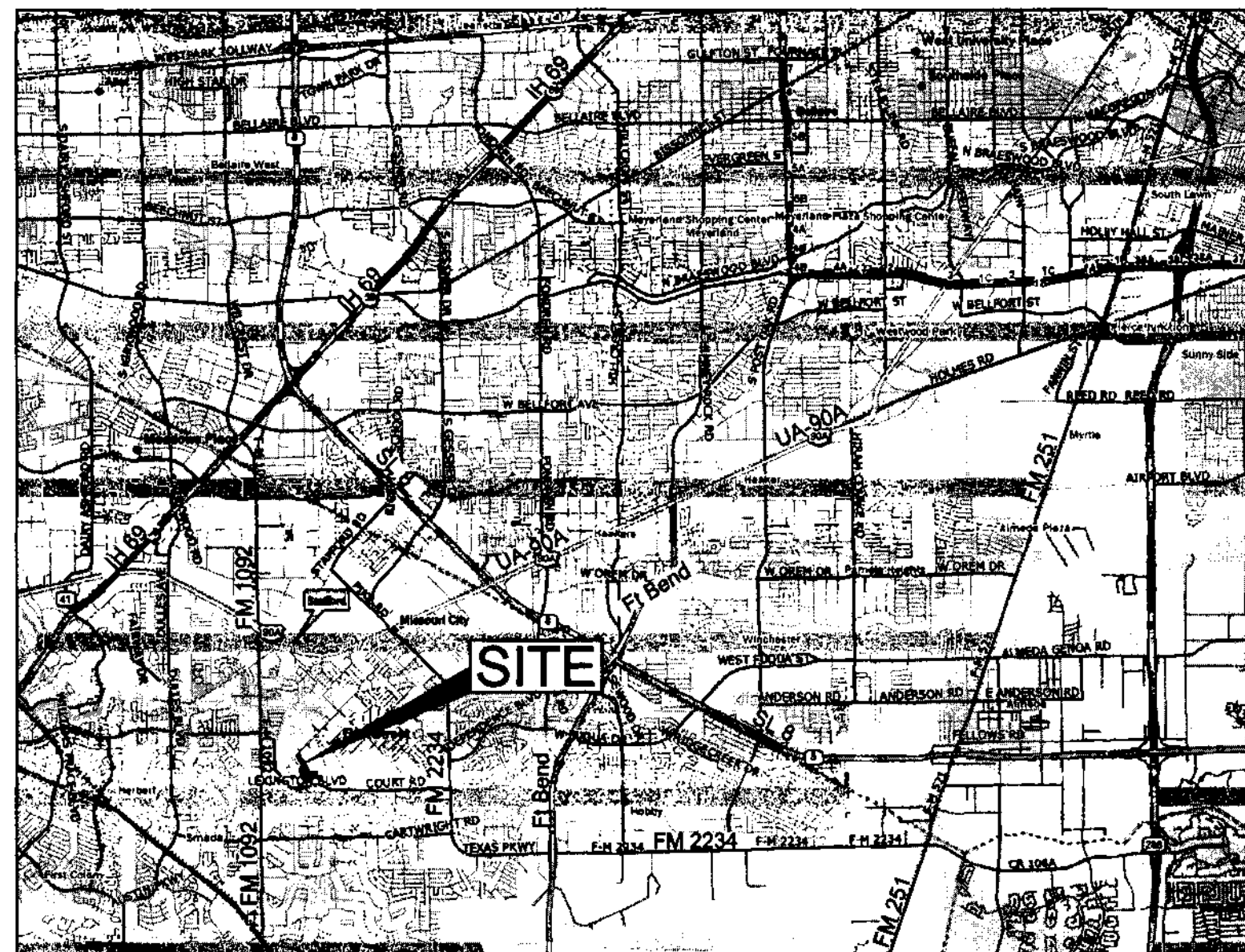
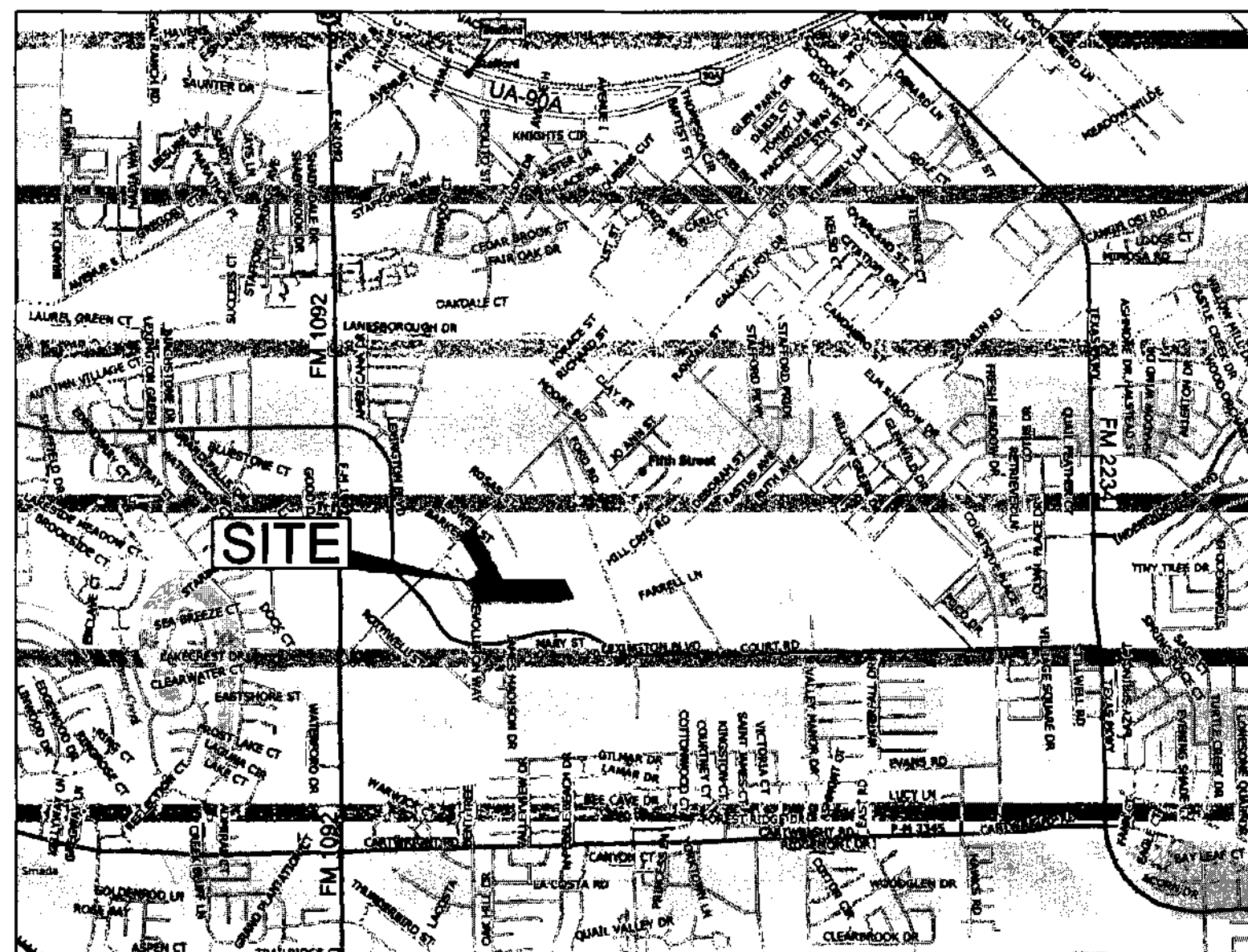


INFRASTRUCTURE DEVELOPMENT PLAN
FOR PROPOSED
3401 5TH STREET MOBILE HOME PARK
3401 5TH STREET, STAFFORD TX 77477
WITHIN
FORT BEND COUNTY, TEXAS



VICINITY MAP
1" = 100,000'



AREA MAP
1" = 25,000'

DRAWING INDEX

SHEET NO.	TITLE
C0.0	COVER
C0.1	EXISTING TOPOGRAPHIC MAP
C0.2	PLAT
C1.1	GENERAL NOTES
C2.1	STORM WATER POLLUTION PREVENTION PLAN
C2.2	STORM WATER POLLUTION PREVENTION PLAN DETAILS
C3.1	DIMENSION CONTROL PLAN
C4.1	GRADING PLAN
C5.1	WATER AND SANITARY SEWER PLAN
C5.2	STORM SEWER PLAN
C5.3	PLAN & PROFILE - 6" WATER.
C6.1	DRAINAGE AREA MAP AND CALCULATIONS
C7.1	DETENTION POND DETAILS AND CALCULATIONS
C8.1	PAVING DETAILS
C9.1	WATER DETAILS
C10.1	STORM AND SANITARY SEWER DETAILS
C11.1	PEDESTRIAN FACILITY DETAILS
C12.1	INTERNAL STREET SIGNAGE PLAN
C13.1	TRAFFIC CONTROL PLAN
E3	LIGHTING PLAN
E4	LIGHTING CALCULATIONS

STATE OF TEXAS
COUNTY OF FORT BEND

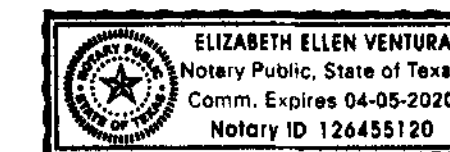
3401 5TH STREET, LLC

IN TESTIMONY WHEREOF, 3401 5TH STREET, LLC HAS CAUSED THESE PRESENTS TO BE
SIGNED BY MICHAEL B. MASSEY, ITS MANAGER, THEREUNTO AUTHORIZED, ATTESTED BY
Carolyn A. Paccioni AND ITS COMMON SEAL HEREUNTO AFFIXED THIS
7 DAY OF March 2018.

3401 5TH STREET, LLC
BY: Michael B. Massey
MANAGER
ATTEST: Carolyn A. Paccioni

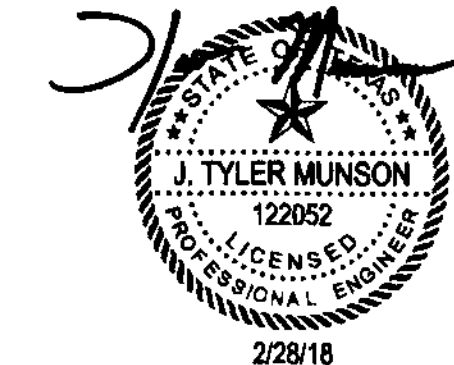
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY
APPEARED MICHAEL B. MASSEY, MANAGER, 3401 5TH STREET, LLC, KNOWN TO ME
TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING
INSTRUMENT AND ACKNOWLEDGE TO ME THAT THEY EXECUTED THE SAME FOR
THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 7th DAY OF MARCH, 2018.



Elizabeth Ellen Ventura
NOTARY PUBLIC IN AND FOR
FORT BEND COUNTY, TEXAS

WGA
WARD, GETZ & ASSOCIATES, LLP
CONSULTING ENGINEERS
TEXAS REGISTERED ENGINEERING FIRM F-9756
2500 Tanglewilde, Suite 120
Houston, Texas 77065
713.788.1900



MARCH 2018
WGA PROJECT No. 40085-002

INFRASTRUCTURE DEVELOPMENT PLAN

I, RICHARD W. STOLLEIS, P.E., FORT BEND COUNTY ENGINEER, DO HEREBY
CERTIFY THAT THIS INFRASTRUCTURE DEVELOPMENT PLAN (IDP) COMPLIES WITH
ALL OF THE EXISTING RULES AND REGULATIONS OF THIS OFFICE AS ADOPTED BY
THE FORT BEND COUNTY COMMISSIONERS' COURT. HOWEVER, NO CERTIFICATION
IS HEREBY GIVEN AS TO THE EFFECT OF DRAINAGE FROM THIS IDP ON THE
INTERCEPTING DRAINAGE ARTERY OR PARENT STREAM OR ON ANY OTHER AREA
OR SUBDIVISION WITHIN THE WATERSHED.

RICHARD W. STOLLEIS, P.E.
FORT BEND COUNTY ENGINEER

APPROVED BY THE COMMISSIONERS' COURT OF FORT BEND COUNTY, TEXAS, THIS
DAY OF _____

VINCENT M. MORALES, JR. GRADY PRESTAGE
PRECINCT 1, COUNTY COMMISSIONER PRECINCT 2, COUNTY COMMISSIONER

W.A. "ANDY" MEYERS JAMES PATTERSON
PRECINCT 3, COUNTY COMMISSIONER PRECINCT 4, COUNTY COMMISSIONER

ROBERT E. HERBERT
COUNTY JUDGE

I, LAURA RICHARD, COUNTY CLERK IN AND FOR FORT BEND COUNTY,
HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT WITH ITS CERTIFICATE OF
AUTHENTICATION WAS FILED FOR RECORDATION IN MY OFFICE ON
AT _____ O'CLOCK _____ P.M. IN PLAT NUMBER _____ OF THE PLAT
RECORDS OF FORT BEND COUNTY, TEXAS.

WITNESS MY HAND AND SEAL OF OFFICE, AT RICHMOND, TEXAS. THE DAY
AND DATE LAST ABOVE WRITTEN.

LAURA RICHARD, COUNTY CLERK
FORT BEND COUNTY, TEXAS

NOTE:
CONTRACTOR SHALL OBTAIN A PERMIT FOR THE
PROPOSED STAFFORD RUN OUTFALL FROM THE
FORT BEND COUNTY ENGINEERING DEPARTMENT.
(281) 633-7500

CONTRACTOR SHALL NOTIFY FORT BEND COUNTY
ENGINEERING DEPARTMENT 48 HOURS PRIOR TO
COMMENCING CONSTRUCTION AND 48 HOUR
NOTICE TO ANY CONSTRUCTION ACTIVITY WITHIN
THE LIMITS OF THE PAVING AT
CONSTRUCTION@FORTBENDCOUNTYTX.GOV

THE MINIMUM SLAB ELEVATION SHALL BE 76.60'

MAINTENANCE DECLARATION:
PROPERTY OWNER SHALL BE RESPONSIBLE AT ALL
TIMES FOR THE MAINTENANCE, REPAIR AND
INSPECTION OF THE PROPOSED STORMWATER
CONTROL FACILITIES. THIS MAINTENANCE
RESPONSIBILITY SHALL BE FILED AND RECORDED
AS AN EASEMENT BY THE PROPERTY OWNER AND
SHALL BE BINDING FOR ALL SUCCESSORS.

OWNERS INFORMATION:
MICHAEL B. MASSEY
1400 POST OAK BLVD., SUITE 640
HOUSTON, TX 77056

FORT BEND COUNTY ENGINEER	
ENGINEER: <u>Richard W. Stolleis, P.E.</u>	DATE: <u>3/16/18</u>
THESE SIGNATURES ARE VOID IF CONSTRUCTION HAS NOT COMMENCED IN (1) YEAR FROM DATE OF APPROVAL.	
APPROVED: <u>Michael B. Massey</u>	DATE: <u>3/16/18</u>
Developmental Coordinator	

C0.0

DRAINAGE, PAVING AND UTILITY PLANS
FOR 3401 5TH STREET MOBILE HOME PARK

UTILITY CONFLICTS:			
	STORM	SANITARY	CLEARANCE
(A)	12"x68.80"	6"x71.82"	1.02'
(B)	24"x67.76"	6"x65.64"	1.62'

* CLEARANCE LESS THAN ONE FOOT. CONTRACTOR TO CEMENT STABILIZE.

APPROVED: *Maxine*
Development Coordinator
DATE: 3/16/18

BENCHMARKS:
ELEVATIONS SHOWN HEREON ARE BASED ON BENCHMARK NG'S NO. AW2123, NAVD83, 1988 ADJUSTED, ELEVATION OF 82.29 FEET.

FLOOD PLAIN NOTE:
THIS SUBJECT TRACT LIES IN UNSHADED ZONE "X". (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN)
AS DELINEATED ON THE FLOOD INSURANCE RATE MAP FOR FORT BEND COUNTY, TEXAS AND INCORPORATED AREAS, MAP NO. 48157C0285 L, REVISED APRIL 2, 2014.
THE NEAREST AND HIGHEST MOST CURRENTLY KNOWN AND RELEVANT 1% ANNUAL CHANCE FLOOD ELEVATION APPEARS TO BE 88 (NAVD 1988, 2001 ADJUSTMENT) IN STAFFORD RUN, AS PER FIRM PANEL 48157C0285 L.

- SHEET NOTES:**
- UTILITY NOTES:**
- UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY ENGINEER OF ANY CONFLICT OR DISCREPANCIES.
 - CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR SERVICE ORIGIN AND CONNECTION.
 - CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE ANY EXISTING ITEMS ONSITE.
 - CONTRACTOR SHALL KEEP THE SITE CLEAN OF DEBRIS AND ANY EROSION CONTROL MEASURES ARE ADEQUATELY PLACED.
 - CONTRACTOR TO COORDINATE LOCATIONS OF UNDERGROUND IRRIGATION SLEEVING PRIOR TO PAVING. SEE LANDSCAPE PLANS.
 - CONTRACTOR TO COORDINATE LOCATIONS OF UNDERGROUND CONDUIT FOR SITE LIGHTING PRIOR TO PAVING.
 - ALL CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE U.S. OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION. COPIES OF OSHA STANDARDS MAY BE PURCHASED FROM THE U.S. GOVERNMENT PRINTING OFFICE. INFORMATION AND RELATED REFERENCE MATERIALS MAY BE PURCHASED FROM OSHA, 903 SAN JACINTO, RM 319, AUSTIN, TX 78701. TEL: (512) 918-5783.
 - ALL SANITARY SEWERS CROSSING WATER LINES WITH A 6 INCHES TO 9 FEET CLEARANCE SHALL HAVE A MINIMUM OF 18" JOINT OF 150 P.S.I. SDR 26 PVC PIPE MEETING ASTM SPECIFICATION D2241 CENTERED ON WATER LINE. WHEN WATER LINE IS BELOW SANITARY SEWER PROVIDE MINIMUM 2 FOOT SEPARATION.
 - REFERENCE MEP PLANS FOR UTILITY CONDUIT LOCATIONS.
 - CURRENTLY THERE IS ONLY 15,000 GPD OF EXCESS CAPACITY AT THE WWTP. THEREFORE ONLY 80 MOBILE HOMES CAN BE CONNECTED AT THIS TIME UNTIL THE WASTEWATER TREATMENT PLANT IS EXPANDED. ONCE THE WWTP IS EXPANDED, THE REMAINING 13 MOBILE HOMES CAN BE CONNECTED. REFERENCE TPDES PERMIT NO. WQ0014064001.
 - PRIVATE SEWER MANHOLES TO INCLUDE A STAINLESS-STEEL INFLOW PREVENTION DISK OR DEVICE ON MANHOLES.
 - CONTRACTOR TO ENSURE ALL MANHOLE RIM ELEVATIONS TO BE MINIMUM OF SIX INCHES ABOVE FINAL GRADE.
 - CONTRACTOR TO ENSURE ALL METER VAULTS ARE PLACED ON STABILIZED BEDDING TO PREVENT SETTLING OR MOVEMENT OF VAULT.
 - ALL PRIVATE HYDRANTS MUST BE PAINTED YELLOW.
 - REQUIRED METER FOR COMBINATION FIRE/DOMESTIC APPLICATIONS TO BE SENSUS OMNI FIRELINE F2 WITH REMOTE READ COMPATIBLE WITH FBWCID2 REQUIREMENTS.



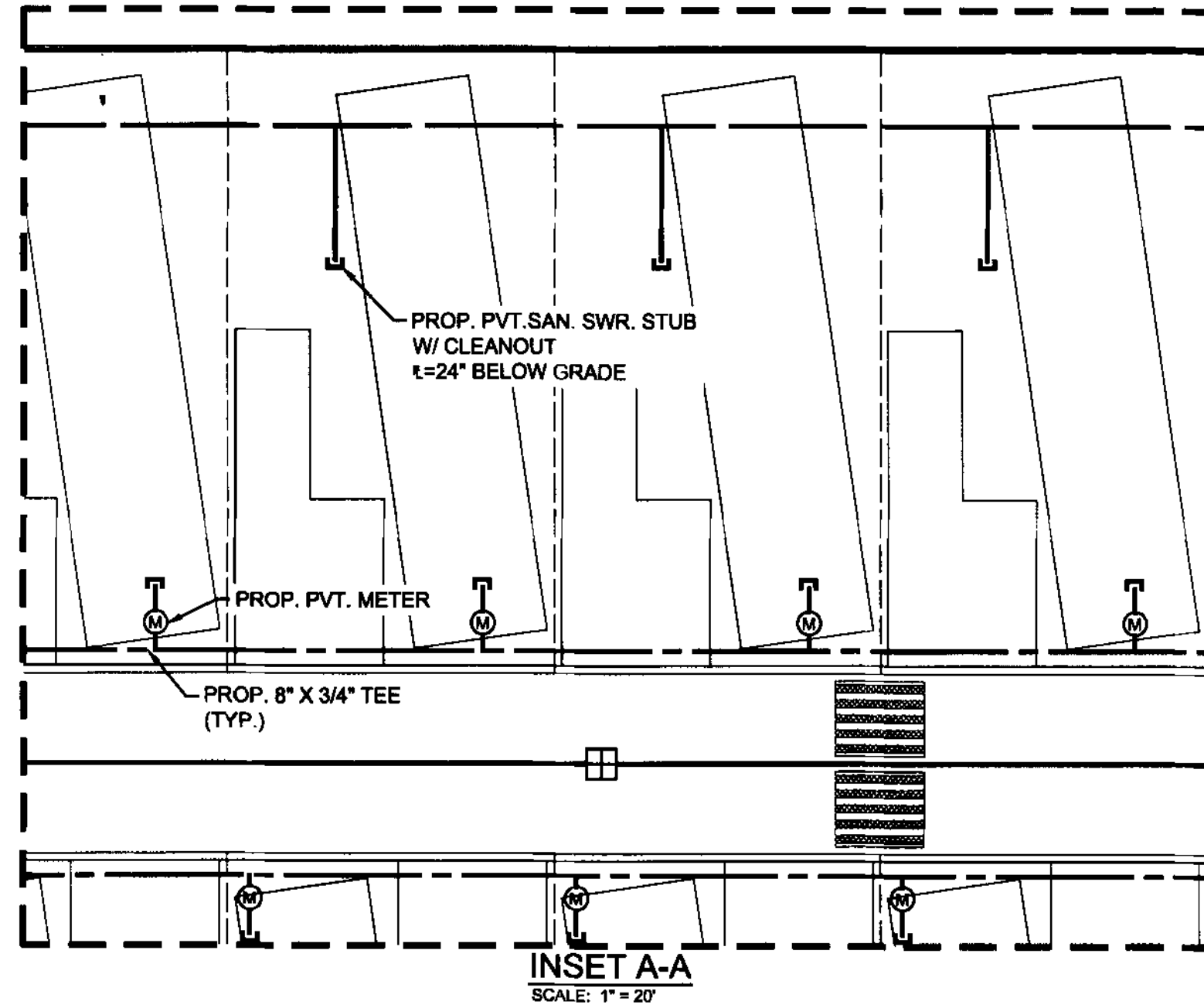
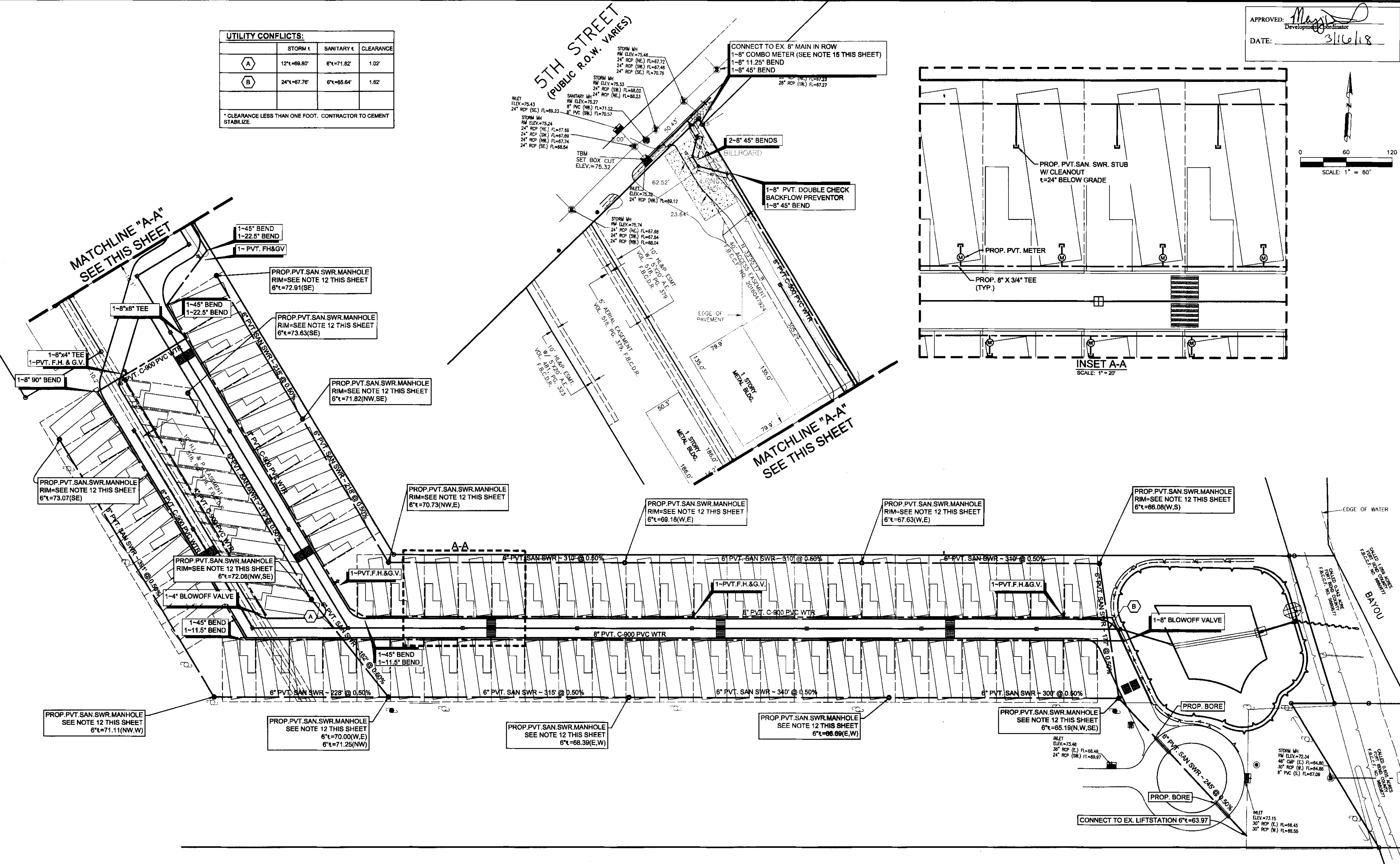
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713.789.1900

3401 5TH STREET

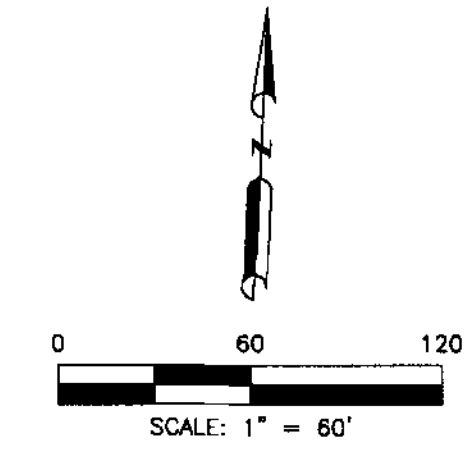
**WATER & SANITARY
SEWER UTILITY PLAN**

SCALE	DESIGN	DRAWN
1"=60'	CAH NRH	CAH NRH

C5.1



APPROVED: *[Signature]*
DATE: 3/16/18

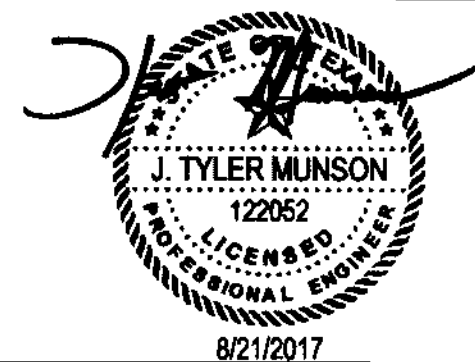
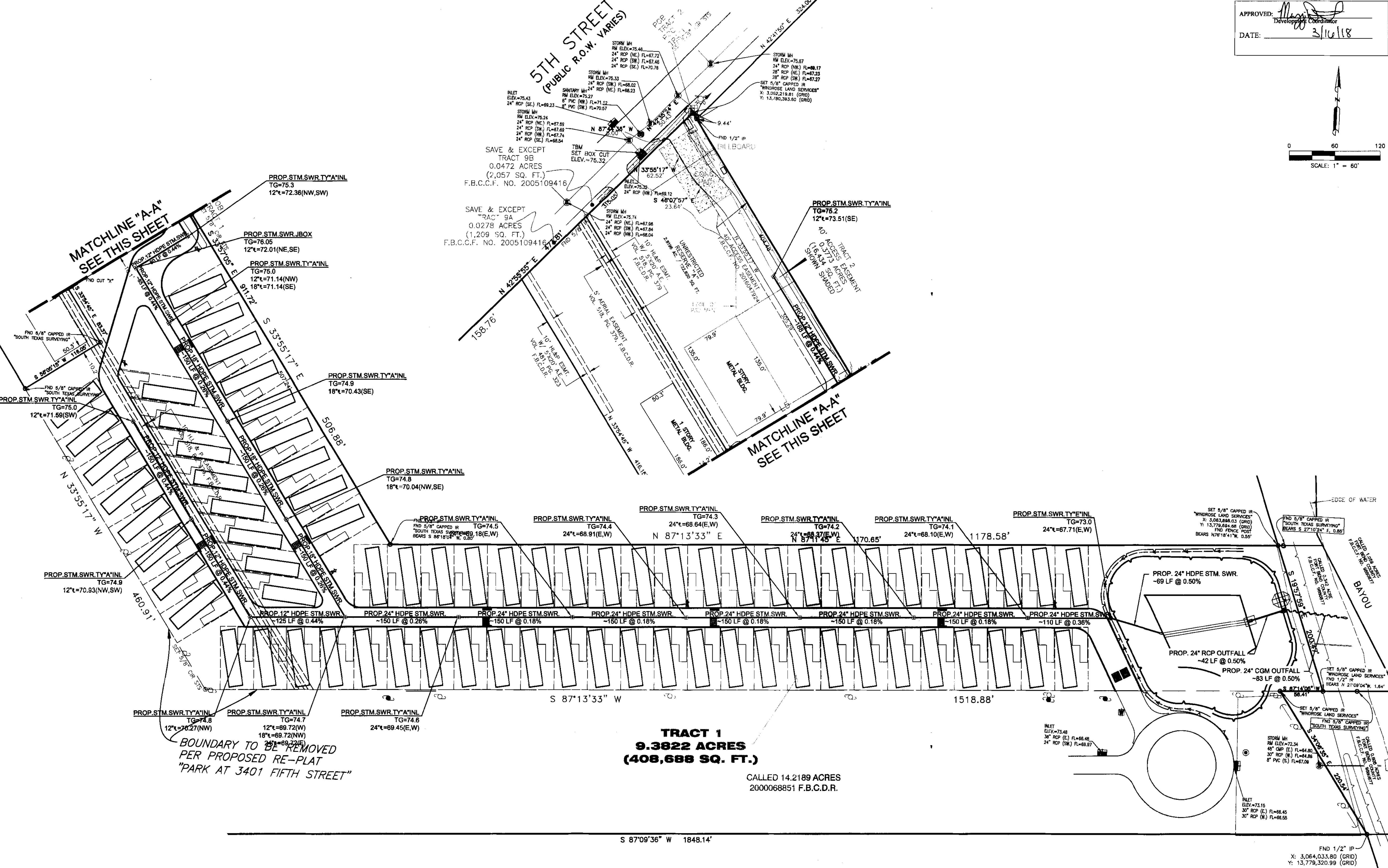


BENCHMARKS:
ELEVATIONS SHOWN HEREON ARE BASED ON BENCHMARK NGS NO. AW2123, NAVD88, 1986 ADJUSTED, ELEVATION OF 82.29 FEET.

FLOOD PLAIN NOTE:
THIS SUBJECT TRACT LIES IN UNSHADED ZONE "C" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN)

AS DELINEATED ON THE FLOOD INSURANCE RATE MAP FOR FORT BEND COUNTY, TEXAS AND INCORPORATED AREAS, MAP NO. 48157C0285 L, REVISED APRIL 2, 2014.
THE NEAREST AND HIGHEST MOST CURRENTLY KNOWN AND RELEVANT 1% ANNUAL CHANCE FLOOD ELEVATION APPEARS TO BE 88 (NAVD 1988, 2001 ADJUSTMENT) IN STAFFORD RUN, AS PER FIRM PANEL 48157C0285 L.

SHEET NOTES:
SEE SHEET C5.1 "DRAINAGE AREA MAP AND CALCULATIONS" FOR STORM SEWER SYSTEM CAPACITY CALCULATIONS.



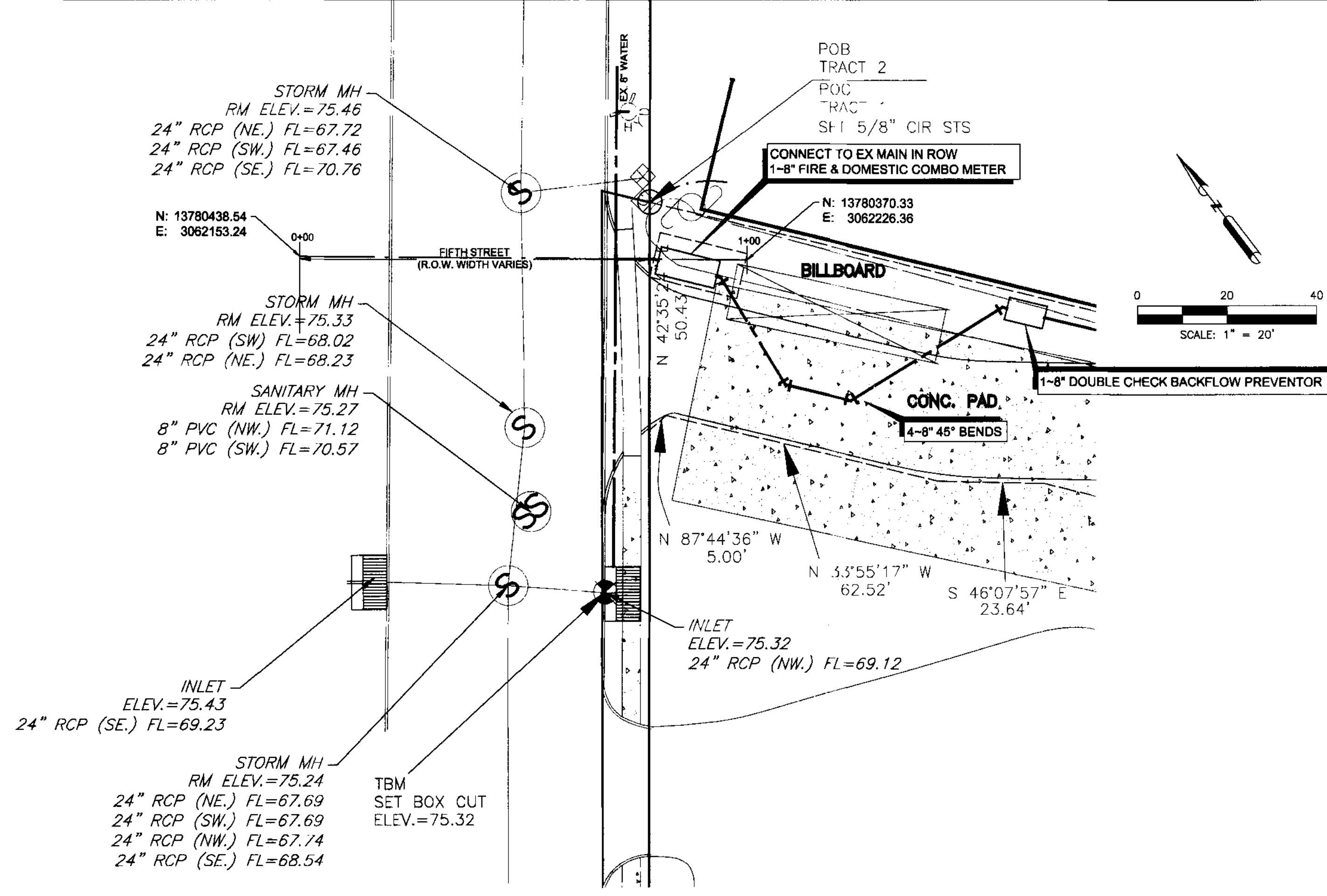
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Houston, Texas 77063
713.789.1900

3401 5TH STREET

STORM SEWER PLAN

SCALE	DESIGN	DRAWN
1"=60'	CAH NRH	CAH NRH

C5.2



APPROVED: [Signature]
Development Coordinator
DATE: 3/16/18

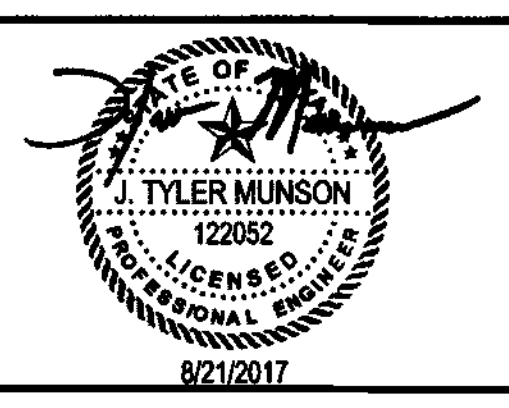
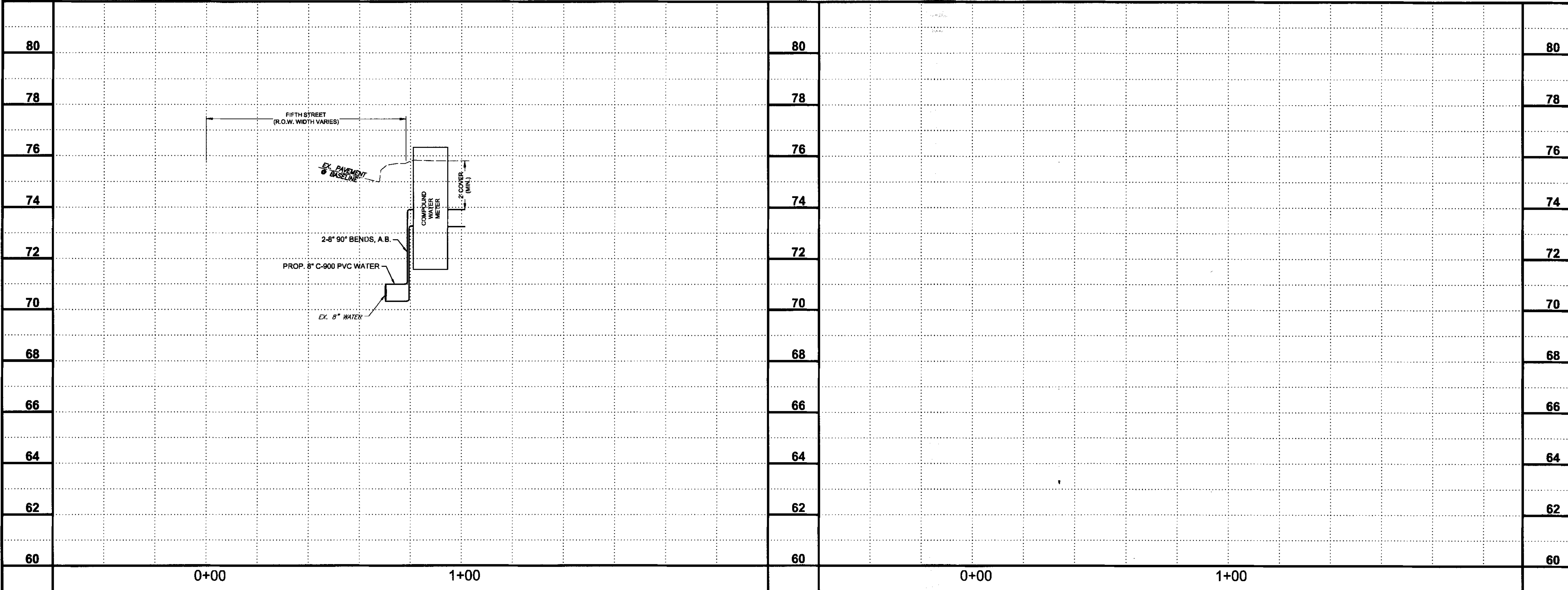
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SHEET NOTES:

PROFILE - 8" WATER
1" = 20' H
1" = 2' V



W|G|A
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713.789.1900

3401 5TH STREET

**PLAN AND PROFILE
8" WATER**

SCALE 1"=20'	DESIGN CAH NRH	DRAWN CAH NRH
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C5.3