



**PERMIT APPLICATION REVIEW FORM FOR
CABLE, CONDUIT, AND POLE LINE ACTIVITY
IN FORT BEND COUNTY**

**Fort Bend County
Engineering Department**
301 Jackson Suite 401
Richmond, Texas 77469
281.633.7500
Permits@fortbendcountytx.gov

- Right of Way Permit
 Commercial Driveway Permit

Permit No: 2018-18331

The following "Notice of Proposed Cable, Conduit, and/or Pole Line activity in Fort Bend County" and accompanying attachments have been reviewed and the notice conforms to appropriate regulations set by Commissioner's Court of Fort Bend County, Texas.

(1) COMPLETE APPLICATION FORM:

- | | |
|-------------------------------------|----------------------------------------------------------|
| <input checked="" type="checkbox"/> | a. Name of road, street, and/or drainage ditch affected. |
| <input checked="" type="checkbox"/> | b. Vicinity map showing course of directions |
| <input checked="" type="checkbox"/> | c. Plans and specifications |

(2) BOND:

- | | | | |
|-------------------------------------|--------------------------------------------|---------------------------------------------------------------------------------|---------------------|
| <input type="checkbox"/> | County Attorney, approval when applicable. | | |
| <input type="checkbox"/> | Perpetual bond currently posted. | Bond No: _____ | Amount: _____ |
| <input checked="" type="checkbox"/> | Performance bond submitted. | Bond No: ██████████ | Amount: \$10,000.00 |
| <input type="checkbox"/> | Cashier's Check | Check No: _____ | Amount: _____ |

(3) DRAINAGE DISTRICT APPROVAL (WHEN APPLICABLE):

Drainage District Approval

Date

We have reviewed this project and agree it meets minimum requirements.

Charles O. Ay

Permit Administrator

2/26/2018

Date



**REVIEW BY FORT BEND COUNTY
COMMISSIONERS COURT**

**Fort Bend County
Engineering Department**
301 Jackson Suite 401
Richmond, Texas 77469
281.633.7500
Permits@fortbendcountytx.gov

Right of Way Permit

Commercial Driveway Permit

Permit No: 2018-18331

Applicant: Helker & Crawford Constructors, LP

Job Location Site: 4110 Williams Way Boulevard, Richmond, TX 77469

Bond No. [REDACTED] **Date of Bond:** 1/30/2018 **Amount:** \$10,000.00

The above applicant came to make use of certain Fort Bend County property subject to, "The Order Regulating the Laying, Construction, Maintenance, and Repair of Buried Cables, Conduits, and Pole Lines, In, Under, Across or Along Roads, Streets, Highways, and Drainage Ditches in Fort Bend County, Texas, Under the Jurisdiction of the Commissioners Court of Fort Bend County, Texas," as passed by the Commissioners Court of Fort Bend County, Texas, of the Minutes of the Commissioners Court of Fort Bend County, Texas, to the extent that such order is not inconsistent with Chapter 181, Vernon's Texas Statutes and Codes Annotated.

Notes:

1. Evidence of review by the Commissioners Court must be kept on the job site and failure to do so constitutes grounds for job shutdown.
2. Written notices are required:
 - a. 48 hours in advance of construction start up, and
 - b. When construction is completed and ready for final inspection, submit notification to Permit Administrator thru MyGovernmentOnline.org portal.
3. This permit expires one (1) year from date of permit if construction has not commenced.

On this 6th day of March, 2018, Upon Motion of Commissioner _____, seconded by Commissioner _____, duly put and carried, it is ORDERED, ADJUDGED AND DECREED that said notice of said above purpose is hereby acknowledged by the Commissioners Court of Fort Bend County, Texas, and that said notice be placed on record according to the regulation order thereof.

Signature

Presented to Commissioners Court and approved.

By: 
County Engineer

Date Recorded _____ Comm. Court No. _____

By: N/A
Drainage District Engineer/Manager

Clerk of Commissioners Court

By: _____
Deputy

PERFORMANCE BOND COVERING ALL CABLE, CONDUIT AND/OR POLE LINE
ACTIVITY IN, UNDER, ACROSS OR ALONG FORT BEND COUNTY ROAD,
COMMERCIAL DRIVEWAY AND MEDIAN OPENINGS OR MODIFICATIONS
(AUTHORIZED)

DUPLICATE ORIGINAL

BOND NO: [REDACTED]

THE STATE OF TEXAS §

KNOW ALL MEN BY THESE PRESENTS:

COUNTY OF FORT BEND §

THAT WE, Helker & Crawford Constructors, LP, whose address is 720 Valley Ridge Circle, Suite 1, Lewisville, TX 75057, Texas, hereinafter called the Principal, and Berkley Insurance Company, a Corporation existing under and by virtue of the laws of the state of Delaware and authorized to do an indemnifying business in the state of Texas, and whose principal office is located at 475 Steamboat Road, Greenwich, CT 06830, (203) 542-3800, whose officer residing in the State of Texas, authorized to accept service in all suits and actions brought within said state is Mr. Tim Miller and whose address is Berkley Surety Group, 12400 Coit Road, Suite 625, Dallas, TX 75251, (972) 385-1140, hereinafter called the Surety, and held and firmly bound unto , Robert E. Hebert, County Judge of Fort Bend County, Texas, or his successors in office, in the full sum of Ten Thousand Dollars (\$10,000.00) current, lawful money of the United States of America, to be paid to said Robert E. Hebert, County Judge of Fort Bend County, Texas, or his successors in office, to which payment well and truly to be made and done, we, the undersigned, bind ourselves and each of us, our heirs, executors, administrators, successors, assigns, and legal representatives, jointly and severally, by these presents.

THE CONDITION OF THIS BOND IS SUCH THAT, WHEREAS, the above bounden principal contemplates laying, constructing, maintaining and/or repairing one or more cables, conduits, and/or pole lines in, under, across and/or along roads, streets and highways, commercial driveway and median openings or modifications in the County of Fort Bend, and the State of Texas, under the jurisdiction of the Commissioners' Court of Fort Bend County, Texas, pursuant to the Commissioners' Court order adopted on the 1st day of December, A.D. 1980, recorded in Volume 13, of the Commissioners' Court Minutes of Fort Bend County, Texas, regulating same, which Commissioners' Court order is hereby referred to and made a part hereof for all purposes as though fully set out herein;

AND WHEREAS, the principal desires to provide Fort Bend County with a performance bond covering all such cable, conduit and/or pole line activity, commercial driveway and median openings or modifications;

NOW, THEREFORE, if the above bounden principal shall faithfully perform all its cable, conduit and/or pole line activity (including, but not limited to the laying, construction, maintenance and/or repair of cables, conduits and/or pole lines) in, under, across and/or along roads, streets and highways, commercial driveway and median openings or modifications in the County of Fort Bend and State of Texas, under the jurisdiction of the Commissioners Court of Fort Bend County, Texas, pursuant to and in accordance with minimum requirements and conditions of the above mentioned Commissioners' Court order set forth and specified to be by said principal done and performed, at the time and in the manner therein specified, and shall pay over and make good and reimburse Fort Bend County, all loss and damages which Fort Bend County may sustain by reason of any failure or default on the part of said principal, then this obligation shall be null and void, otherwise to remain in full force and effect.

This bond is payable at the County Courthouse in the County of Fort Bend and State of Texas.

It is understood that at any time Fort Bend County deems itself insecure under this bond, it may require further and/or additional bonds of the principal.

EXECUTED this 30th day of January, 2018.

Helker & Crawford Constructors, LP
PRINCIPAL

BY 

Nathan D. Crawford, President

Berkley Insurance Company

SURETY


BY Anthony T. Papa, Jr., Attorney-in-Fact

POWER OF ATTORNEY
BERKLEY INSURANCE COMPANY
WILMINGTON, DELAWARE

NOTICE: The warning found elsewhere in this Power of Attorney affects the validity thereof. Please review carefully.

KNOW ALL MEN BY THESE PRESENTS, that BERKLEY INSURANCE COMPANY (the "Company"), a corporation duly organized and existing under the laws of the State of Delaware, having its principal office in Greenwich, CT, has made, constituted and appointed, and does by these presents make, constitute and appoint: *Carol A. McManus; Christine A. Papa; Teresa L. Steadman; or Anthony T. Papa, Jr. of InSource Partners, LLC of Sarasota, FL* its true and lawful Attorney-in-Fact, to sign its name as surety only as delineated below and to execute, seal, acknowledge and deliver any and all bonds and undertakings, with the exception of Financial Guaranty Insurance, providing that no single obligation shall exceed **Fifty Million and 00/100 U.S. Dollars (U.S.\$50,000,000.00)**, to the same extent as if such bonds had been duly executed and acknowledged by the regularly elected officers of the Company at its principal office in their own proper persons.

This Power of Attorney shall be construed and enforced in accordance with, and governed by, the laws of the State of Delaware, without giving effect to the principles of conflicts of laws thereof. This Power of Attorney is granted pursuant to the following resolutions which were duly and validly adopted at a meeting of the Board of Directors of the Company held on January 25, 2010:

RESOLVED, that, with respect to the Surety business written by Berkley Surety, the Chairman of the Board, Chief Executive Officer, President or any Vice President of the Company, in conjunction with the Secretary or any Assistant Secretary are hereby authorized to execute powers of attorney authorizing and qualifying the attorney-in-fact named therein to execute bonds, undertakings, recognizances, or other suretyship obligations on behalf of the Company, and to affix the corporate seal of the Company to powers of attorney executed pursuant hereto; and said officers may remove any such attorney-in-fact and revoke any power of attorney previously granted; and further

RESOLVED, that such power of attorney limits the acts of those named therein to the bonds, undertakings, recognizances, or other suretyship obligations specifically named therein, and they have no authority to bind the Company except in the manner and to the extent therein stated; and further

RESOLVED, that such power of attorney revokes all previous powers issued on behalf of the attorney-in-fact named; and further

RESOLVED, that the signature of any authorized officer and the seal of the Company may be affixed by facsimile to any power of attorney or certification thereof authorizing the execution and delivery of any bond, undertaking, recognizance, or other suretyship obligation of the Company; and such signature and seal when so used shall have the same force and effect as though manually affixed. The Company may continue to use for the purposes herein stated the facsimile signature of any person or persons who shall have been such officer or officers of the Company, notwithstanding the fact that they may have ceased to be such at the time when such instruments shall be issued.

IN WITNESS WHEREOF, the Company has caused these presents to be signed and attested by its appropriate officers and its corporate seal hereunto affixed this 18th day of July, 2017.

Attest:

Berkley Insurance Company

(Seal)

By Ira S. Lederman
Executive Vice President & Secretary

By Jeffrey M. Hafter
Senior Vice President

WARNING: THIS POWER INVALID IF NOT PRINTED ON BLUE "BERKLEY" SECURITY PAPER.

STATE OF CONNECTICUT)

) ss:

COUNTY OF FAIRFIELD)

Sworn to before me, a Notary Public in the State of Connecticut, this 18th day of July, 2017, by Ira S. Lederman and Jeffrey M. Hafter who are sworn to me to be the Executive Vice President and Secretary, and the Senior Vice President, respectively, of Berkley Insurance Company.

MARIA C. RUNDBAKEN
NOTARY PUBLIC
MY COMMISSION EXPIRES
APRIL 30, 2019

Maria C. Rundbaken
Notary Public, State of Connecticut

CERTIFICATE

I, the undersigned, Assistant Secretary of BERKLEY INSURANCE COMPANY, DO HEREBY CERTIFY that the foregoing is a true, correct and complete copy of the original Power of Attorney; that said Power of Attorney has not been revoked or rescinded and that the authority of the Attorney-in-Fact set forth therein, who executed the bond or undertaking to which this Power of Attorney is attached, is in full force and effect as of this date.

Given under my hand and seal of the Company, this 30th day of January, 2018

(Seal)

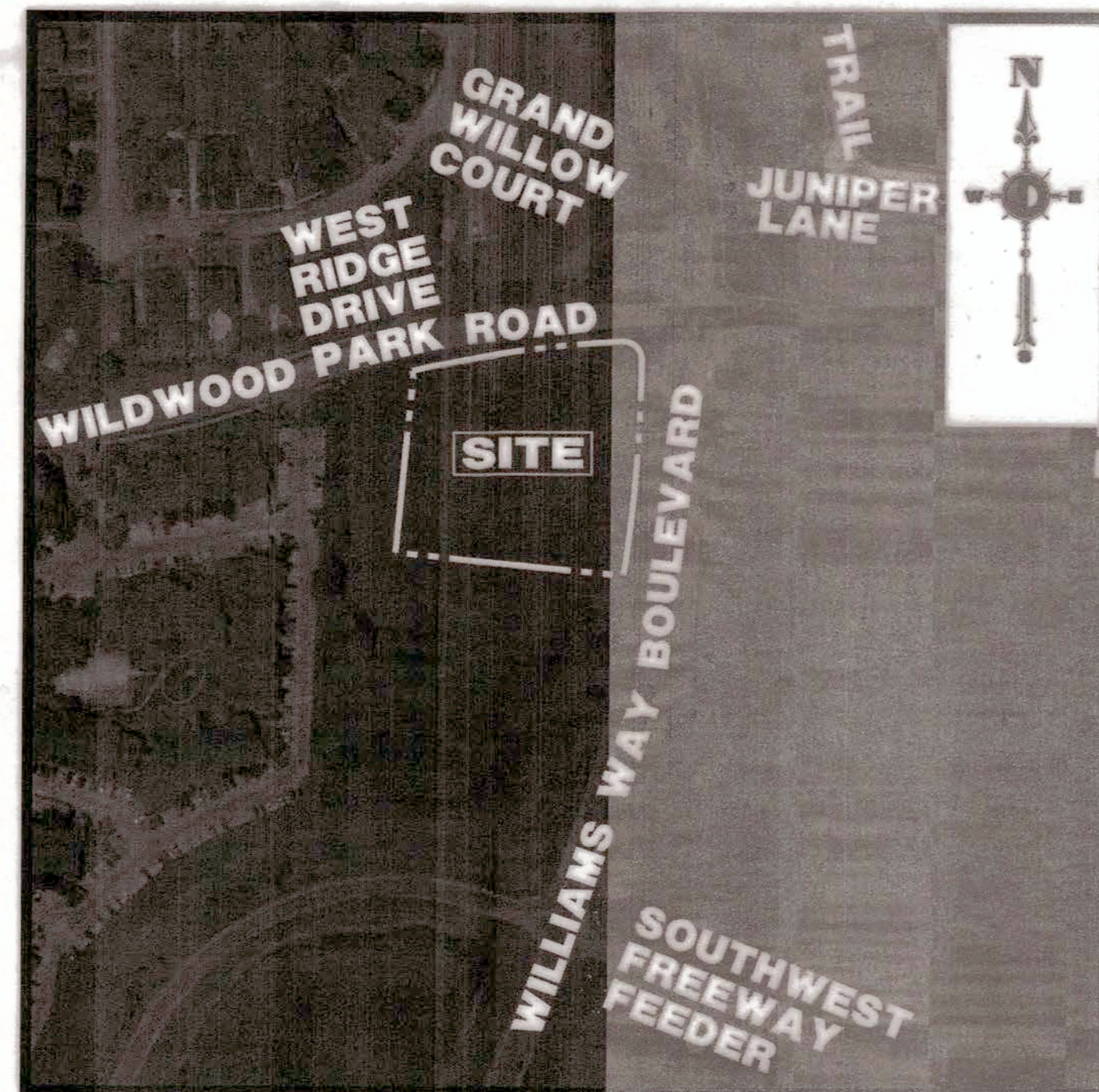
Vincent P. Forte
Vincent P. Forte

WARNING - Any unauthorized reproduction or alteration of this document is prohibited. This power of attorney is void unless seals are readable and the certification seal at the bottom is embossed. The background imprint, warning and verification instructions (on reverse) must be in blue ink.

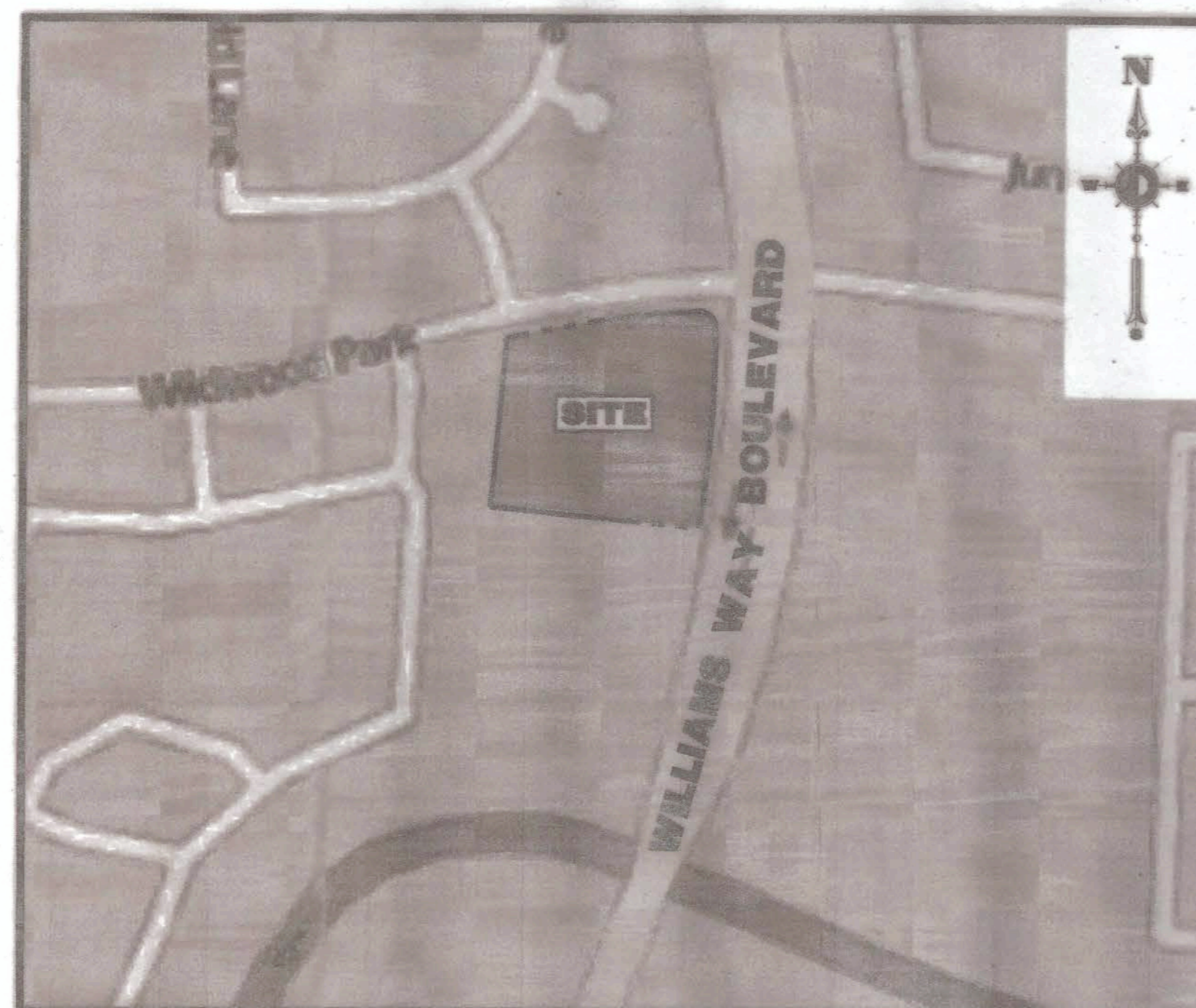
ENGINEERING CONSTRUCTION DRAWINGS

FOR FIRST HARTFORD REALTY CORPORATION PROPOSED CVS pharmacy

PARCEL #055-00-000-0683-901
4110 WILLIAMS WAY BOULEVARD
CITY OF RICHMOND
FORT BEND COUNTY, TEXAS, 77469



AREA MAP
1" = 200'



AREA MAP
1" = 200'



VICINITY MAP
1" = 2000' KEY MAP PAGE #606L

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FORT BEND COUNTY ENGINEER
ENGINEER: *Richard W. Stoffel, PE, PCE*
for *Richard W. Stoffel, P.E.*
DATE: 10/2/17
THESE SIGNATURES ARE VOID IF CONSTRUCTION HAS NOT COMMENCED IN (1) YEAR FROM DATE OF APPROVAL.
APPROVED: *Mary Jo Stagle*
DATE: 9/27/17

APPROVED:
CITY OF RICHMOND
Kelly R. Kallisa 3/17/17
KELLY R. KALLISA - CITY ENGINEER
TERRI VELA 1/22/17
TERRI VELA - CITY MANAGER

SITE BENCHMARK

TBM "A", SQUARE CUT ON TOP OF A "C" INLET LOCATED NEAR THE NORTHEAST CORNER OF THE SUBJECT TRACT AS SHOWN HEREON, ELEV.=72.35'

PROPERTY OWNER:

D & M SUGAR LAND REALTY, LLC
1310 MEADOW BAY COURT
SUGAR LAND, TX 77479

APPLICANT:

FIRST HARTFORD REALTY CORPORATION
149 COLONIAL ROAD
MANCHESTER, CT 06042-2307
T: 713-255-0280
CONTACT: JOHNN ORZODO

ARCHITECT:

GENESIS DESIGN GROUP, INC.
421 W. HANWOOD ROAD
HURST, TX 76054
T: 817-285-7318
CONTACT: BRIAN PRICE

ENGINEER:

DYNAMIC ENGINEERING CONSULTANTS, PC
(DBA) MINIST DYNAMIC ENGINEERING CONSULTANTS, PC
14521 OLD KATY ROAD, SUITE 250
HOUSTON, TX 77079
T: 281-785-6400
CONTACT: JOHN MCINTYRE

CITY BENCHMARK

CONTROL BENCHMARK: CITY OF SUGAR LAND BENCHMARK
SGR-RM020, ELEV.=71.4059' NAVD83, 2001 ADJUSTMENT.

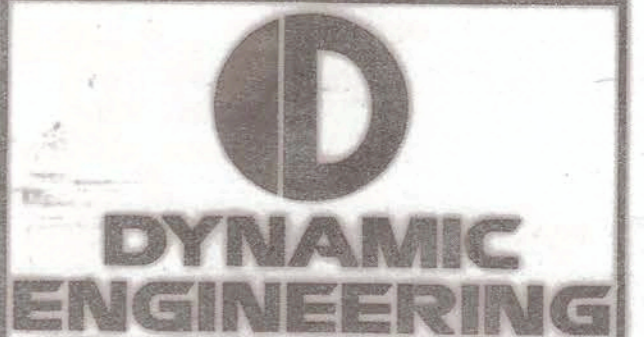
PREPARED BY
DYNAMIC ENGINEERING CONSULTANTS, P.C.
TEXAS REGISTERED ENGINEERING FIRM NO. F-13660
14521 OLD KATY ROAD - SUITE 250
HOUSTON, TEXAS 77079
WWW.DYNAMICCEC.COM

Plotted: 07/19/17 - 4:46 PM, By: mpozzi
File: P:\PROJECTS\0469 First Hartford\16-187 Richmond TX - SMC Williams Way\Draw\Site Plans\046916187503.dwg, ---> 01 COVER

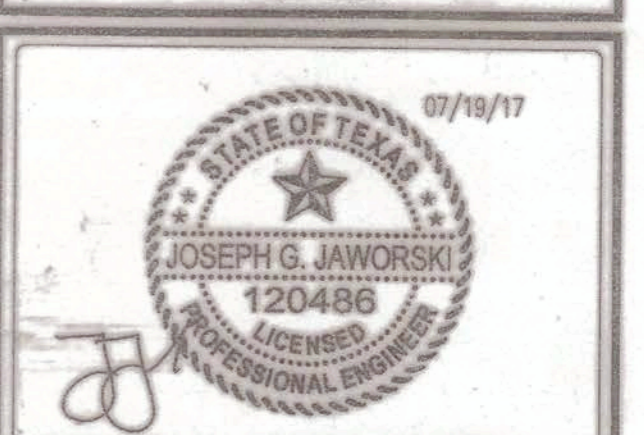


14. K CORNER ENTRY
BUMP-OUT DRIVE-THRU (LEFT)
STORE NUMBER: 11096

4110 WILLIAMS WAY BOULEVARD
CITY OF RICHMOND, FORT BEND COUNTY, TEXAS, 77469
CS PROJECT NUMBER: 99715



Corporate Office
10000 Katy Road, Suite 250
Houston, TX 77079
Tel: 281-785-6400
Fax: 281-785-6401
www.dynamiccec.com



JOSEPH G. JAWORSKI
PROFESSIONAL ENGINEER
TEXAS LICENSE NO. 120486

DEVELOPER:
FIRST HARTFORD REALTY CORPORATION
149 COLONIAL ROAD
MANCHESTER, CT 06042-2307
TEL: (860) 648-6555
FAX: (860) 648-6572
PROJECT CONTACT: JOHN TOIC

Rev.	Date	Comments	By
1	05/11/17	REV. PER AGENCY COMMENTS	DNH
2	05/15/17	REV. PER CITY COMMENTS	DNH
3	07/19/17	REV. PER CITY COMMENTS	MAL

SCALE: (A) AS SHOWN
(B) SHOWN

DRAWN BY: DNH

DESIGNED BY: JAK

CHECKED BY: SES

DATE: 02/17/17

JOB NO: 0469-16-197

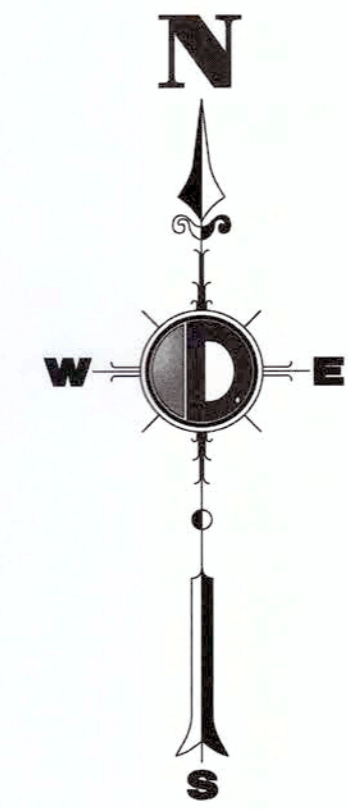
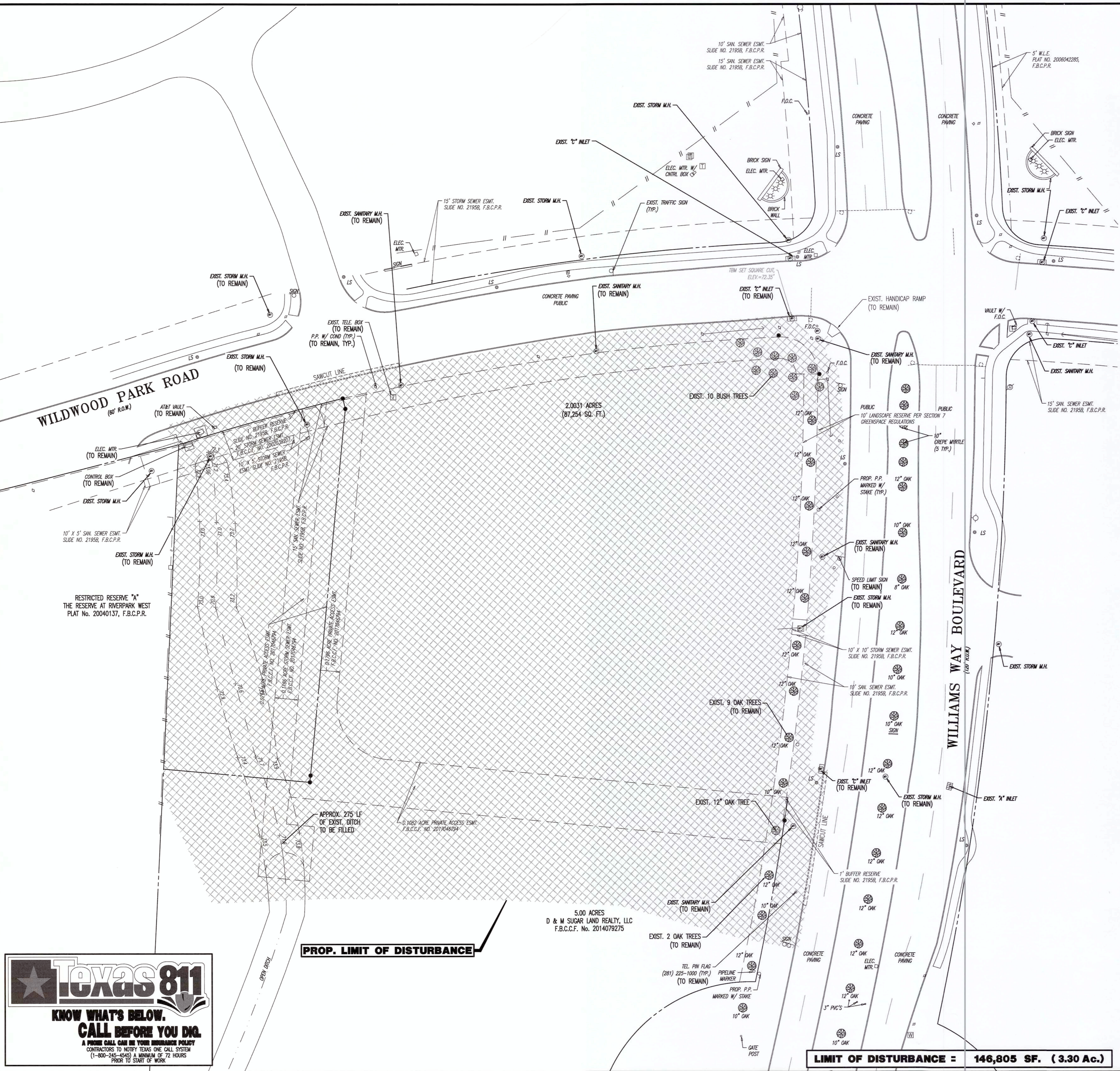
TITLE: **COVER SHEET**

SHEET No: **01** OF 36

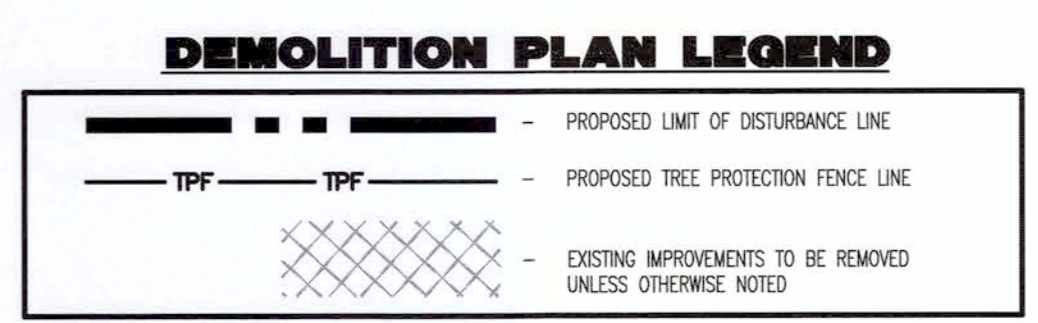
COMMENTS:
THIS PLAN IS FOR APPROVAL PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION.

Rev. 3

Plotted: 07/19/17 - 5:09 PM, By: mhpaz
 File: P:\CADD\PROJECTS\0469\0469.dwg Site: Plano\0469\19175533.dwg -> 04 DEMOLITION



- NOTES**
- THE SURVEYOR HAS ABSTRACTED THE SUBJECT PROPERTY.
 - SURVEY WAS CREATED WITH THE BENEFIT OF A TITLE COMMITMENT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY UNDER G.F. NO. FAH16003470, DATED JUNE 16, 2016.
 - BASIS OF BEARINGS FOR THE SURVEY IS THE DEED OF RECORD IN F.B.C.C.F. NUMBER 2014079275.
 - BY GRAPHIC PLOTTING ONLY, THE SUBJECT TRACT IS LOCATED IN ZONE "Y"(SHADED ON THE FIRM MAP) WITH A SPECIAL NOTE, ZONE "X"-SHADED" IS DEFINED AS AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD. THE SPECIAL NOTES READS AS FOLLOWS: "THIS AREA IS SHOWN AS BEING PROTECTED FROM THE 1-PERCENT-ANNUAL-CHANCE OR GREATER FLOOD HAZARD BY A LEVEE SYSTEM, OVERTOPPING OR FAILURE OF ANY LEVEE SYSTEM IS POSSIBLE." AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NO. 48157C0265 L, DATED APRIL 2, 2014.
 - CONTROL BENCHMARK: CITY OF SUGAR LAND BENCHMARK SGR-RM020, ELEV.=71.4059' NAVD88, 2001 ADJUSTMENT.
 - TM 10" X 10" SAN. SEWER ESMT. SLIDE NO. 21959, F.B.C.P.R. HEREON, ELEV.=72.35'
 - UNDERGROUND UTILITIES SHOWN HEREON MARKED IN FIELD BY OTHERS.
 - SUBJECT TO BLANKET EASEMENT AGREEMENT BETWEEN SOUTHWEST 545, L.P., A TEXAS LIMITED PARTNERSHIP AND EN-TOUCH SYSTEMS, INC., A TEXAS CORPORATION OF RECORD IN F.B.C.C.F. NUMBER 2001088036, AND RE-RECORDED UNDER F.B.C.C.F. NUMBER 2001105426.
 - SUBJECT TO RESTRICTIONS OF RECORD IN F.B.C.C.F. NUMBER 2003071811.
 - BEFORE DEMOLITION COORDINATE WITH TERRY'S LANDSCAPE AND DESIGN, JAMES TERRY AT (713) 574-0058. ALL IRRIGATION DAMAGED CAUSED BY THE CONSTRUCTION OF THIS PROJECT WILL BE REPAIRED TO ITS EXISTING OR BETTER CONDITION BY CVS'S CONTRACTOR.



APPROVED: *Max D.*
 Development Coordinator
 DATE: 9/27/17

LIMIT OF DISTURBANCE = 146,805 SF. (3.30 Ac.)

Texas 811
 KNOW WHAT'S BELOW.
 CALL BEFORE YOU DIG.
 A PHONE CALL CAN BE YOUR DEMOLITION POLICY
 CONTRACTORS TO NOTIFY TEXAS ONE CALL SYSTEM
 (1-800-245-4545) A MINIMUM OF 72 HOURS
 PRIOR TO START OF WORK

CVS pharmacy
 14 K CORNER ENTRY
 BUMP-OUT DRIVE-THRU (LEFT)
 STORE NUMBER: 11096
 4110 WILLIAMS WAY BOULEVARD
 CITY OF RICHMOND, FORT BEND COUNTY, TEXAS, 77469
 CS PROJECT NUMBER: 99715

DYNAMIC ENGINEERING

Central NJ Office: 240 BROADWAY, SUITE 210, LANS DALES, NJ 07719
 North NJ Office: 240 BROADWAY, SUITE 210, LANS DALES, NJ 07719
 South NJ Office: 8 GOODHOPE ROAD, SUITE 100, TOWNSHIP OF HILLSBORO, NJ 08064
 PA Office: 790 NEWPORT TOWNSHIP ROAD, SUITE 405, NEWPORT, PA 19808
 Dallas Texas Office: 1301 CAPITAL EXPANSION COURT, SUITE 210, ARLING HEIGHTS, TX 76010
 Houston TX Office: 1044 WESTHEIMER ROAD, SUITE 210, HOUSTON, TX 77030
 Austin Texas Office: 101 MOORE BUSINESS CENTER, SUITE 200, AUSTIN, TX 78704

07/19/17
JOSEPH G. JAWORSKI
 120486
 LICENSED PROFESSIONAL ENGINEER
 JOSEPH G. JAWORSKI
 PROFESSIONAL ENGINEER
 TEXAS LICENSE No. 120486

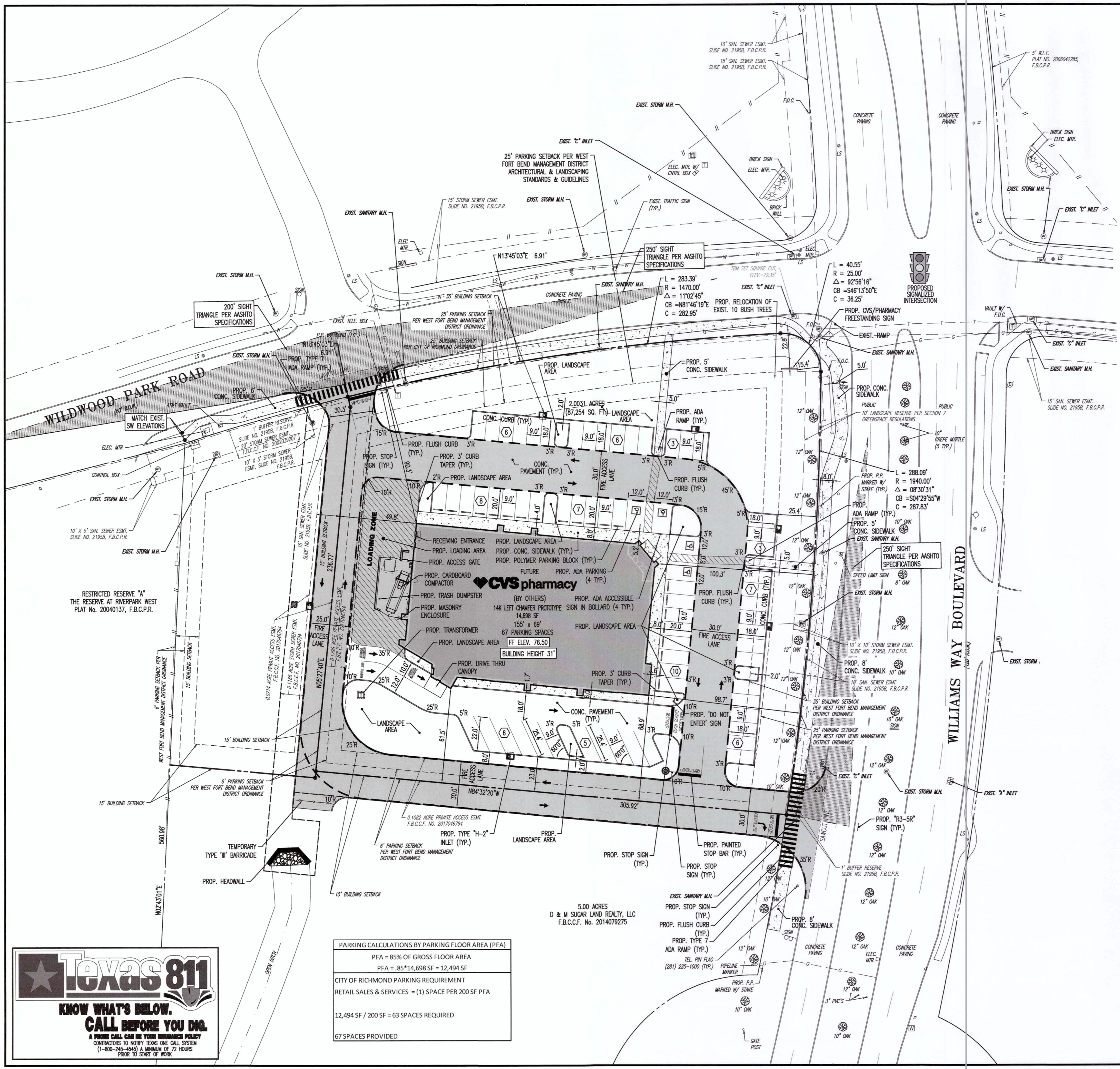
DEVELOPER:
FIRST HARTFORD REALTY CORPORATION
 145 COLONIAL ROAD
 MANCHESTER, CT 06042-2307
 TEL: (860) 646-6555
 FAX: (860) 646-8572
 PROJECT CONTACT: JOHN TOIC

Rev.	Date	Comments	By
1	05/11/17	REV. PER AGENCY COMMENTS	DNH
2	05/15/17	REV. PER CITY COMMENTS	DNH
3	07/19/17	REV. PER CITY COMMENTS	MAL

SCALE: (H) 1"=30'
 (V) 1"=30'

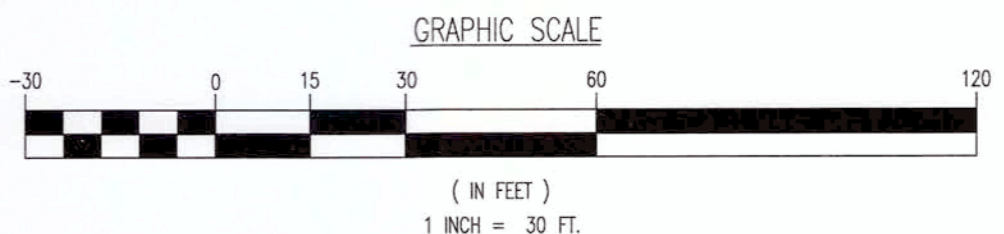
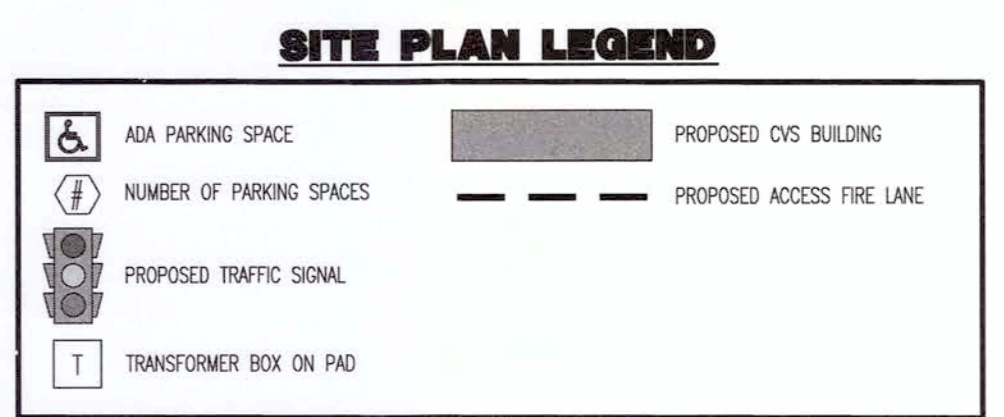
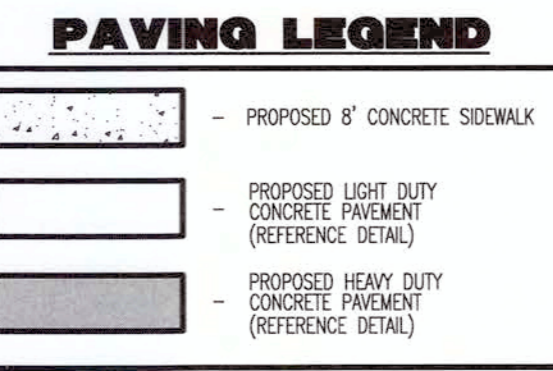
DRAWN BY: DNH/GRY
 DESIGNED BY: JAK
 CHECKED BY: SES
 DATE: 02/17/17
 JOB No: 0469-16-197
 TITLE: **DEMOLITION PLAN**
 SHEET No: **04** of 36
 COMMENTS:
 THIS PLAN IS FOR APPROVAL PROCESS ONLY AND MAY NOT BE USED FOR CONSTRUCTION
 Rev. # 3

Plotted: 07/19/17 - 4:42 PM. By: mlopez
 File: P:\0262\PROJECTS\0469 Final Hartford\16-197 Richmond TX - SNC Williams Way\Draw\Site Plans\046916197555.dwg, ----> 05 SITE



NOTES

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- SUBJECT TO RESTRICTIONS OF RECORD IN F.B.C.C.F. NUMBER 2003071811.



APPROVED: *[Signature]*
 Development Coordinator
 DATE: 9/27/17

PARKING CALCULATIONS BY PARKING FLOOR AREA (PFA)

PFA = 85% OF GROSS FLOOR AREA
 PFA = .85 * 14,698 SF = 12,494 SF

CITY OF RICHMOND PARKING REQUIREMENT
 RETAIL SALES & SERVICES = (1) SPACE PER 200 SF PFA

12,494 SF / 200 SF = 63 SPACES REQUIRED

67 SPACES PROVIDED

Texas 811
 KNOW WHAT'S BELOW.
 CALL BEFORE YOU DIG.
 A PHONE CALL CAN BE YOUR HIGHEST PRIORITY
 CONTRACTORS TO NOTIFY TEXAS ONE CALL SYSTEM
 (1-800-245-4845) A MINIMUM OF 72 HOURS
 PRIOR TO START OF WORK

CVS pharmacy
 14 K CORNER ENTRY
 BUMP-OUT DRIVE-THRU (LEFT)
 STORE NUMBER: 11096

4110 WILLIAMS WAY BOULEVARD
 CITY OF RICHMOND, FORT BEND COUNTY, TEXAS, 77469
 CS PROJECT NUMBER: 99715

DYNAMIC ENGINEERING

Central NJ Office: 732.974.3311
 North NJ Office: 908.871.5522
 South NJ Office: 856.974.3311
 PA Office: 717.871.5522
 Dallas Texas Office: 972.534.3311
 Houston TX Office: 281.440.3311

STATE OF TEXAS
 JOSEPH G. JAWORSKI
 120486
 LICENSED PROFESSIONAL ENGINEER
 TEXAS LICENSE No. 120486

DEVELOPER:
FIRST HARTFORD REALTY CORPORATION
 145 COLONIAL ROAD
 MANCHESTER, CT 06042-2307
 TEL: (860) 646-6555
 FAX: (860) 646-8572
 PROJECT CONTACT: JOHN TOIC

Rev.	Date	Comments	By
1	05/11/17	REV. PER AGENCY COMMENTS	DNH
2	05/15/17	REV. PER CITY COMMENTS	DNH
3	07/19/17	REV. PER CITY COMMENTS	MAL

SCALE: (H) 1"=30'
 (V) 1"=30'

DRAWN BY: DNH/GRY
 DESIGNED BY: JAK
 CHECKED BY: SES
 DATE: 02/17/17
 JOB No: 0469-16-197

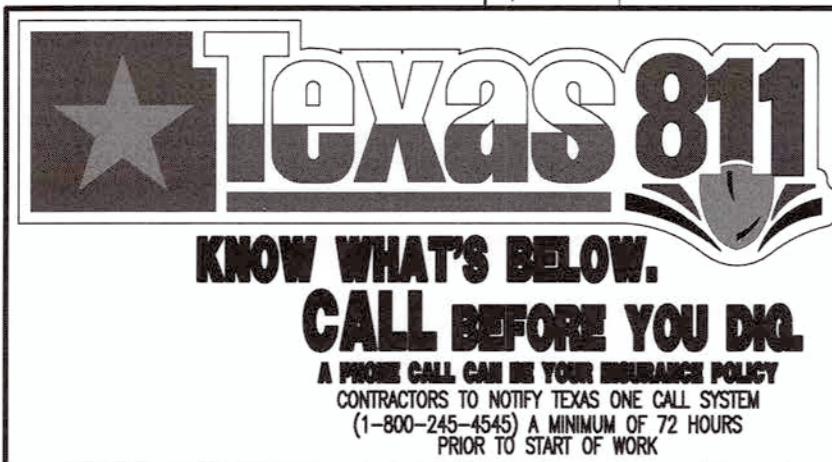
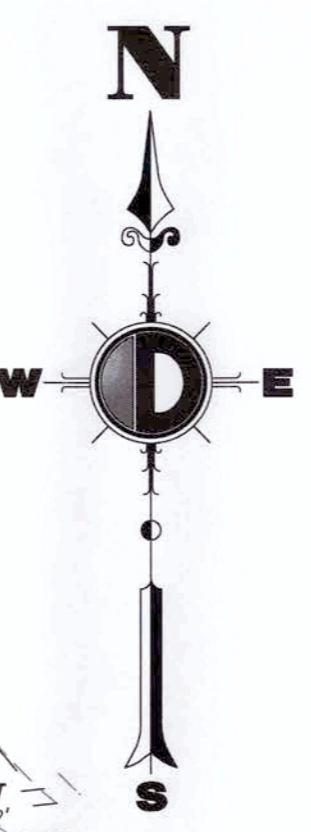
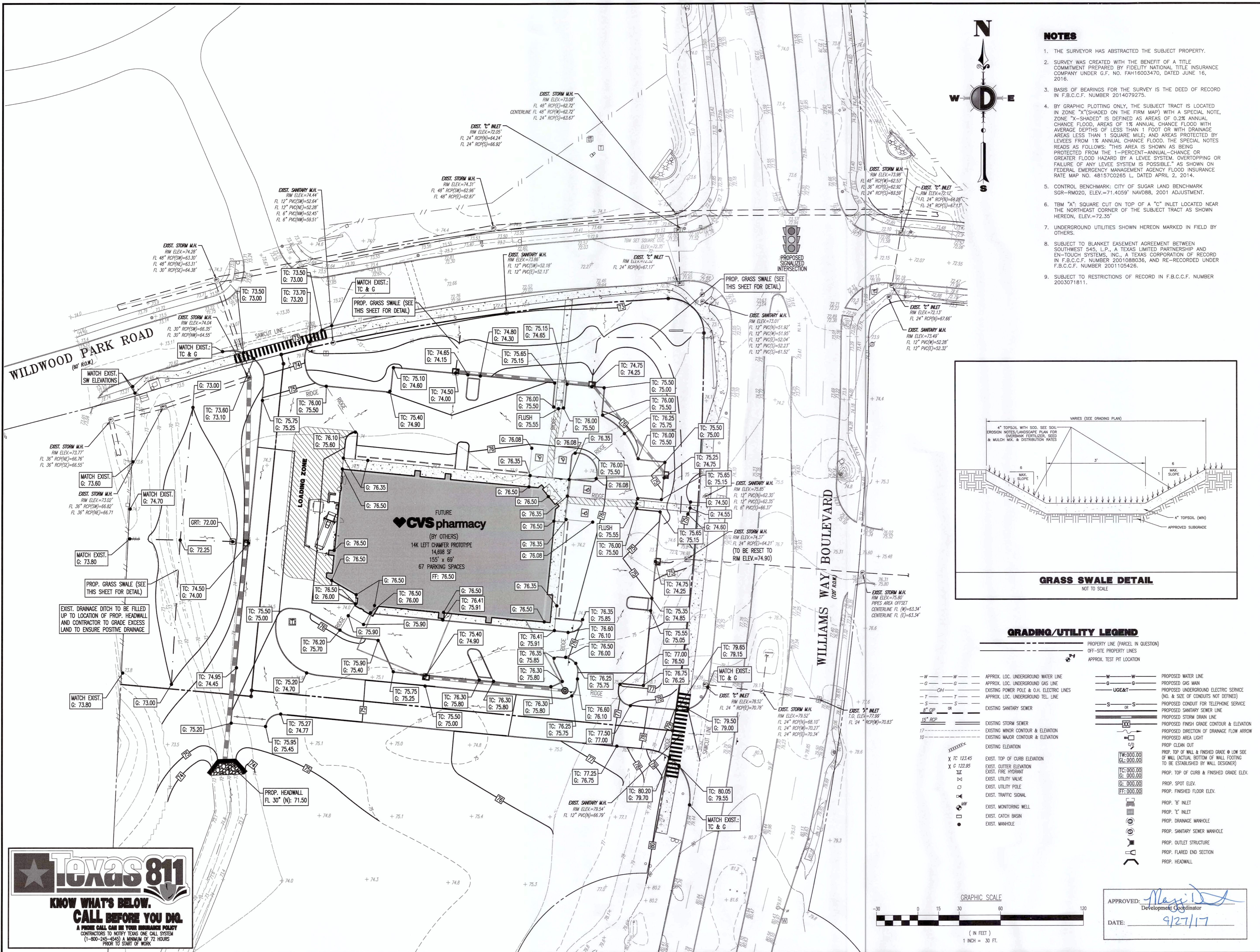
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SHEET No: **05** OF 36

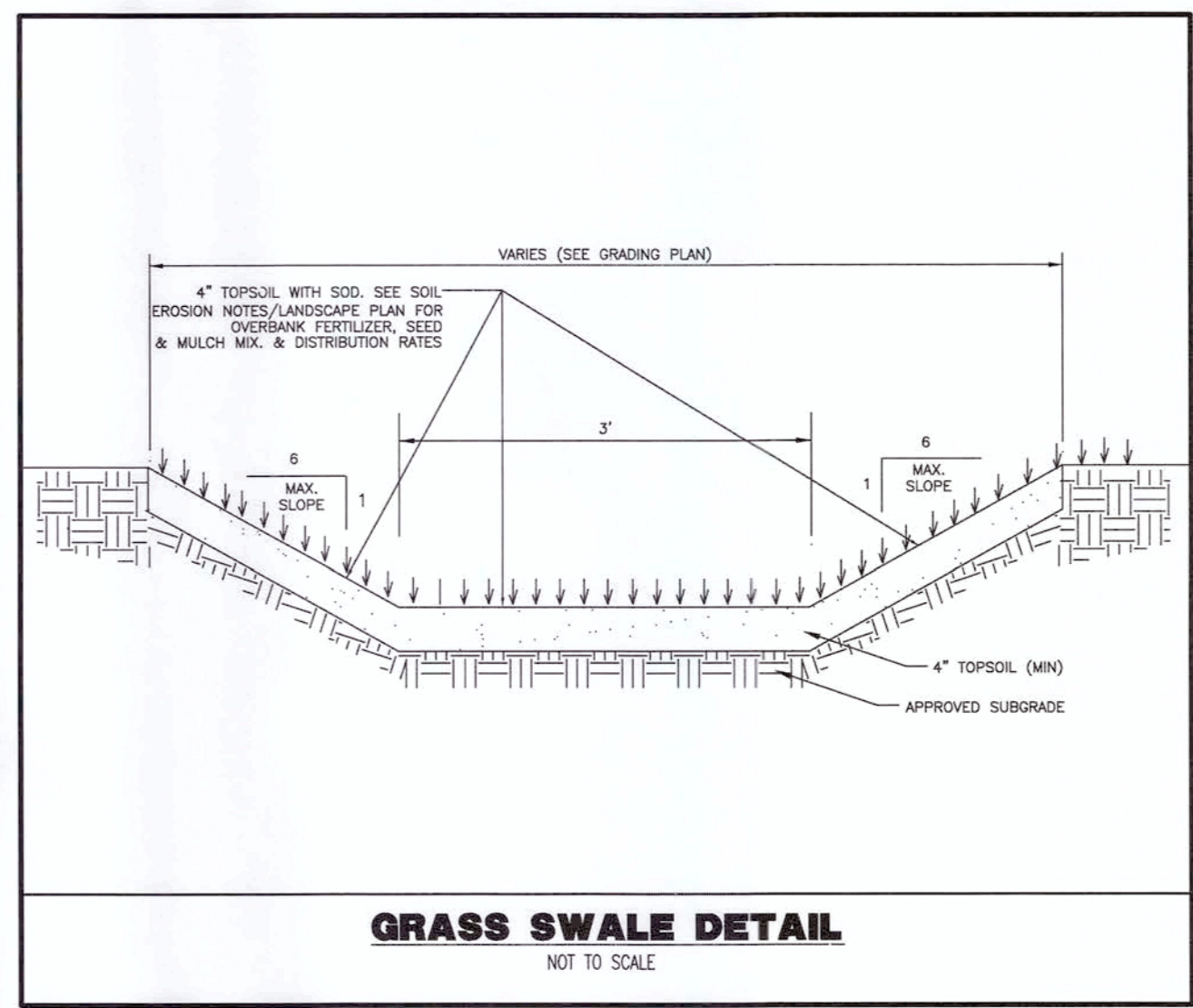
COMMENTS:
 THIS PLAN IS FOR APPROVAL PROCESS ONLY AND MAY NOT BE USED FOR CONSTRUCTION

Rev. # 3

Plotted: 07/18/17 - 5:10 PM, By: migonz
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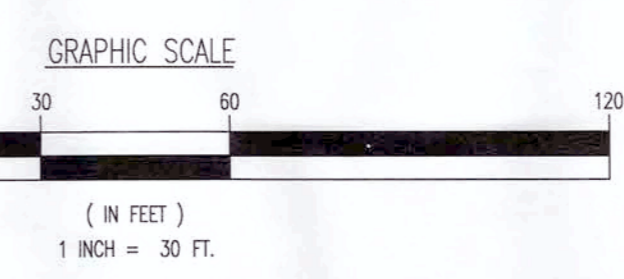



- NOTES**
1. THE SURVEYOR HAS ABSTRACTED THE SUBJECT PROPERTY.
 2. SURVEY WAS CREATED WITH THE BENEFIT OF A TITLE COMMITMENT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY UNDER G.F. NO. FAH16003470, DATED JUNE 16, 2016.
 3. BASIS OF BEARINGS FOR THE SURVEY IS THE DEED OF RECORD IN F.B.C.C.F. NUMBER 2014079275.
 4. BY GRAPHIC PLOTTING ONLY, THE SUBJECT TRACT IS LOCATED IN ZONE "X" (SHADED ON THE FIRM MAP) WITH A SPECIAL NOTE, ZONE "X" IS DEFINED AS AREAS OF 0.2% ANNUAL CHANGE FLOOD, AREAS OF 1% ANNUAL CHANGE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANGE FLOOD. THE SPECIAL NOTES READS AS FOLLOWS: "THIS AREA IS SHOWN AS BEING PROTECTED FROM THE 1-PERCENT-ANNUAL-CHANGE OR GREATER FLOOD HAZARD BY A LEVEE SYSTEM, OVERTOPPING OR FAILURE OF ANY LEVEE SYSTEM IS POSSIBLE." AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NO. 48157C0265 L, DATED APRIL 2, 2014.
 5. CONTROL BENCHMARK: CITY OF SUGAR LAND BENCHMARK SGR-RM020, ELEV.=71.4059' NAVD83, 2001 ADJUSTMENT.
 6. TBM "A", SQUARE CUT ON TOP OF A "C" INLET LOCATED NEAR THE NORTHEAST CORNER OF THE SUBJECT TRACT AS SHOWN HEREON, ELEV.=72.35'.
 7. UNDERGROUND UTILITIES SHOWN HEREON MARKED BY OTHERS.
 8. SUBJECT TO BLANKET EASEMENT AGREEMENT BETWEEN SOUTHWEST 545, L.P., A TEXAS LIMITED PARTNERSHIP AND EN-TOUCH SYSTEMS, INC., A TEXAS CORPORATION OF RECORD IN F.B.C.C.F. NUMBER 200108036, AND RE-RECORDED UNDER F.B.C.C.F. NUMBER 200110542.
 9. SUBJECT TO RESTRICTIONS OF RECORD IN F.B.C.C.F. NUMBER 2003071811.



GRADING/UTILITY LEGEND

- | | | | |
|---------|-------------------------------------------|----------|--------------------------------------------------------------------------------------------------------------------------|
| -W- | APPROX. LOC. UNDERGROUND WATER LINE | -W- | PROPOSED WATER LINE |
| -G- | APPROX. LOC. UNDERGROUND GAS LINE | -G- | PROPOSED GAS MAIN |
| -OH- | EXISTING POWER POLE & O.H. ELECTRIC LINES | -UE&T- | PROPOSED UNDERGROUND ELECTRIC SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED) |
| -T- | APPROX. LOC. UNDERGROUND TEL. LINE | -S- | PROPOSED CONDUIT FOR TELEPHONE SERVICE |
| -S- | EXISTING SANITARY SEWER | -S- | PROPOSED SANITARY SEWER LINE |
| 8" CP | | -SD- | PROPOSED STORM DRAIN LINE |
| 15" REP | | -D- | PROPOSED DIRECTION OF DRAINAGE FLOW ARROW |
| 10 | | -A- | PROPOSED AREA LIGHT |
| XTC | EXISTING ELEVATION | -C- | PROP. CLEAN OUT |
| XG | EXIST. TOP OF CURB ELEVATION | -W-0.00 | PROP. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER) |
| XE | EXIST. UTILITY ELEVATION | -C-0.00 | PROP. TOP OF CURB & FINISHED GRADE ELEV. |
| XV | EXIST. FIRE HYDRANT | -G-0.00 | PROP. SPOT ELEV. |
| XU | EXIST. UTILITY VALVE | -FF-0.00 | PROP. FINISHED FLOOR ELEV. |
| XI | EXIST. UTILITY POLE | | PROP. "B" INLET |
| XJ | EXIST. TRAFFIC SIGNAL | | PROP. "E" INLET |
| XK | EXIST. MONITORING WELL | | PROP. DRAINAGE MANHOLE |
| XL | EXIST. CATCH BASIN | | PROP. SANITARY SEWER MANHOLE |
| XM | EXIST. MANHOLE | | PROP. OUTLET STRUCTURE |
| | | | PROP. FLARED END SECTION |
| | | | PROP. HEADWALL |

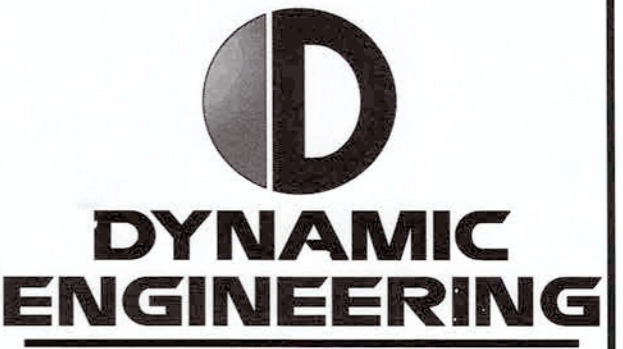


APPROVED: *Max [Signature]*
 Development Coordinator
 DATE: 9/27/17



14 K CORNER ENTRY BUMP-OUT DRIVE-THRU (LEFT) STORE NUMBER: 11096

4110 WILLIAMS WAY BOULEVARD
 CITY OF RICHMOND, FORT BEND COUNTY, TEXAS, 77469
CS PROJECT NUMBER: 99715



Central NJ Office
 1000 Morris Ave., Suite 100
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 Phone: 973.274.1000
 Fax: 973.274.1001

North NJ Office
 2450 Rte. 108, Suite 110
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 Phone: 732.979.0200
 Fax: 732.979.0201

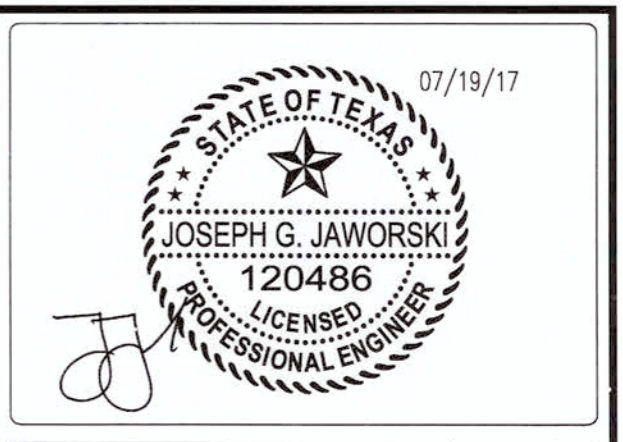
South NJ Office
 4000 Rte. 138, Suite 100
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 Phone: 609.581.0200
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DRAWN BY: DNH/GRY

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DATE: 02/17/17

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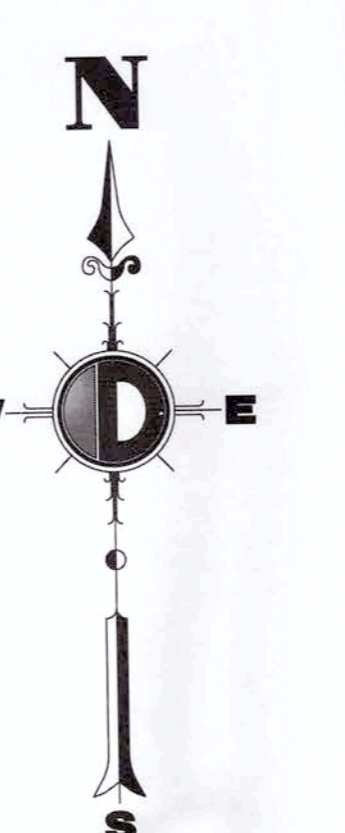
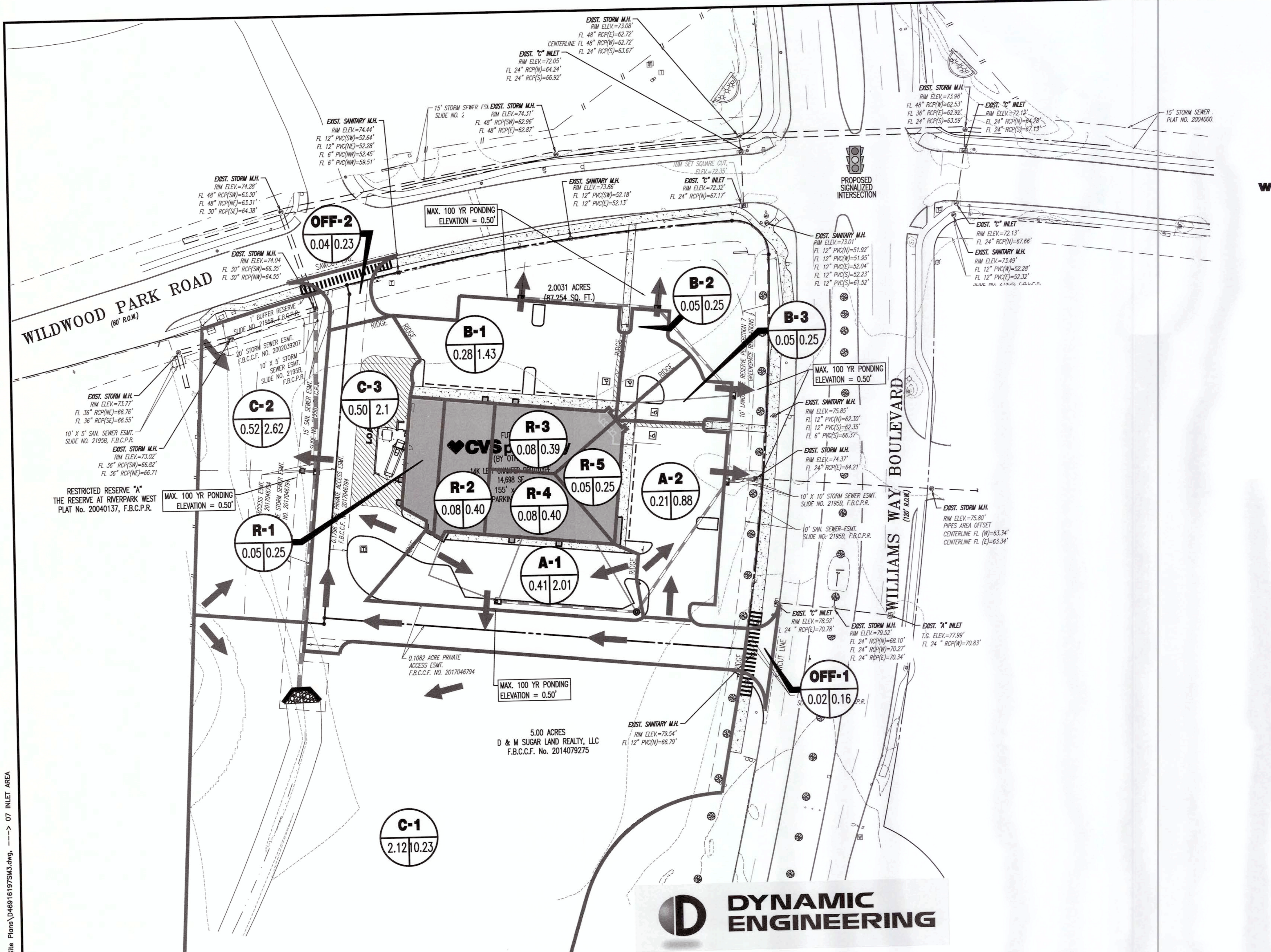
TITLE: **GRADING PLAN**

SHEET No: **06** OF 36

COMMENTS:
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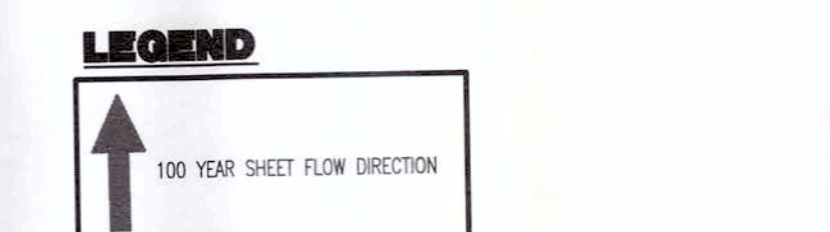
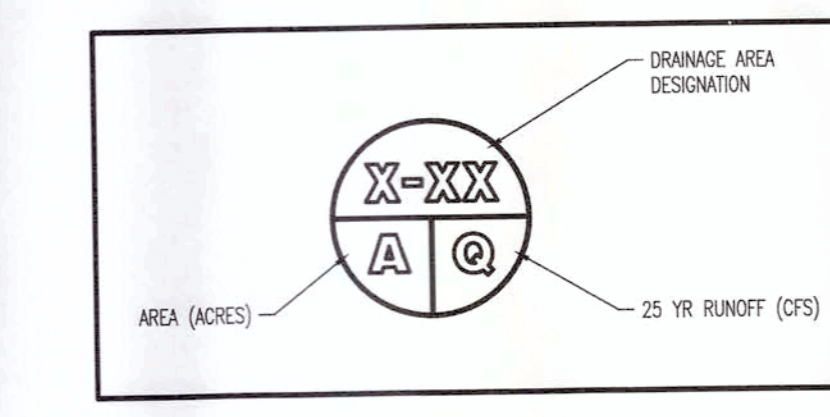
Rev. # 3

Plotted: 07/18/17 - 5:10 PM, By: mlopez, File: P:\DCPC PROJECTS\0469 First Hartford\16-197 Richmond TX - SWC Williams Way\Draw\Site Plans\046916197SM3.dwg, --> 07 INLET AREA



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- SUBJECT TO RESTRICTIONS OF RECORD IN F.B.C.C.F. NUMBER 2003071811.



NOTE: DRAINAGE CALCULATIONS FOR 25-YEAR STORM EVENTS ARE BASED ON THE FORT BEND COUNTY DRAINAGE CRITERIA MANUAL.

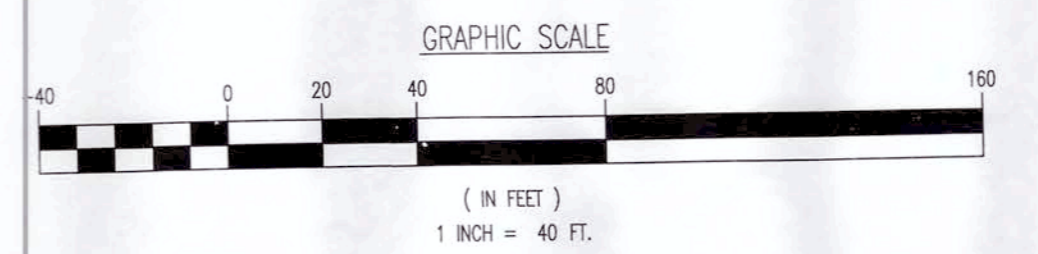


Project: Richmond CVS
Job #: 0469-16-197
Location: Richmond, TX
Design Storm: 25 year
Computed By: RAF
Checked By: JPM
Date: 5/3/2017

1) Design method used is Rational Method
2) Refer to Weighted Runoff Coefficient table for calculation of incremental areas and C values

System	Manhole From	Manhole To	Delta Area (Acres)	Runoff Coefficient	Sum of C x A	Intensity (in/hr)	Sum of Flow (CFS)	Time of Concentration (Minutes)	Pipe Length (Feet)	Reach (Feet)	Diameter or Rise (Inches)	Slope %	Mannings "n"	Design Capacity (CFS)	Design Velocity (FPS)	Fall (Feet)	Flowline Elevation Upstream (Feet)	Top of Pipe Elevation Upstream (Feet)	Flowline Elevation Downstream (Feet)	Top of Pipe Elevation Downstream (Feet)	Actual Velocity (FPS)	Hydraulic Gradient (%)	Change in Head (Feet)	Hyd. Grad. Upstream (Feet)	Hyd. Grad. Downstream (Feet)	Gates/Turb. Elevation (Feet)	Gutter Elevation (Feet)	Difference Hyd. Grad. (Feet)	Hyd. Grad. Curb Downstream		
																														Frequency	Time
SYSTEM A	A-1	MH-1	0.62	0.62	0.85	0.53	25	5.89	3.11	24.19	0.92	97	18	0.50	0.013	7.43	4.20	0.49	67.18	68.68	66.69	68.19	1.78	0.09	0.08	66.73	69.65	73.90	73.90	(4.17)	69.65
	MH-1	A-2	0.00	0.62	0.85	0.53	25	5.89	3.11	24.19	1.04	110	18	0.50	0.013	7.43	4.20	0.55	66.69	68.19	66.14	67.64	1.78	0.09	0.10	66.27	69.17	76.25	76.25	(6.50)	69.17
B-1	B-2	B-2	0.28	0.28	0.85	0.24	25	0.82	1.43	22.99	1.95	95	18	0.50	0.013	7.43	4.20	0.48	68.18	69.65	67.67	69.17	0.81	0.02	0.02	68.65	69.17	73.50	73.50	(3.85)	69.17
	B-3	B-3	0.05	0.33	0.85	0.28	25	5.99	1.68	23.23	1.40	80	18	0.50	0.013	7.43	4.20	0.40	67.67	69.17	67.27	68.77	0.95	0.03	0.02	69.17	68.77	74.25	74.25	(5.08)	68.77
B-2	A-2	A-2	0.18	0.51	0.85	0.43	25	5.92	2.57	23.88	0.88	59	18	0.50	0.013	7.43	4.20	0.30	67.27	68.77	66.97	68.47	1.45	0.08	0.04	68.77	68.47	74.25	74.25	(5.48)	68.47
	A-2	Ex MH WW	0.21	1.34	0.85	1.14	25	5.76	0.96	25.53	0.14	15	24	0.50	0.013	16.00	5.06	0.09	66.47	68.47	66.38	68.38	2.09	0.08	0.02	68.47	68.38	73.75	73.75	(4.98)	68.38
SYSTEM B	Headwall	C-1	2.12	2.12	0.85	1.80	25	6.68	10.23	26.41	1.26	157	30	0.50	0.013	29.00	5.9	0.79	71.50	74.00	70.71	73.21	2.08	0.06	0.10	74.00	73.21	71.50	71.50	2.50	73.21
	C-2	C-1	0.52	0.52	0.85	0.44	25	5.82	2.62	23.91	0.08	7	18	0.50	0.013	7.43	4.20	0.04	69.95	70.85	69.90	70.50	1.48	0.06	0.00	70.55	70.70	70.70	70.70	0.80	70.50
	C-1	Ex MH WP	0.50	3.14	0.85	2.87	25	5.80	14.95	27.23	0.63	115	30	0.50	0.013	29.00	5.9	0.58	67.43	69.93	66.65	69.35	3.05	0.13	0.15	69.93	69.35	73.50	73.50	(2.80)	69.35

Texas 811
KNOW WHAT'S BELOW.
CALL BEFORE YOU DIG.
A PHONE CALL CAN BE YOUR INSURANCE POLICY
CONTRACTORS TO NOTIFY TEXAS ONE CALL SYSTEM (1-800-245-4543) A MINIMUM OF 72 HOURS PRIOR TO START OF WORK.



APPROVED: *Mossy*
Development Coordinator
DATE: 9/27/17

CVS pharmacy
14 K CORNER ENTRY BUMP-OUT DRIVE-THRU (LEFT)
STORE NUMBER: 11096
4110 WILLIAMS WAY BOULEVARD
CITY OF RICHMOND, FORT BEND COUNTY, TEXAS, 77469
CS PROJECT NUMBER: 99715

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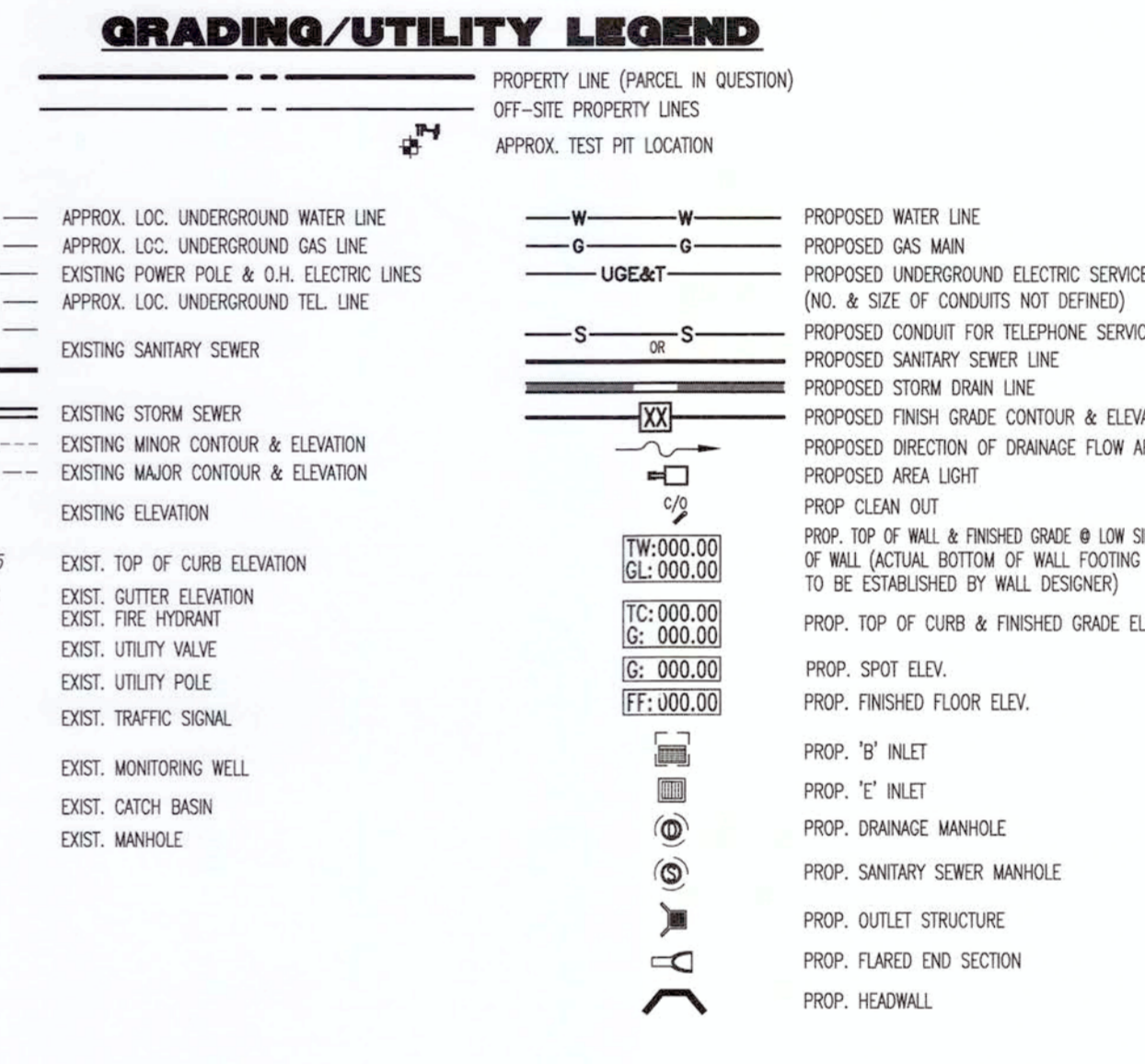
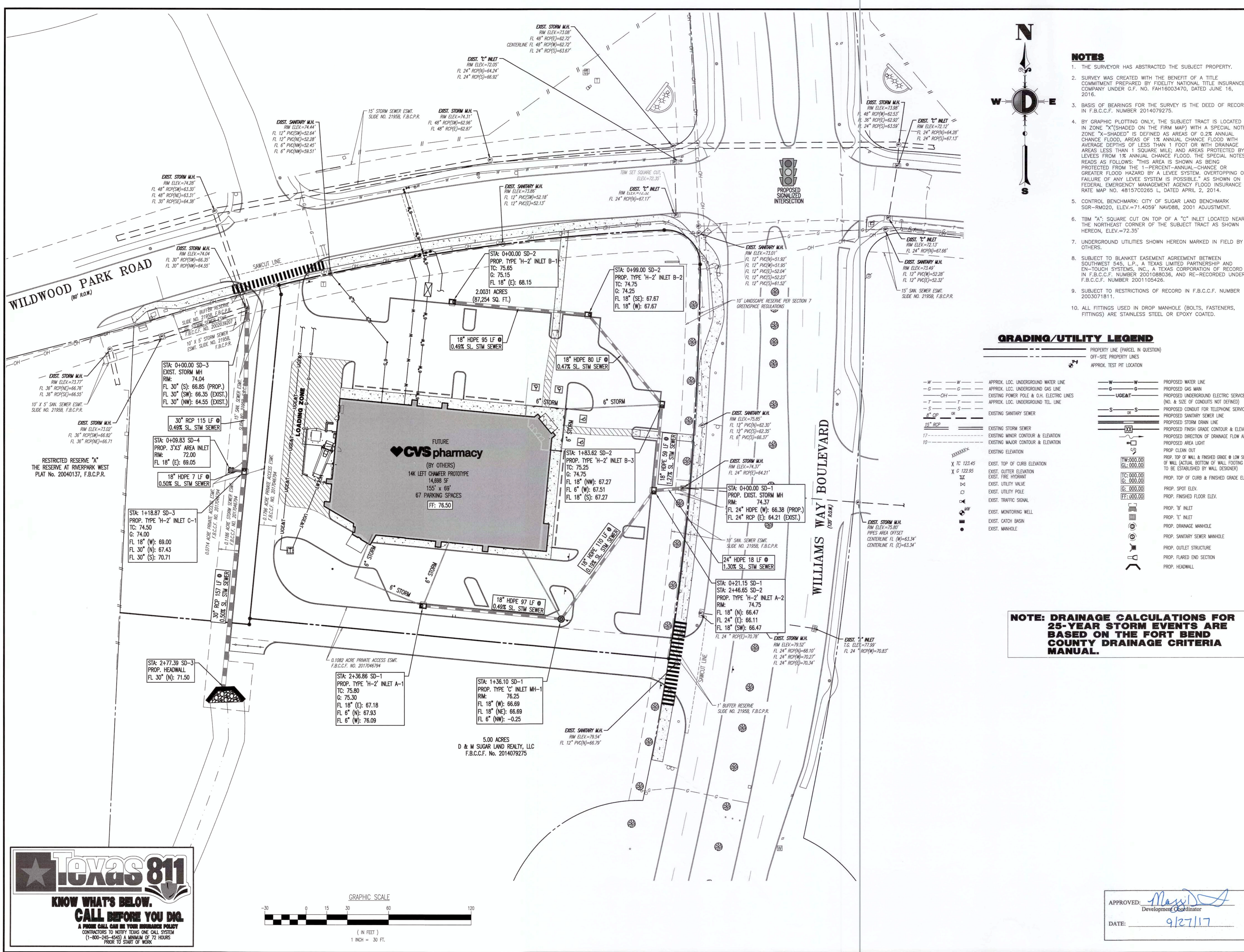
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INLET AREA MAP

SHEET No:
07
OF 36

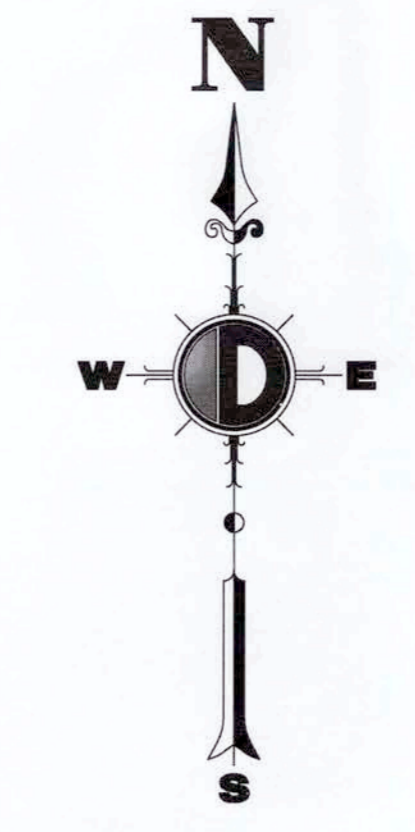
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Rev. # 3

Project: 07/18/17 - 5:18 PM By: mld...
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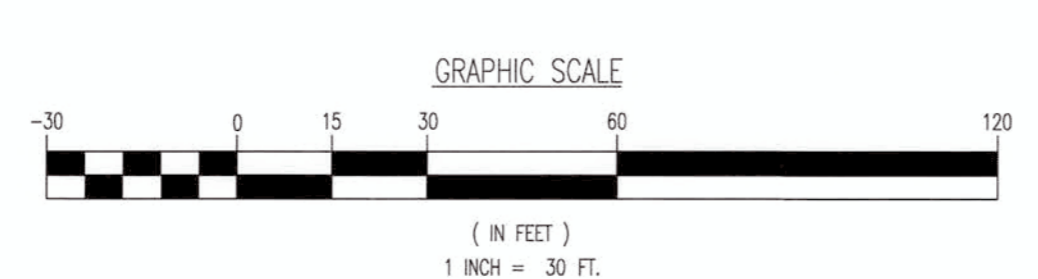


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CONTRACTORS TO NOTIFY TEXAS ONE CALL SYSTEM
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DATE: 9/27/17

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DYNAMIC ENGINEERING
Central NJ Office: 1900 MCH...
North NJ Office: 245...
South NJ Office: 6...
PA Office: 790...
Dallas Texas Office: 1301...
Austin Texas Office: 1700...

07/19/17
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TITLE:
STORM DRAINAGE PLAN

SHEET No: **08** of 36

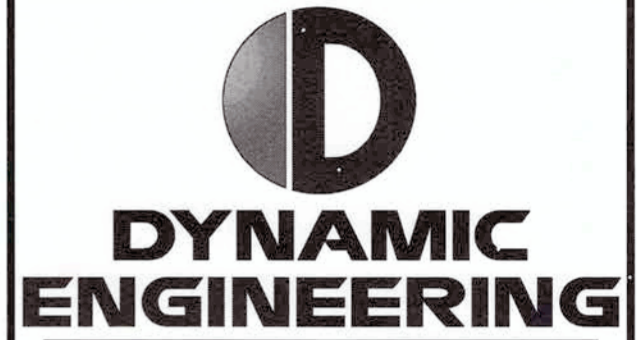
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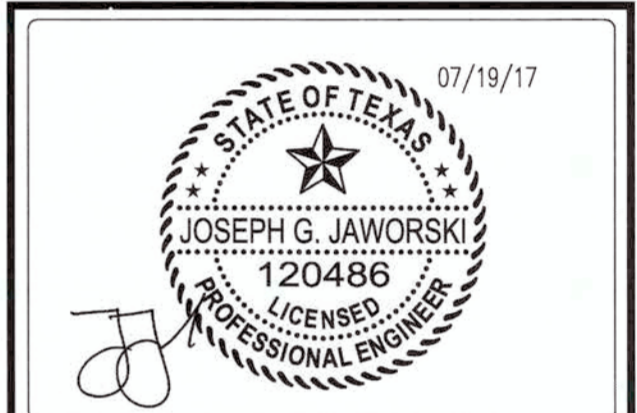


14 K CORNER ENTRY
BUMP-OUT DRIVE-THRU (LEFT)
STORE NUMBER: 11096

4110 WILLIAMS WAY BOULEVARD
CITY OF RICHMOND, FORT BEND COUNTY, TEXAS, 77469
CS PROJECT NUMBER: 99715



Central NJ Office: 781 West 10th St, Suite 110, Newark, NJ 07102
North NJ Office: 246 West 10th St, Suite 110, Newark, NJ 07102
South NJ Office: 8000 Route 138, Suite 200, Freehold, NJ 07728
PA Office: 790 North 10th St, Suite 425, Harrisburg, PA 17104
Houston TX Office: 15000 Katy Road, Suite 250, Houston, TX 77050
Austin Texas Office: 11000 N. Loop West, Suite 250, Austin, TX 78750



JOSEPH G. JAWORSKI
PROFESSIONAL ENGINEER
TEXAS LICENSE No. 120486

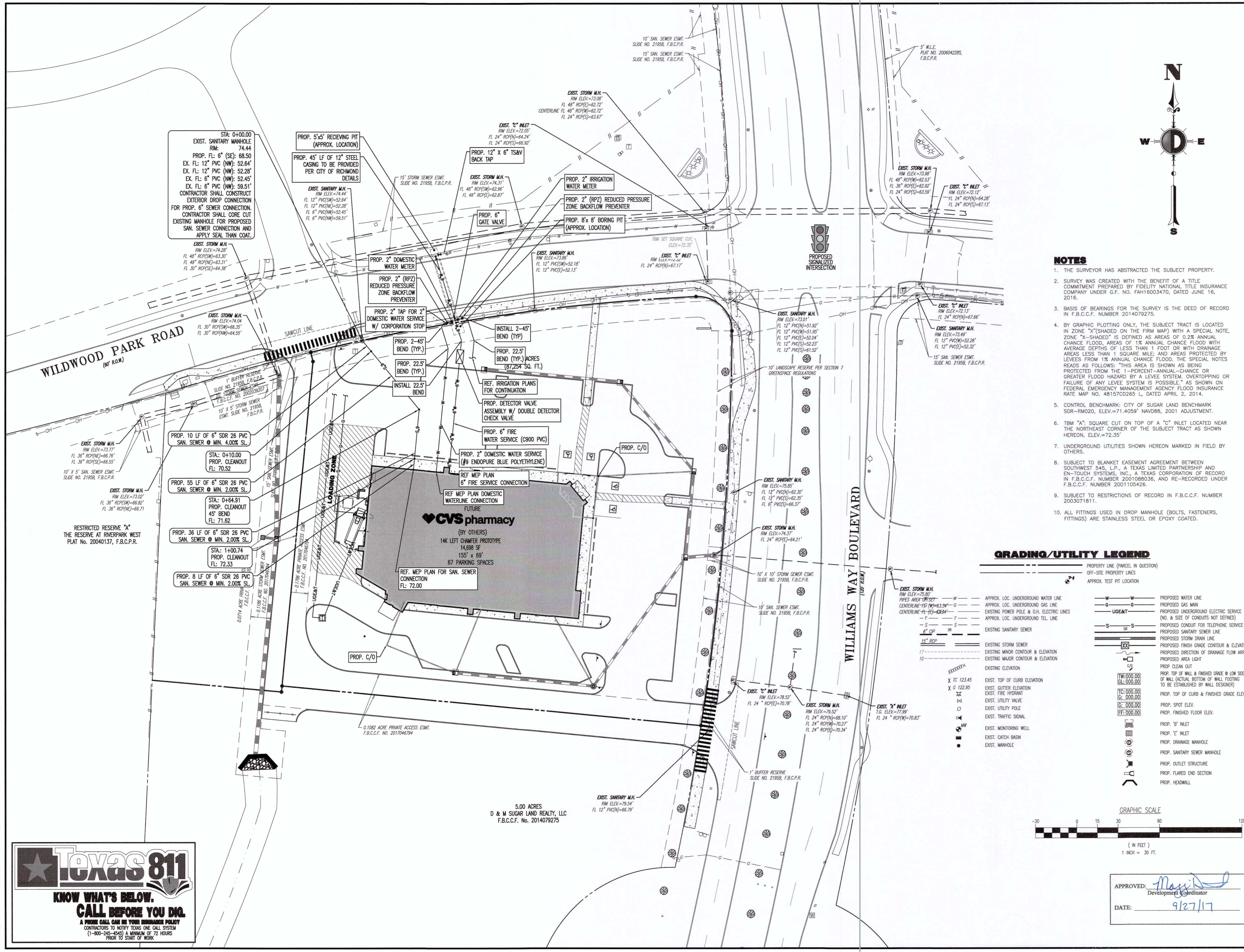
DEVELOPER:
FIRST HARTFORD REALTY CORPORATION
149 COLONIAL ROAD
MANCHESTER, CT 06042-2307
TEL: (860) 646-6555
FAX: (860) 646-8572
PROJECT CONTACT: JOHN TOIC

Rev.	Date	Comments	By
1	05/11/17	REV. PER AGENCY COMMENTS	DNH
2	05/15/17	REV. PER CITY COMMENTS	DNH
3	07/19/17	REV. PER CITY COMMENTS	MAL

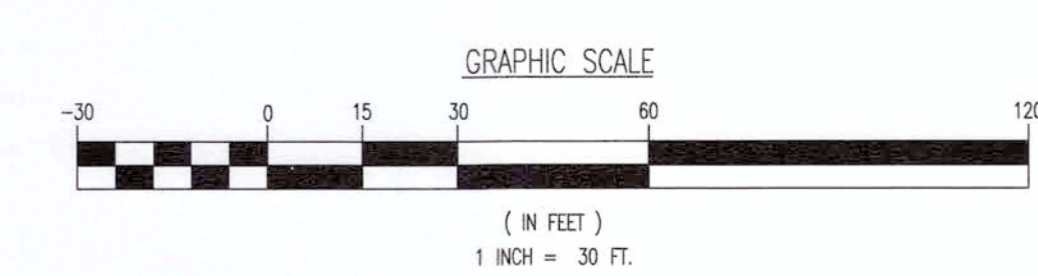
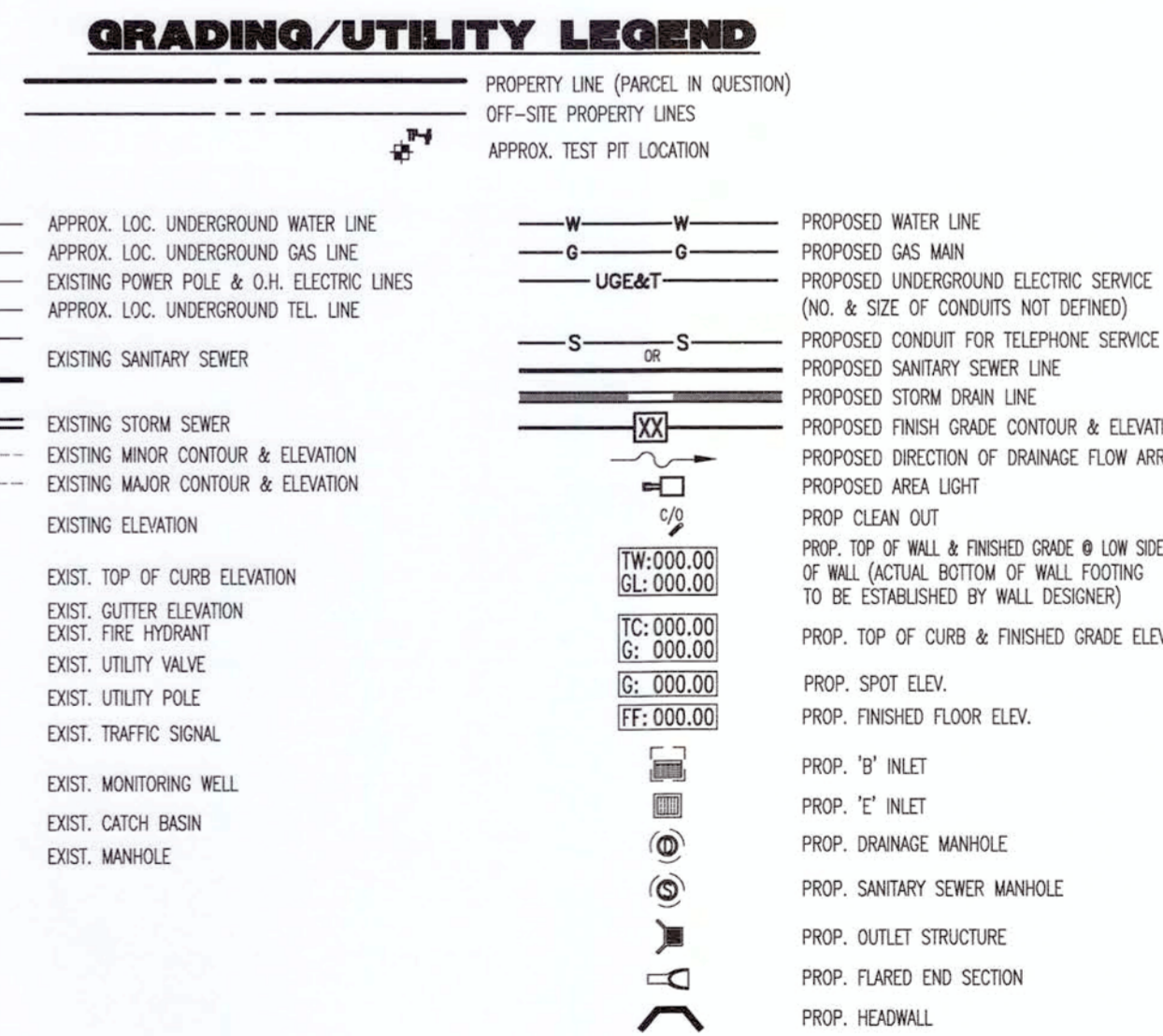
SCALE: (H) 1" = 30'
DRAWN BY: DNH/GRY
DESIGNED BY: JAK
CHECKED BY: SES
DATE: 02/17/17
JOB No: 0469-16-197

TITLE:
WATER & WASTEWATER
PLAN

SHEET No: **09** OF 36
COMMENTS:
THIS PLAN IS FOR APPROVAL PROCESS ONLY AND MAY NOT BE USED FOR CONSTRUCTION
Rev. # 3



- NOTES**
- THE SURVEYOR HAS ABSTRACTED THE SUBJECT PROPERTY.
 - SURVEY WAS CREATED WITH THE BENEFIT OF A TITLE COMMITMENT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY UNDER G.F. NO. FAH16003470, DATED JUNE 16, 2016.
 - BASIS OF BEARINGS FOR THE SURVEY IS THE DEED OF RECORD IN F.B.C.C.F. NUMBER 2014079275.
 - BY GRAPHIC PLOTTING ONLY, THE SUBJECT TRACT IS LOCATED IN ZONE "X" (SHADED ON THE FIRM MAP) WITH A SPECIAL NOTE. ZONE "X" IS DEFINED AS AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD. THE SPECIAL NOTES READS AS FOLLOWS: THIS AREA IS SHOWN AS BEING PROTECTED FROM THE 1-PERCENT-ANNUAL-CHANCE OR GREATER FLOOD HAZARD BY A LEVEE SYSTEM, OVERTOPPING OR FAILURE OF ANY LEVEE SYSTEM IS POSSIBLE. AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NO. 48157C0265 L, DATED APRIL 2, 2014.
 - CONTROL BENCHMARK: CITY OF SUGAR LAND BENCHMARK SGR-RM020, ELEV.=71.4059' NAVD83, 2001 ADJUSTMENT.
 - TBM "A", SQUARE CUT ON TOP OF A "C" INLET LOCATED NEAR THE NORTHEAST CORNER OF THE SUBJECT TRACT AS SHOWN HEREON, ELEV.=72.35'
 - UNDERGROUND UTILITIES SHOWN HEREON MARKED IN FIELD BY OTHERS.
 - SUBJECT TO BLANKET EASEMENT AGREEMENT BETWEEN SOUTHWEST 545, L.P., A TEXAS LIMITED PARTNERSHIP AND EN-TOUCH SYSTEMS, INC., A TEXAS CORPORATION OF RECORD IN F.B.C.C.F. NUMBER 2001088036, AND RE-RECORDED UNDER F.B.C.C.F. NUMBER 2001105426.
 - SUBJECT TO RESTRICTIONS OF RECORD IN F.B.C.C.F. NUMBER 2003071811.
 - ALL FITTINGS USED IN DROP MANHOLE (BOLTS, FASTENERS, FITTINGS) ARE STAINLESS STEEL OR EPOXY COATED.




APPROVED: *Matt D...*
Development Coordinator
DATE: 9/27/17

Plotted: 07/19/17 - 5:18 PM. By: mlozar. File: P:\CDEC PROJECTS\0469 First Hartford\16-197 Richmond TX - SMC Williams Way\Draw\Site Plans\0469\0197503.dwg -> 09 WATER & WASTEWATER

5.00 ACRES
D & M SUGAR LAND REALTY, LLC
F.B.C.C.F. No. 2014079275

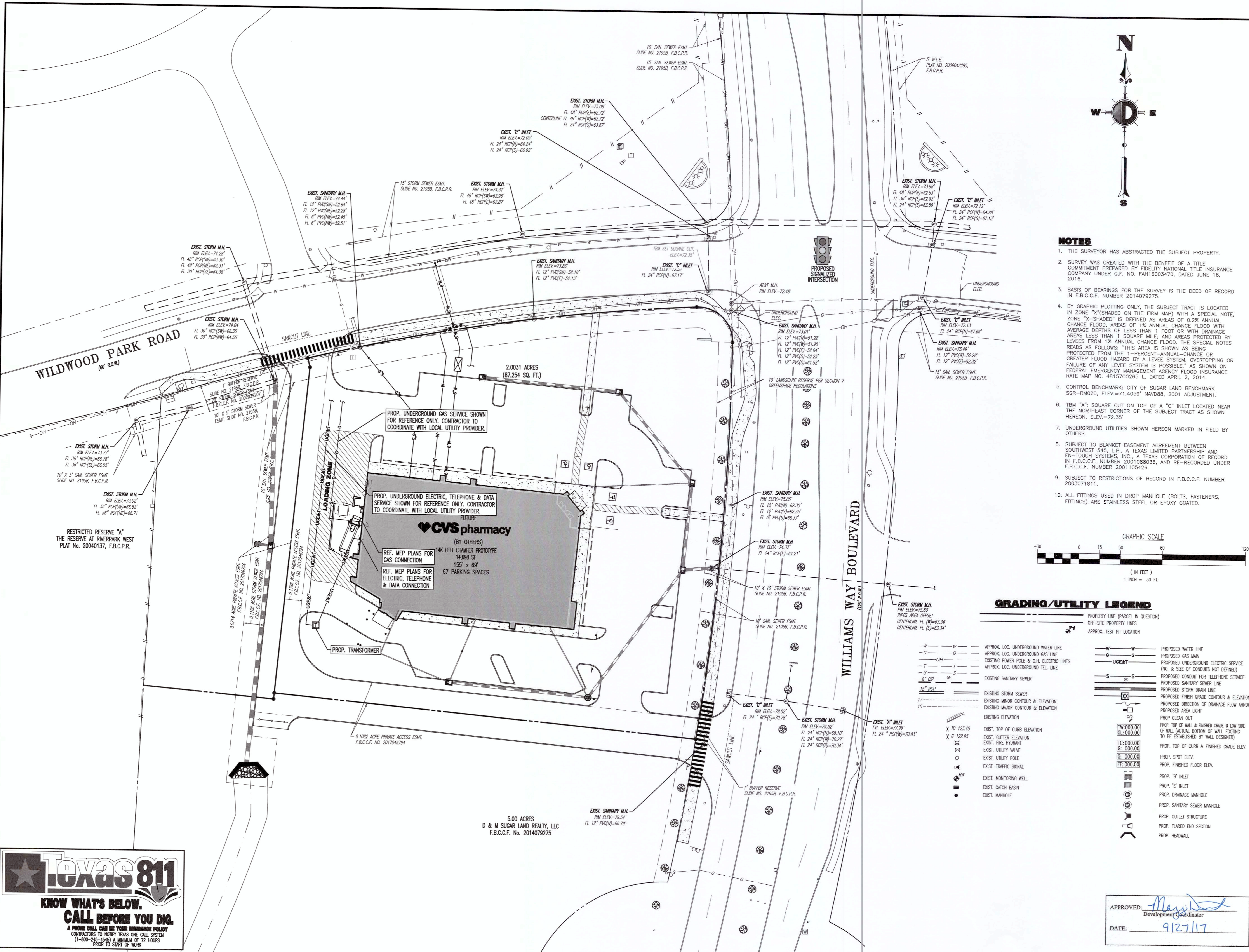
Printed: 07/18/17 - 5:19 PM. By: mlopez
 File: P:\Projects\Products\0469 First Hartford\18-197 Richmond TX - SMC Williams Way\DWG\Site\Plan\046918197SU3.dwg. -----> 10 FRANCHISE UTILITY



TEXAS 811

KNOW WHAT'S BELOW.
CALL BEFORE YOU DIG.


A PHONE CALL CAN BE YOUR SAFEST POLICY
 CONTRACTORS TO NOTIFY TEXAS ONE CALL SYSTEM
 (1-800-245-4545) A MINIMUM OF 72 HOURS
 PRIOR TO START OF WORK



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GRADING/UTILITY LEGEND

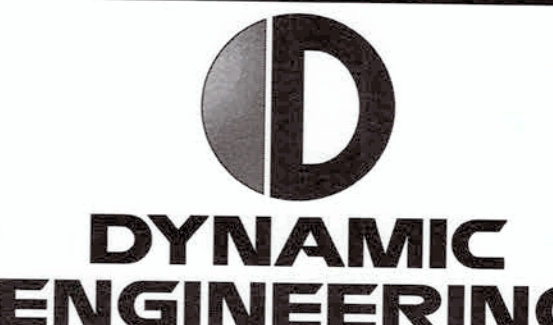
-W-W-	APPROX. LOC. UNDERGROUND WATER LINE	-W-W-	PROPOSED WATER LINE
-G-G-	APPROX. LOC. UNDERGROUND GAS LINE	-G-G-	PROPOSED GAS MAIN
-OH-OH-	EXISTING POWER POLE & O.H. ELECTRIC LINES	UG&T	PROPOSED UNDERGROUND ELECTRIC SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)
-T-T-	APPROX. LOC. UNDERGROUND TEL. LINE	-S-S-	PROPOSED CONDUIT FOR TELEPHONE SERVICE
-S-S-	EXISTING SANITARY SEWER	-S-S-	PROPOSED SANITARY SEWER LINE
16" RCP	EXISTING STORM SEWER	-S-S-	PROPOSED STORM DRAIN LINE
17	EXISTING MINOR CONTOUR & ELEVATION	-S-S-	PROPOSED FINISH GRADE CONTOUR & ELEVATION
10	EXISTING MAJOR CONTOUR & ELEVATION	-S-S-	PROPOSED DIRECTION OF DRAINAGE FLOW ARROW
XXXXXXX	EXISTING ELEVATION	-S-S-	PROPOSED AREA LIGHT
X TC 123.45	EXIST. TOP OF CURB ELEVATION	-S-S-	PROPOSED CLEAN OUT
X G 122.95	EXIST. GUTTER ELEVATION	TTW:0.00,00	PROP. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL
XX	EXIST. FIRE HYDRANT	GL:0.00,00	ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER
XX	EXIST. UTILITY VALVE	TC:0.00,00	PROP. TOP OF CURB & FINISHED GRADE ELEV.
XX	EXIST. UTILITY POLE	SE:0.00,00	PROP. SPOT ELEV.
XX	EXIST. TRAFFIC SIGNAL	GE:0.00,00	PROP. FINISHED FLOOR ELEV.
XX	EXIST. MONITORING WELL	FF:0.00,00	PROP. PROP. ELEV.
XX	EXIST. CATCH BASIN		PROP. "B" INLET
XX	EXIST. MANHOLE		PROP. "E" INLET
			PROP. DRAINAGE MANHOLE
			PROP. SANITARY SEWER MANHOLE
			PROP. OUTLET STRUCTURE
			PROP. FLARED END SECTION
			PROP. HEADWALL



CVS pharmacy


14 K CORNER ENTRY
 BUMP-OUT DRIVE-THRU (LEFT)
 STORE NUMBER: 11096

4110 WILLIAMS WAY BOULEVARD
 CITY OF RICHMOND, FORT BEND COUNTY, TEXAS, 77469
 CS PROJECT NUMBER: 99715



DYNAMIC ENGINEERING

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 South NJ Office: 8000 Route 138, Suite 100, Camden, NJ 08102
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 Dallas Texas Office: 13001 Capital Blvd., Suite 210, Dallas, TX 75242
 Houston TX Office: 14501 Old Katy Road, Suite 250, Houston, TX 77050
 Austin Texas Office: 11000 N. Mopac Expressway, Suite 200, Austin, TX 78751



07/19/17

JOSEPH G. JAWORSKI
 PROFESSIONAL ENGINEER
 TEXAS LICENSE NO. 120486

DEVELOPER:

FIRST HARTFORD REALTY CORPORATION
 149 COLONIAL ROAD
 MANCHESTER, CT 06042-2307
 TEL: (860) 646-8555
 FAX: (860) 646-8572
 PROJECT CONTACT: JOHN TOIC

Rev.	Date	Comments	By
1	05/11/17	REV. PER AGENCY COMMENTS	DNH
2	05/15/17	REV. PER CITY COMMENTS	DNH
3	07/19/17	REV. PER CITY COMMENTS	MAL

SCALE: (H) 1" = 30'
(V) 1" = 10'

DRAWN BY: DNH/GRY

DESIGNED BY: JAK

CHECKED BY: SES

DATE: 02/17/17

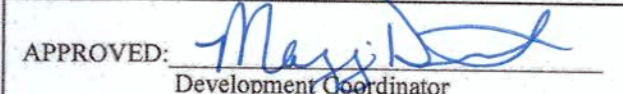
JOB No: 0469-16-197

TITLE:
FRANCHISE UTILITY PLAN

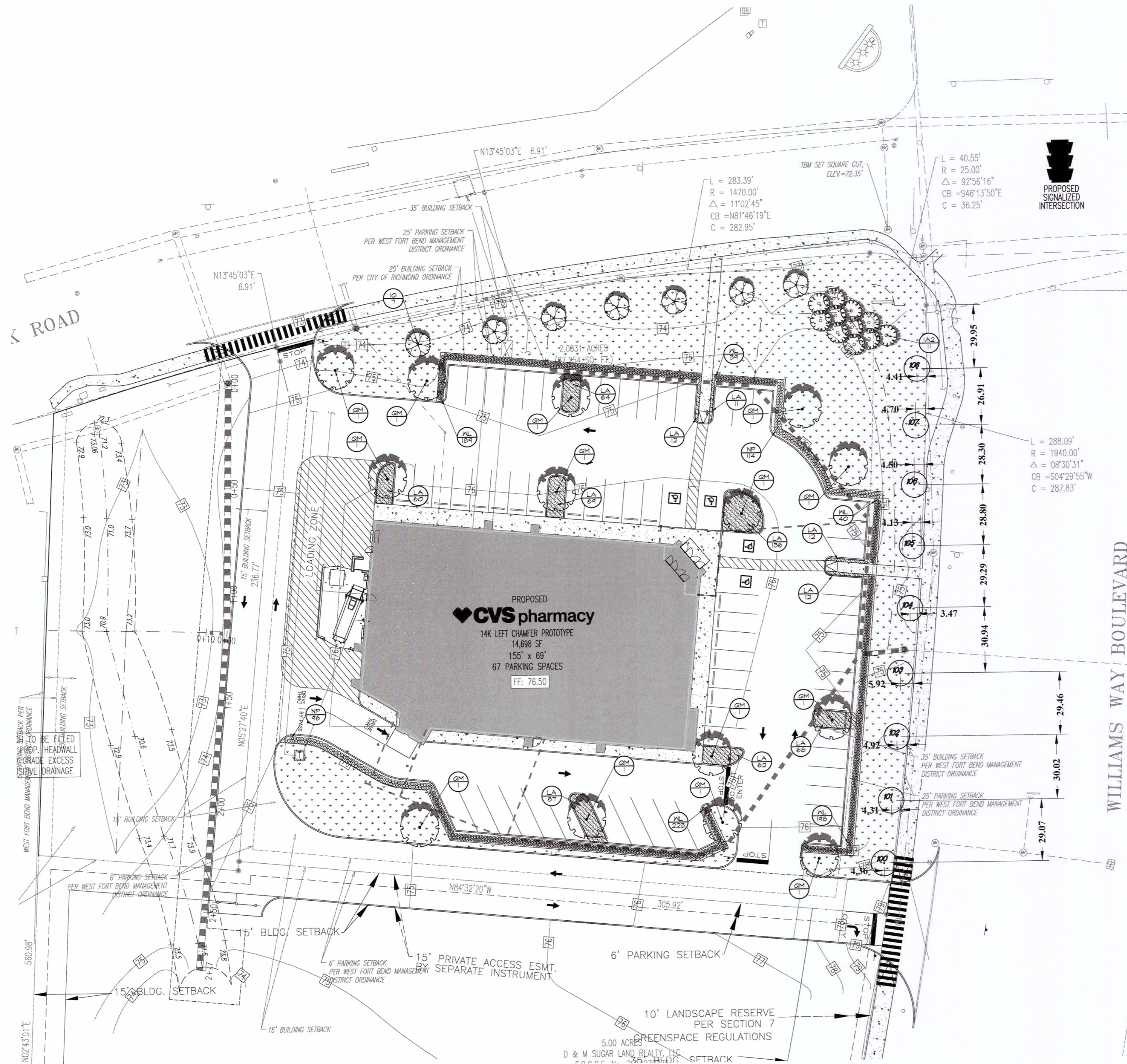
SHEET No:
10 of 36

COMMENTS:
 THIS PLAN IS FOR APPROVAL PROCESS ONLY AND MAY NOT BE USED FOR CONSTRUCTION

Rev. # 3

APPROVED: 
 Development Coordinator

DATE: 9/27/17



PLANT SCHEDULE

TREES	CODE	COMMON NAME / BOTANICAL NAME	CONT.	CAL.	SIZE	QTY
IA2		Cherry Laurel / Prunus caroliniana 'Bright 'n' tight'	CONT.	1.5' Cal	min. 6'	11
IC		Desert Willow / Chilopsis linearis street tree due to OHE	Min. 65 gal.	3.5' Cal	12-14'	7
QM		Laurel Oak / Quercus laeifolius parking lot tree	Min. 65 gal.	3.5' Cal	12-14'	14
SHRUBS	CODE	COMMON NAME / BOTANICAL NAME	SIZE	QTY		
WL		Waxleaf Ligustrum / Ligustrum japonica 18" o.c.; 48" ht.; double row / triangular spacing	7 gal.			687
NP		Wax Myrtle / Myrica cerifera 18" o.c.; 48" ht.; double row / triangular spacing	7 gal.			210
SHRUB AREAS	CODE	COMMON NAME / BOTANICAL NAME	CONT.	SPACING	QTY	
LA		Attec Grass / Limop muscan 'Attec' triangular spacing	1 gal.	18" o.c.	593	
GROUND COVERS	CODE	COMMON NAME / BOTANICAL NAME	CONT.	QTY		
BG		Bermuda Grass / Cynodon dactylon	sod		21,588 sf	

GENERAL LANDSCAPE NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN). BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1 OF FINISH GRADE. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- THE LANDSCAPE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
- CONTRACTOR SHALL ENSURE THAT THE GRADE IN SOD AREAS SHALL BE 1" BELOW FINISH GRADE BEFORE INSTALLING SOIL AMENDMENTS, AND 2" BELOW FINISH GRADE IN SHRUB AREAS BEFORE INSTALLING SOIL AMENDMENTS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- INSTALL 5 OUNCE WOVEN, NEEDLE-PUNCHED POLYPROPYLENE FABRIC UNDER ALL MULCHED AREAS AND INDIVIDUAL TREE RINGS.
- INSTALL SHREDED HARDWOOD MULCH TOPDRESSING IN ALL PLANTING BEDS (2" DEPTH) AND ALL TREE RINGS (3" DEPTH). DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE. REF. LP2 FOR MULCH SPECIFICATION.
- HYDROMULCH ALL DISTURBED AREAS OUTSIDE OF PROPERTY LIMITS (UNLESS SHOWN AS SOD).
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES, PLANT QUANTITIES SHOWN ON LEGENDS AND THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED. IF ANY OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE DESIGNER IN WRITING (VIA PROPER CHANNELS).
- PLANTS MAY BE INSPECTED AND APPROVED OR REJECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND THE FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER. WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- SHOULD SEEDING AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
- TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.
- THERE ARE EXISTING TREES ON SITE ADJACENT TO SITE S SHOWN. TREES ARE THE PROPERTY OF FBC17 ARE SHALL NOT BE REMOVED.
- ALL EXISTING LANDSCAPING AND IRRIGATION SHALL NOT BE DISTURBED IN CONSTRUCTION. CONTRACTOR SHALL REPLACE/REPAIR ALL LANDSCAPING/IRRIGATION DISTURBED/REMOVED DURING CONSTRUCTION. CONTACT LARRY TALLERINE (713-724-2037 OR 281-859-3548) WITH RIDGEWOOD LANDSCAPING INC. PRIOR TO THE START OF ALL LANDSCAPE/SITE WORK.

LANDSCAPING REQUIREMENTS

FRONTAGE REQUIREMENTS (1 TREE/30' ROAD FRONTAGE)

PROPERTY LINE	LENGTH	CANOPY TREES REQUIRED	CANOPY TREES PROVIDED
WILDWOOD PARK RD.	300'	10	10
WILLIAMS WAY BLVD.	308'	10	10*

* EXISTING TREES (SEE TS-1)

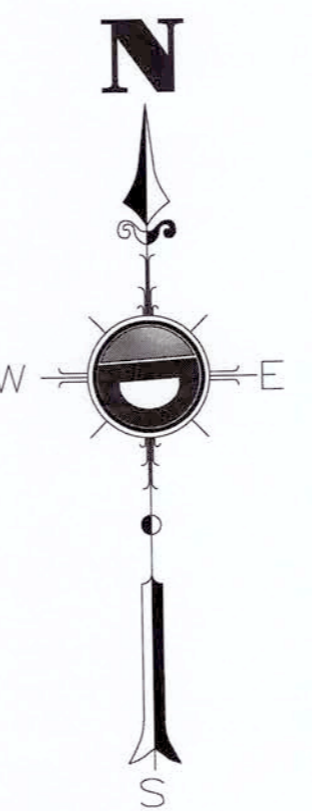
SIDE YARD REQUIREMENTS (1 TREE/40' SIDE YARD FRONTAGE)

PROPERTY LINE	LENGTH	CANOPY TREES REQUIRED	CANOPY TREES PROVIDED
SIDE YARD	288	7	0*

ADJACENT PARCEL SHALL PROVIDE REQUIRED SHRUB SCREENING AT TIME OF DEVELOPMENT
*NO LARGE TREES ARE PROVIDED WITHIN THE ELECTRICAL EASEMENT.

PARKING LOT SCREENING

TRIANGULAR-SPACED SHRUB ROW IS REQUIRED AND PROVIDED BETWEEN ALL EXISTING ROADS AND PROPOSED PARKING LOTS.



CVS pharmacy

14 K CORNER ENTRY
BUMP-OUT DRIVE-THRU (LEFT)
STORE NUMBER: 11096

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CS PROJECT NUMBER: 99715

DYNAMIC ENGINEERING

Central NJ Office
North NJ Office
South NJ Office
PA Office
Dallas Texas Office
Houston TX Office
Austin Texas Office



EVERGREEN DESIGN GROUP
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www.landscape-consultants.net

DEVELOPER:
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MANCHESTER, CT 06042-2307
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FAX: (860) 646-8572
PROJECT CONTACT: JOHN TOIC

Rev.	Date	Comments	By
1	4/11/17	CITY COMMENTS	

SCALE: (H) as noted (V) noted

DRAWN BY: DFR

DESIGNED BY: DFR

CHECKED BY: RM

DATE: 12/2/2016

JOB No: 0469-16-197

TITLE:
LANDSCAPE PLANTING

SHEET No:
11 OF 29

COMMENTS:
THIS PLAN IS FOR CVS APPROVAL PROCESS ONLY AND MAY NOT BE USED FOR CONSTRUCTION

Rev. # 2

Project: 06/09/17 - 7:28 AM, By: dandanon, File: C:\Users\dandanon\Dropbox (Rodney)\EDG - Shared\3016\CVS at Richmond TX\CVS Richmond LP 2017-6-9.dwg, --> 11

Moss 9/27/17

CVS pharmacy

14 K CORNER ENTRY
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Rev.	Date	Comments	By
1	4/11/17	CITY COMMENTS	

SCALE: (H) AS NOTED
(V) AS NOTED

DRAWN BY: DFR

DESIGNED BY: DFR

CHECKED BY: RM

DATE: 12/2/2016

JOB No: 0469-16-197

TITLE: LANDSCAPE IRRIGATION

SHEET No: 13 OF 29

COMMENTS:
THIS PLAN IS FOR CVS APPROVAL PROCESS ONLY
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Rev. # 2

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI
▲ ▲ ▲ ▲ ▲	Rain Bird I 80G 15 Strp Series Turf Spray G' pop-up.	30
○ ○ ○ ○ ○	Rain Bird I 80G 12 Series MPR Turf Spray G' pop-up.	30
○ ○ ○ ○ ○	Rain Bird I 80G 15 Series MPR Turf Spray G' pop-up.	30
○	Rain Bird 1400 Flood Flood Bubbler 4" pop-up with check valve and pressure regulator, with a PA-80 adapter.	30

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI	GPM	RADIUS
●	Rain Bird 500G-PL-MPR Turf Rotor, G' pop-up with flow shut-off device, matched precipitation rotor, arc and radius as per symbol. 25 ft=red, 30 ft=green, 35ft=beige	35		24'

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
■	Rain Bird XCZ-100-PRB-COM Dnp Control Kit, 1" PEBG valve, 1" Basket Filter, and 40psi Pressure Regulator, 1" Ball Valve.
Ⓢ	Rain Bird MDCFCAP Dnline Flush Valve cap in compression fitting coupler. Install as required per Manufacturer.
Ⓢ	Rain Bird AR Valve Kit 1" Air Relief Valve kit with G' dnp valve box. Install as required per Manufacturer.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
▨	Area to Receive Dnline Rain Bird XFD-OG-18 Landscape Dnline with 0.60gph emitters at 18" o.c. Dnline laterals spaced at 18" apart, with emitters offset for triangular pattern.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
Ⓢ	Rain Bird PEB Electric Remote Control Valve
Ⓢ	Nibco T-580-SG-R-GG-LL Bronze ball valve Shut Off Valve
Ⓢ	Febco B25Y 1" Reduced Pressure Backflow Preventer

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
Ⓢ	Rain Bird ESPLXMI Rain Bird ESP-LX Modular Series, Modular controller up to 32 stations maximum with ESPLXMSM4- 4 station and ESPLXMSM8- 8 station modules. Install the proper number of modules to accommodate the number of stations in the scope of work.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
Ⓢ	Rainbird WR2-RFC: Wireless Rain/Freeze Sensor Mount as instructed by Owner

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
Ⓢ	Water Meter 1" Estimation - field verify.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
---	Irrigation Lateral Line: PVC Class 200 SDR 21 PVC Class 200 irrigation pipe.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
---	Irrigation Mainline: PVC Schedule 40 2" PVC Schedule 40 irrigation pipe.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
---	Pipe Sleeve: PVC Schedule 40 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
Ⓢ	Valve Callout
Ⓢ	Valve Number
Ⓢ	Valve Flow
Ⓢ	Valve Size

CRITICAL ANALYSIS

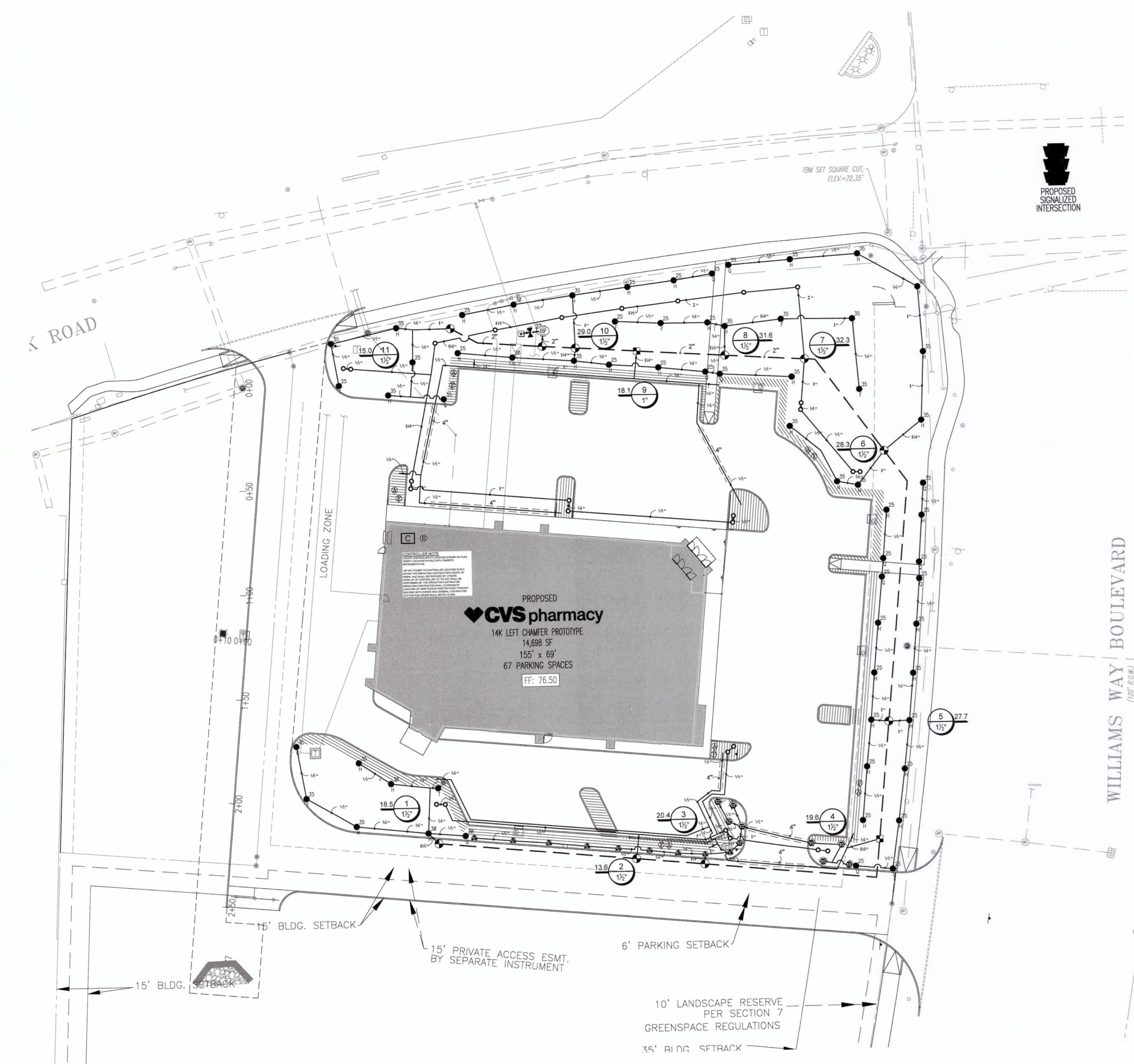
Generated: 2017-06-03 14:35
P.O.C. NUMBER: O1
Water Source Information: Estimation - field verify.

FLOW AVAILABLE
Water Meter Size: 1"
Flow Available: 37.50 gpm

PRESSURE AVAILABLE
Static Pressure at POC: 65.00 psi
Service Line Size: 1 1/2"
Pressure Available: 65.00 psi

DESIGN ANALYSIS
Maximum Station Flow: 32.30 gpm
Flow Available at POC: 37.50 gpm
Residual Flow Available: 5.20 gpm

Critical Station: 9
Design Pressure: 30.00 psi
Friction Loss: 2.62 psi
Fittings Loss: 0.26 psi
Loss through Valve: 18.87 psi
Pressure Req. at Critical Station: 51.75 psi
Loss for Fittings: 0.02 psi
Loss for Main Line: 0.18 psi
Loss for Backflow: 1.130 psi
Loss for Water Meter: 0.67 psi
Critical Station Pressure at POC: 65.32 psi
Pressure Available: 65.00 psi
Residual Pressure Available: 1.08 psi

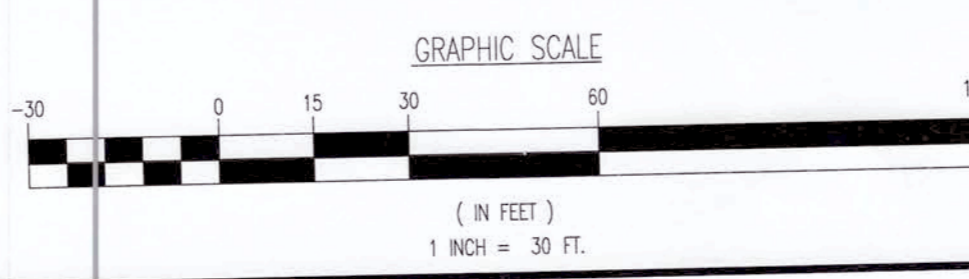
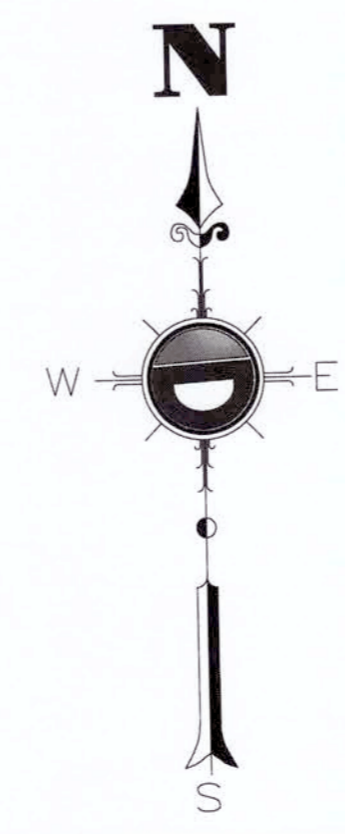


VALVE SCHEDULE

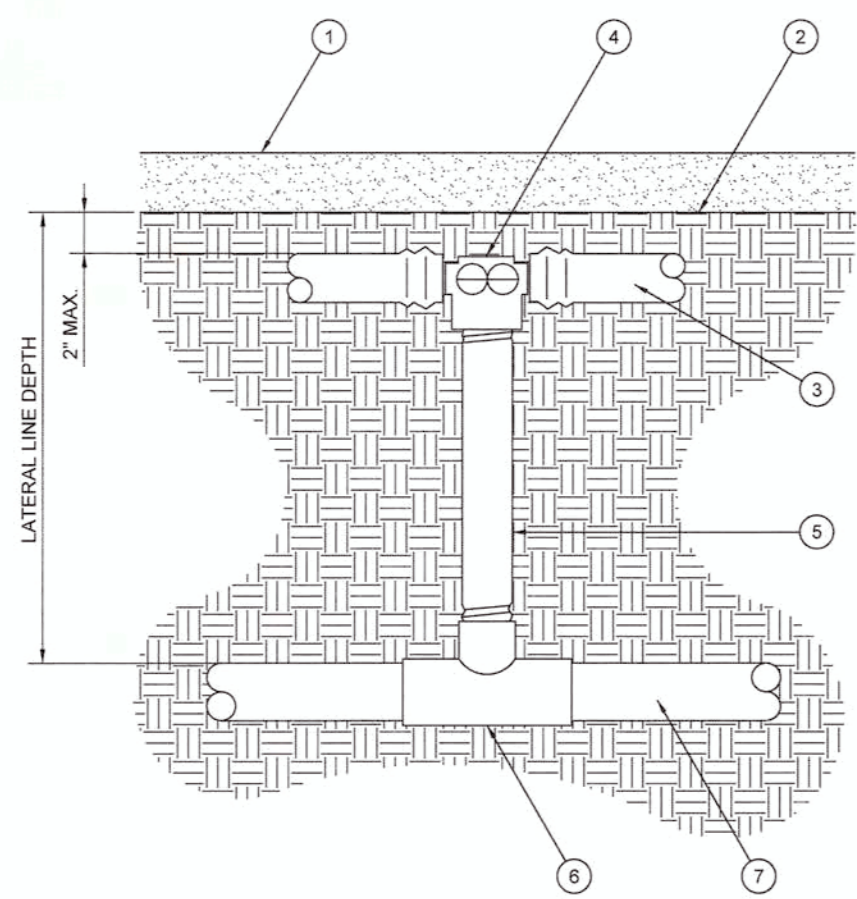
NUMBER	MODEL	SIZE	TYPE	PSI	PSI @ POC	GPM	PRECIP
1	Rain Bird PEB	1-1/2"	Turf Rotor	38.52	52.49	18.51	0.62 in/h
2	Rain Bird PEB	1-1/2"	Bubbler	34.25	46.84	13.60	52.00 in/h
3	Rain Bird PEB	1-1/2"	Turf Spray	34.88	48.91	20.43	1.35 in/h
4	Rain Bird XCZ-150-COM	1-1/2"	Area for Dnline	40.89	54.35	19.58	0.96 in/h
5	Rain Bird PEB	1-1/2"	Turf Rotor	41.69	56.22	28.31	0.67 in/h
6	Rain Bird PEB	1-1/2"	Turf Rotor	36.09	51.18	32.30	52.00 in/h
7	Rain Bird PEB	1-1/2"	Turf Rotor	38.95	53.52	31.60	0.63 in/h
8	Rain Bird PEB	1-1/2"	Turf Rotor	40.47	55.75	27.71	0.66 in/h
9	Rain Bird XCZ-100-PRB-COM	1"	Area for Dnline	51.76	63.92	18.09	0.96 in/h
10	Rain Bird PEB	1-1/2"	Turf Rotor	39.55	53.00	28.98	0.61 in/h
11	Rain Bird PEB	1-1/2"	Turf Rotor	38.68	50.57	15.03	0.65 in/h
MASTER Rain Bird PEB 1-1/2"							

Irrigation Note:
Prior to construction coordinate with James Terry with Terry's Landscaping

Plotted: 05/09/17 - 7:32 AM. By: dardindiana - Sheron\2016\CVS at Richmond TX\CVS Richmond LI 2017-6-3.dwg. --> 13
File: C:\Users\dardindiana\OneDrive (Richmond)\CVS at Richmond TX\CVS Richmond LI 2017-6-3.dwg. --> 13

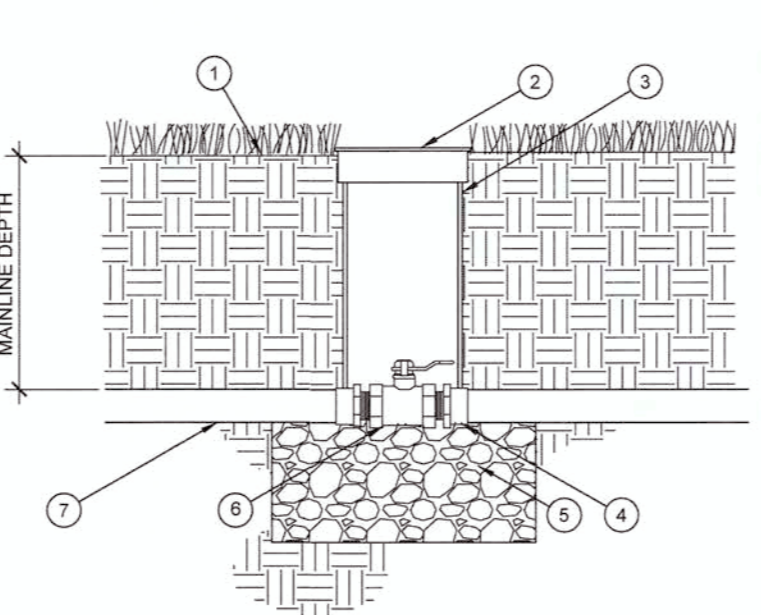


Messing 9/27/17



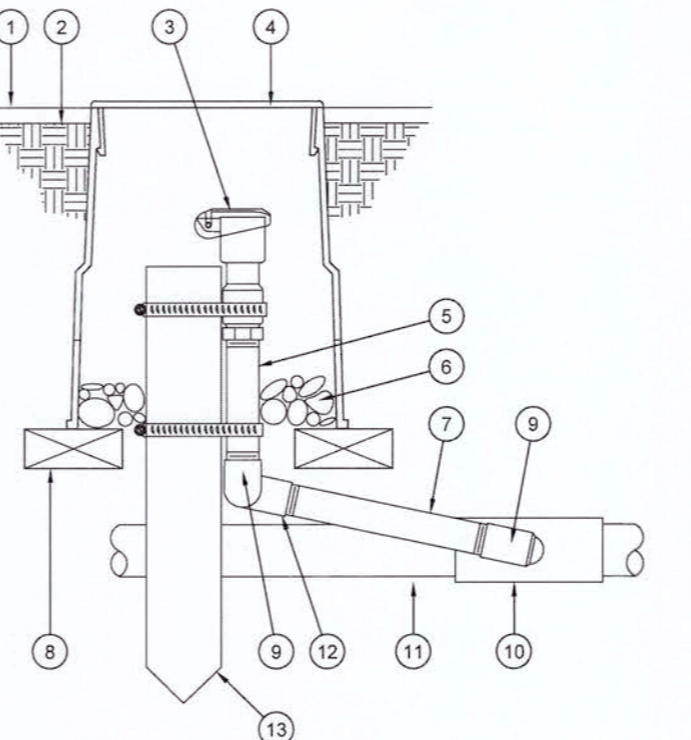
- 1 TOP OF MULCH
- 2 FINISH GRADE
- 3 DRIP LINE PER PLAN
- 4 INSERT TEE OR ELBOW
- 5 SCH 80 PVC NIPPLE (LINE SIZE)
- 6 SCH. 40 PVC TEE (SST)
- 7 SCH. 40 PVC SUPPLY HEADER (SIZE PER PLAN)

H SUBSURFACE DRIPLINE CONNECTION
SCALE: NOT TO SCALE



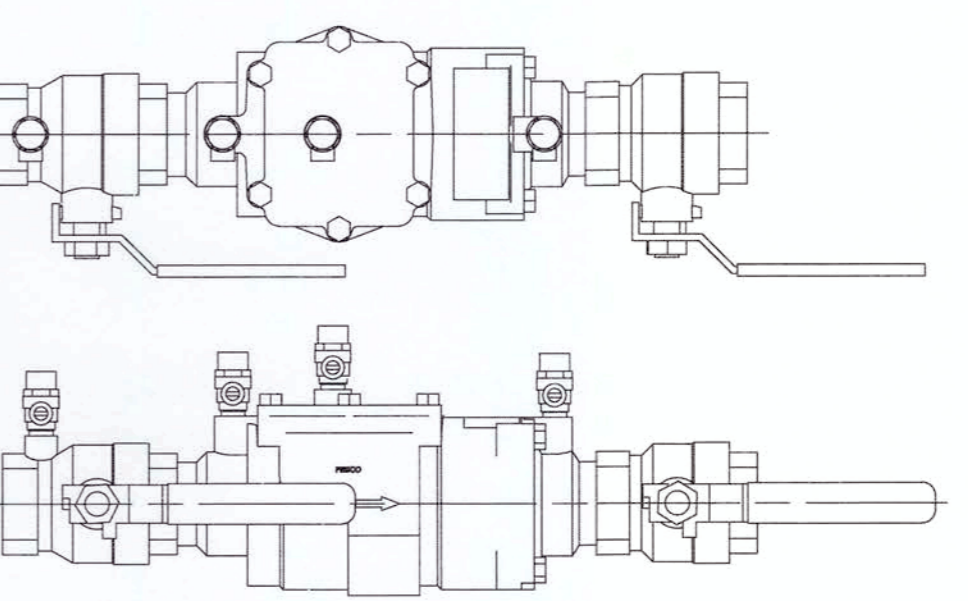
- 1 FINISH GRADE AT 1" BELOW TOP OF BOX IN TURF AREAS; 2" BELOW TOP OF BOX IN SHRUB/GROUNDCOVER AREAS
- 2 8" ROUND VALVE BOX WITH LOCKABLE LID
- 3 EXTENSION SECTION AS NECESSARY TO MEET GRADE
- 4 PVC MALE ADAPTER
- 5 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- 6 BRASS BALL VALVE (SIZED PER MAINLINE)
- 7 IRRIGATION MAINLINE

E BRASS BALL VALVE
SCALE: NTS



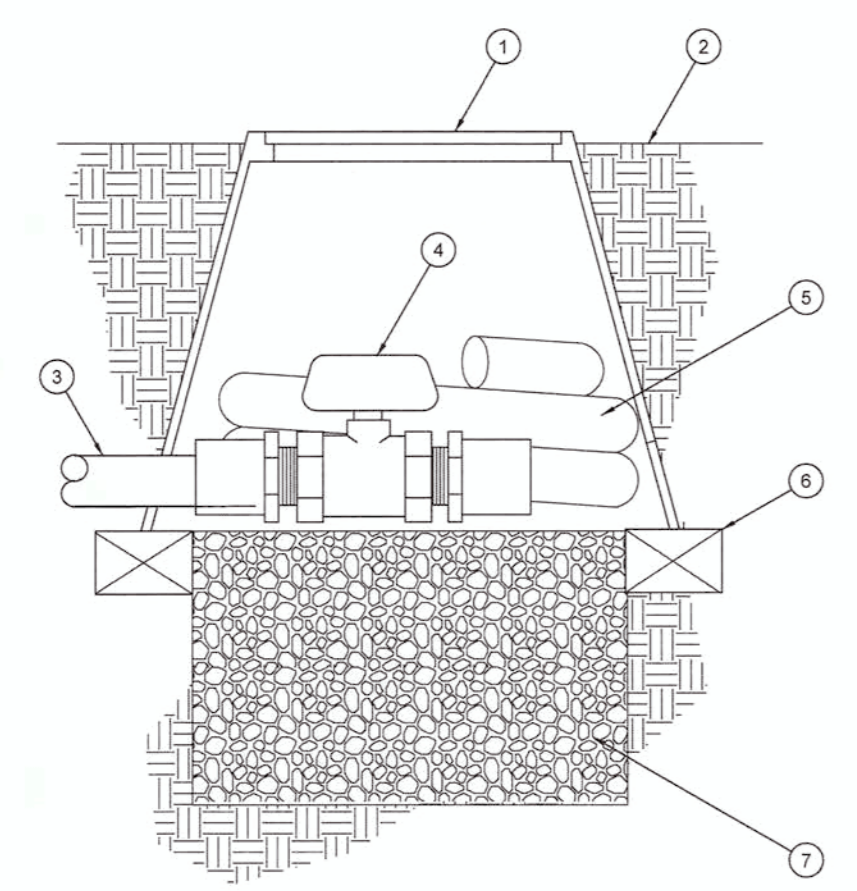
- 1 TOP OF MULCH
- 2 FINISH GRADE-1" BELOW TOP OF BOX IN TURF AREAS, 2" IN SHRUB AREAS
- 3 QUICK-COUPLER VALVE
- 4 10" ROUND PLASTIC VALVE BOX BY CARSON (OR EQUAL)
- 5 6" LONG BRASS NIPPLE
- 6 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- 7 BRASS NIPPLE (LENGTH AS REQUIRED)
- 8 BRICK (1 OF 2)
- 9 PVC SCH 40 STREET ELL
- 10 PVC SCH 40 TEE OR ELL
- 11 PVC MAINLINE PIPE
- 12 PVC SCH 40 ELL
- 13 2" x 2" PEWOOD STAKE WITH STAINLESS STEEL GEAR CLAMPS OR EQUIVALENT SUPPORT SYSTEM

B QUICK COUPLER
SCALE: NTS



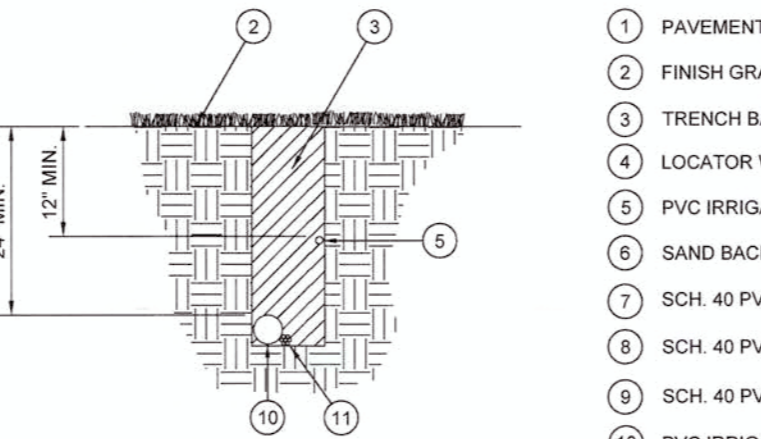
NOTE:
1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.

A BACKFLOW PREVENTER (DCV)
SCALE: NTS



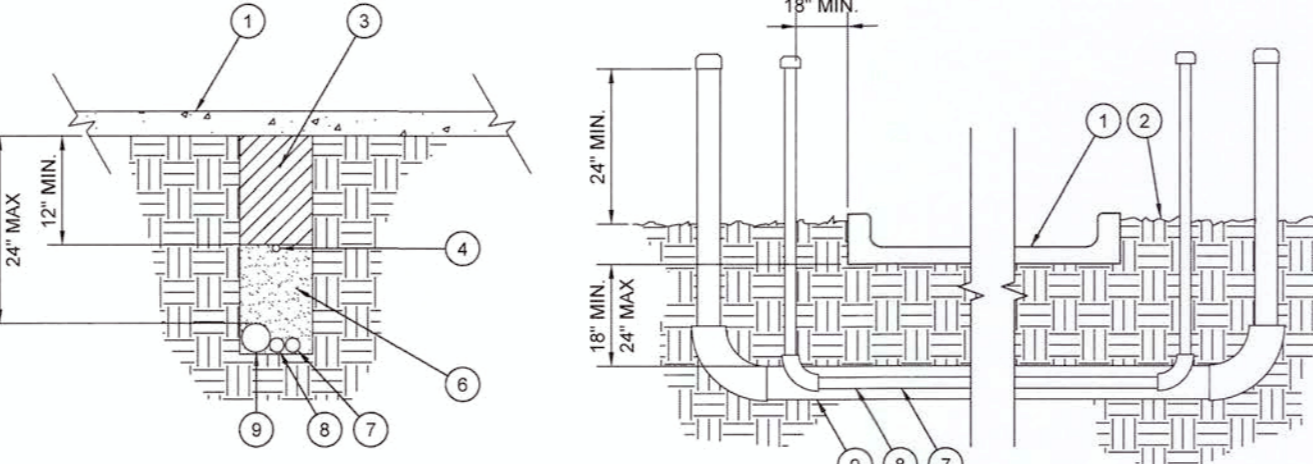
- 1 10" ROUND PLASTIC VALVE BOX WITH LOCKABLE LID, "CARSON" OR APPROVED EQUAL
- 2 FINISH GRADE - TOP OF VALVE BOX TO BE 2" ABOVE FINISH GRADE IN PLANTER AREAS
- 3 DRIP EXHAUST HEADER
- 4 BALL VALVE, LINE SIZE
- 5 3' COILED LENGTH OF LINE SIZE FLEX HOSE - SOLVENT WELD TO VALVE
- 6 RED BRICK TYPICAL, 3 REQUIRED
- 7 6" DEEP LAYER OF PEA GRAVEL

G FLUSH VALVE
SCALE: NTS

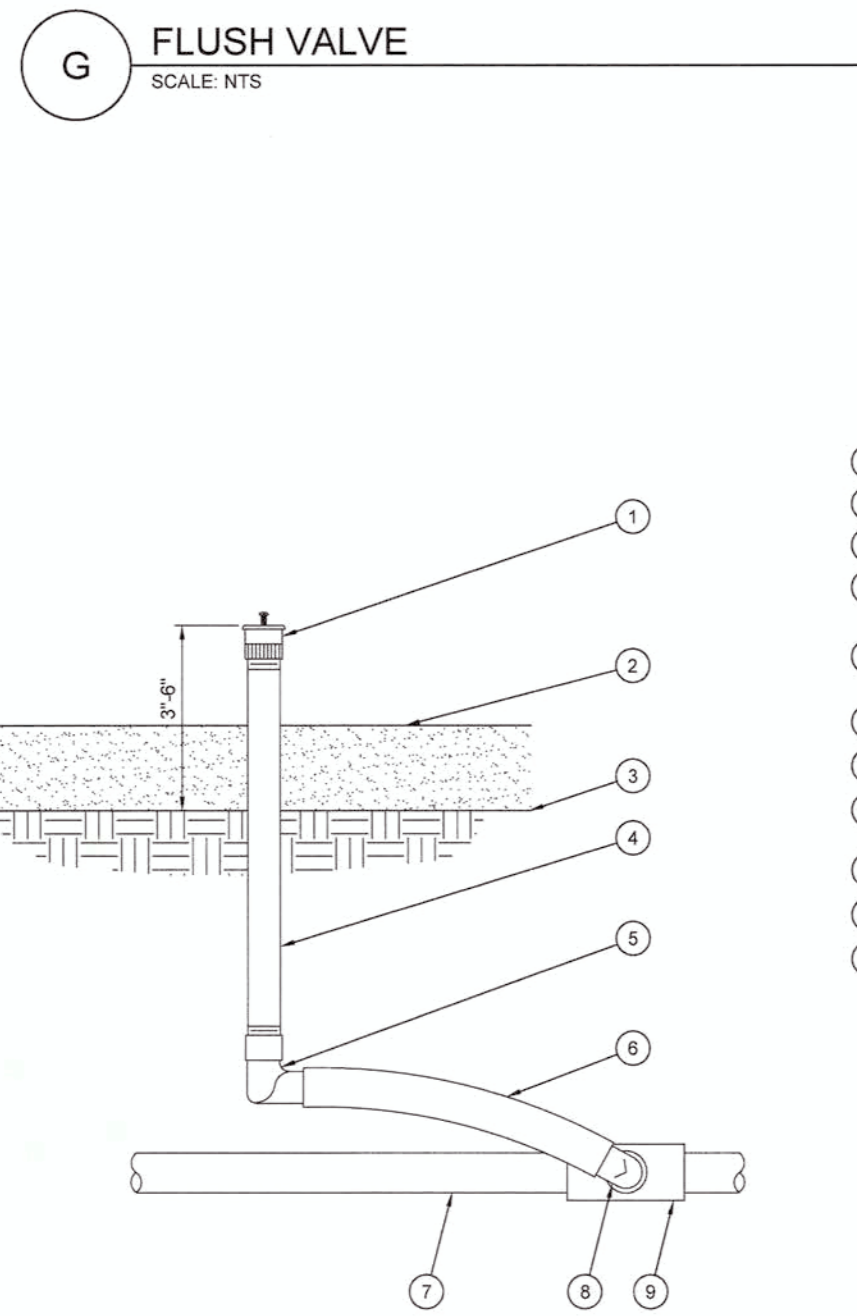


- 1 PAVEMENT SURFACE
- 2 FINISH GRADE
- 3 TRENCH BACKFILL
- 4 LOCATOR WIRE W/BURIED CAUTION TAPE
- 5 PVC IRRIGATION LATERAL - BURIED MIN. 12" BELOW GRADE
- 6 SAND BACKFILL
- 7 SCH. 40 PVC LATERAL SLEEVE - SEE PLANS FOR SIZE
- 8 SCH. 40 PVC WIRE SLEEVE FOR CONTROL WIRES, MIN. 2" DIA.
- 9 SCH. 40 PVC MAINLINE SLEEVE - SEE PLANS FOR SIZE
- 10 PVC IRRIGATION MAINLINE
- 11 CONTROL WIRES - TAPE TO MAINLINE AT 10' INTERVALS
- 12 PVC CAP, SOLVENT WELDED

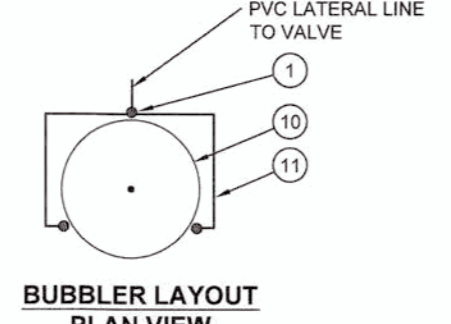
E TRENCHING



D PIPE AND SLEEVE INSTALLATION
SCALE: NTS

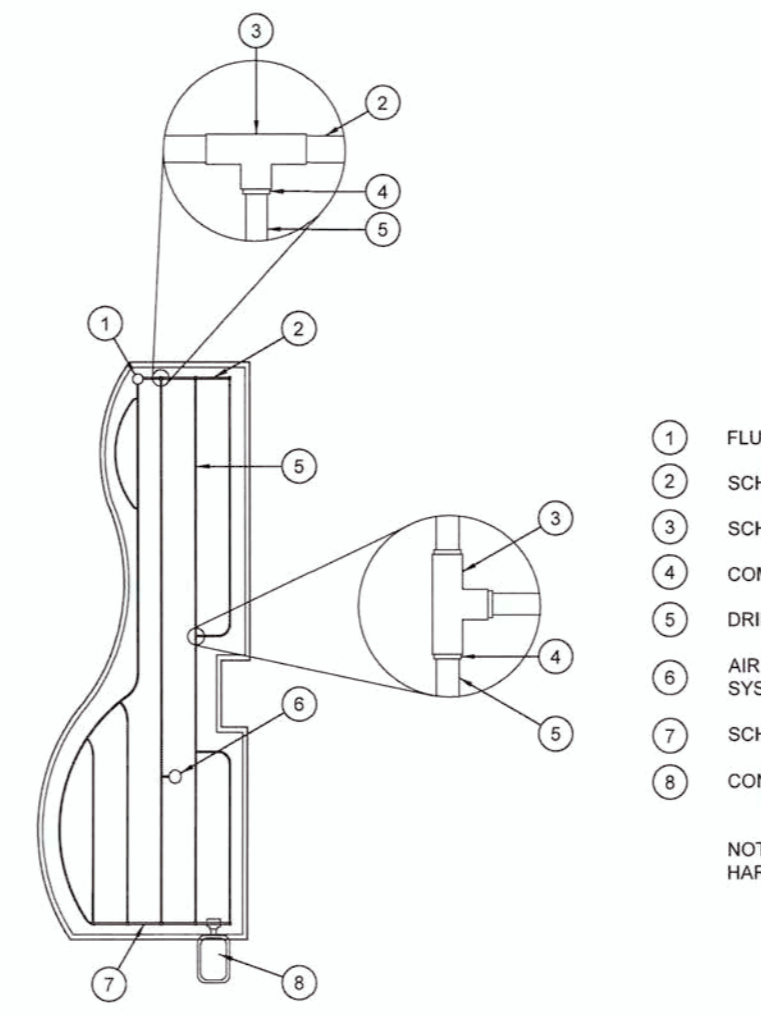


- 1 BUBBLER PER LEGEND - 3 PER TREE
- 2 MULCH
- 3 FINISH GRADE/TOP OF MULCH
- 4 UV RADIATION RESISTANT 1/2-INCH PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 5 1/2-INCH FEMALE NPT x 0.490-INCH BARB ELBOW
- 6 SWING PIPE, 12-INCH LENGTH
- 7 PVC LATERAL PIPE
- 8 1/2-INCH MALE NPT x .490-INCH BARB ELBOW
- 9 SCH 40 TEE OR ELL
- 10 EDGE OF ROOTBALL
- 11 PVC LATERAL LINE - 3/4"



F BUBBLER LAYOUT PLAN VIEW

F BUBBLER
SCALE: NTS



- 1 FLUSH VALVE
- 2 SCH. 40 PVC EXHAUST HEADER
- 3 SCH. 40 PVC TEE OR ELL
- 4 COMPRESSION ADAPTER
- 5 DRIP LINE
- 6 AIR RELIEF VALVE AT HIGH POINT OF SYSTEM (WHERE INDICATED ON PLANS)
- 7 SCH. 40 PVC SUPPLY HEADER
- 8 CONTROL VALVE

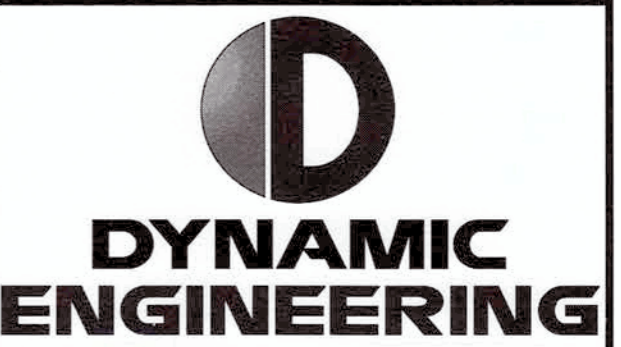
NOTE: SET DRIP LINES 3"-6" AWAY FROM HARDSCAPE

C SUBSURFACE DRIP LINE LAYOUT
SCALE: NOT TO SCALE



14 K CORNER ENTRY
BUMP-OUT DRIVE-THRU (LEFT)
STORE NUMBER: 11096

4110 WILLIAMS WAY BOULEVARD
CITY OF RICHMOND, FORT BEND COUNTY, TEXAS
CS PROJECT NUMBER: 99715



Central NJ Office
1001 Route 30, Suite 200
Lawrenceville, NJ 07044
T: 973.974.1999
F: 973.974.1999

North NJ Office
240 Main Street - Suite 110
Cherry Hill, NJ 08034
T: 856.879.0222
F: 856.879.0222

South NJ Office
8 Robbins Street - Suite 102
Trenton, NJ 08610
T: 908.974.0989
F: 908.974.0989

PA Office
790 Newton Highway - Suite
Newtown, PA 18940
T: 484.985.0738
F: 484.985.0738

Dallas Texas Office
1301 Central Expressway South -
Suite 210
Dallas, TX 75203
T: 972.554.2100

Houston TX Office
4401 West 40th Street - Suite 250
Houston, TX 77036
T: 281.789.9400

Austin Texas Office
801 Mopac Expressway South
Austin, TX 78748
T: 512.648.2646
www.dyneng.com




DEVELOPER:
FIRST HARTFORD REALTY CORPORATION
149 COLONIAL ROAD
MANCHESTER, CT 06042-2307
TEL: (860) 646-6555
FAX: (860) 646-6572
PROJECT CONTACT: JOHN TOIC

Rev.	Date	Comments	By
1	4/11/17	CITY COMMENTS	

SCALE:	(H) as noted (V) noted
DRAWN BY:	DFR
DESIGNED BY:	DFR
CHECKED BY:	RM
DATE:	12/2/16
JOB No:	0469-16-197
TITLE:	IRRIGATION SPECS & DETAILS
SHEET No:	15 OF 29
COMMENTS:	THIS PLAN IS FOR CVS APPROVAL PROCESS ONLY AND MAY NOT BE USED FOR CONSTRUCTION
Rev. #	1

Maxie 9/27/17



DYNAMIC ENGINEERING

Central NJ Office: 240 Main Street, Suite 110, Chester, NJ 07930
North NJ Office: 240 Main Street, Suite 110, Chester, NJ 07930
South NJ Office: 1800 Route 138, Suite 102, Toms River, NJ 08753
PA Office: 790 Newtown Road, Suite 425, Newtown, PA 18840
Dallas Texas Office: 1301 North Ervay South, Allen, TX 75013
Houston TX Office: 1402 West Loop South, Suite 250, Houston, TX 77042
Austin Texas Office: 871 N. Lamar Blvd., Austin, TX 78746



REGISTERED LANDSCAPE ARCHITECT
DANIEL REECE
STATE OF TEXAS
6/9/17



EVERGREEN DESIGN GROUP
(800) 680-6630
2500 City West Blvd, Ste 300
Houston, TX 77042
www.landscapiconsultants.net

DEVELOPER:
FIRST HARTFORD REALTY CORPORATION
149 COLONIAL ROAD
MANCHESTER, CT 06042-2307
TEL: (860) 646-8555
FAX: (860) 646-8572
PROJECT CONTACT: JOHN TOIC

Rev.	Date	Comments	By
1	4/11/17	CITY COMMENTS	

SCALE: (H) noted
(V) as

DRAWN BY: DFR

DESIGNED BY: DFR

CHECKED BY: RM

DATE: 12/2/2016

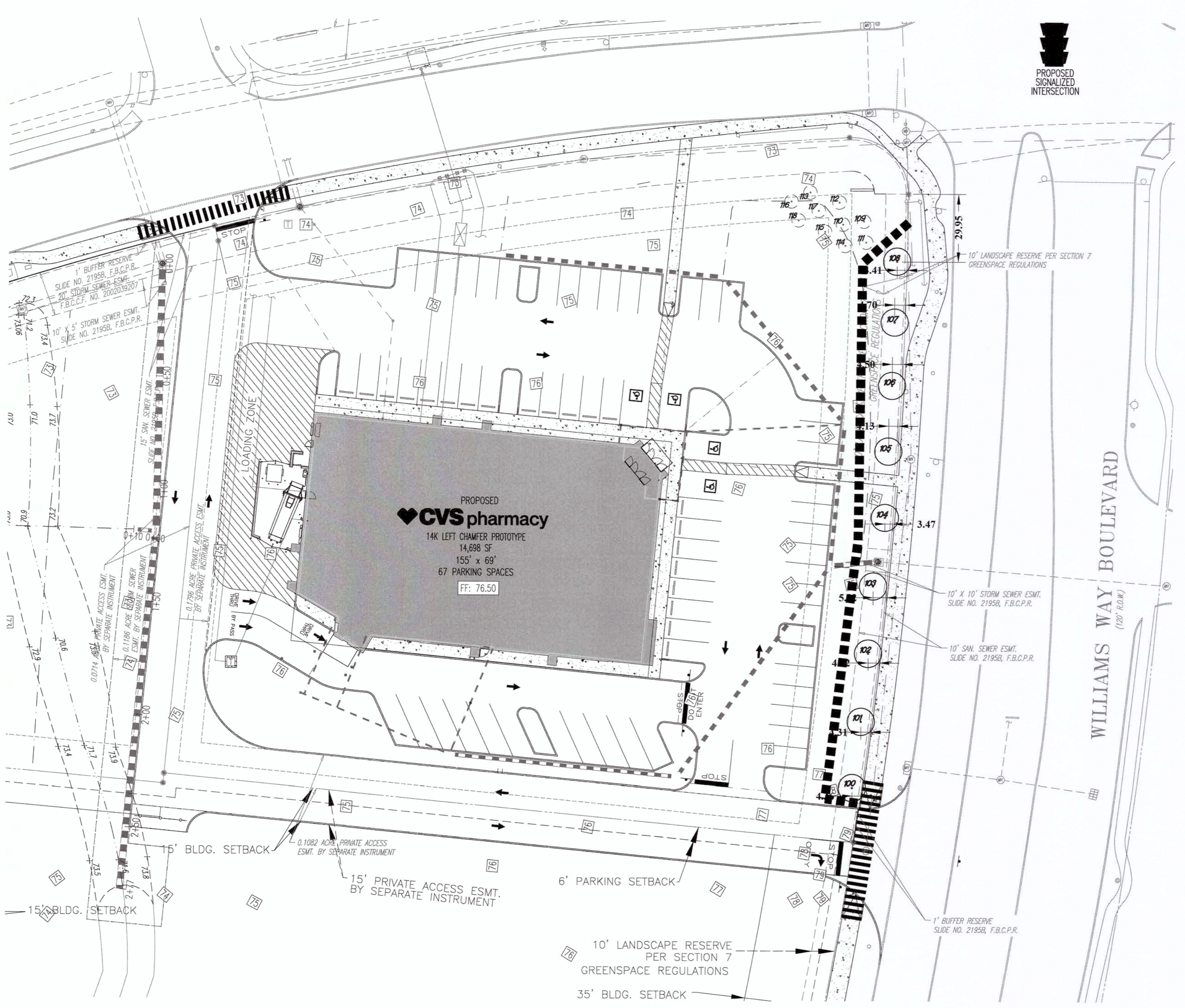
JOB No: 0469-16-197

TITLE: TREE SURVEY

SHEET No: 16 OF 29

COMMENTS:
THIS PLAN IS FOR CVS APPROVAL PROCESS ONLY AND MAY NOT BE USED FOR CONSTRUCTION

Rev. # 2

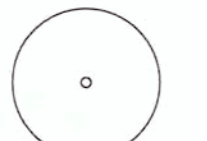



TREE LIST


TAG #	DESCRIPTION	MITIGATION
100	12" OAK	NO
101	12" OAK	NO
102	12" OAK	NO
103	12" OAK	NO
104	12" OAK	NO
105	12" OAK	NO
106	12" OAK	NO
107	12" OAK	NO
108	12" OAK	NO
109	10" CHERRY LAUREL	YES
110	10" CHERRY LAUREL	YES
111	10" CHERRY LAUREL	YES
115	10" CHERRY LAUREL	YES
116	10" CHERRY LAUREL	YES
117	10" CHERRY LAUREL	YES
118	10" CHERRY LAUREL	YES

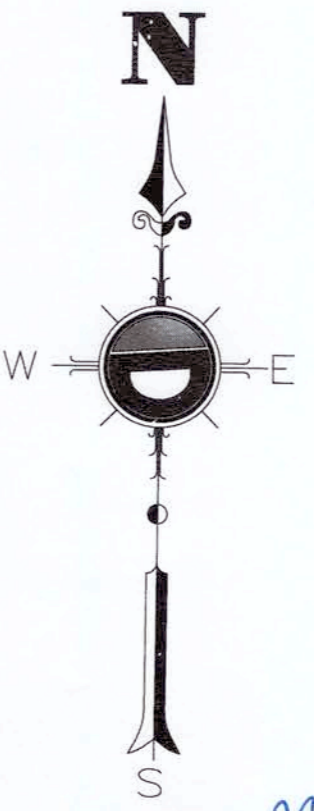
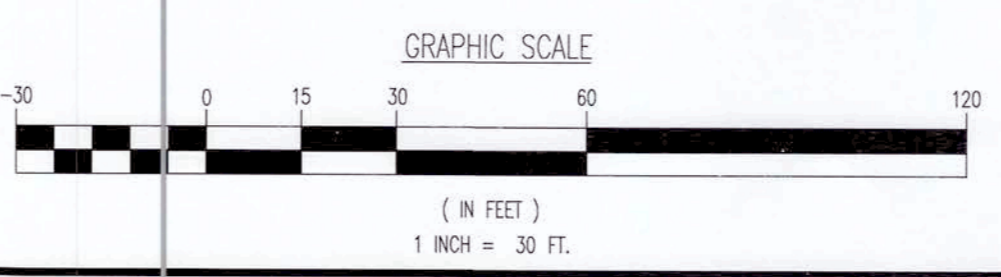
---INDICATES TREE TO BE REMOVED---
REF LP-1 FOR TREE REPLACEMENT INFORMATION

LEGEND

 EXISTING TREE TO BE RETAINED

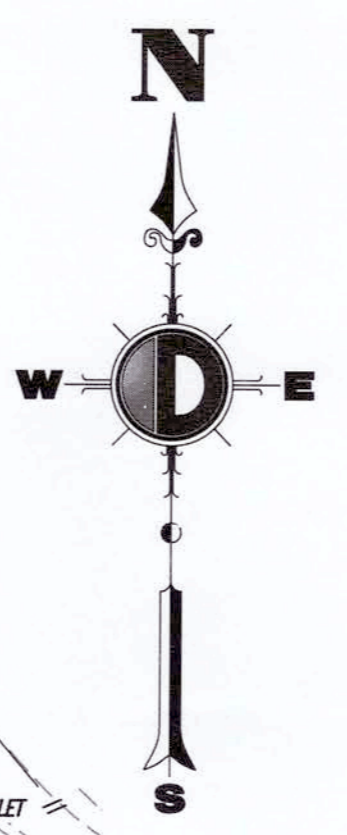
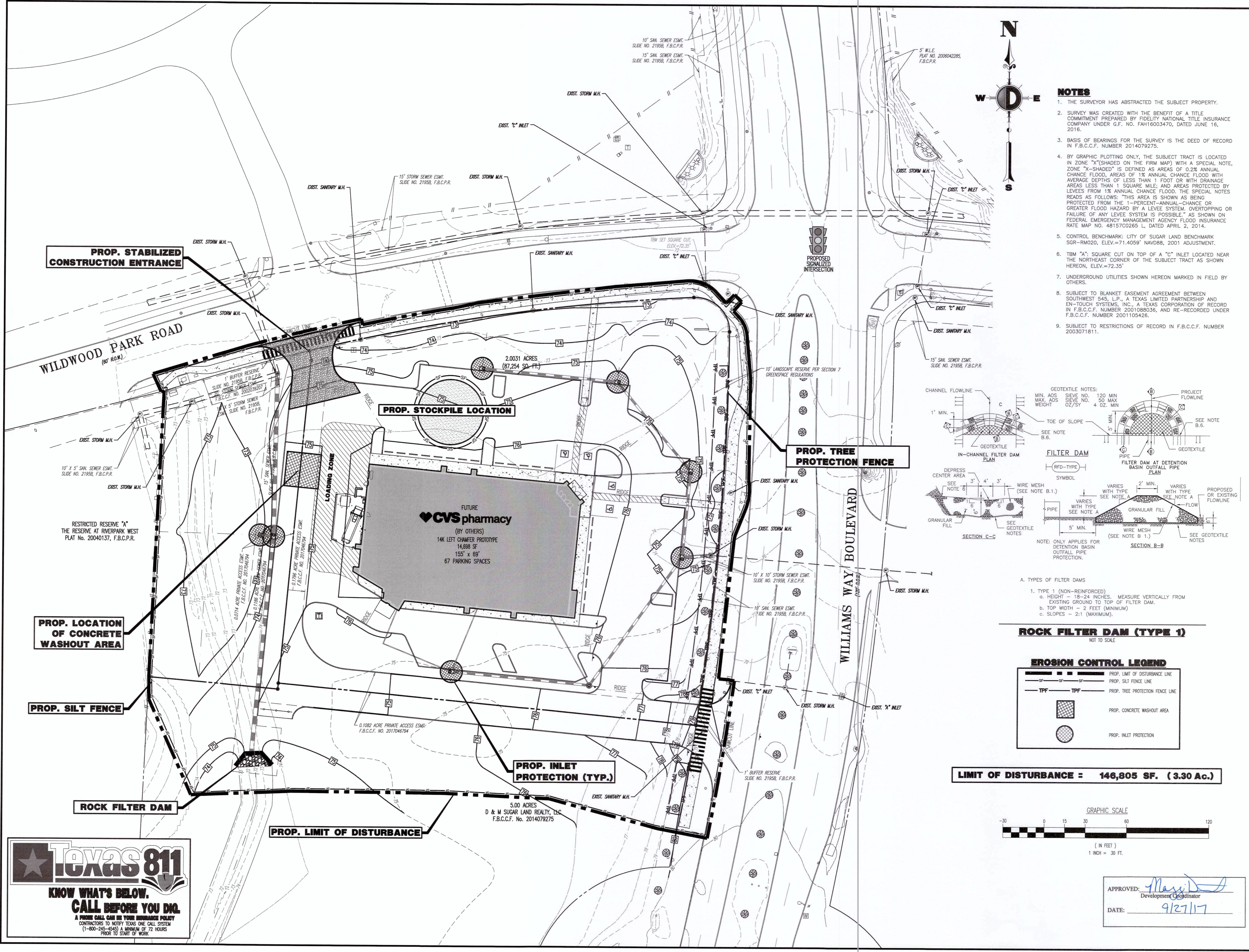
 EXISTING TREE TO BE REMOVED & REPLACED WITH EQUIVALENT REF. SHEET 12

 TREE PROTECTIVE FENCING

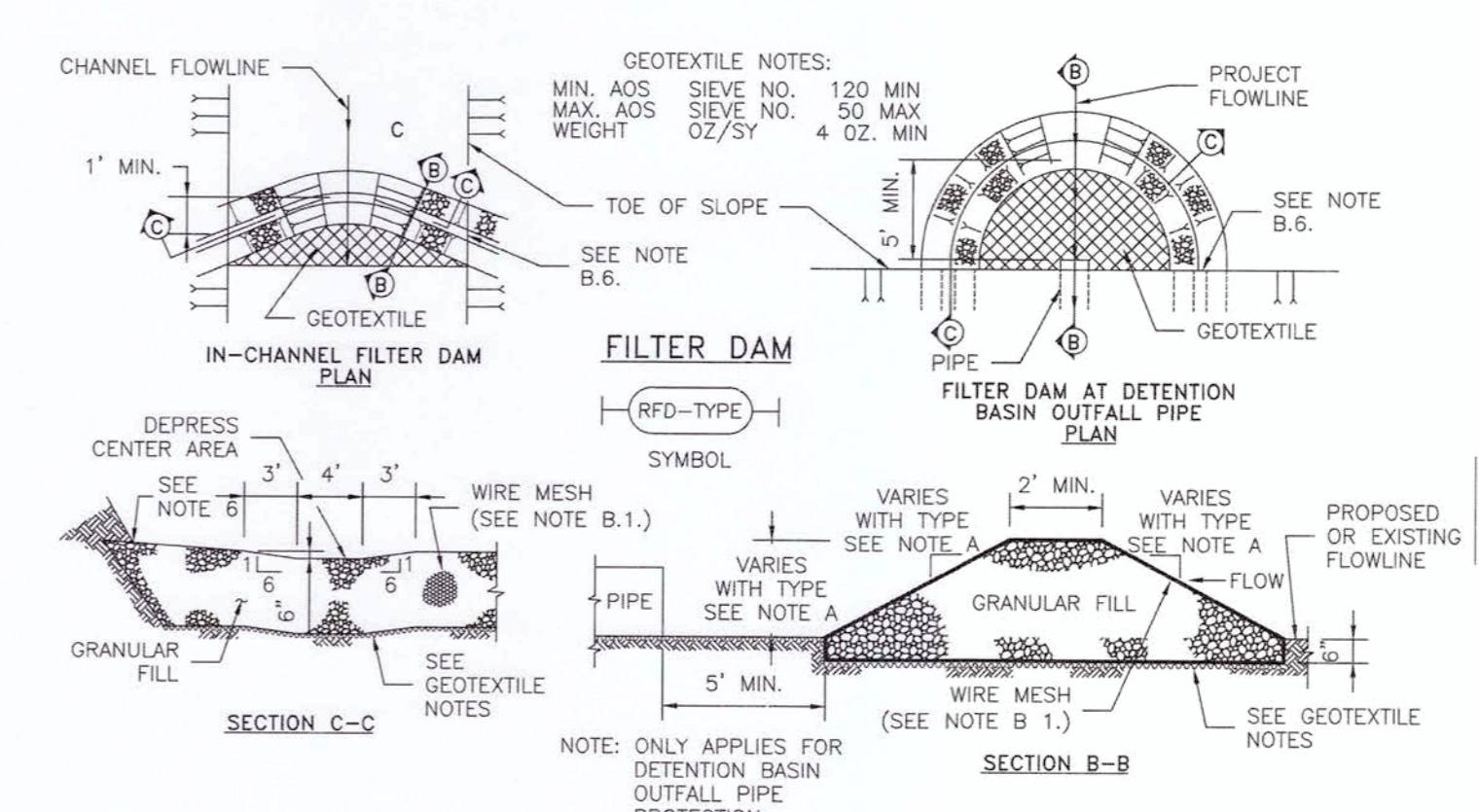


Massid 9/27/17

Plotted: 07/18/17 - 5:19 PM, By: mlogoz
 File: P:\DEPC PROJECTS\0469 First Hartford\16-197 Richmond TX - SVC Williams Way\Draw\Site Plans\0469161975\EC3.dwg -> 18 EROSION CONTROL



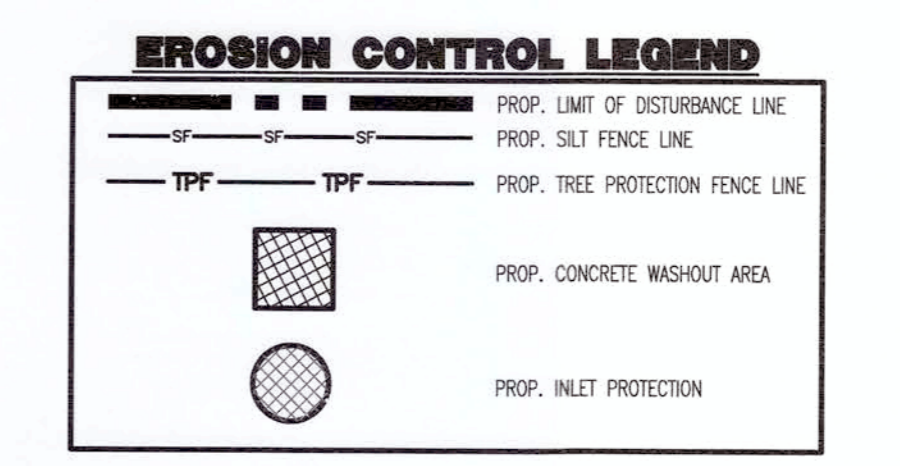
- NOTES**
- THE SURVEYOR HAS ABSTRACTED THE SUBJECT PROPERTY.
 - SURVEY WAS CREATED WITH THE BENEFIT OF A TITLE COMMITMENT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY UNDER G.F. NO. FAH16003470, DATED JUNE 16, 2016.
 - BASIS OF BEARINGS FOR THE SURVEY IS THE DEED OF RECORD IN F.B.C.C.F. NUMBER 2014079275.
 - BY GRAPHIC PLOTTING ONLY, THE SUBJECT TRACT IS LOCATED IN ZONE "X" (SHADED ON THE FIRM MAP) WITH A SPECIAL NOTE. ZONE "X" IS DEFINED AS AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD. THE SPECIAL NOTES READ AS FOLLOWS: "THIS AREA IS SHOWN AS BEING PROTECTED FROM THE 1-PERCENT-ANNUAL-CHANCE OR GREATER FLOOD HAZARD BY A LEVEE SYSTEM. OVERTOPPING OR FAILURE OF ANY LEVEE SYSTEM IS POSSIBLE." AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NO. 48157C0265 L, DATED APRIL 2, 2014.
 - CONTROL BENCHMARK: CITY OF SUGAR LAND BENCHMARK SGR-RM020, ELEV.=71.4059' NAVD83, 2001 ADJUSTMENT.
 - TBM "A": SQUARE CUT ON TOP OF A "C" INLET LOCATED NEAR THE NORTHEAST CORNER OF THE SUBJECT TRACT AS SHOWN HEREON, ELEV.=72.35'
 - UNDERGROUND UTILITIES SHOWN HEREON MARKED IN FIELD BY OTHERS.
 - SUBJECT TO BLANKET EASEMENT AGREEMENT BETWEEN SOUTHWEST 545, L.P., A TEXAS LIMITED PARTNERSHIP AND EN-TOLUCH SYSTEMS, INC., A TEXAS CORPORATION OF RECORD IN F.B.C.C.F. NUMBER 2001080356, AND RE-RECORDED UNDER F.B.C.C.F. NUMBER 2001105426.
 - SUBJECT TO RESTRICTIONS OF RECORD IN F.B.C.C.F. NUMBER 2003071811.



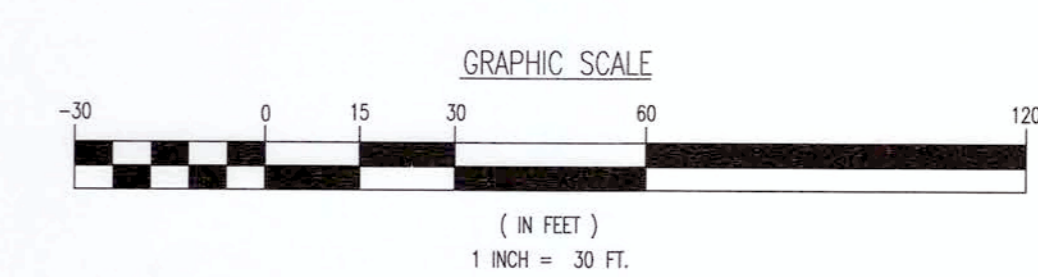
A. TYPES OF FILTER DAMS

- TYPE 1 (NON-REINFORCED)
 - HEIGHT - 18-24 INCHES. MEASURE VERTICALLY FROM EXISTING GROUND TO TOP OF FILTER DAM.
 - TOP WIDTH - 2 FEET (MINIMUM)
 - SLOPES - 2:1 (MAXIMUM)

ROCK FILTER DAM (TYPE 1)
NOT TO SCALE



LIMIT OF DISTURBANCE = 146,805 SF. (3.30 Ac.)



APPROVED: *Mason D...*
Development Coordinator
DATE: 9/27/17

14 K CORNER ENTRY
BUMP-OUT DRIVE-THRU (LEFT)
STORE NUMBER: 11096

4110 WILLIAMS WAY BOULEVARD
CITY OF RICHMOND, FORT BEND COUNTY, TEXAS, 77469
CS PROJECT NUMBER: 99715

JOSEPH G. JAWORSKI
PROFESSIONAL ENGINEER
TEXAS LICENSE No. 120486

DEVELOPER:
FIRST HARTFORD REALTY CORPORATION
149 COLONIAL ROAD
MANCHESTER, CT 06042-2307
TEL: (860) 646-6555
FAX: (860) 646-6572
PROJECT CONTACT: JOHN TOIC

Rev.	Date	Comments	By
1	05/11/17	REV. PER AGENCY COMMENTS	DNH
2	05/15/17	REV. PER CITY COMMENTS	DNH
3	07/19/17	REV. PER CITY COMMENTS	MAL

SCALE: (H) 1" = 30'
(V) 1" = 10'

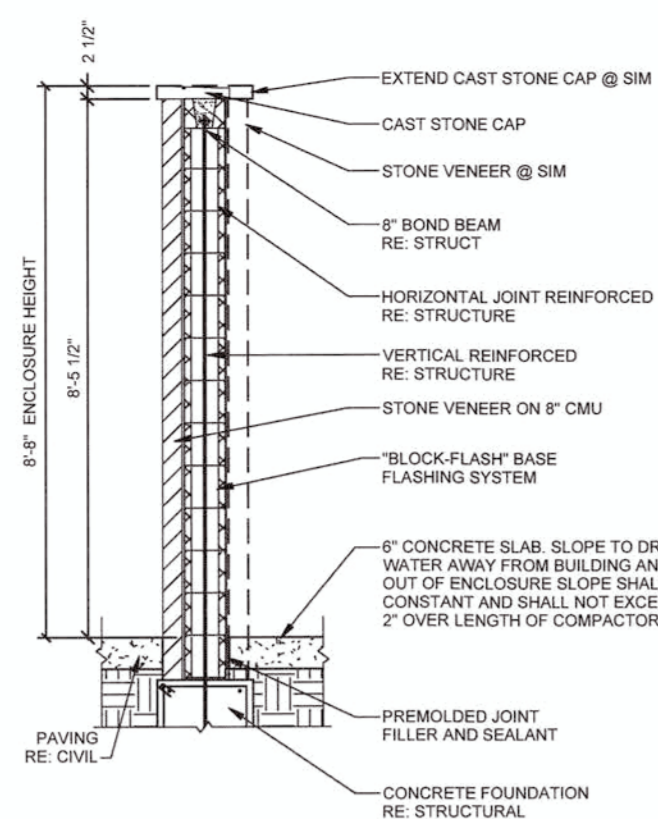
DRAWN BY: DNH/GRY
DESIGNED BY: JAK
CHECKED BY: SES
DATE: 02/17/17
JOB No: 0469-16-197

TITLE:
EROSION CONTROL PLAN

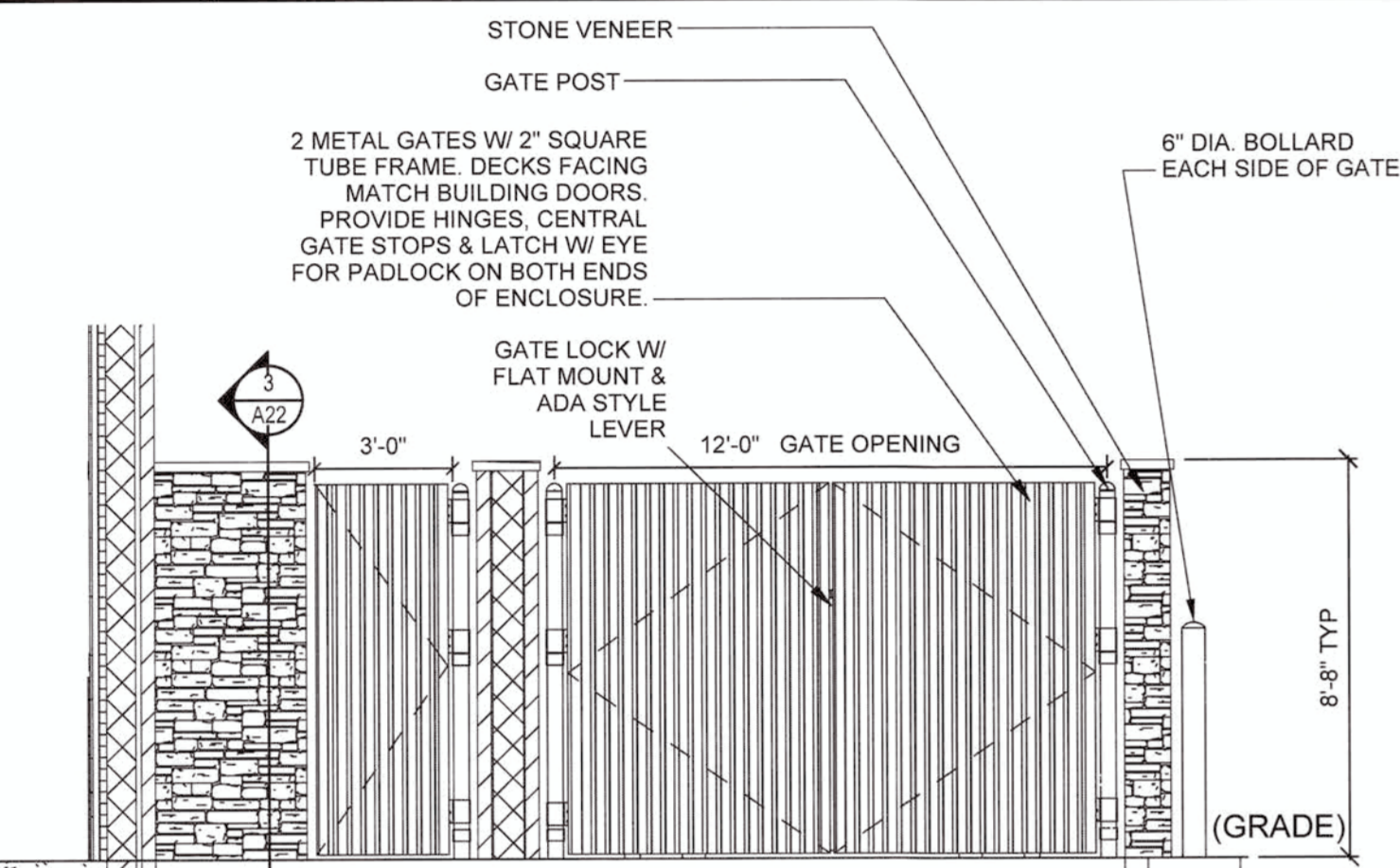
SHEET No:
18
OF 36

COMMENTS:
THIS PLAN IS FOR APPROVAL PROCESS ONLY AND MAY NOT BE USED FOR CONSTRUCTION

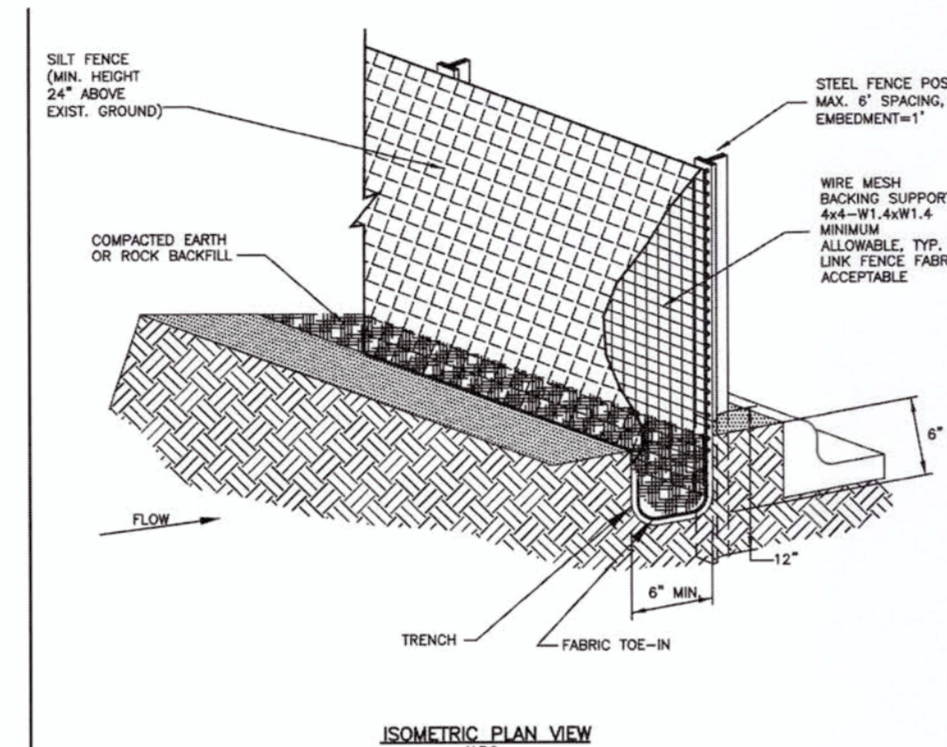
Rev. # 3



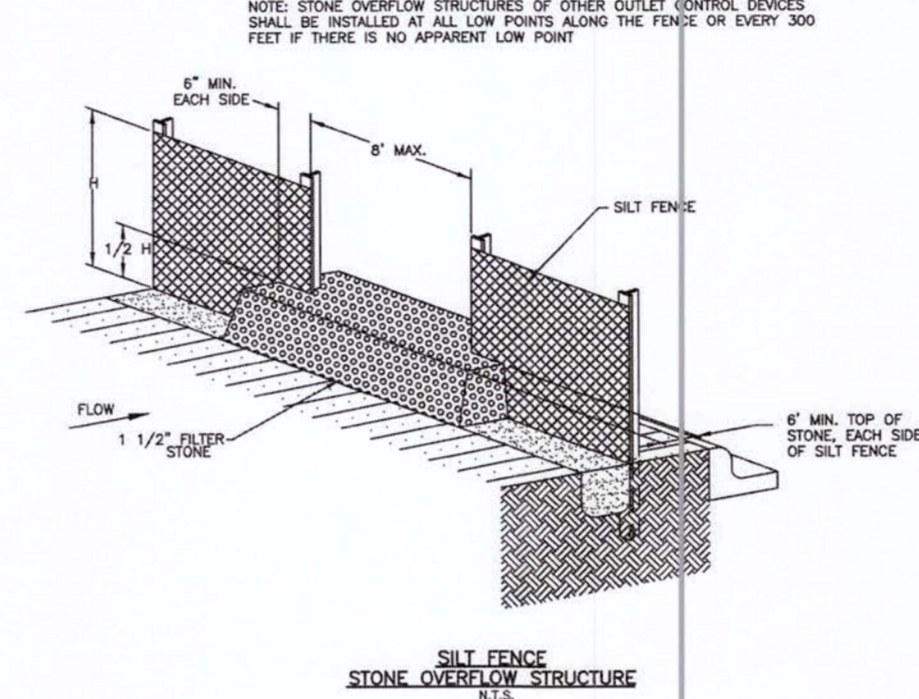
TRASH ENCLOSURE WALL SECTION DETAIL
NOT TO SCALE



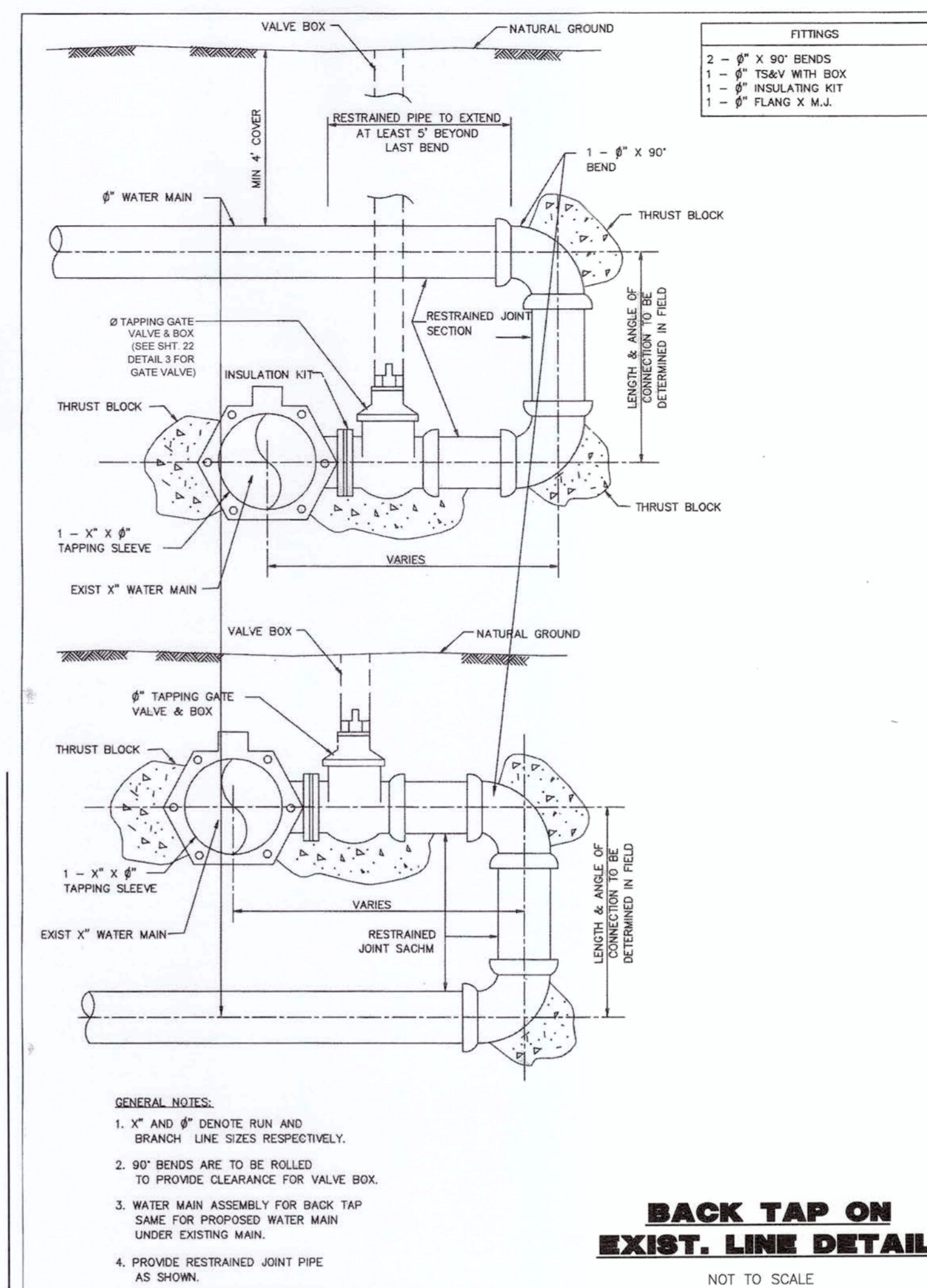
TRASH ENCLOSURE / ACCESS GATE DETAIL
NOT TO SCALE



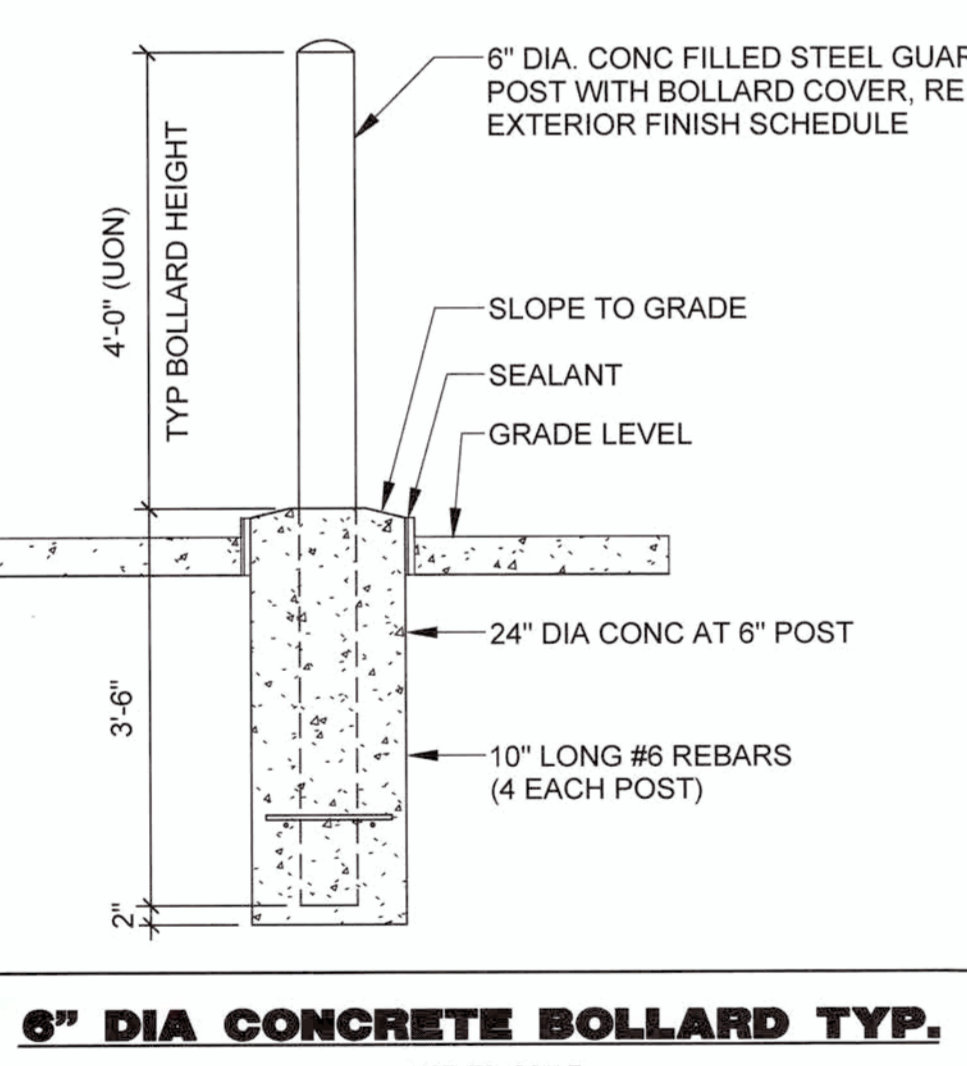
SILT FENCE DETAIL
NOT TO SCALE



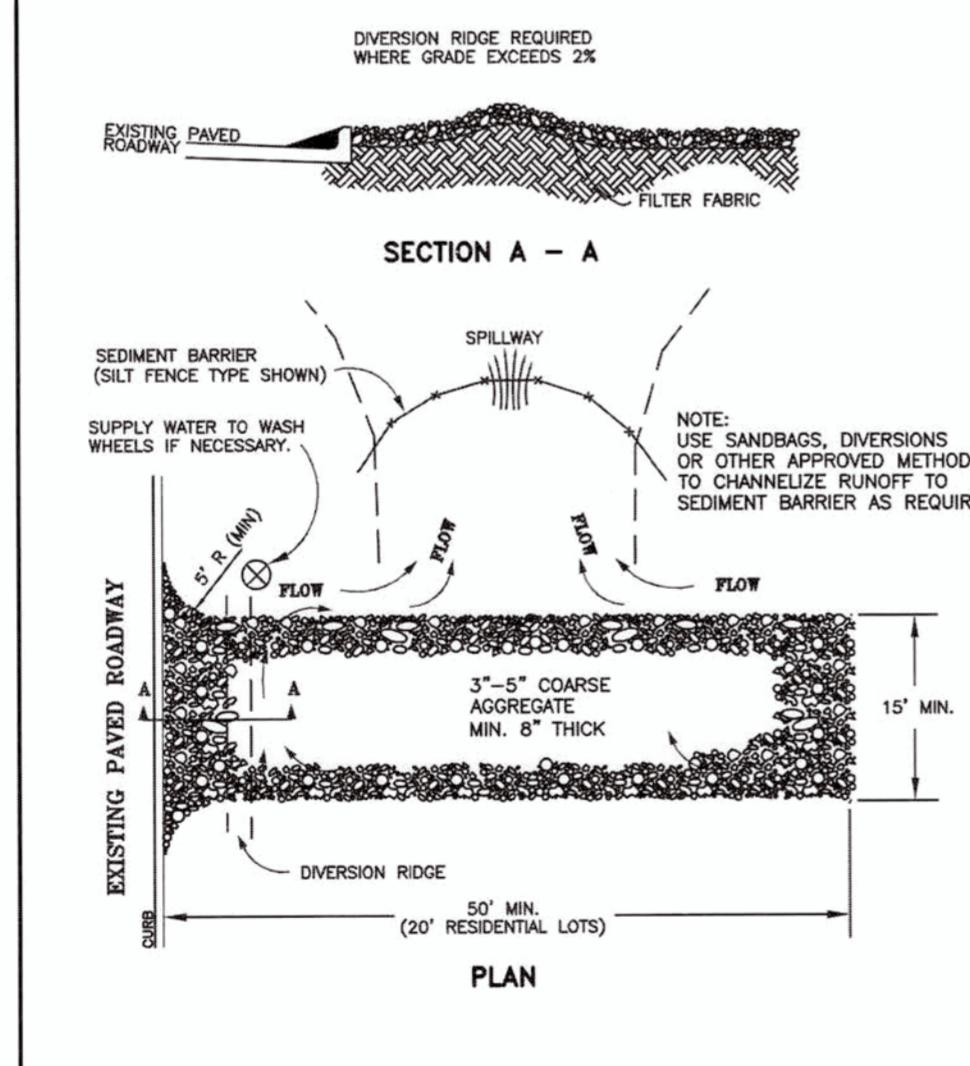
SILT FENCE STONE OVERFLOW STRUCTURE
N.T.S.



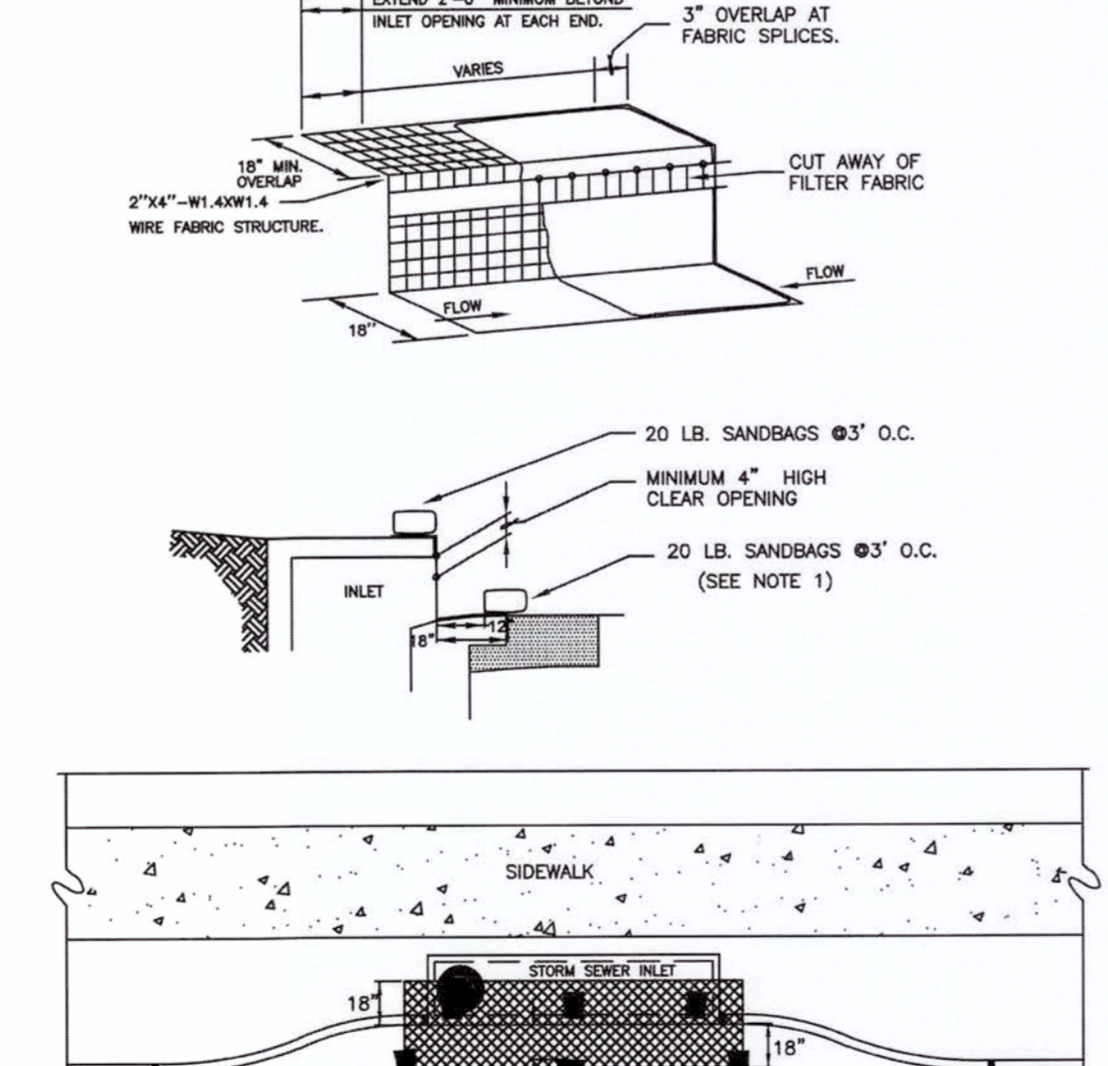
BACK TAP ON EXIST. LINE DETAIL
NOT TO SCALE



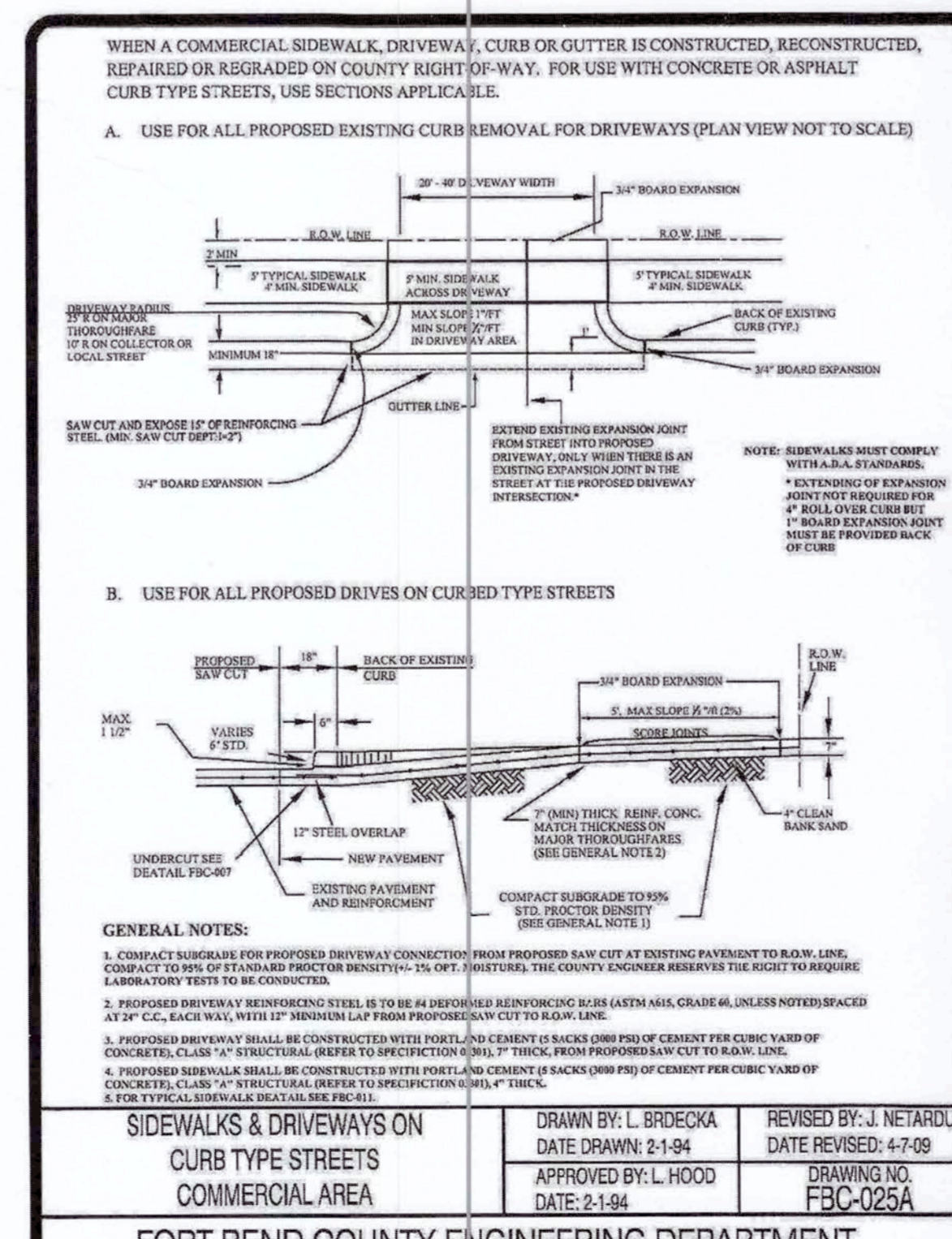
6" DIA CONCRETE BOLLARD TYP.
NOT TO SCALE



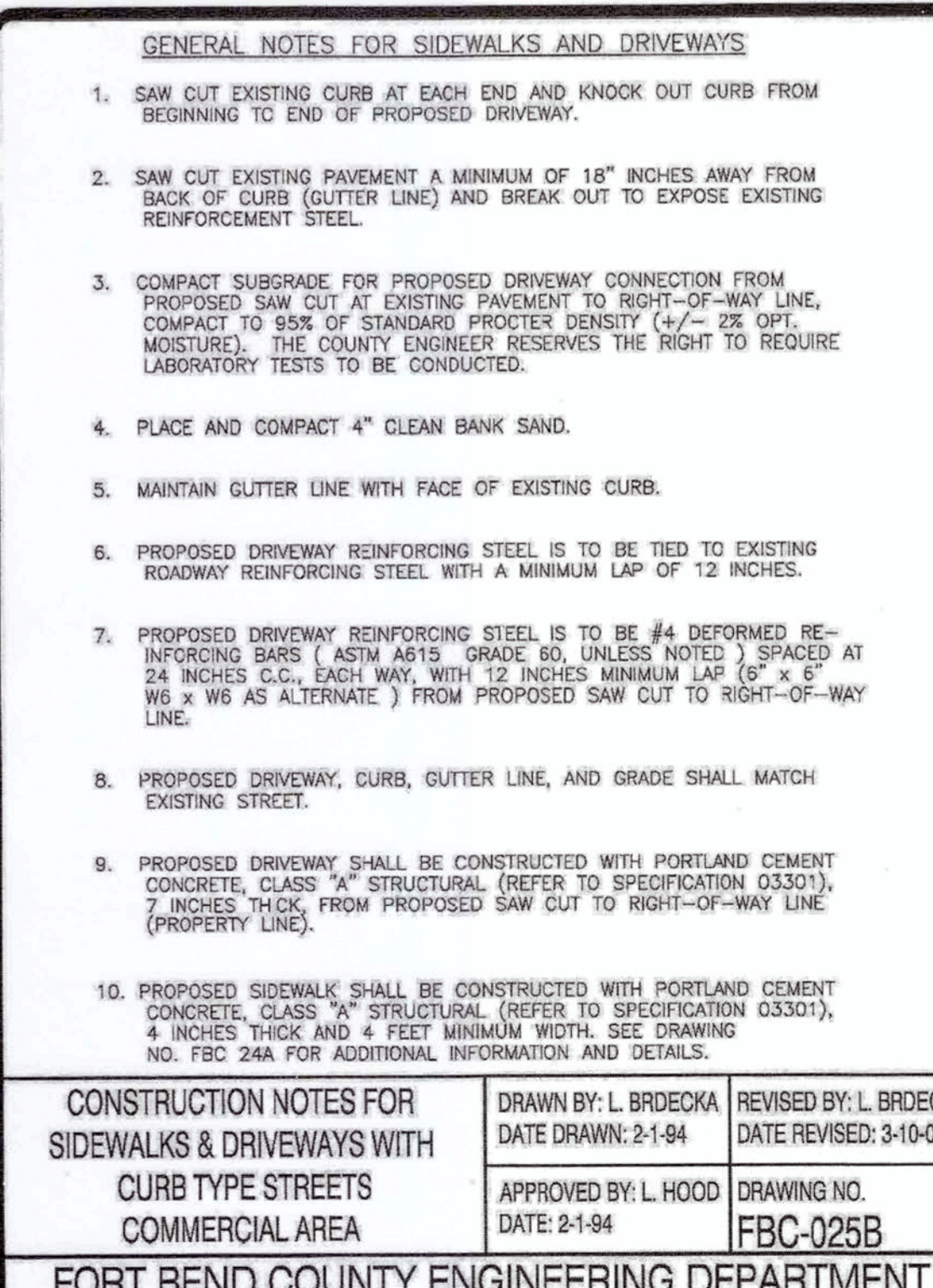
TEMPORARY STONE CONSTRUCTION ENTRANCE/EXIT
N.T.S.



CURB INLET PROTECTION DETAIL
N.T.S.



SIDEWALKS & DRIVEWAYS ON CURB TYPE STREETS COMMERCIAL AREA
FORT BEND COUNTY ENGINEERING DEPARTMENT

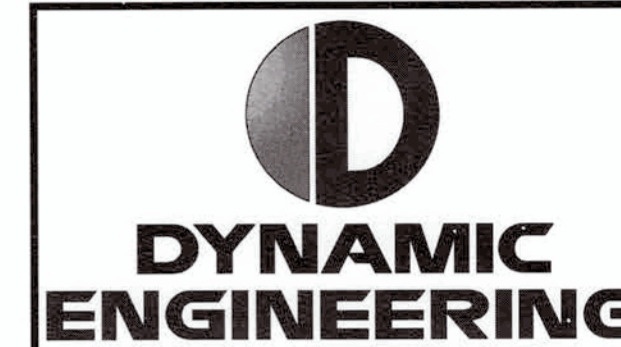


CONSTRUCTION NOTES FOR SIDEWALKS & DRIVEWAYS WITH CURB TYPE STREETS COMMERCIAL AREA
FORT BEND COUNTY ENGINEERING DEPARTMENT

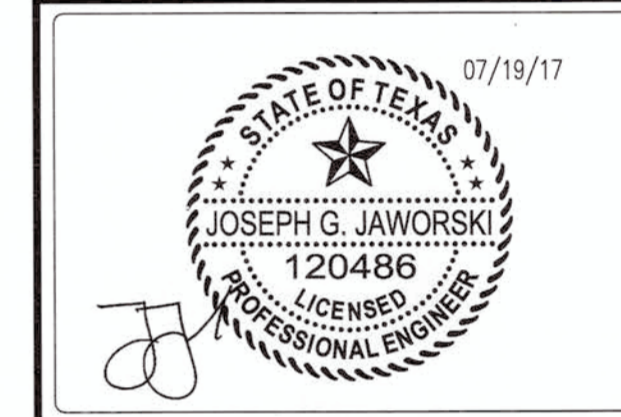


14 K CORNER ENTRY BUMP-OUT DRIVE-THRU (LEFT) STORE NUMBER: 11096

4110 WILLIAMS WAY BOULEVARD
CITY OF RICHMOND, FORT BEND COUNTY, TEXAS, 77469
CS PROJECT NUMBER: 99715



Central NJ Office
North NJ Office
South NJ Office
PA Office
Dallas Texas Office
Houston TX Office
Austin Texas Office



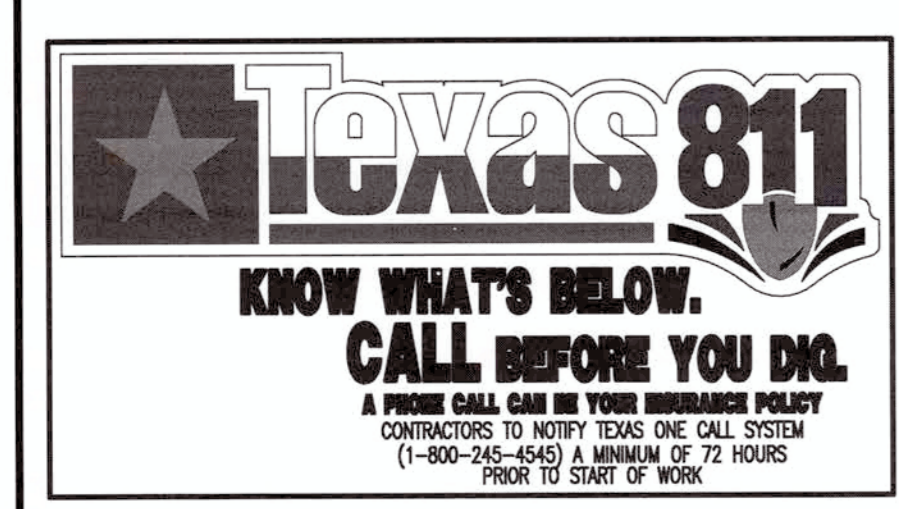
JOSEPH G. JAWORSKI
PROFESSIONAL ENGINEER
TEXAS LICENSE NO. 120486

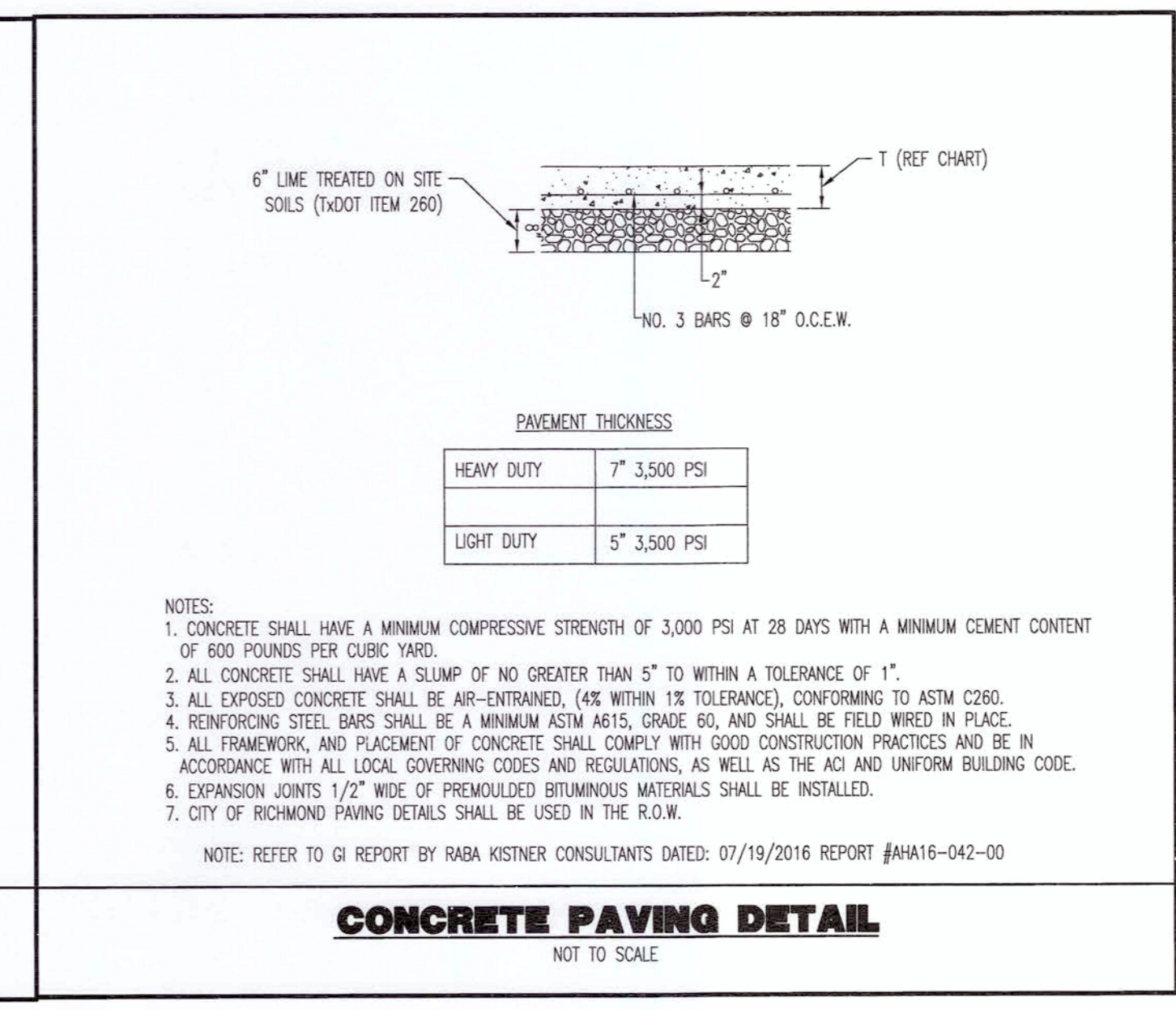
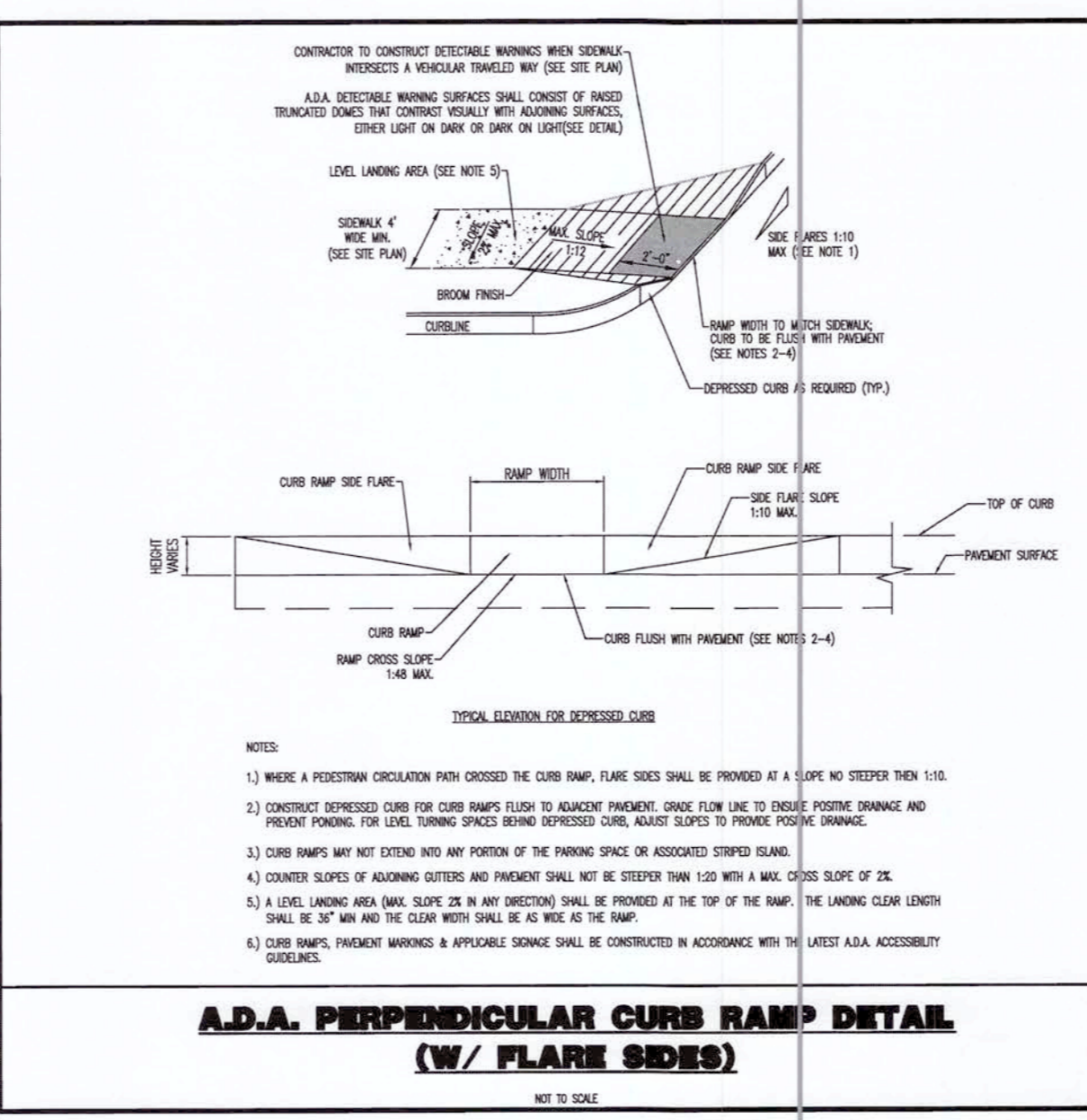
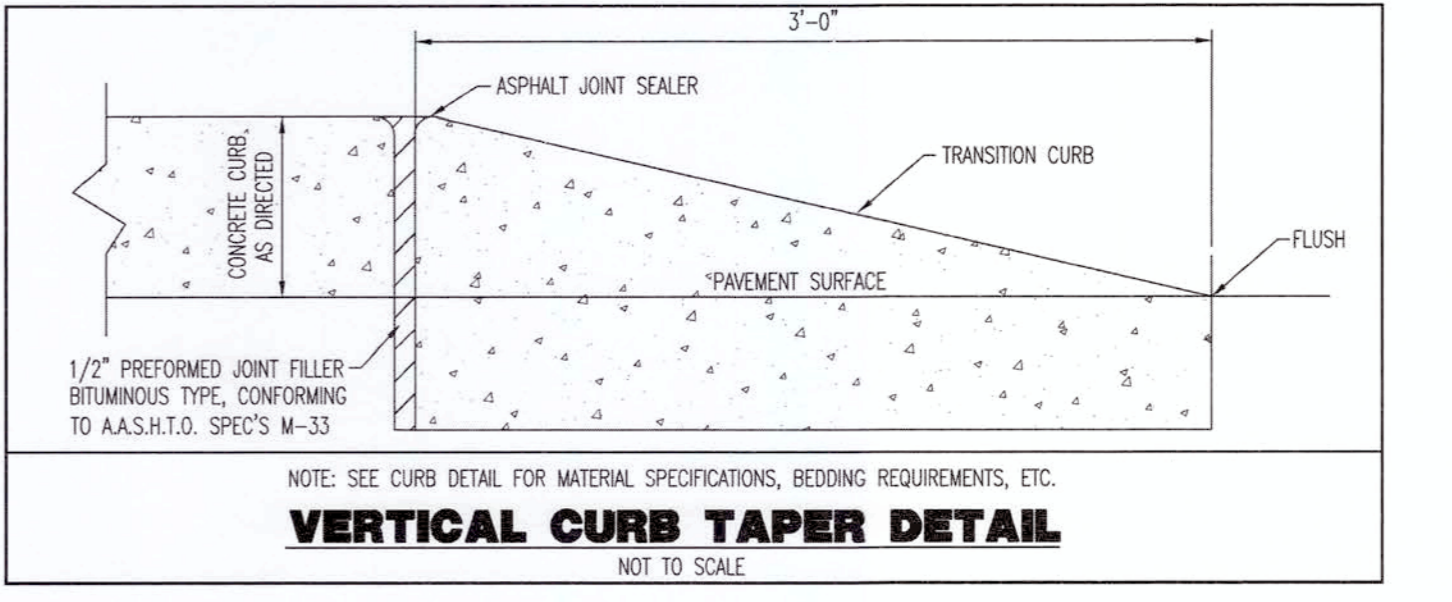
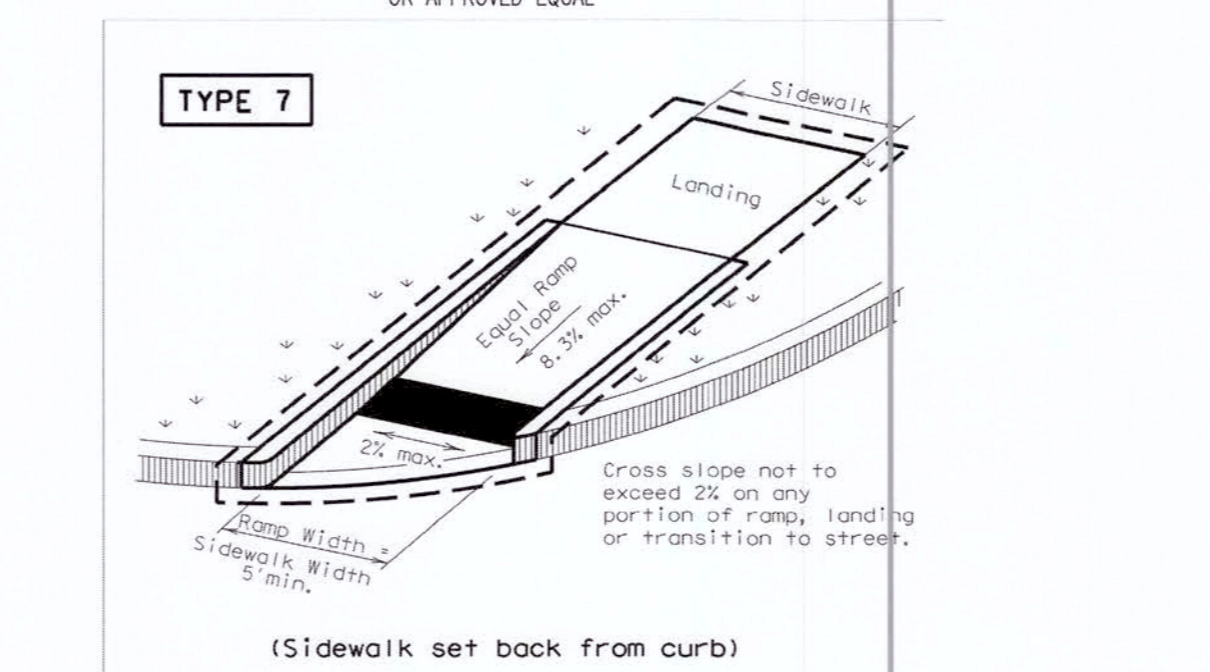
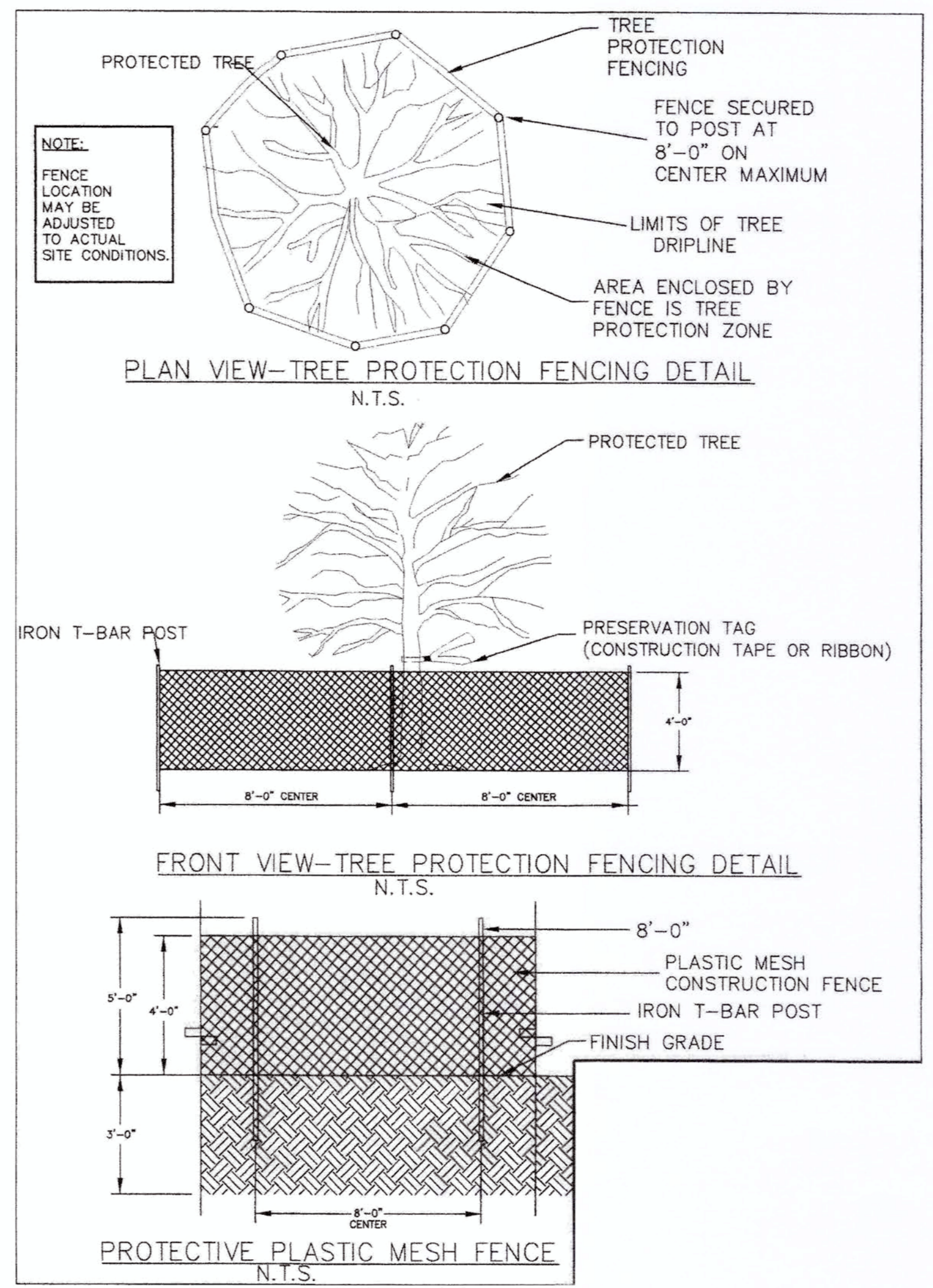
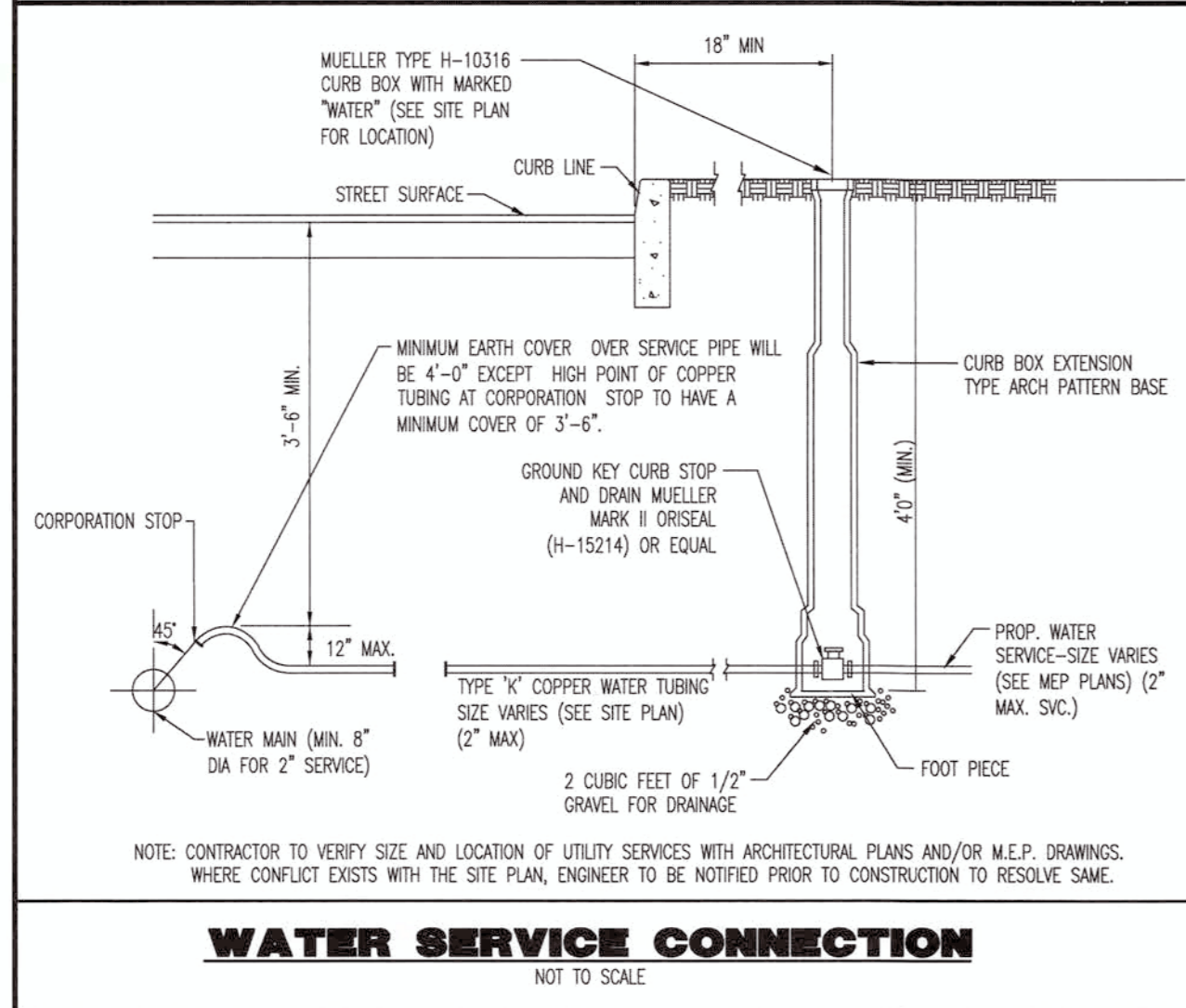
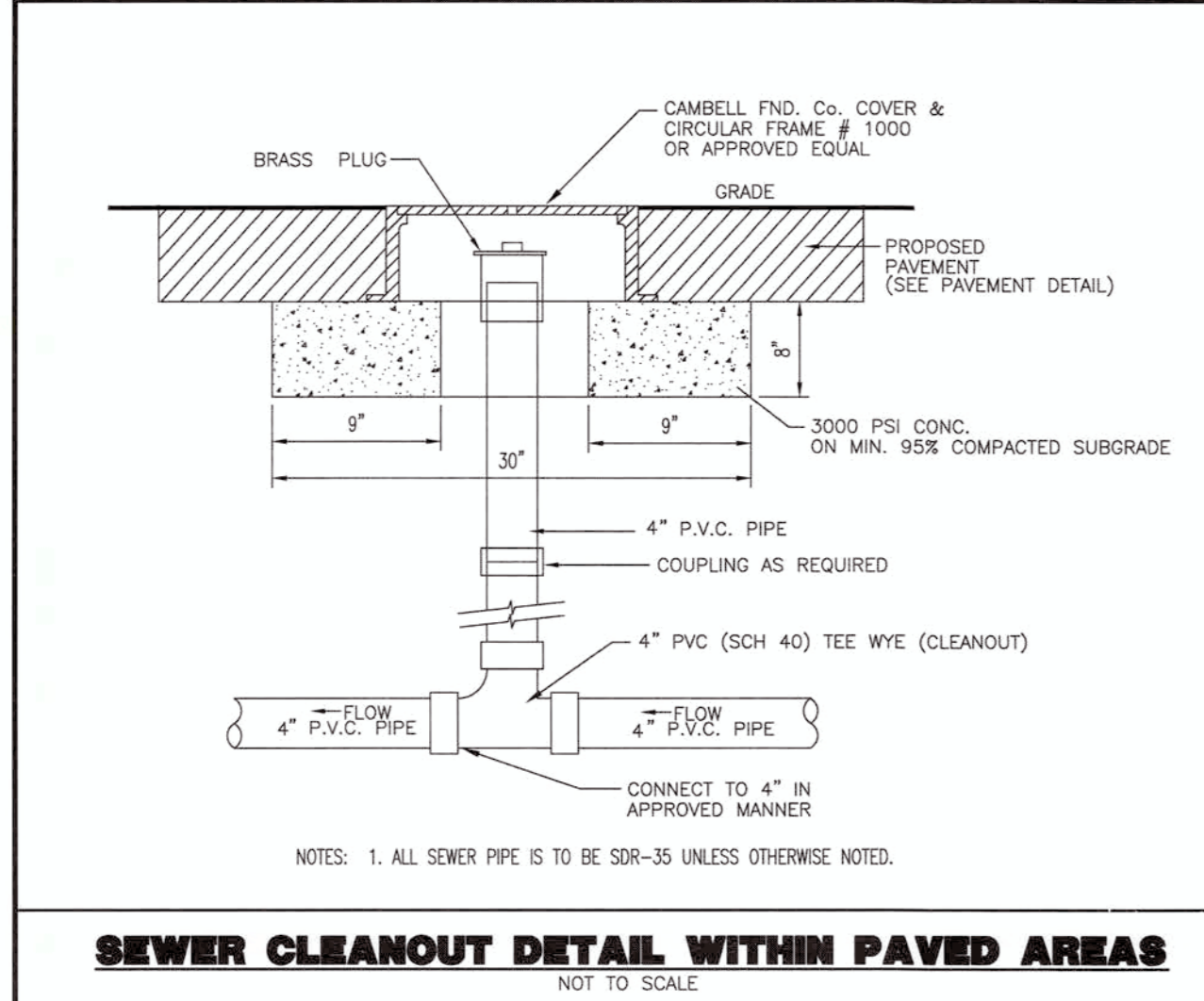
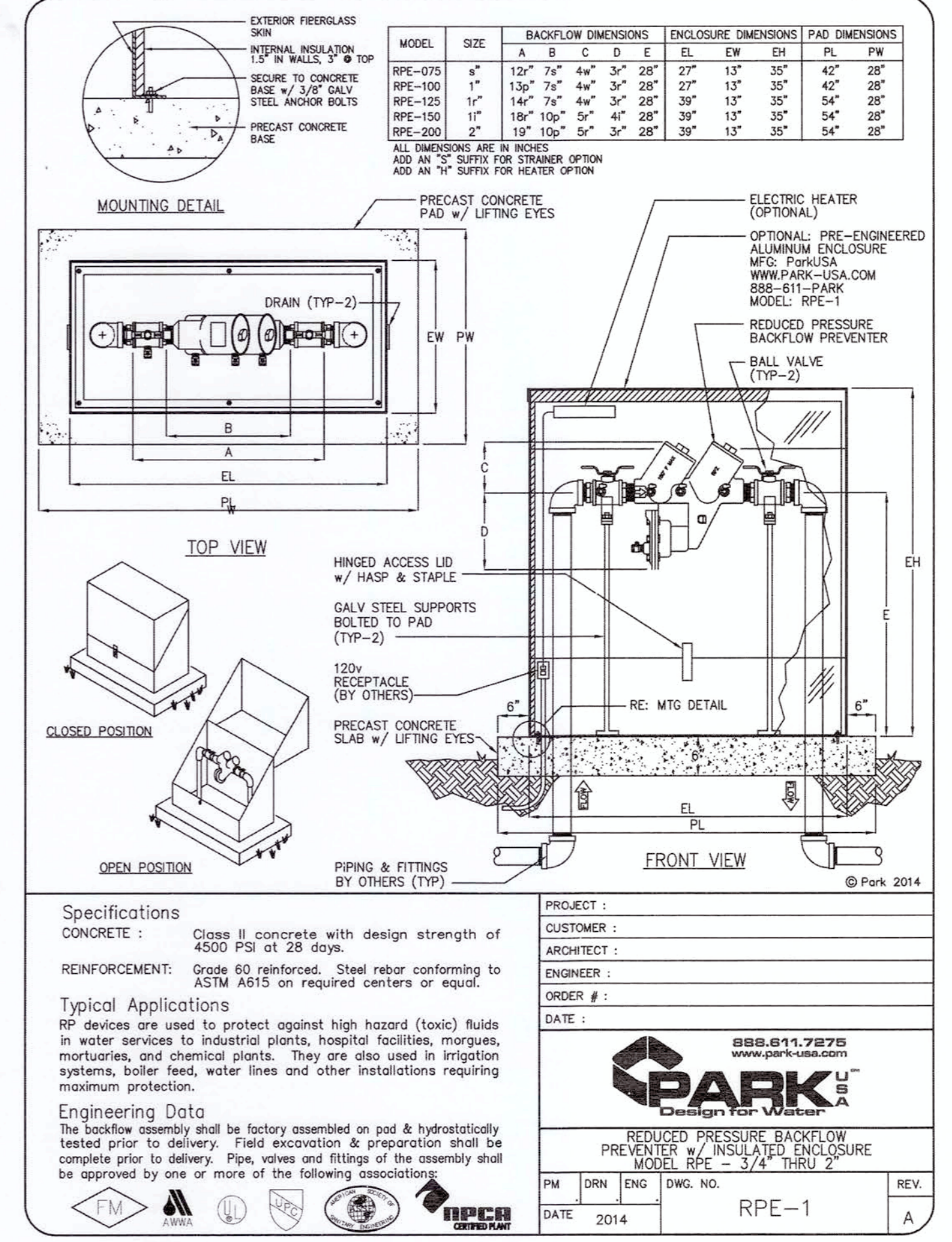
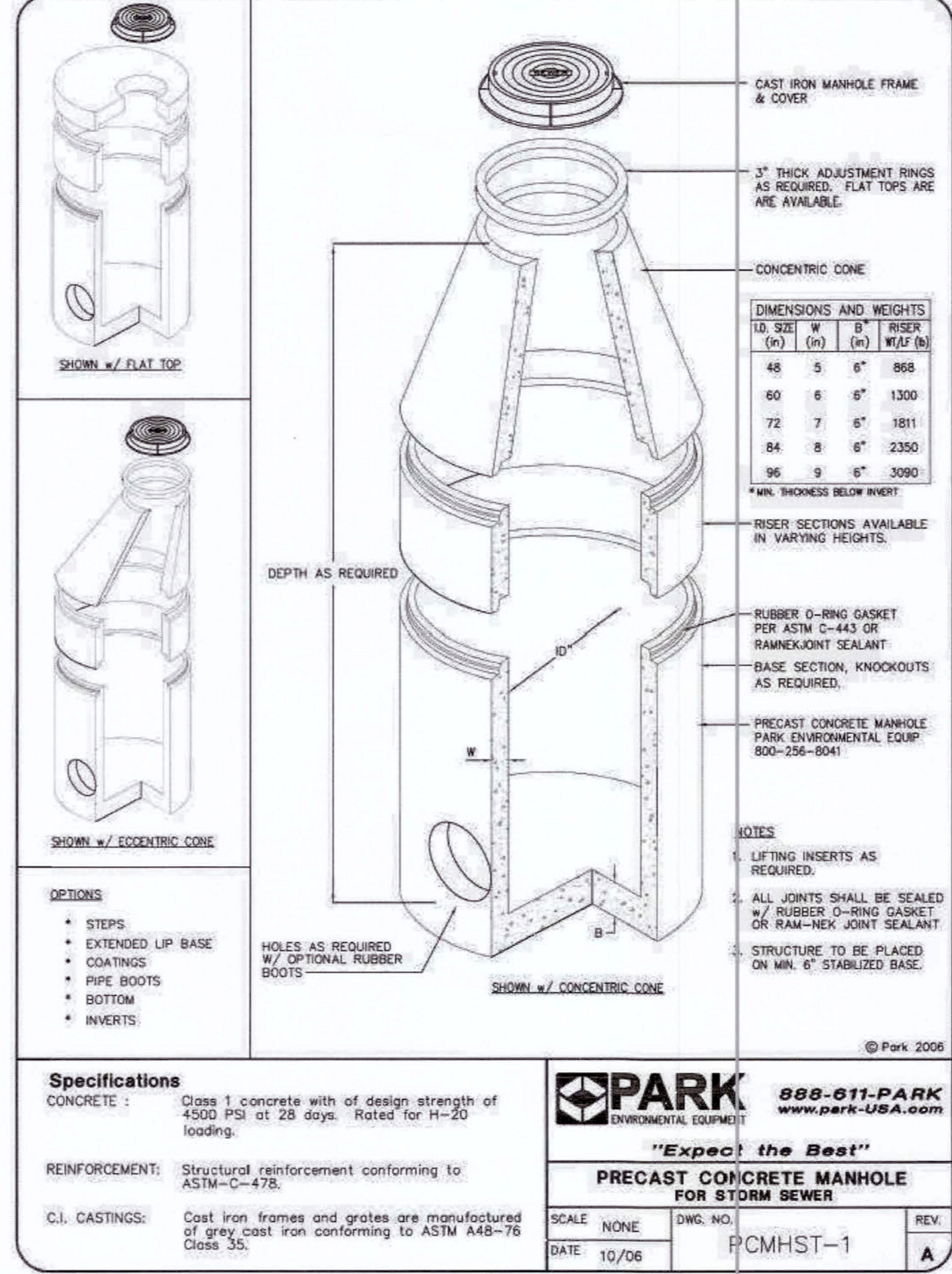
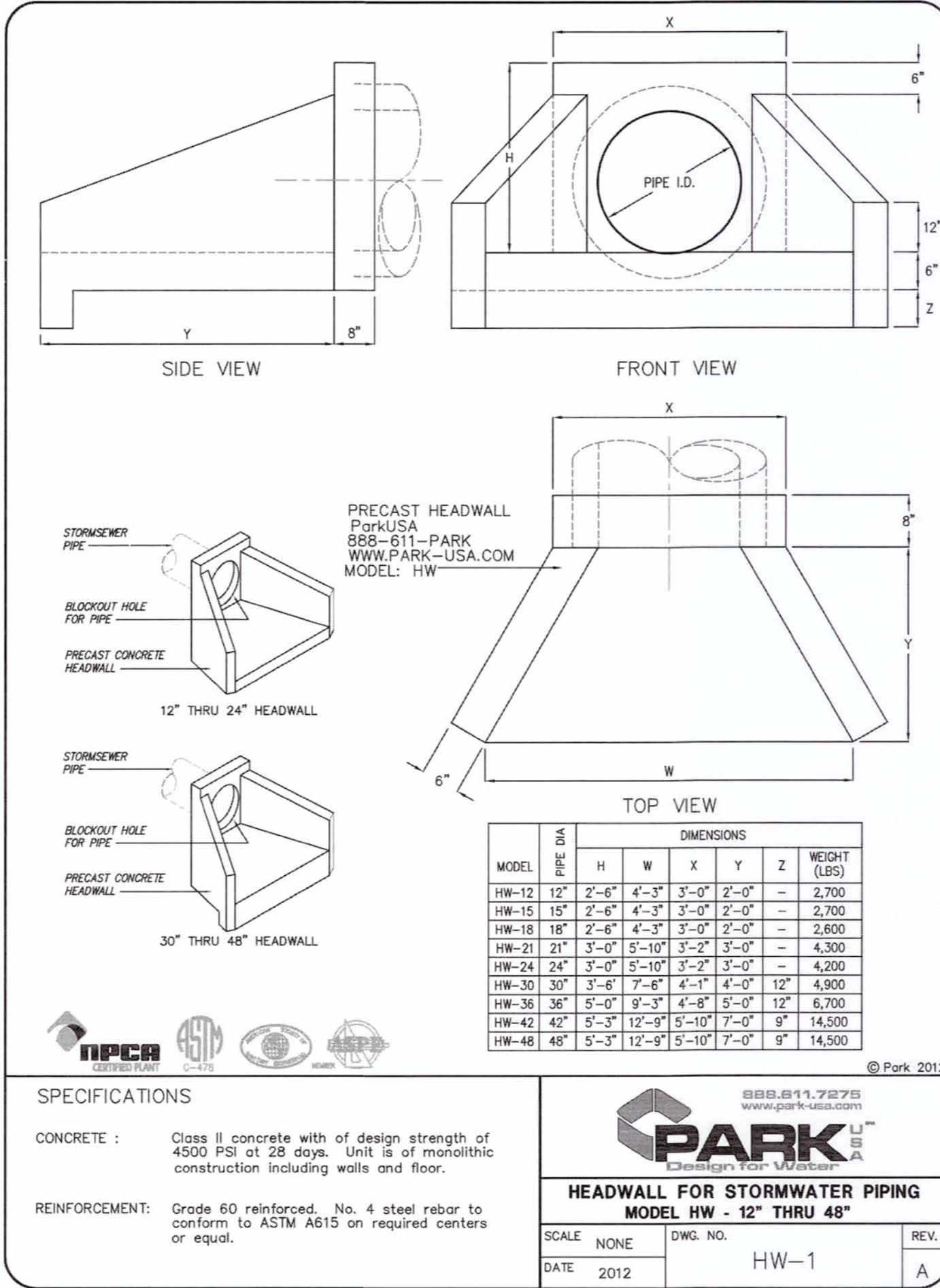
DEVELOPER:
FIRST HARTFORD REALTY CORPORATION
149 COLONIAL ROAD
MANCHESTER, CT 06042-2307
TEL: (860) 646-6555
FAX: (860) 646-6572
PROJECT CONTACT: JOHN TOIC

Rev.	Date	Comments	By
1	05/11/17	REV. PER AGENCY COMMENTS	DNH
2	05/15/17	REV. PER CITY COMMENTS	DNH
3	07/19/17	REV. PER CITY COMMENTS	MAL

SCALE:	(H) AS SHOWN (V) SHOWN
DRAWN BY:	DNH/GRY
DESIGNED BY:	JAK
CHECKED BY:	SES
DATE:	02/17/17
JOB No:	0469-16-197
TITLE:	CONSTRUCTION DETAILS
SHEET No:	20
COMMENTS:	THIS PLAN IS FOR APPROVAL PROCESS ONLY AND MAY NOT BE USED FOR CONSTRUCTION
Rev. #	3

APPROVED: *Meyd*
Development Coordinator
DATE: 9/27/17





CVS pharmacy
 14 K CORNER ENTRY
 BUMP-OUT DRIVE-THRU (LEFT)
 STORE NUMBER: 11096
 4110 WILLIAMS WAY BOULEVARD
 CITY OF RICHMOND, FORT BEND COUNTY, TEXAS, 77469
 CS PROJECT NUMBER: 99715

DYNAMIC ENGINEERING
 Central NJ Office
 1000 Main Street
 Littleton, NJ 07643
 F: 732.974.3331
 South NJ Office
 4 PROSPECTOR DRIVE
 Toms River, NJ 08753
 T: 732.974.3338
 Dallas Texas Office
 1301 Commerce Street, Suite 210
 Dallas, TX 75201
 Houston TX Office
 14801 Old Katy Road, Suite 200
 Houston, TX 77050
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 11700 Research Blvd
 Austin, TX 78754
 www.dynamiceng.com

STATE OF TEXAS
 JOSEPH G. JAWORSKI
 120486
 PROFESSIONAL ENGINEER
 TEXAS LICENSE No. 120486

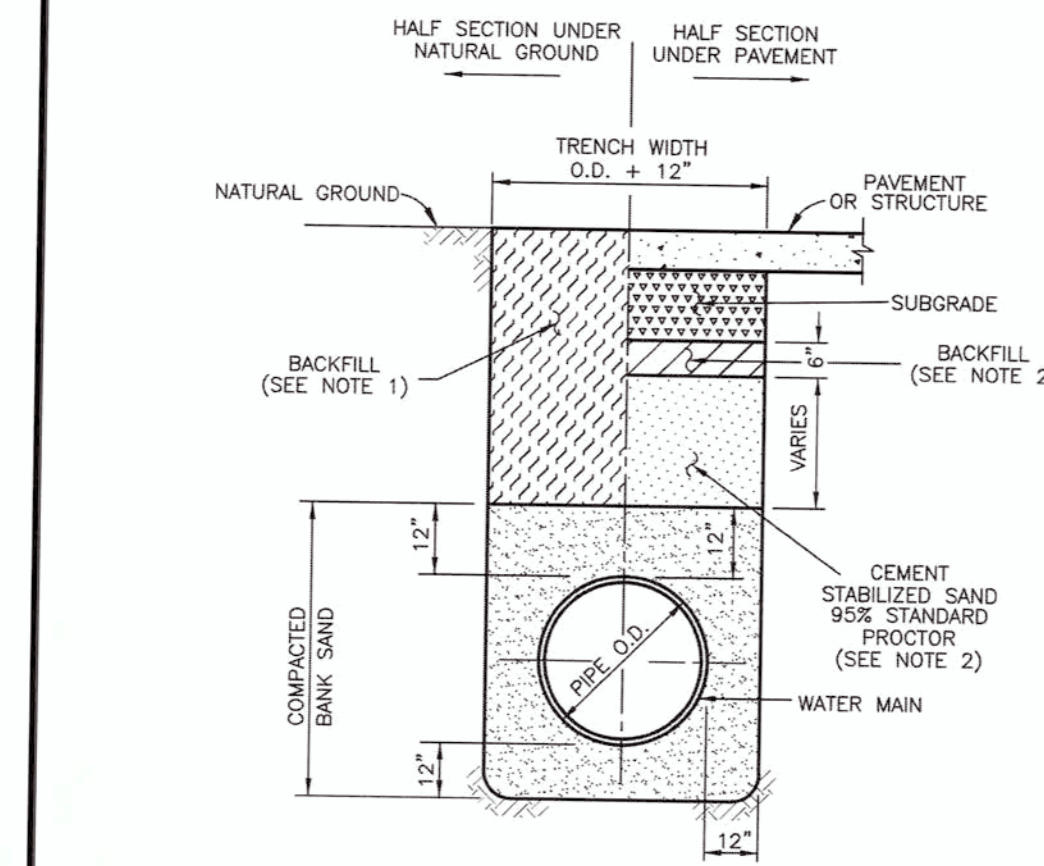
DEVELOPER:
FIRST HARTFORD REALTY CORPORATION
 149 COLONIAL ROAD
 MANCHESTER, CT 06042-2307
 TEL: (860) 646-6555
 FAX: (860) 646-8572
 PROJECT CONTACT: JOHN TOIC

Rev.	Date	Comments	By
1	05/11/17	REV. PER AGENCY COMMENTS	DNH
2	05/15/17	REV. PER CITY COMMENTS	DNH
3	07/19/17	REV. PER CITY COMMENTS	MAL

SCALE: (H) AS SHOWN
 (V) SHOWN
 DRAWN BY: DNH/GRY
 DESIGNED BY: JAK
 CHECKED BY: SES
 DATE: 02/17/17
 JOB No: 0469-16-197
CONSTRUCTION DETAILS
 SHEET No: **21** of 36
 COMMENTS:
 THIS PLAN IS FOR APPROVAL PROCESS ONLY AND MAY NOT BE USED FOR CONSTRUCTION
 Rev. # 3

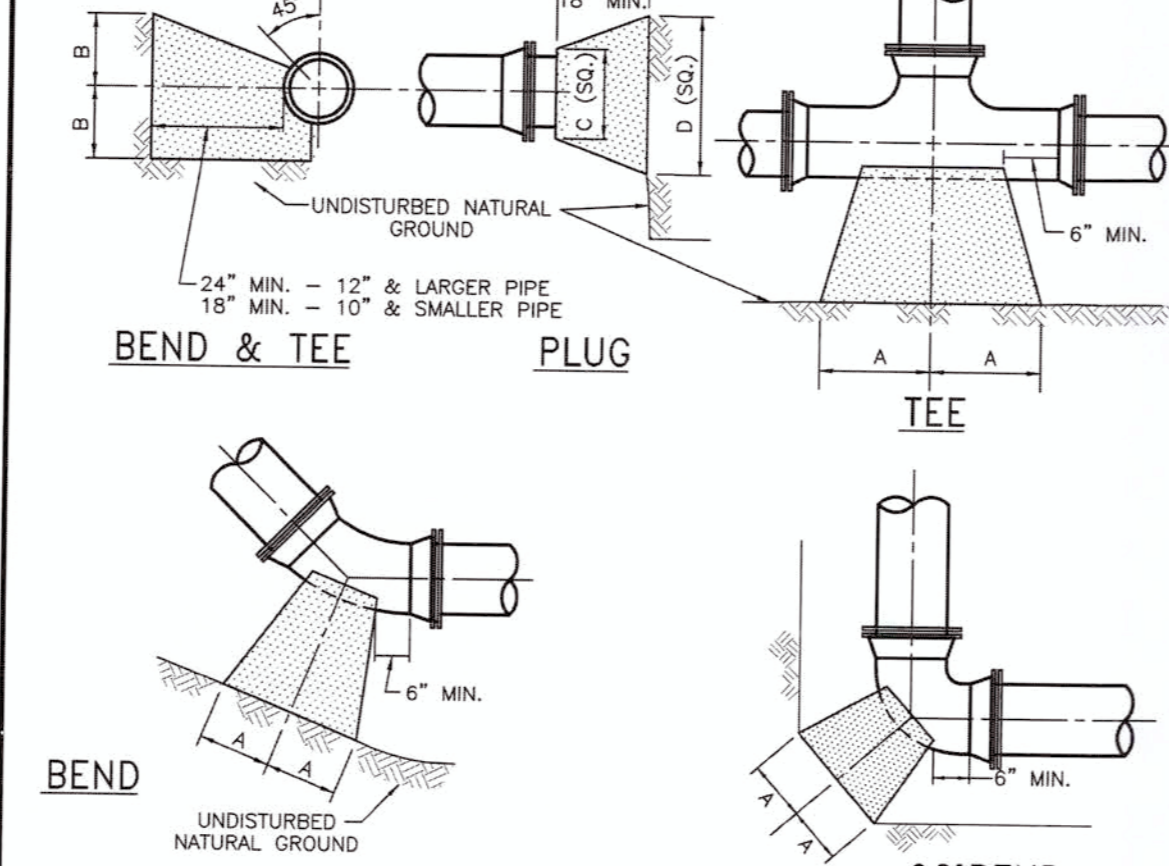
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Texas 811
 KNOW WHAT'S BELOW.
 CALL BEFORE YOU DIG.
 A PHONE CALL CAN BE YOUR BEST FRIEND.
 CONTRACTORS TO NOTIFY TEXAS ONE CALL SYSTEM
 (1-800-245-4545) A MINIMUM OF 72 HOURS
 PRIOR TO START OF WORK



NOTES

1. BACKFILL SHALL BE NATIVE SOIL, FREE OF DEBRIS, PLACED IN LIFTS, 8" THICK OR LESS, COMPACTED TO 95% STANDARD PROCTOR DENSITY, EXCEPT AS REQUIRED BELOW.
2. BACKFILL UNDER AND WITHIN 3 FEET OF DRIVEWAYS AND PUBLIC STREETS SHALL BE CEMENT STABILIZED SAND (2 SACKS OF CEMENT PER TON OF SAND), EXCEPT THE TOP 6" SHALL BE NATIVE SOIL, FREE OF DEBRIS. ALL BACKFILL UNDER PAVING SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
3. TRENCH SHORING, IN ACCORDANCE WITH OSHA, SHALL BE INSTALLED AS REQUIRED.
4. ALL EXCAVATED MATERIAL WITH A P.I. OF 12 OR LESS MAY BE USED AS BACKFILL WITH FIELD APPROVAL BY THE CITY.

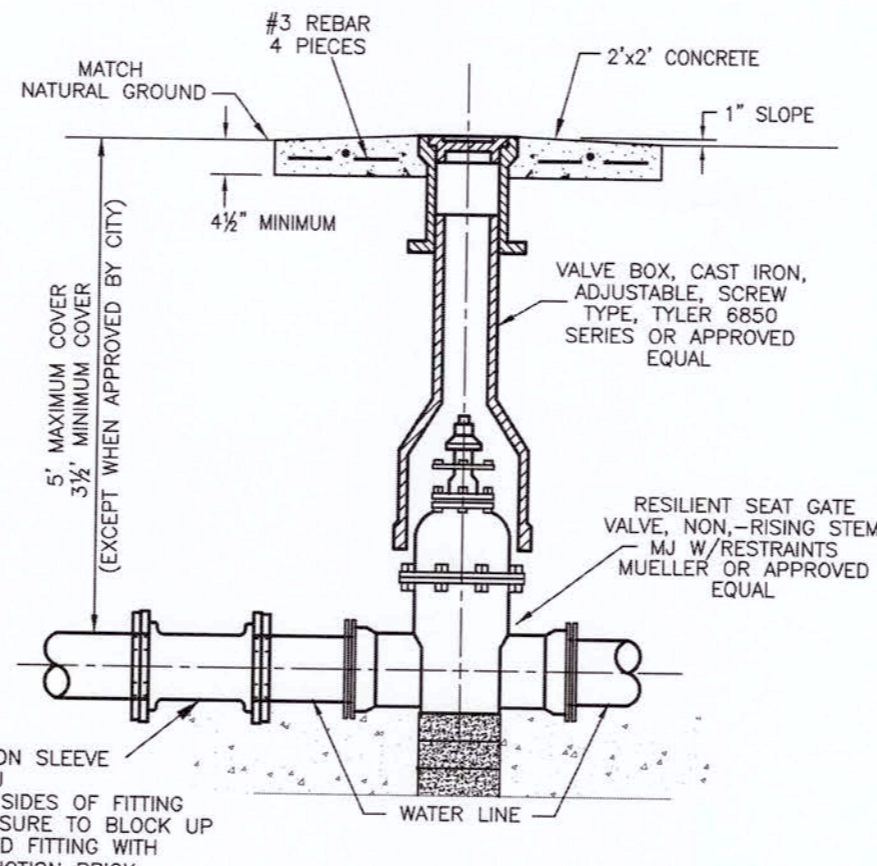


2. THRUST BLOCK

SIZE	90° BEND		45° BEND		22 1/2° BEND		TEES		PLUGS	
	A	B	A	B	A	B	A	B	C	D
2 1/2"	12"	7"	6"	7"	6"	6"	7"	6"	8"	14"
4"	14"	8"	7"	9"	6"	8"	7"	8"	8"	18"
6"	18"	10"	9"	10"	8"	10"	10"	12"	10"	21"
8"	22"	13"	12"	13"	8"	10"	13"	16"	12"	29"
12"	29"	21"	16"	21"	11"	16"	18"	24"	16"	41"
16"	38"	27"	21"	27"	12"	24"	24"	30"	20"	54"

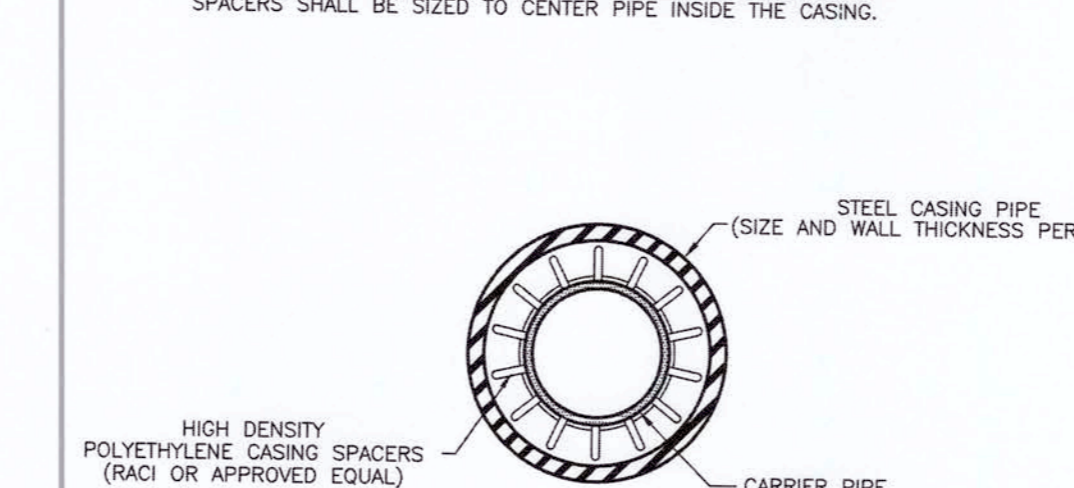
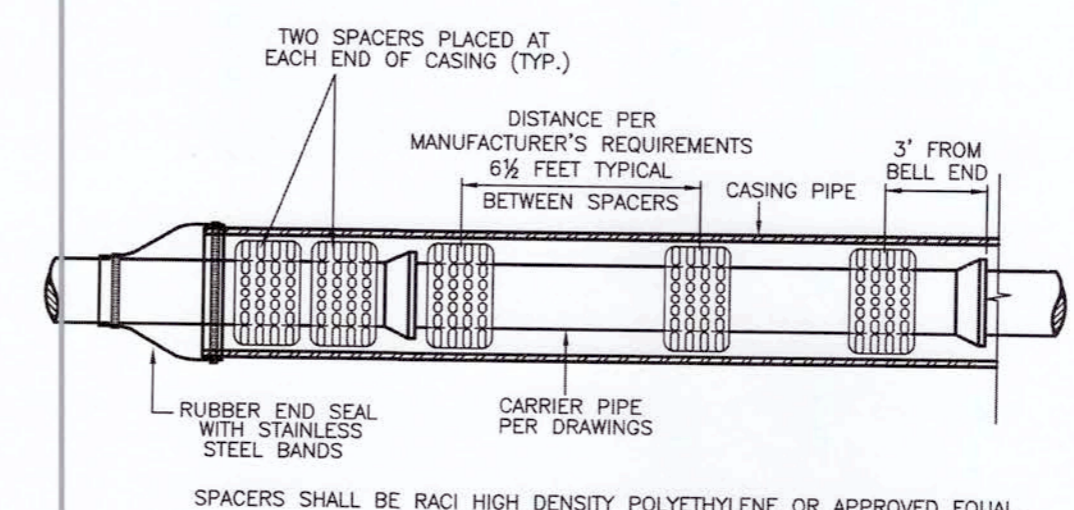
NOTES:

1. THRUST BLOCKS AT TRENCH FACE MUST HAVE A MINIMUM BEARING SURFACE OF 1.0 SQ. FOOT AND THE LEAST DIMENSION SHALL BE NO SMALLER THAN 1.5 TIMES PIPE DIAMETER, BUT NOT LESS THAN 1.0 FT.
2. ALL CONCRETE SHALL BE 3500 PSI AND BE PACKED AT ALL FITTINGS.
3. ALL FITTINGS SHALL BE M.J. RESTRAINED JOINT (EBBA IRON, SERIES 2000PV, OR APPROVED EQUAL) AND WRAPPED IN 6 MIL. PLASTIC.



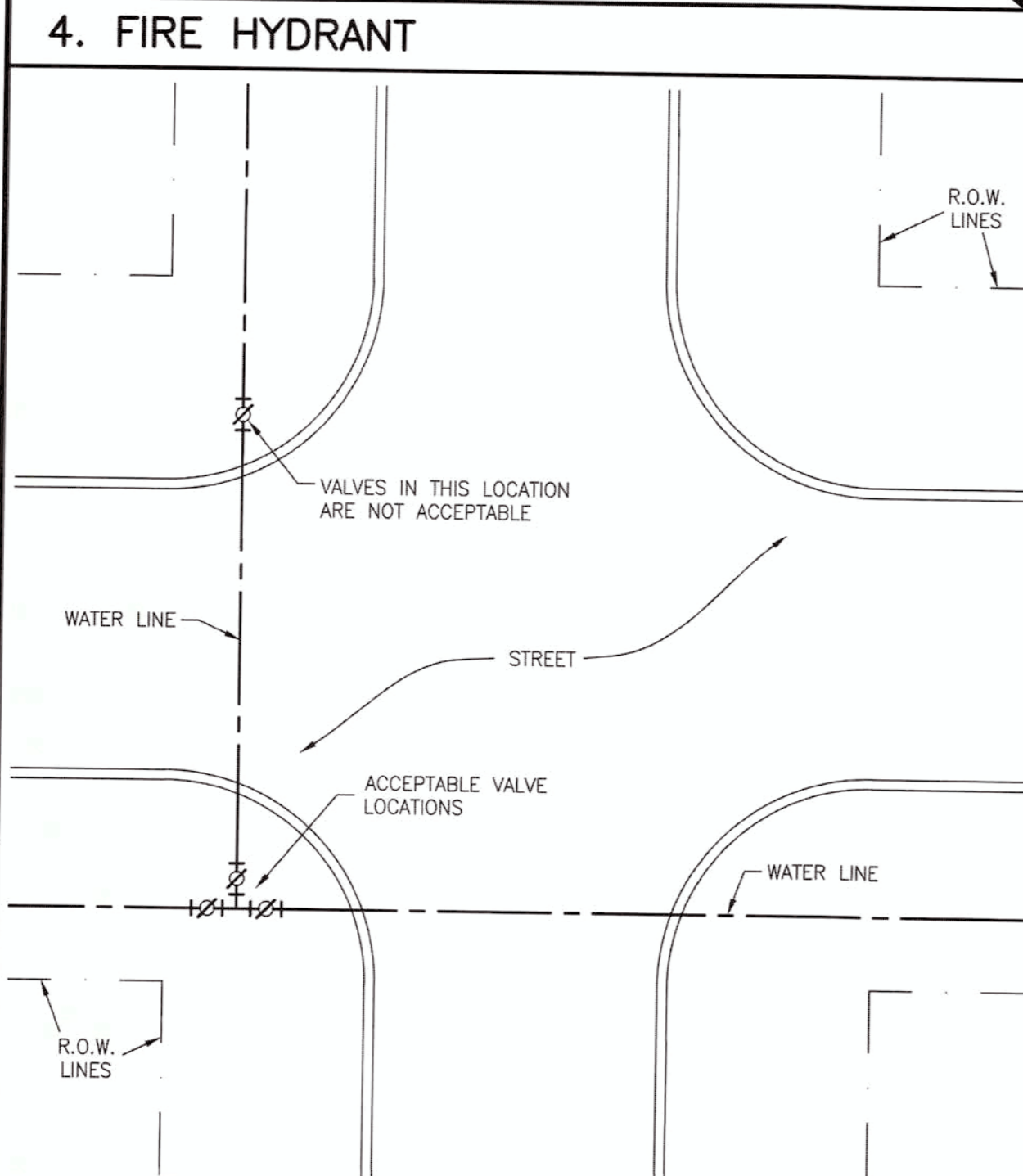
3. GATE VALVE AND BOX

1. PROVIDE OPERATING NUT EXTENSION, AS NEEDED, TO APPROXIMATELY THREE (3) FEET BELOW FINISHED GRADE.
2. VALVE BOX SHALL NOT TRANSMIT ANY LOAD DIRECTLY TO THE VALVE OR PIPE.
3. GATE VALVES SHALL BE COUNTER-CLOCKWISE OPEN.
4. TAPPING VALVES ARE NOT ALLOWED WHEN TAP IS SAME SIZE AS THE EXISTING MAIN EXCEPT WHEN APPROVED BY PUBLIC WORKS.
5. FOR CUT IN VALVES OR FITTINGS, PROVIDE CAST IRON SLEEVE WITH M.J. X M.J. ON ALL SIDES OF VALVE/FITTING. BLOCK UP INSTALLED FITTING WITH CONSTRUCTION BRICK(S).

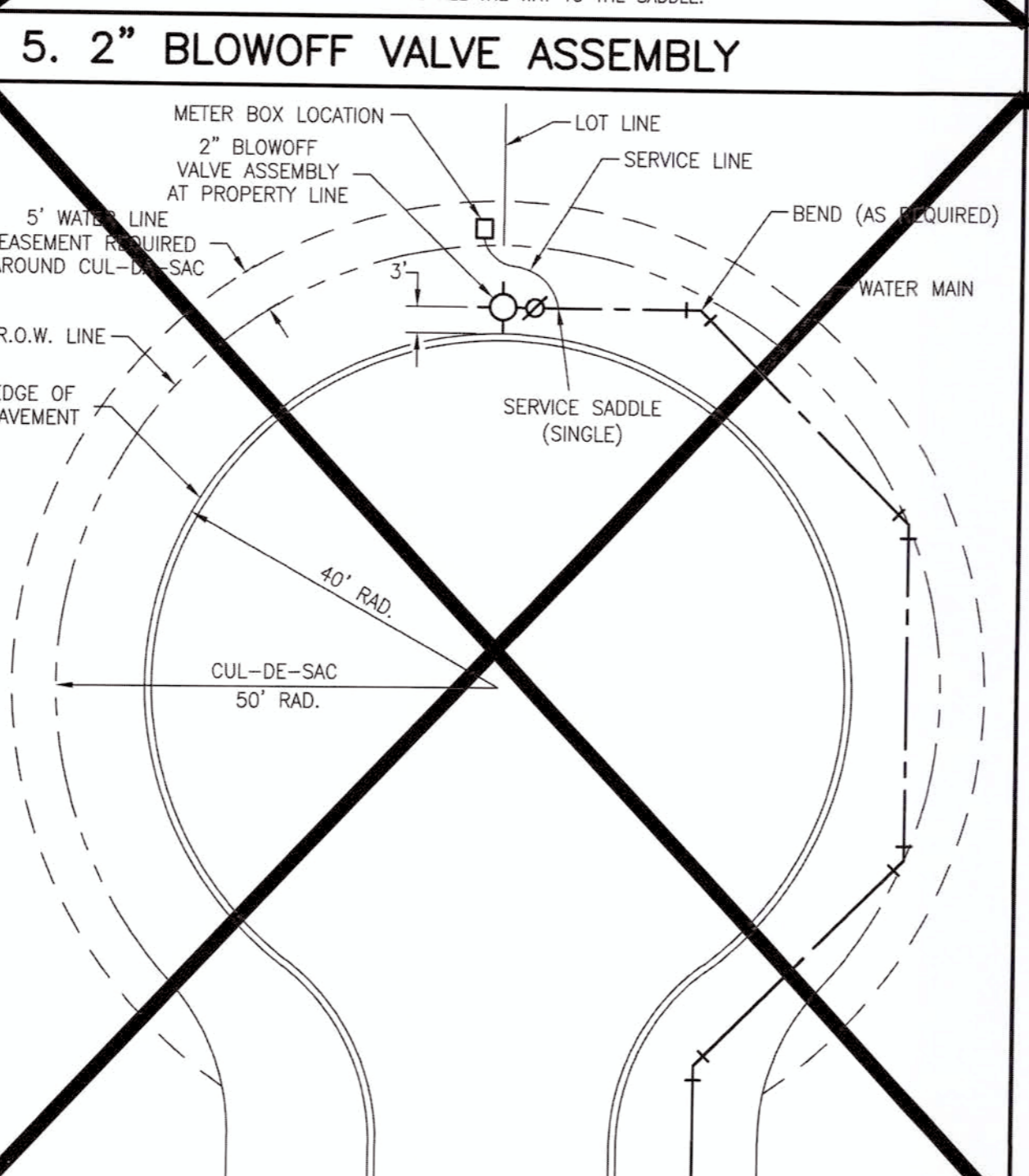


1. CASING SPACERS SHALL BE USED TO INSTALL THE CARRIER PIPE INSIDE THE ENCASUREMENT PIPE TO PROVIDE SUPPORT AROUND THE PERIPHERY OF THE PIPE. MINIMUM CLEARANCE BETWEEN MAXIMUM O.D. OF CARRIER PIPE AND I.D. OF CASING SHALL BE ONE INCH.
2. SPACERS SHALL BE PROJECTION TYPE, WITH A MINIMUM NUMBER OF PROJECTIONS AROUND THE CIRCUMFERENCE EQUAL TO THE NUMBER OF DIAMETER INCHES OF THE CARRIER PIPE. CASING SPACERS SHALL BE TOTALLY NON-METALLIC SPACERS CONSTRUCTED OF INTERLOCKING PREFORMED SECTIONS OF HIGH DENSITY POLYETHYLENE. SPACERS SHALL BE ISO 9002 CERTIFIED FOR STRENGTH AND QUALITY.
3. THE ENDS OF THE CASING SHALL BE SEALED USING PWM MODEL 1 WA WRAP AROUND END SEAL MADE OF 1/8" THICKNESS RUBBER AND STAINLESS STEEL BANDS, OR APPROVED EQUAL.
4. EXTEND CASING A MINIMUM OF 5' BEYOND EDGE OF PAVEMENT.

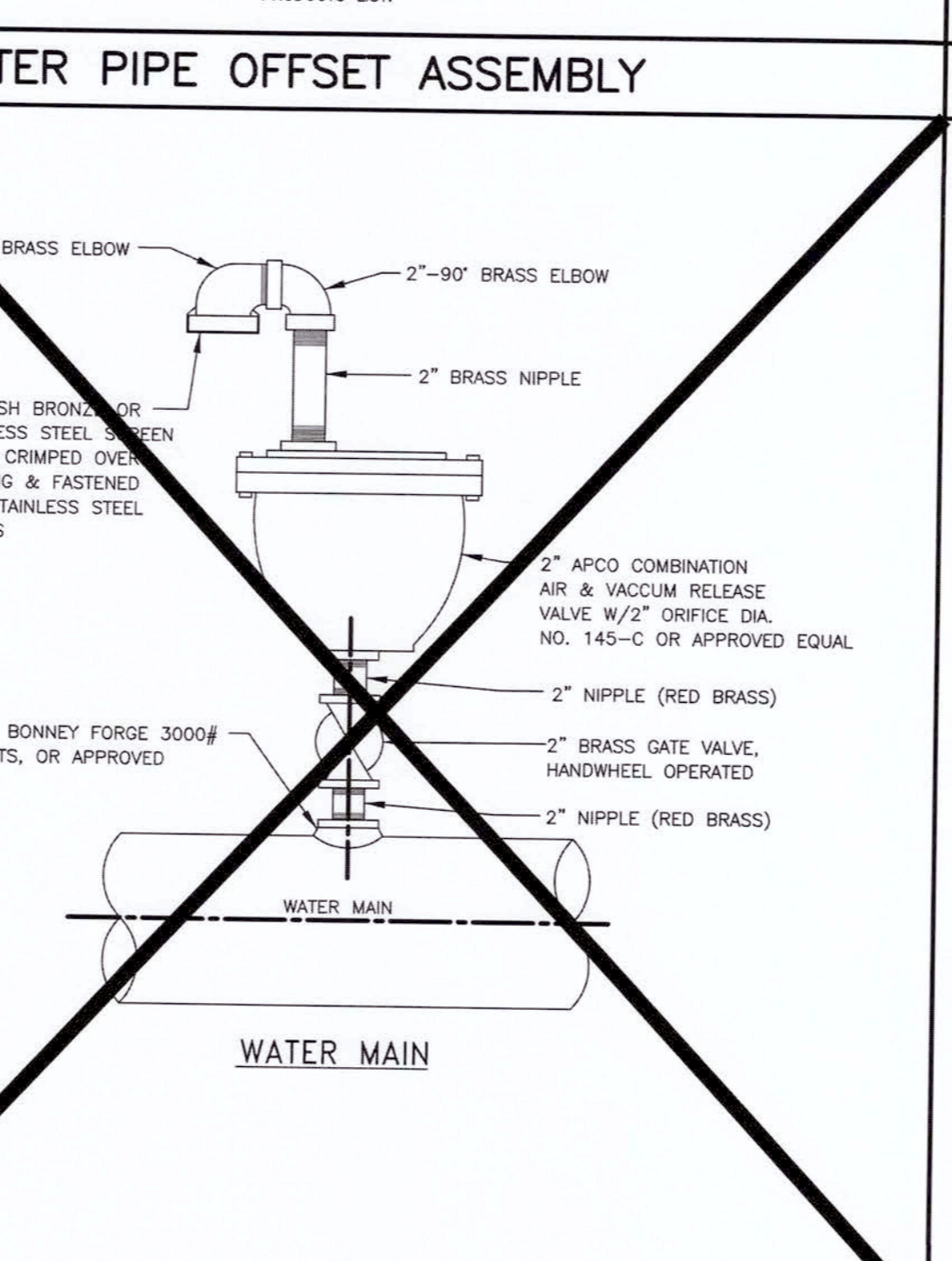
DR18 C900/C905 PVC PIPE	OD"	BELL OD"	STEEL CASING DIAMETER	RACI SPACERS MODEL*
4"	4.80"	6.38"	10"	2F 41
6"	6.90"	8.88"	12"	2F, 1G 41
8"	9.05"	11.38"	14"	3F, 1G 41
10"	11.10"	13.97"	16"	4F 41
12"	13.20"	16.34"	20"	5F 60
14"	15.30"	18.23"	22"	6F 60
16"	17.40"	20.58"	24"	7F 60
20"	21.60"	26.85"	30"	6M 90



4. FIRE HYDRANT



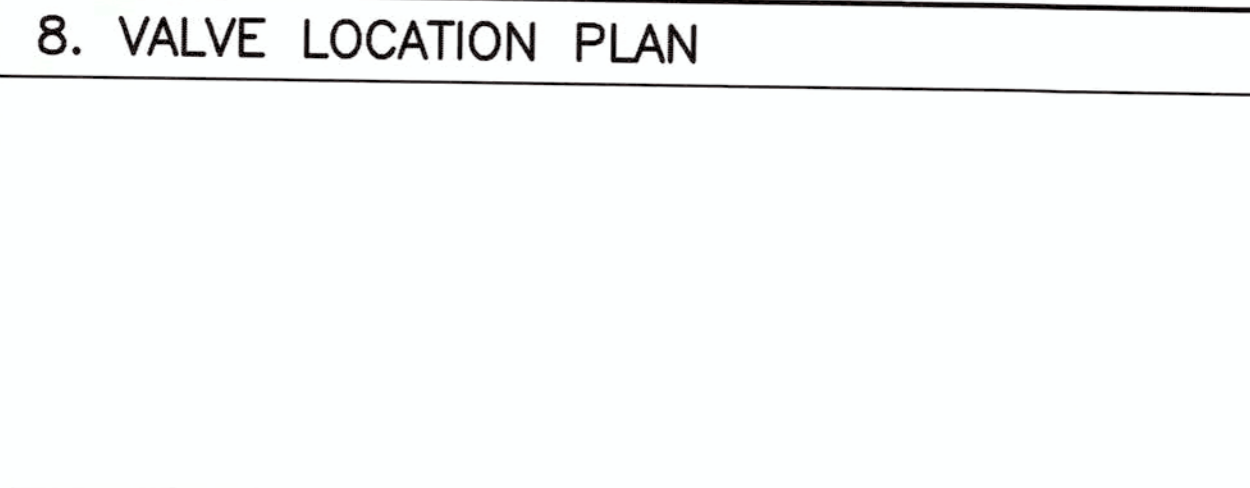
5. 2" BLOWOFF VALVE ASSEMBLY



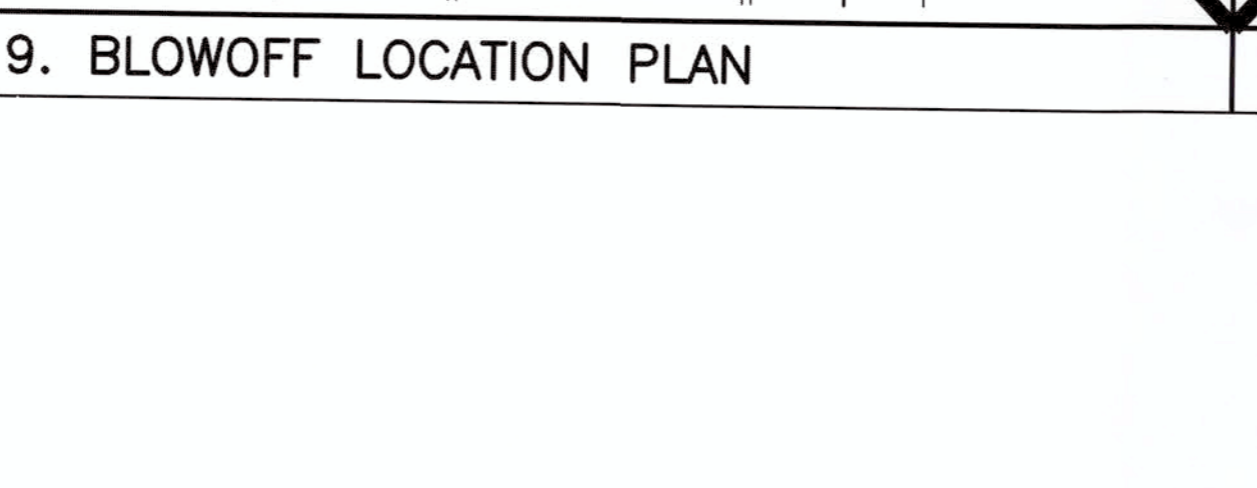
6. WATER PIPE OFFSET ASSEMBLY



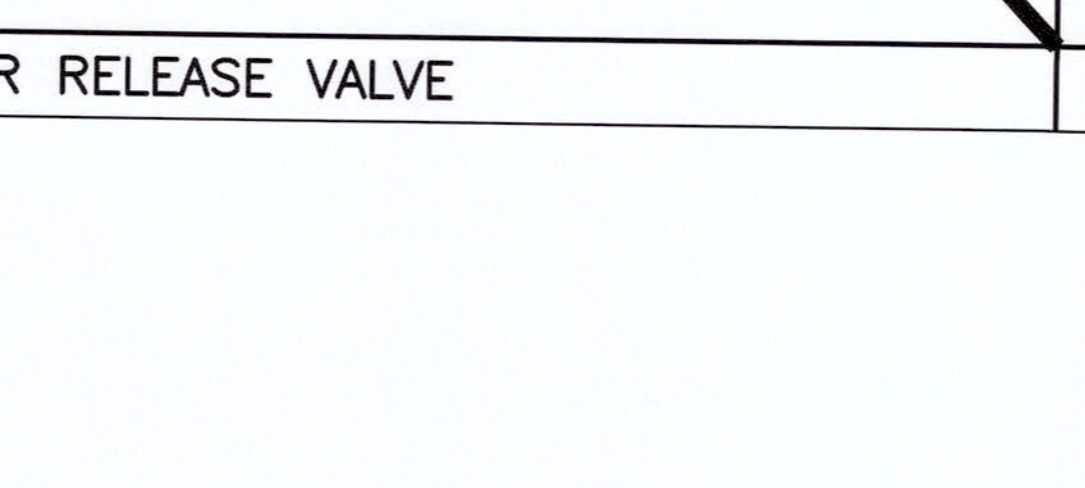
7. WATER LINE CASING



8. VALVE LOCATION PLAN



9. BLOWOFF LOCATION PLAN



10. AIR RELEASE VALVE

NO.	DATE	REVISIONS	APP.

**CITY OF RICHMOND
STANDARD CONSTRUCTION DETAILS
WATER-1**

SCALE

HORIZONTAL	1" = NTS	DESIGNED BY:	LLT
VERTICAL	1" = NTS	DRAWN BY:	AJS

DATE: 12/01/16

JOB NO:

DWG. NO:

R-2-16

Sheet:

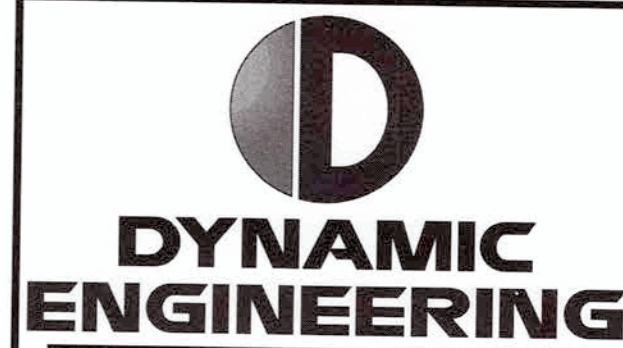
APPROVED: *Max*
Development Coordinator

DATE: 9/27/17



**14 K CORNER ENTRY
BUMP-OUT DRIVE-THRU (LEFT)
STORE NUMBER: 11096**

4110 WILLIAMS WAY BOULEVARD
CITY OF RICHMOND, FORT BEND COUNTY, TEXAS, 77469
CS PROJECT NUMBER: 99715



Dynamic Engineering

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Carroll, NJ 07034
P: 973.438.9300

North NJ Office
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Princeton, NJ 08540
P: 908.979.2200

South NJ Office
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Trenton, NJ 08646
P: 609.291.1933

PA Office
790 Newhook Road - Suite 425
Hempstead, PA 17032
P: 717.835.5278

Dallas Texas Office
1301 Carter Street - Suite 210
Allen, TX 75015
P: 972.294.2762

Houston TX Office
901 Airport Freeway - Suite 1500
Houston, TX 77060
P: 281.589.4400

Austin Texas Office
401 Airport Freeway - Suite 500
Austin, TX 78704
P: 787.442.3444

www.dynamiceng.com



JOSEPH G. JAWORSKI
PROFESSIONAL ENGINEER
TEXAS LICENSE No. 120486

DEVELOPER:
FIRST HARTFORD REALTY CORPORATION
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MANCHESTER, CT 06042-2307
TEL: (860) 646-6555
FAX: (860) 646-8572
PROJECT CONTACT: JOHN TOIC

Rev.	Date	Comments	By
1	05/11/17	REV. PER AGENCY COMMENTS	DNH
2	05/15/17	REV. PER CITY COMMENTS	DNH
3	07/19/17	REV. PER CITY COMMENTS	MAL

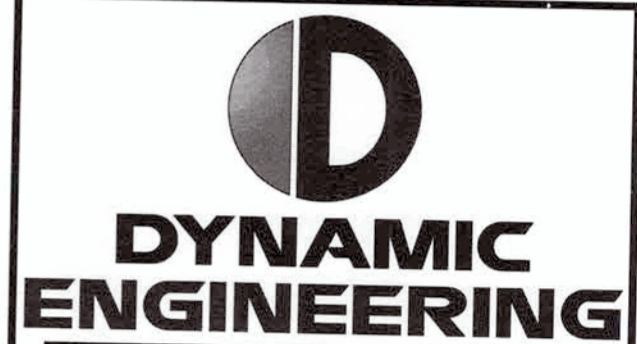
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DRAWN BY:	DNH
DESIGNED BY:	JAK
CHECKED BY:	SES
DATE:	02/17/17
JOB No:	0469-16-197
TITLE:	CITY DETAILS
SHEET No:	22 OF 36
COMMENTS:	THIS PLAN IS FOR APPROVAL PROCESS ONLY AND MAY NOT BE USED FOR CONSTRUCTION
Rev. #	3

Project: 07/19/17 - 503 PN B; mspac File: P:\VEPC PROJECTS\0469 First Hartford\16-197 Richmond TX - SNC Williams Way\046916197SDD.dwg. ---> 22 CITY



14 K CORNER ENTRY
BUMP-OUT DRIVE-THRU (LEFT)
STORE NUMBER: 11096

4110 WILLIAMS WAY BOULEVARD
CITY OF RICHMOND, FORT BEND COUNTY, TEXAS, 77469
CS PROJECT NUMBER: 99715



Central NJ Office: 7800 Park Blvd, Suite 210, Newark, NJ 07102
North NJ Office: 2450 Park Blvd, Suite 210, Newark, NJ 07102
South NJ Office: 1000 Park Blvd, Suite 210, Newark, NJ 07102
PA Office: 790 North 2nd Street, Suite 403, Philadelphia, PA 19106
Houston TX Office: 1401 Old Loop Road, Suite 200, Houston, TX 77002
Dallas Texas Office: 1301 Central Expressway, Suite 210, Dallas, TX 75201
Austin Texas Office: MT Meador Expressway, Suite 210, Austin, TX 78702



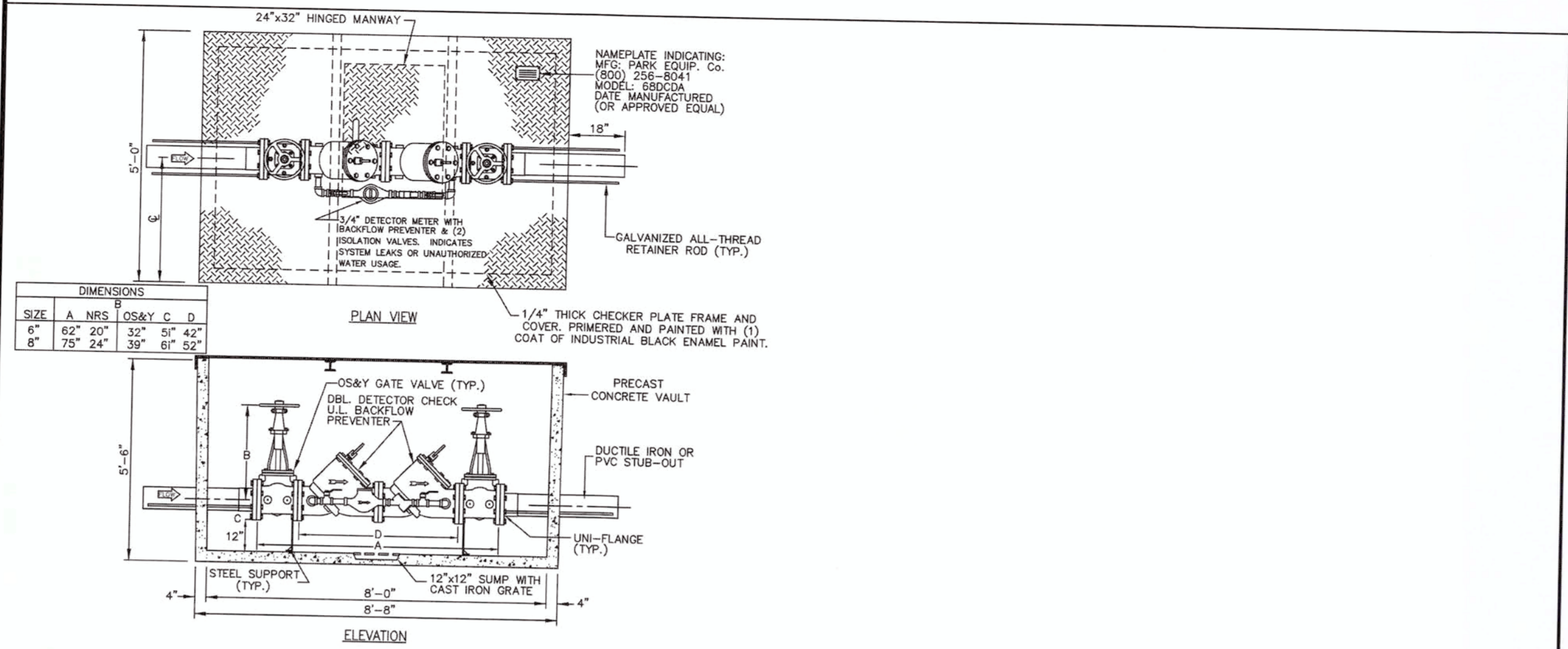
JOSEPH G. JAWORSKI
PROFESSIONAL ENGINEER
TEXAS LICENSE No. 120486

DEVELOPER:
FIRST HARTFORD REALTY CORPORATION
149 COLONIAL ROAD
MANCHESTER, CT 06042-2307
TEL: (860) 646-6555
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PROJECT CONTACT: JOHN TOIC

Rev.	Date	Comments	By
1	05/11/17	REV. PER AGENCY COMMENTS	DNH
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3	07/19/17	REV. PER CITY COMMENTS	MAL

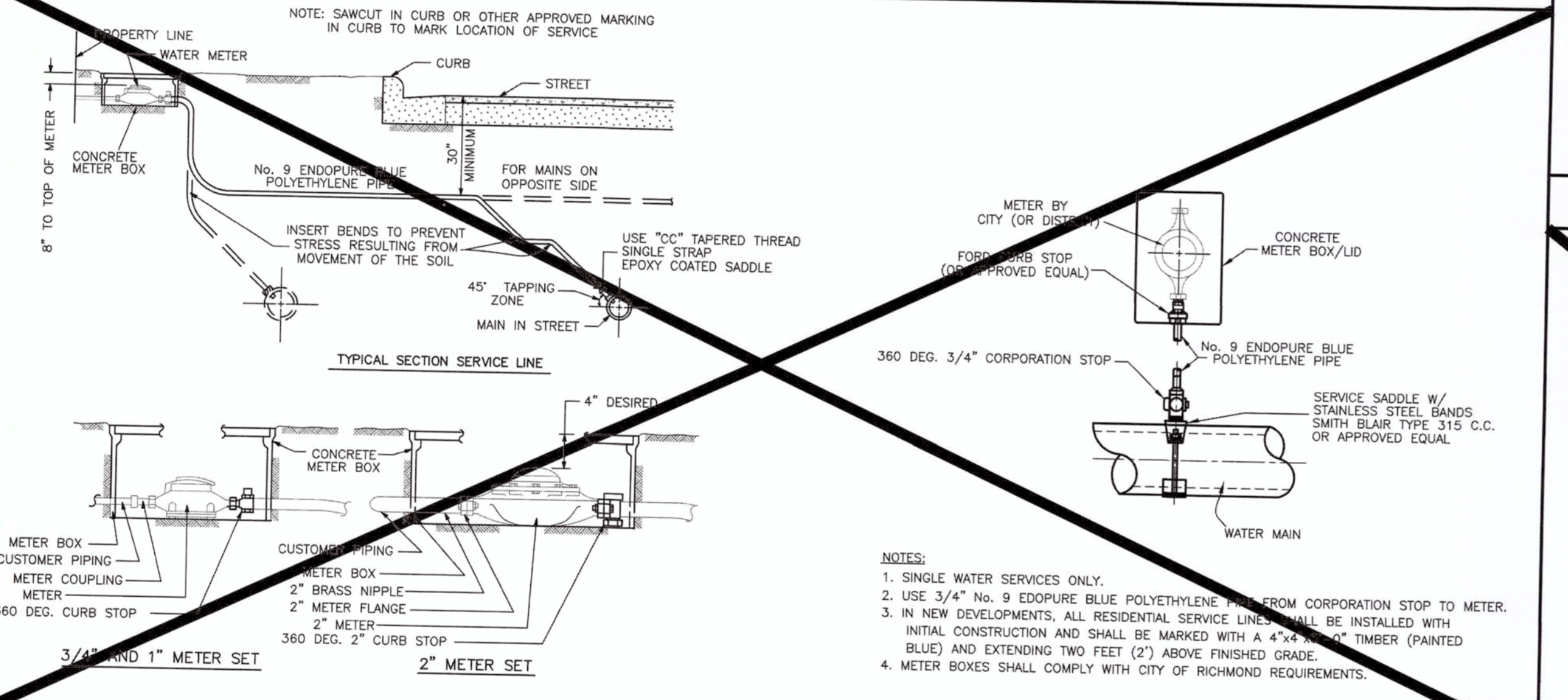
NO.	DATE	REVISIONS	APP.

SCALE: (H) NOT TO SCALE (V)
DRAWN BY: DNH
DESIGNED BY: JAK
CHECKED BY: SES
DATE: 02/17/17
JOB No: 0469-16-197
TITLE: CITY DETAILS
SHEET No: **23** OF 36
COMMENTS: THIS PLAN IS FOR APPROVAL PROCESS ONLY AND MAY NOT BE USED FOR CONSTRUCTION
Rev. # 3

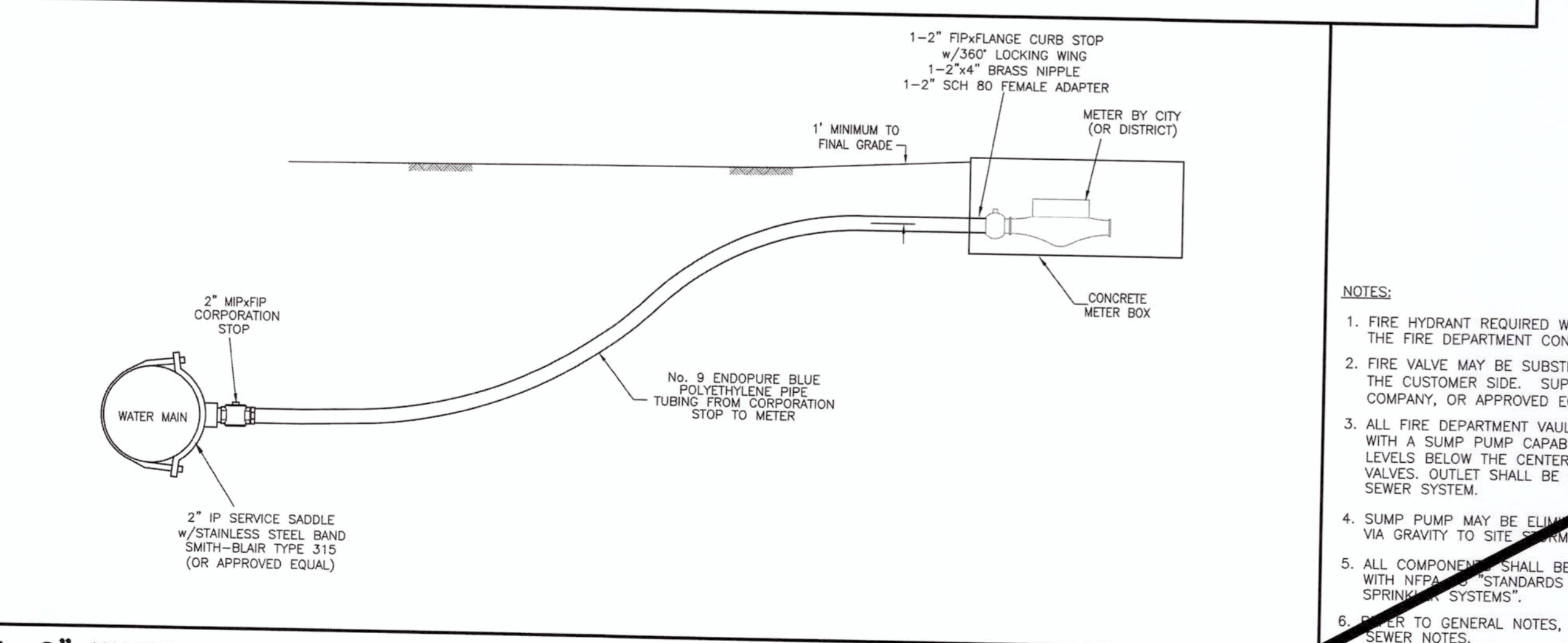


Specifications
CONCRETE - Class 1 concrete with design strength of 4500 psi at 28 days. Unit is of monolithic construction at floor and first stage of wall with sectional riser to required depth. Gross empty weight of approximately 9,000 pounds.
REINFORCEMENT - Grade 60 reinforced. Steel rebar conforming to ASTM A615 on required centers or equal.
STEEL COVER - 1/4" steel skid-resistant floor plate welded to 3" angle frame with (2) 3"x2-3/8" I beam supports.
Notes:
Backflow assembly shall be factory assembled complete with concrete vault and be tested prior to setting in excavation. Manufacturer shall provide certified engineering data and buoyancy calculation. All assembly vaults shall be backfilled with cement stabilized sand. Cement stabilized sand backfill shall extend a minimum of six inches (6") from the outside wall of all structures. (1 1/2 sacks of cement per ton of sand.)

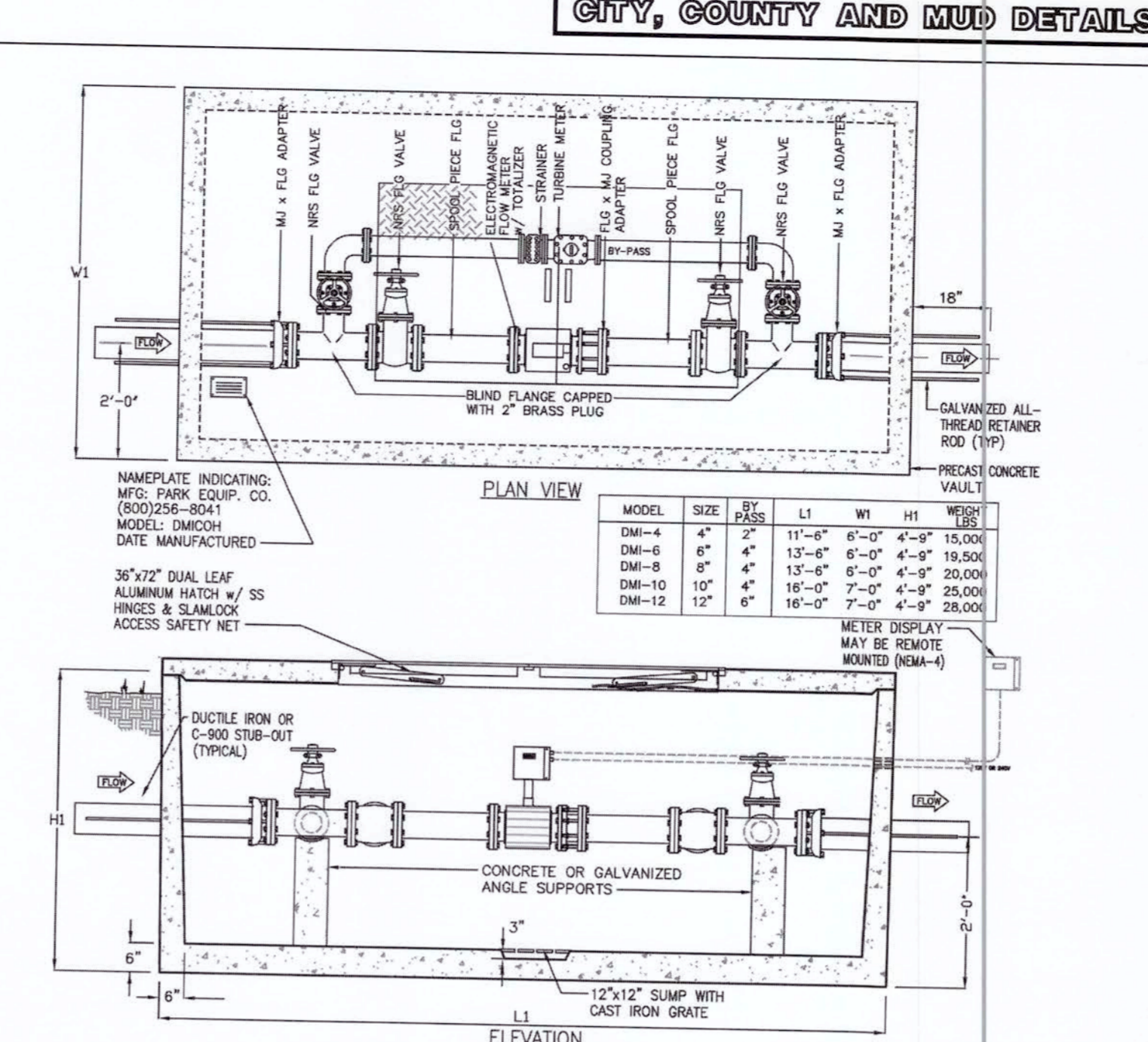
1. DOUBLE CHECK DETECTOR ASSEMBLY



4. RESIDENTIAL WATER METER AND SERVICE LINE

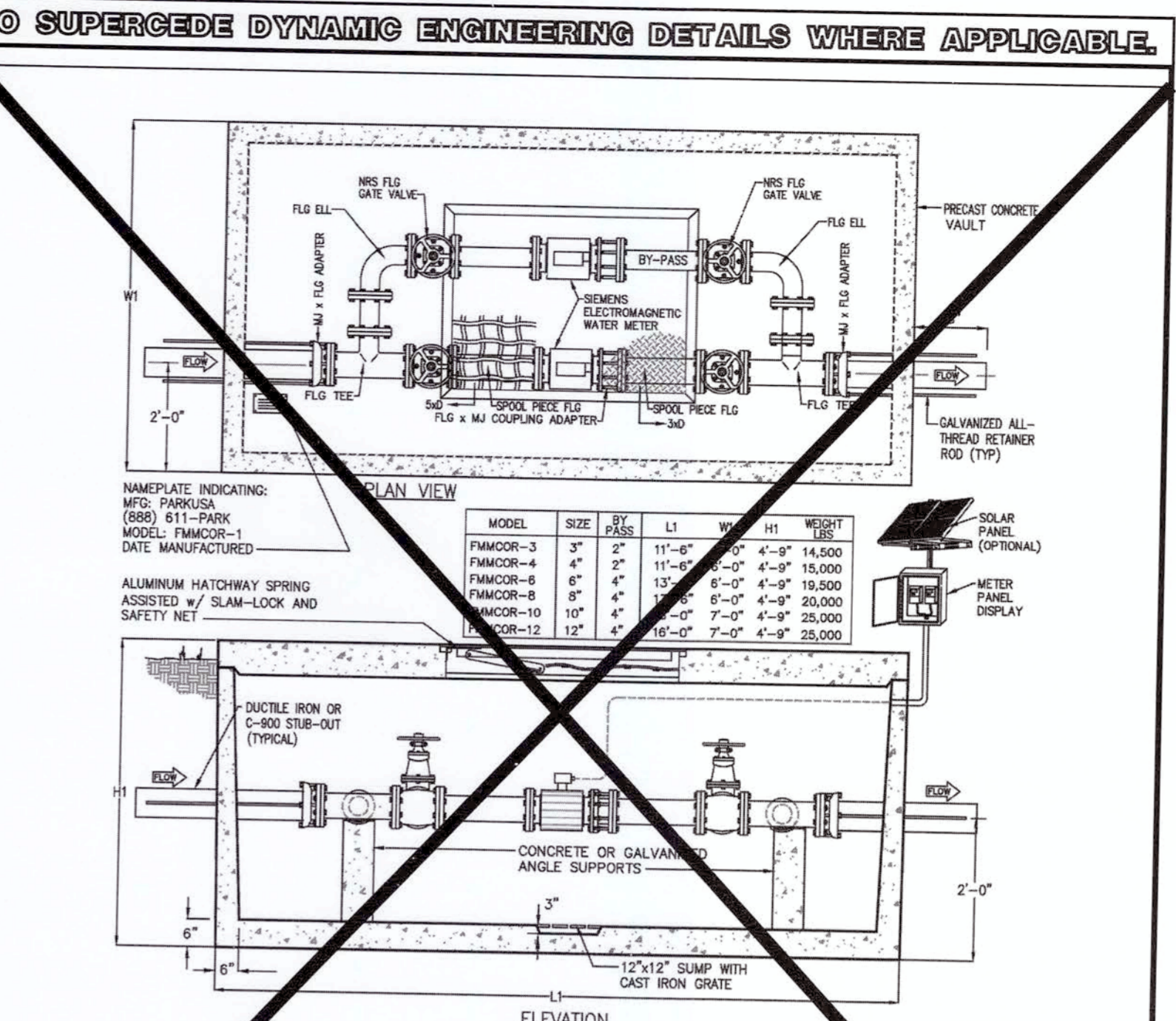


5. 2" WATER SERVICE CONNECTION



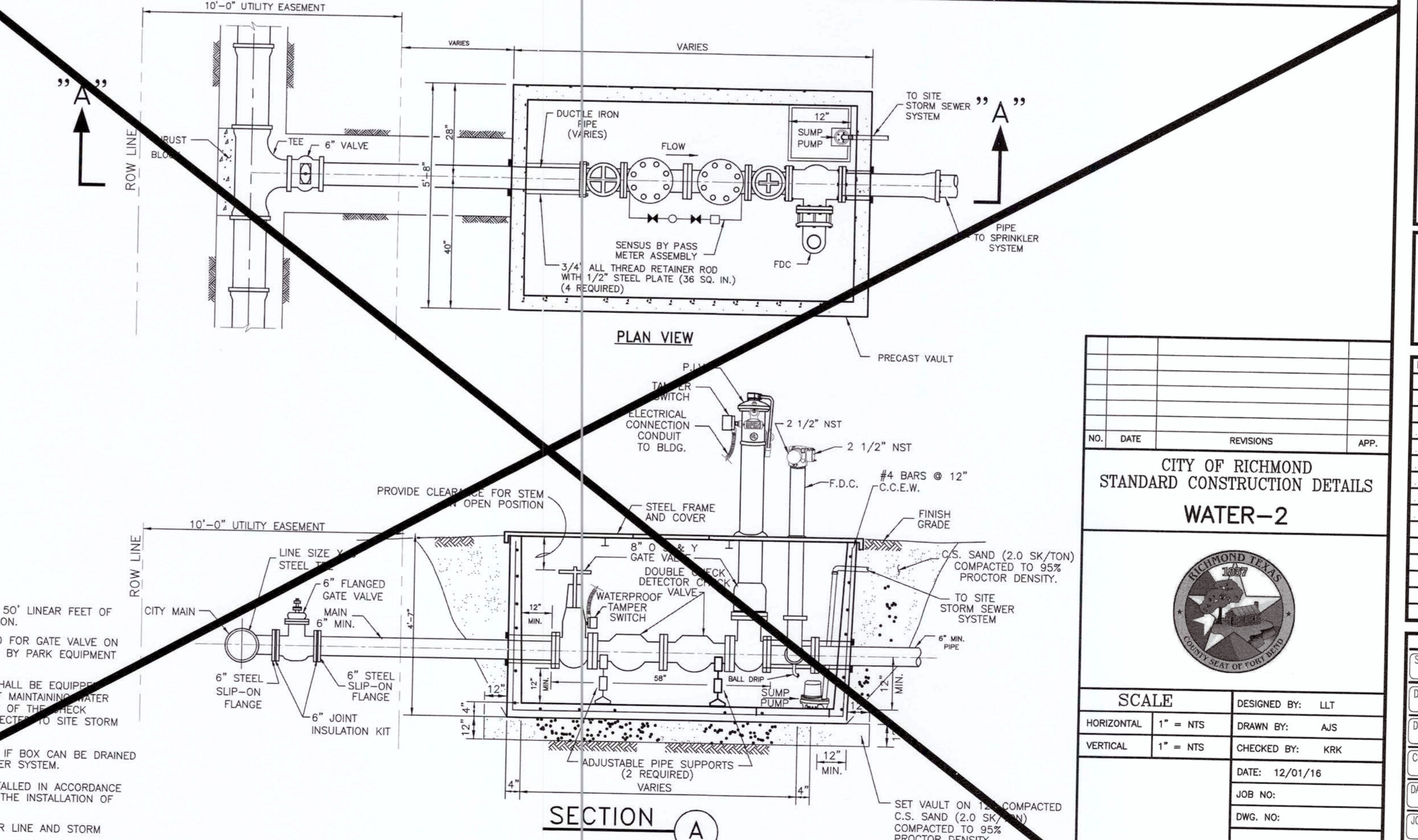
Specifications
Concrete: Class II concrete with design strength of 4500 psi at 28 days. Unit is of monolithic construction at floor and first stage of wall with sectional riser to required depth.
Reinforcement: Grade 60 reinforced. Steel rebar conforming to ASTM A615 on required centers or equal.
Hatchway: 1/4" aluminum diamond plate cover with extruded aluminum frame. Hatch to be furnished with 316 stainless steel snap lock & brass hinges.
Engineering data
The meter assembly shall be factory assembled in vault & hydrostatically tested prior to delivery. Field excavation & preparation shall be complete prior to delivery. Pipe, valves and fittings of the assembly shall be approved by this city. All assembly vaults shall be backfilled with cement stabilized sand. Cement stabilized sand backfill shall extend a minimum of six inches (6") from the outside wall of all structures. (1 1/2 sacks of cement per ton of sand.)

2. ELECTROMAGNETIC WATER METER WITH METERED BY-PASS



Specifications
Concrete: Class 1/8 concrete with design strength of 4500 psi at 28 days. Unit is of monolithic construction at floor and first stage of wall with sectional riser to required depth.
Reinforcement: Grade 60 reinforced. Steel rebar conforming to ASTM A615 on required centers or equal.
Hatchway: 1/4" aluminum (300 psi), diamond plate, with 1/4" extruded aluminum frame. Hatch to be furnished with 316 stainless steel snap lock & brass hinges.
Engineering data
The meter assembly shall be factory assembled in vault & hydrostatically tested prior to delivery. Field excavation & preparation shall be complete prior to delivery. Pipe, valves and fittings of the assembly shall be approved by this city. All assembly vaults shall be backfilled with cement stabilized sand. Cement stabilized sand backfill shall extend a minimum of six inches (6") from the outside wall of all structures. (1 1/2 sacks of cement per ton of sand.)

3. FIRE/DOMESTIC WATER MAG METER ASSEMBLY 3" THRU 12"



6. TYPICAL FIRE SERVICE METER

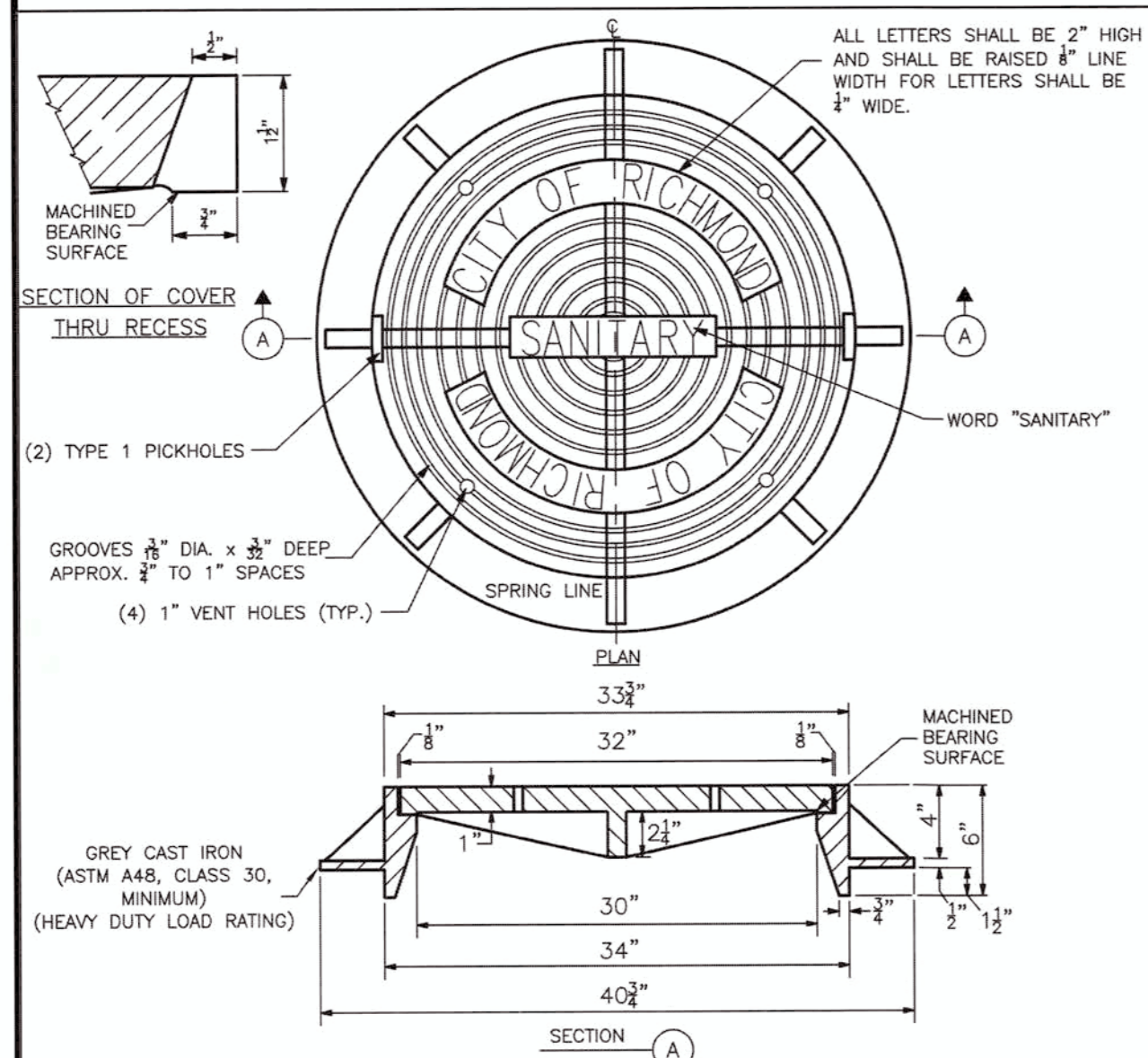
- NOTES:**
- FIRE HYDRANT REQUIRED WITHIN 50' LINEAR FEET OF THE FIRE DEPARTMENT CONNECTION.
 - FIRE VALVE MAY BE SUBSTITUTED FOR GATE VALVE ON THE CUSTOMER SIDE. SUPPLIED BY PARK EQUIPMENT COMPANY, OR APPROVED EQUAL.
 - ALL FIRE DEPARTMENT VAULTS SHALL BE EQUIPPED WITH A SUMP PUMP CAPABLE OF MAINTAINING WATER LEVELS BELOW THE CENTER LINE OF THE CHECK VALVES. OUTLET SHALL BE CONNECTED TO SITE STORM SEWER SYSTEM.
 - SUMP PUMP MAY BE ELIMINATED IF BOX CAN BE DRAINED VIA GRAVITY TO SITE STORM SEWER SYSTEM.
 - ALL COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA STANDARDS FOR THE INSTALLATION OF SPRINKLER SYSTEMS.
 - REFER TO GENERAL NOTES, WATER LINE AND STORM SEWER NOTES.

**CITY OF RICHMOND
STANDARD CONSTRUCTION DETAILS
WATER-2**

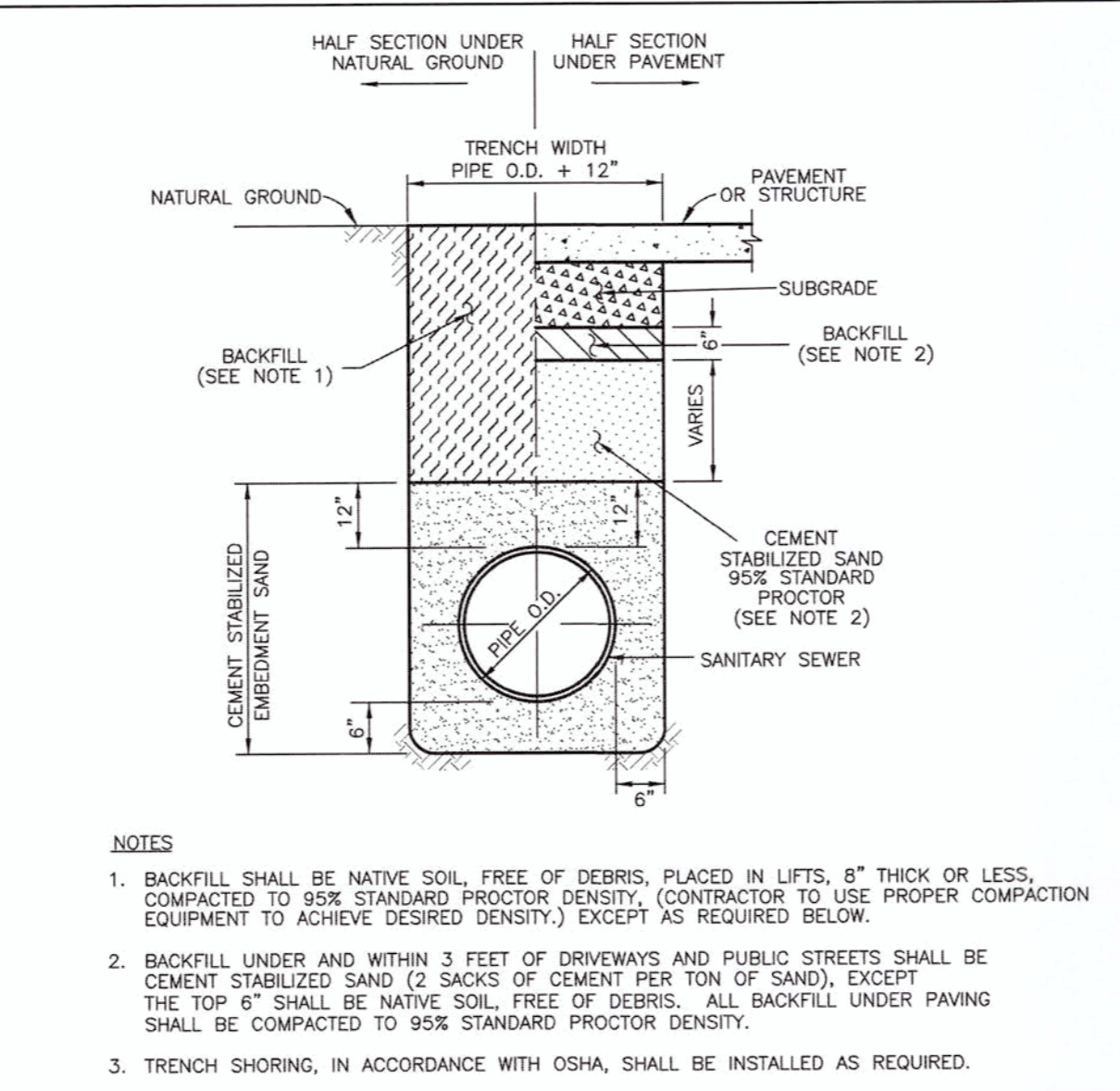
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DESIGNED BY: LLT
DRAWN BY: AJS
CHECKED BY: KRK
DATE: 12/01/16
JOB NO:
DWG. NO:
R-3-16

APPROVED: *Max D...*
Development Coordinator
DATE: 9/27/17

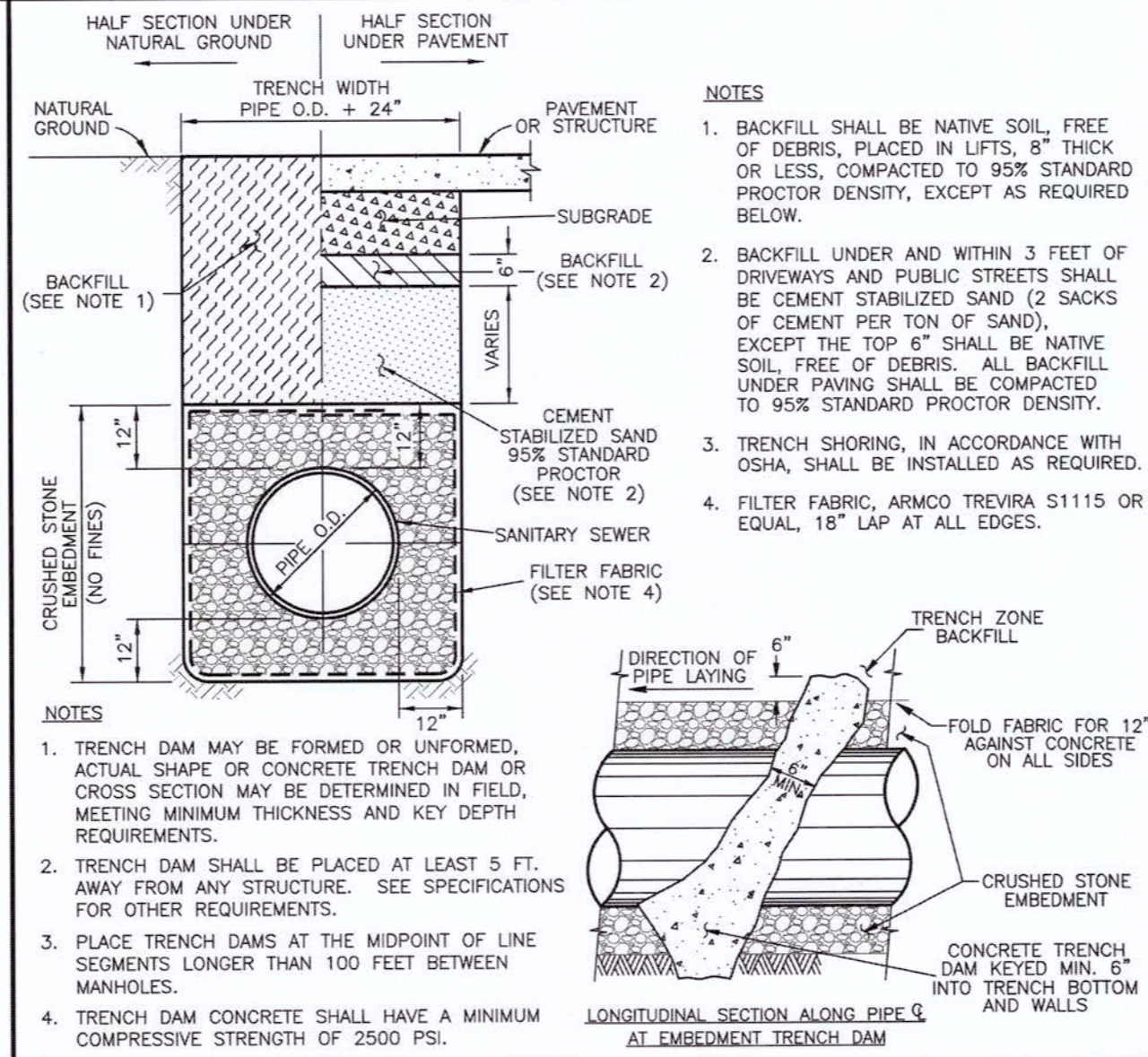
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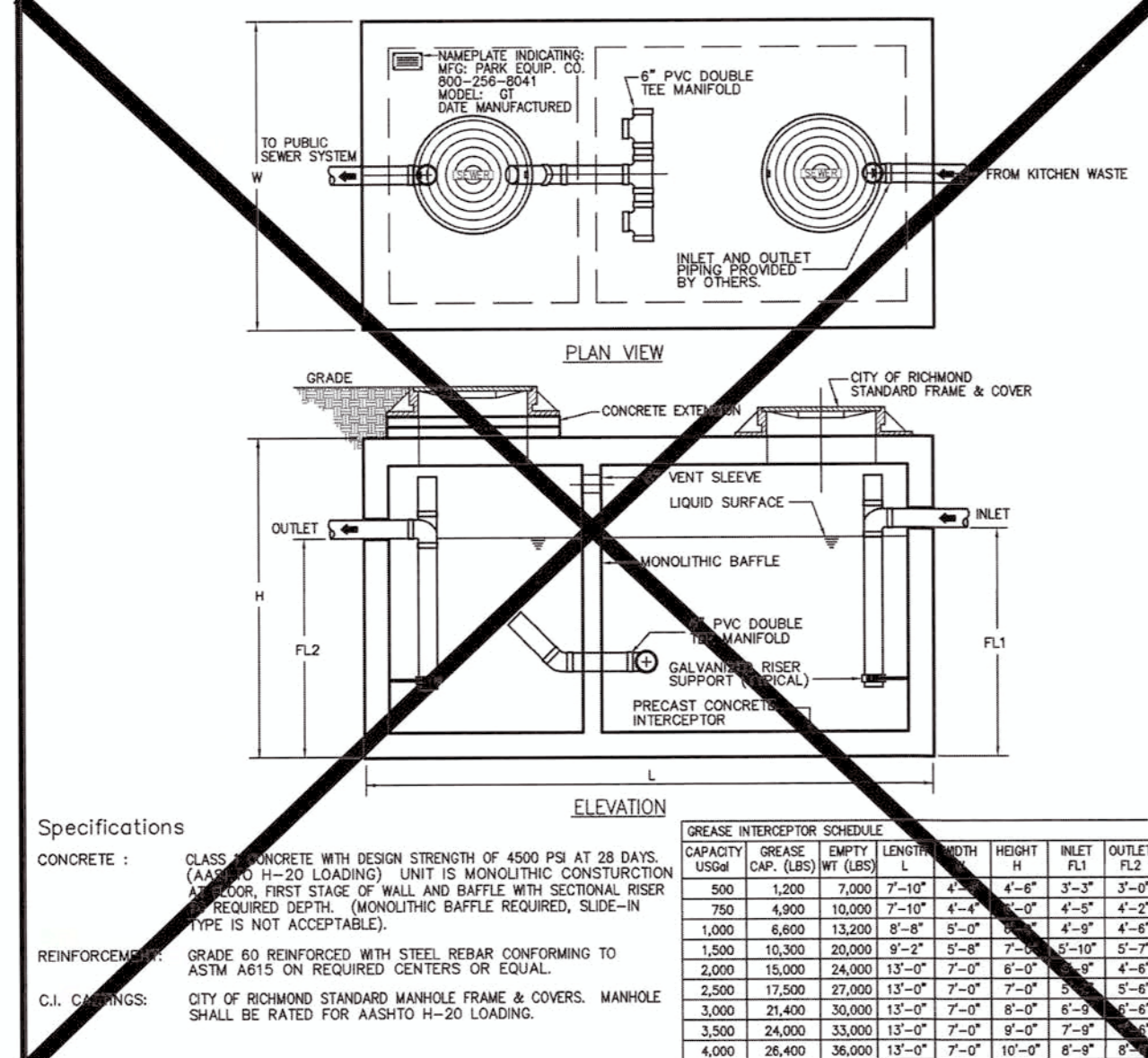
1. MANHOLE FRAME AND COVER



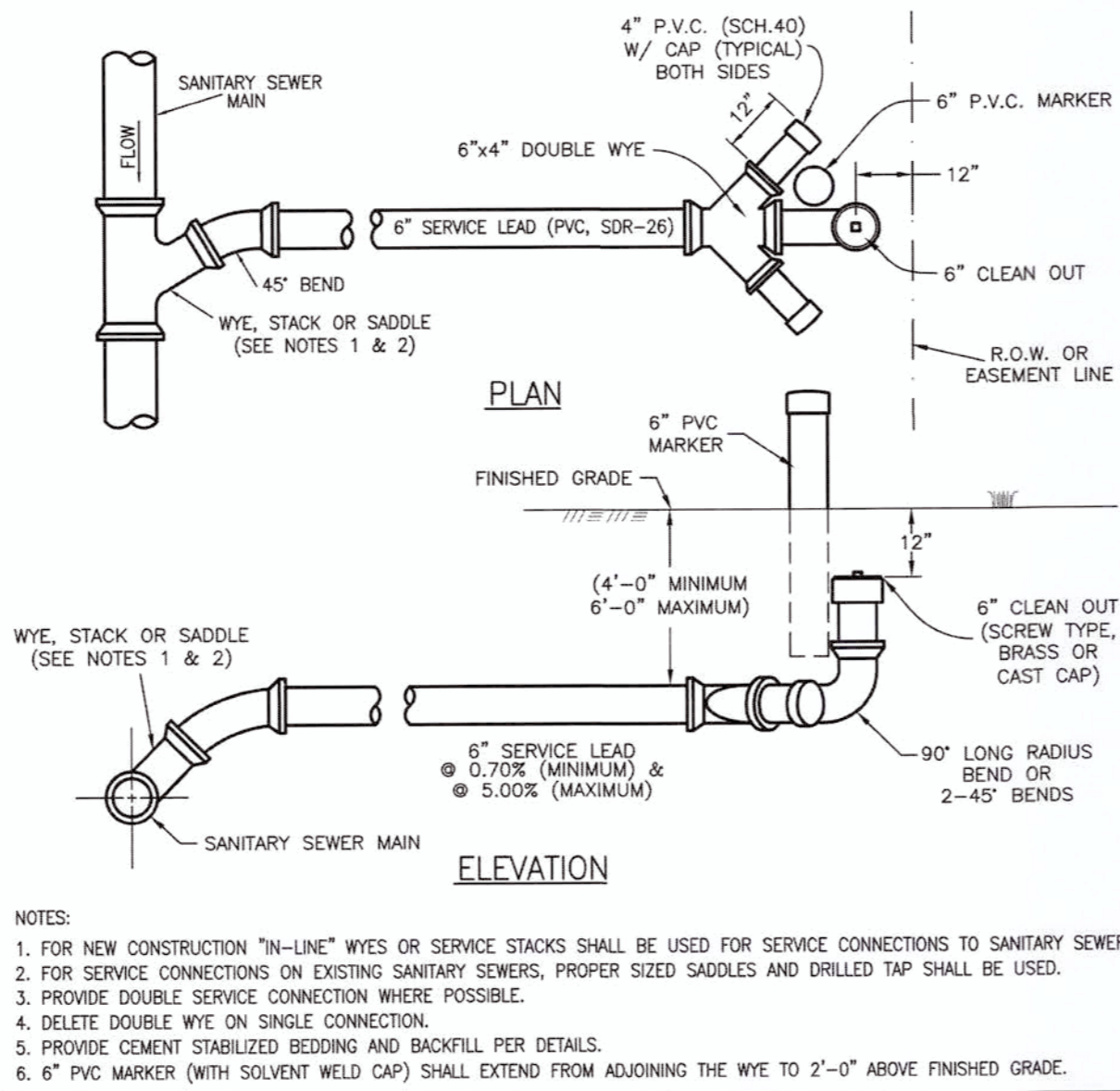
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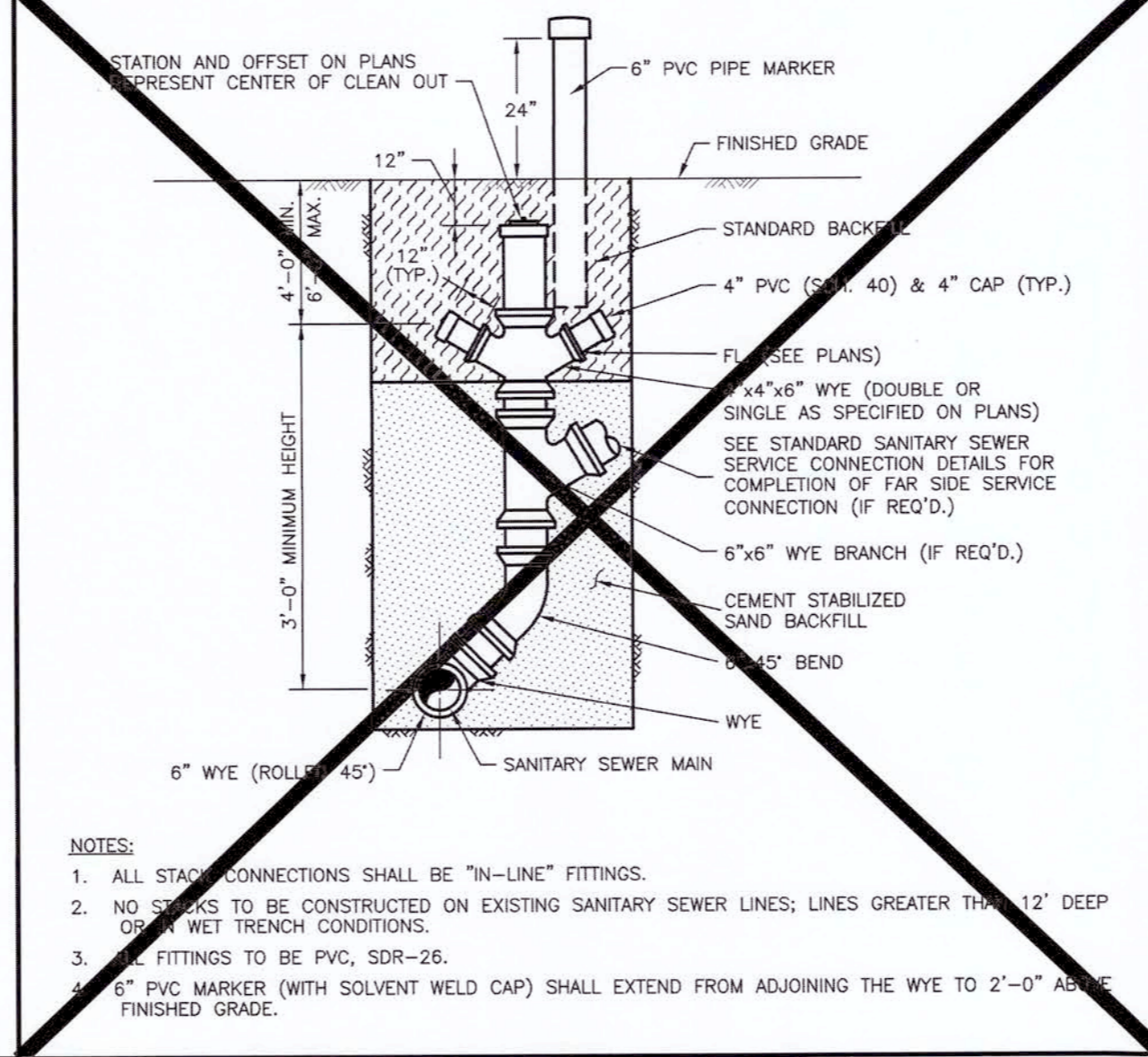
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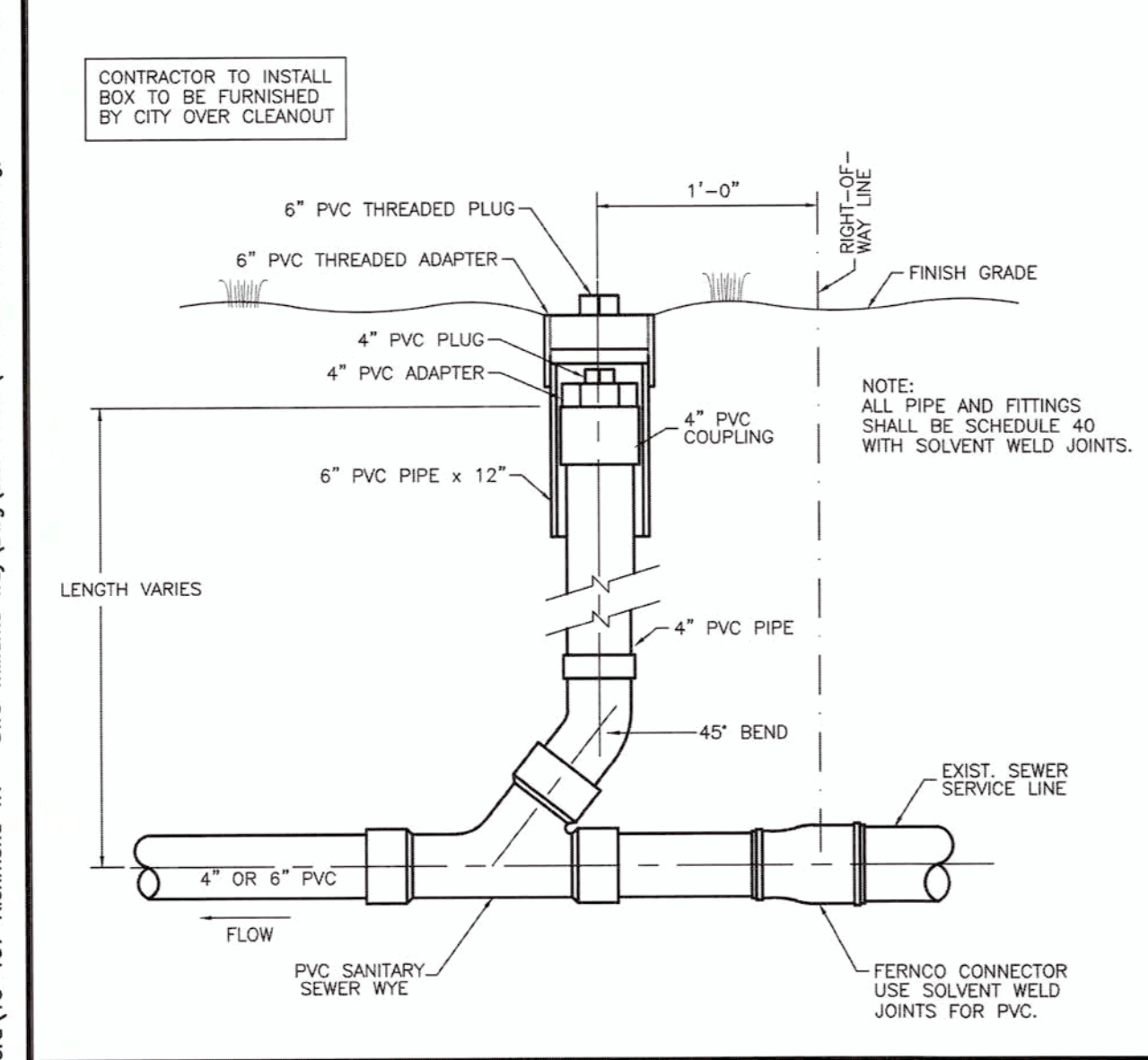
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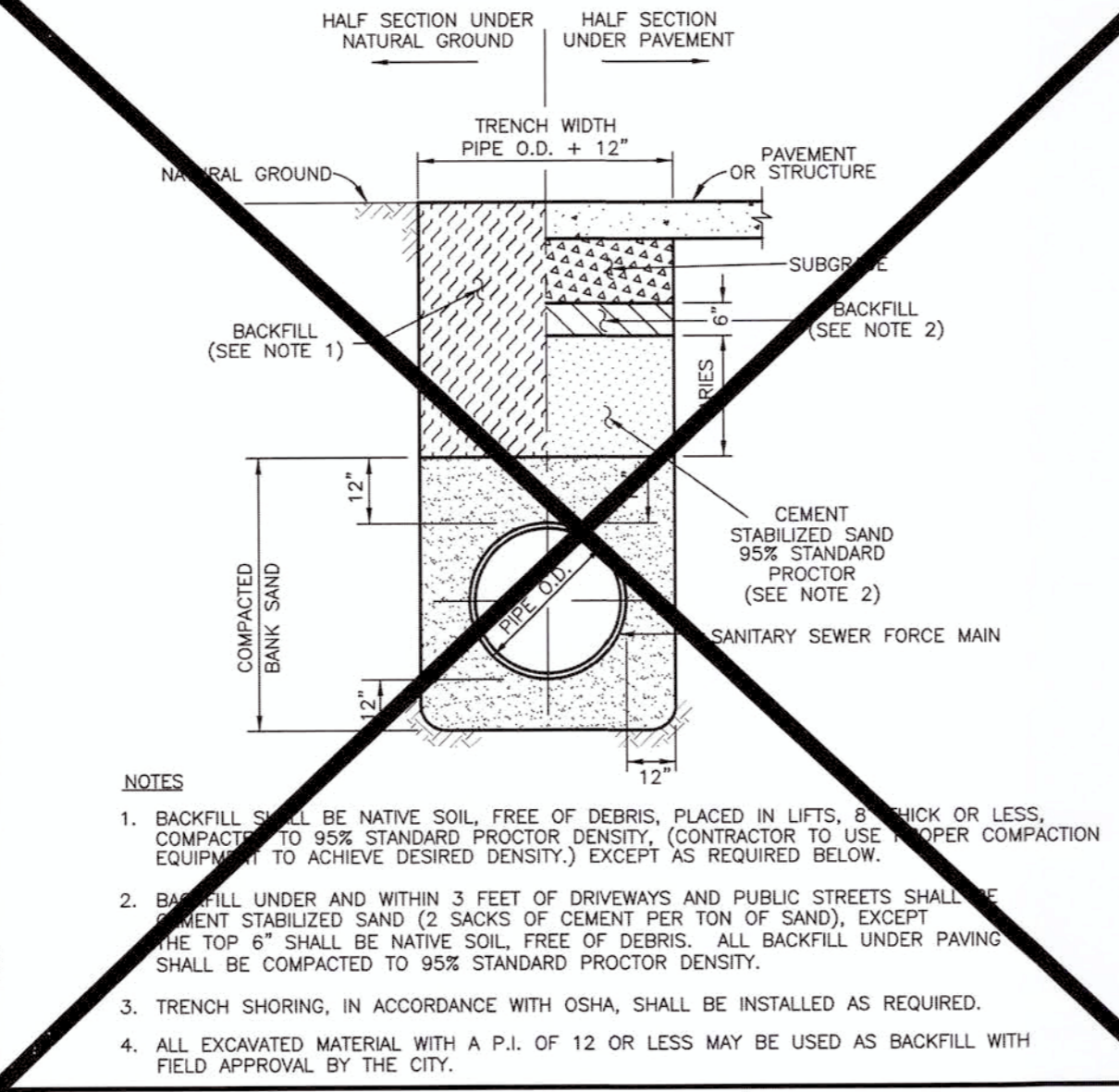
5. SANITARY SEWER SERVICE CONNECTION



6. SANITARY SEWER STACK



7. SERVICE LINE CLEANOUT ASSEMBLY



8. SANITARY SEWER FORCE MAIN BEDDING

NO. DATE REVISIONS APP.

CITY OF RICHMOND
STANDARD CONSTRUCTION DETAILS
SANITARY-1

SCALE DESIGNED BY: LLT
HORIZONTAL 1" = NTS DRAWN BY: AJS
VERTICAL 1" = NTS CHECKED BY: KRK
DATE: 12/01/16
JOB NO:
DWG. NO:
R-4-16
Sheet:

APPROVED: *Maged*
Development Coordinator
DATE: 9/27/17

CVS pharmacy
14 K CORNER ENTRY
BUMP-OUT DRIVE-THRU (LEFT)
STORE NUMBER: 11096
4110 WILLIAMS WAY BOULEVARD
CITY OF RICHMOND, FORT BEND COUNTY, TEXAS, 77469
CS PROJECT NUMBER: 99715

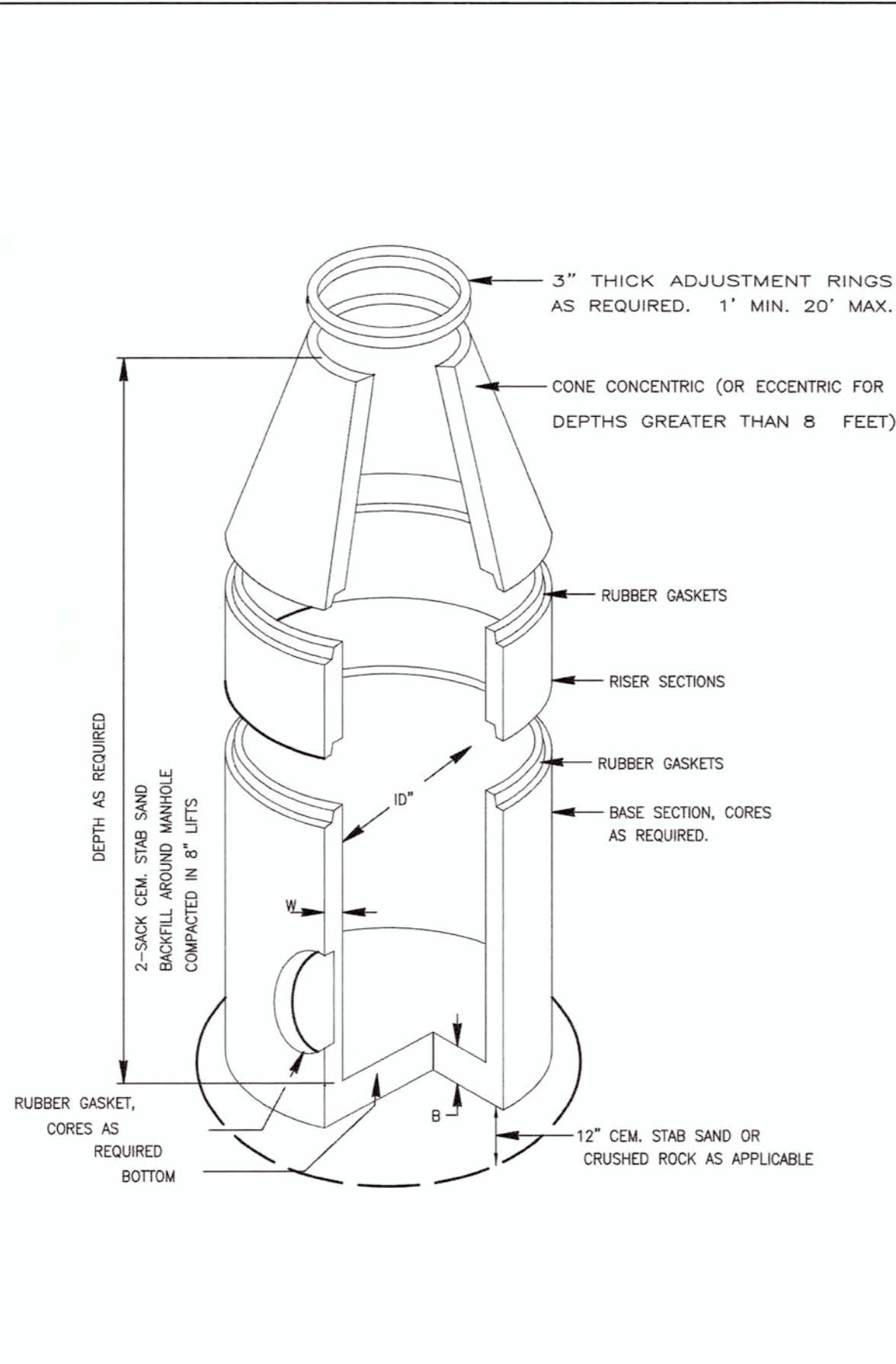
DYNAMIC ENGINEERING
Central NJ Office: 1000 Route 100, Suite 100, Little Ferry, NJ 07643
North NJ Office: 2450 Route 100, Suite 100, Chester, NJ 07930
South NJ Office: 8000 Route 100, Suite 100, Little Ferry, NJ 07643
PA Office: 750 Newland, Suite 100, York, PA 17402
Dallas Texas Office: 1301 Collins, Suite 210, Dallas, TX 75201
Houston TX Office: 1401 Old Katy Road, Suite 200, Houston, TX 77058
Austin Texas Office: 10100 Research Blvd, Suite 100, Austin, TX 78758

07/19/17
STATE OF TEXAS
JOSEPH G. JAWORSKI
120486
LICENSED PROFESSIONAL ENGINEER
JOSEPH G. JAWORSKI
PROFESSIONAL ENGINEER
TEXAS LICENSE No. 120486

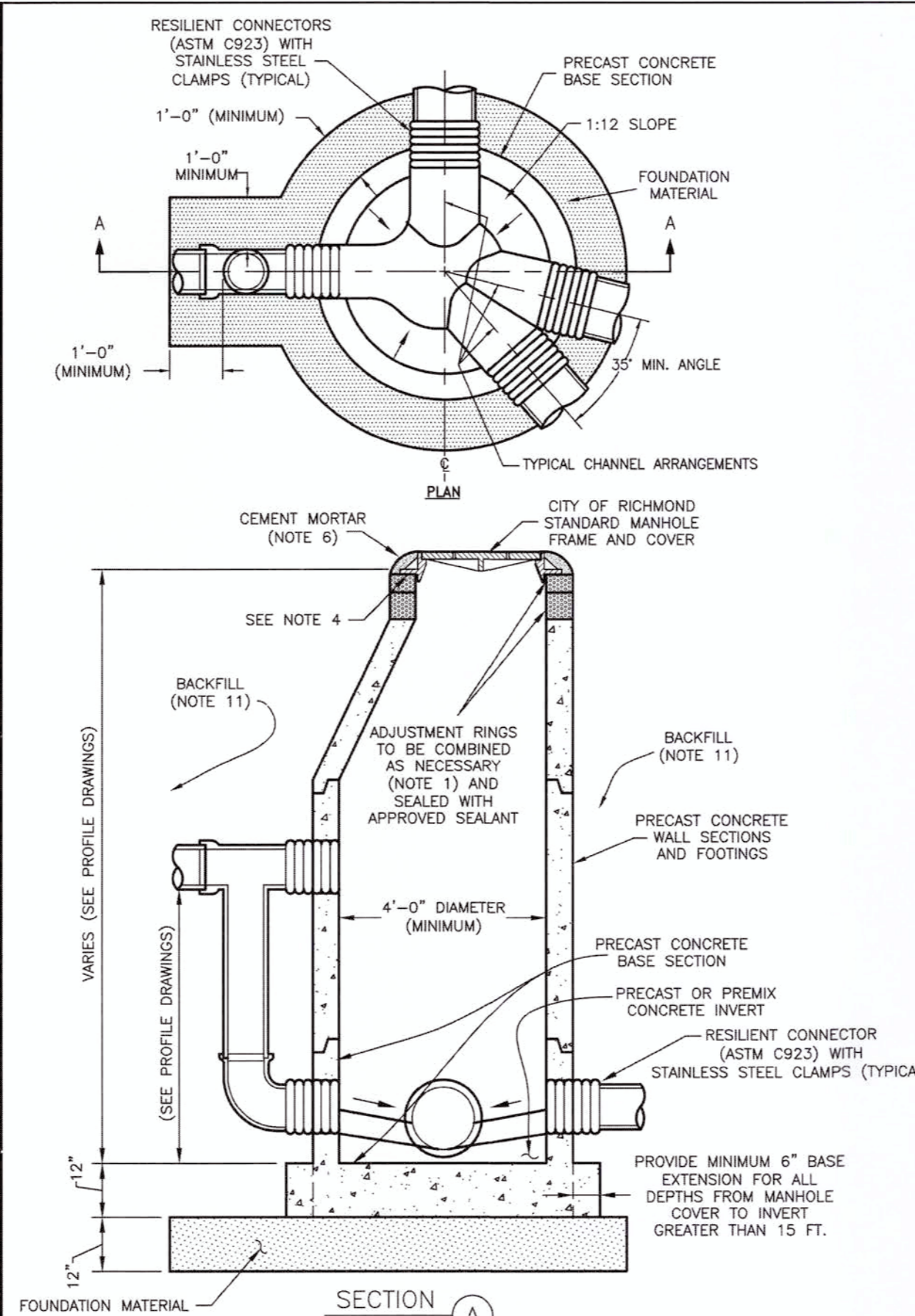
DEVELOPER:
FIRST HARTFORD REALTY CORPORATION
149 COLONIAL ROAD
MANCHESTER, CT 06042-2307
TEL: (860) 646-6555
FAX: (860) 646-8572
PROJECT CONTACT: JOHN TOIC

Rev.	Date	Comments	By
1	05/11/17	REV. PER AGENCY COMMENTS	DNH
2	05/15/17	REV. PER CITY COMMENTS	DNH
3	07/19/17	REV. PER CITY COMMENTS	MAL

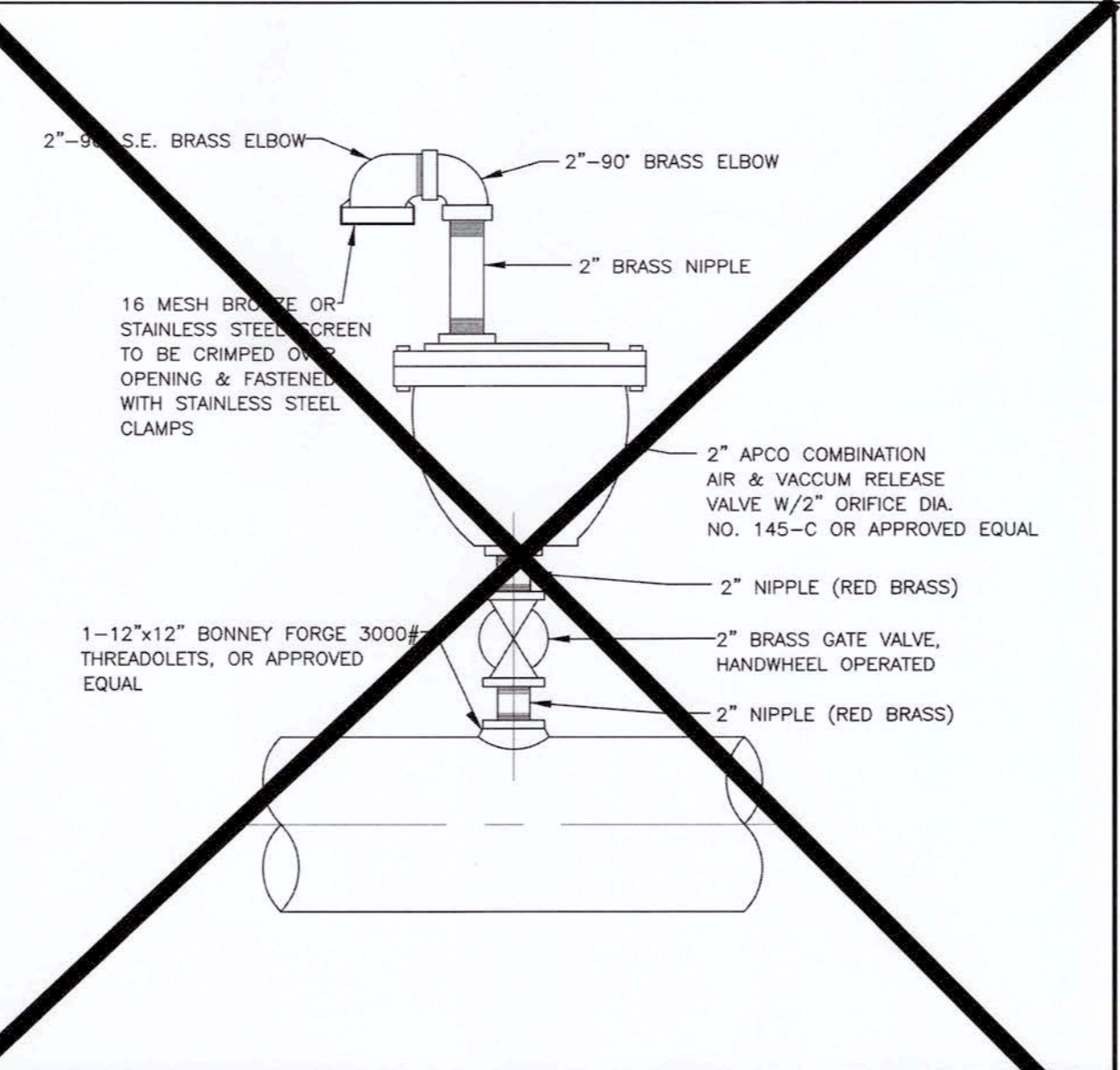
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DESIGNED BY: JAK
CHECKED BY: SES
DATE: 02/17/17
JOB NO: 0469-16-197
TITLE: CITY DETAILS
SHEET No: **24** OF 36
COMMENTS: THIS PLAN IS FOR APPROVAL PROCESS ONLY AND MAY NOT BE USED FOR CONSTRUCTION
Rev. # 3



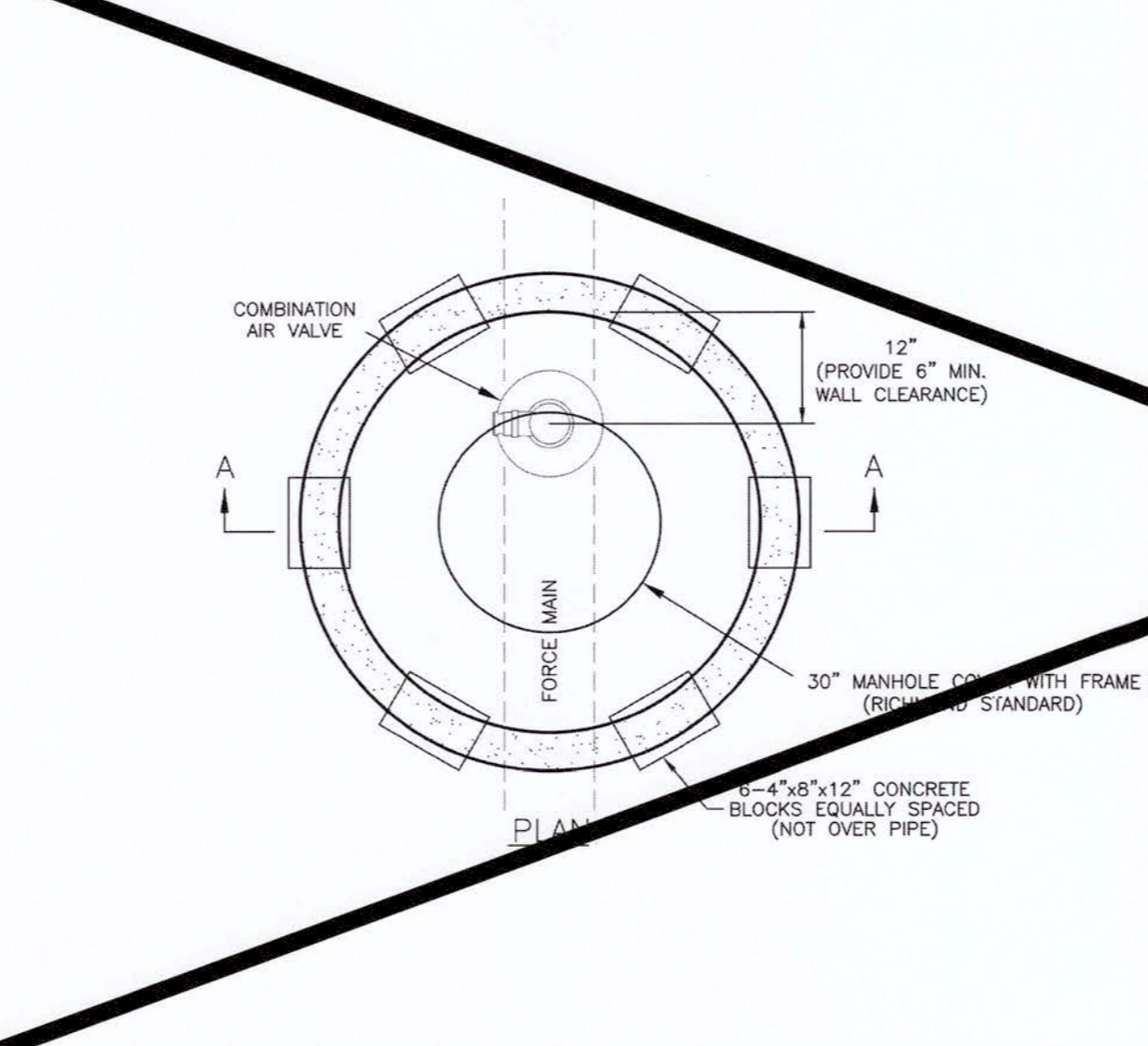
- NOTES**
- LIFTING INSERTS AS REQUIRED.
 - ALL JOINTS SHALL BE SEALED WITH APPROVED RUBBER GASKET.
 - STRUCTURE TO BE PLACED ON 12\"/>



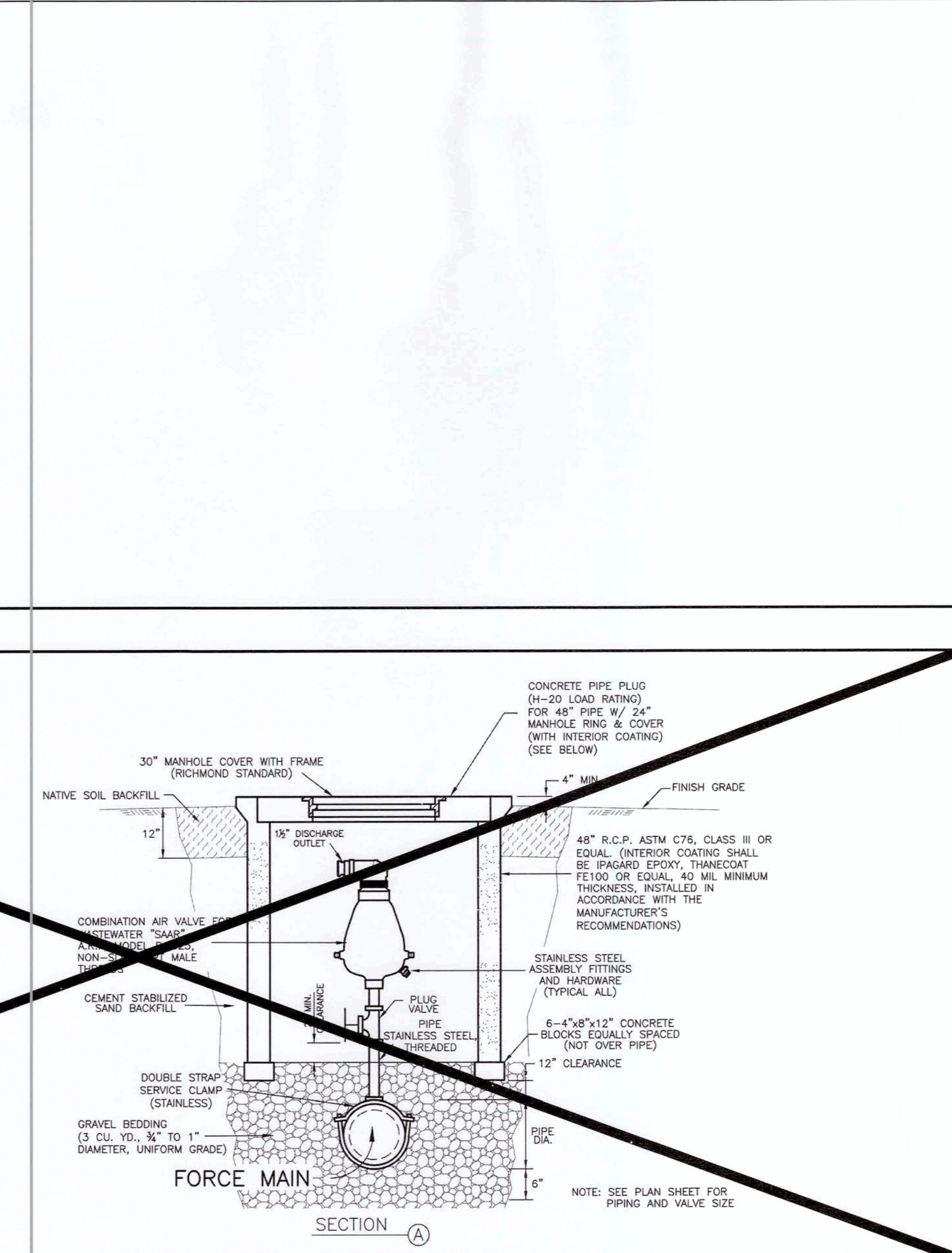
- NOTES**
- PRECAST CONCRETE RINGS SHALL BE PROVIDED FOR A COMBINED ADJUSTMENT HEIGHT OF AT LEAST 6\"/>



3. AIR RELEASE VALVE



4. SEWERAGE AIR RELEASE VALVE MANHOLE



5. FORCE MAIN

Plotted: 07/18/17 - 5:24 PM. By: mlopez
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1. PRECAST SANITARY MANHOLE

2. SANITARY SEWER MANHOLE

4. SEWERAGE AIR RELEASE VALVE MANHOLE

NO.	DATE	REVISIONS	APP.

CITY OF RICHMOND
STANDARD CONSTRUCTION DETAILS
SANITARY-2



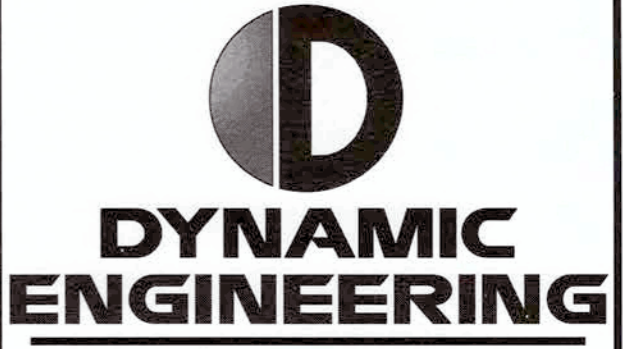
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DATE: 12/01/16		JOB NO:
DWG. NO:		R-5-16
Sheet:		

APPROVED: *Max J. ...*
Development Coordinator
DATE: 9/27/17

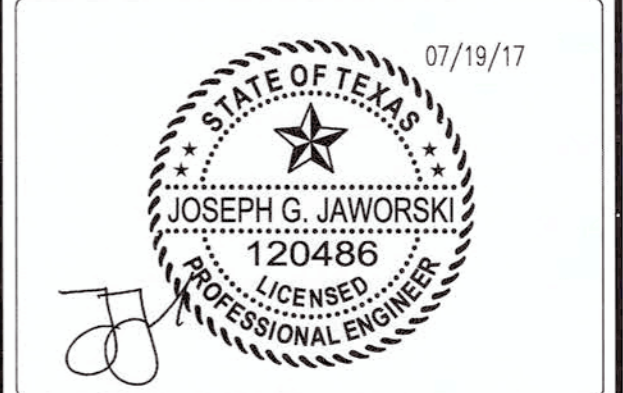


14 K CORNER ENTRY
BUMP-OUT DRIVE-THRU (LEFT)
STORE NUMBER: 11096

4110 WILLIAMS WAY BOULEVARD
CITY OF RICHMOND, FORT BEND COUNTY, TEXAS, 77469
CS PROJECT NUMBER: 99715



Central NJ Office
North NJ Office
South NJ Office
PA Office
Dallas Texas Office
Houston TX Office
Austin Texas Office

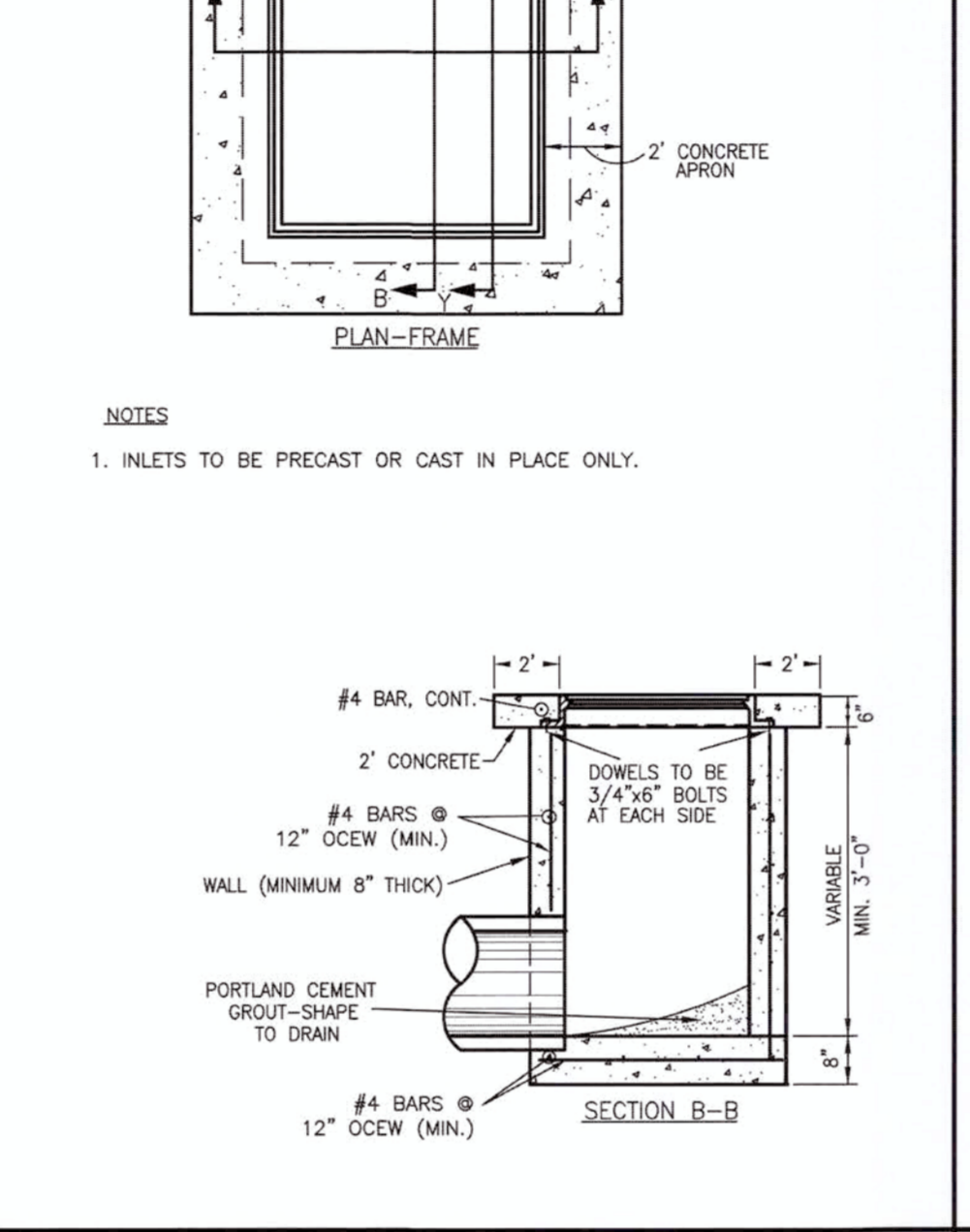
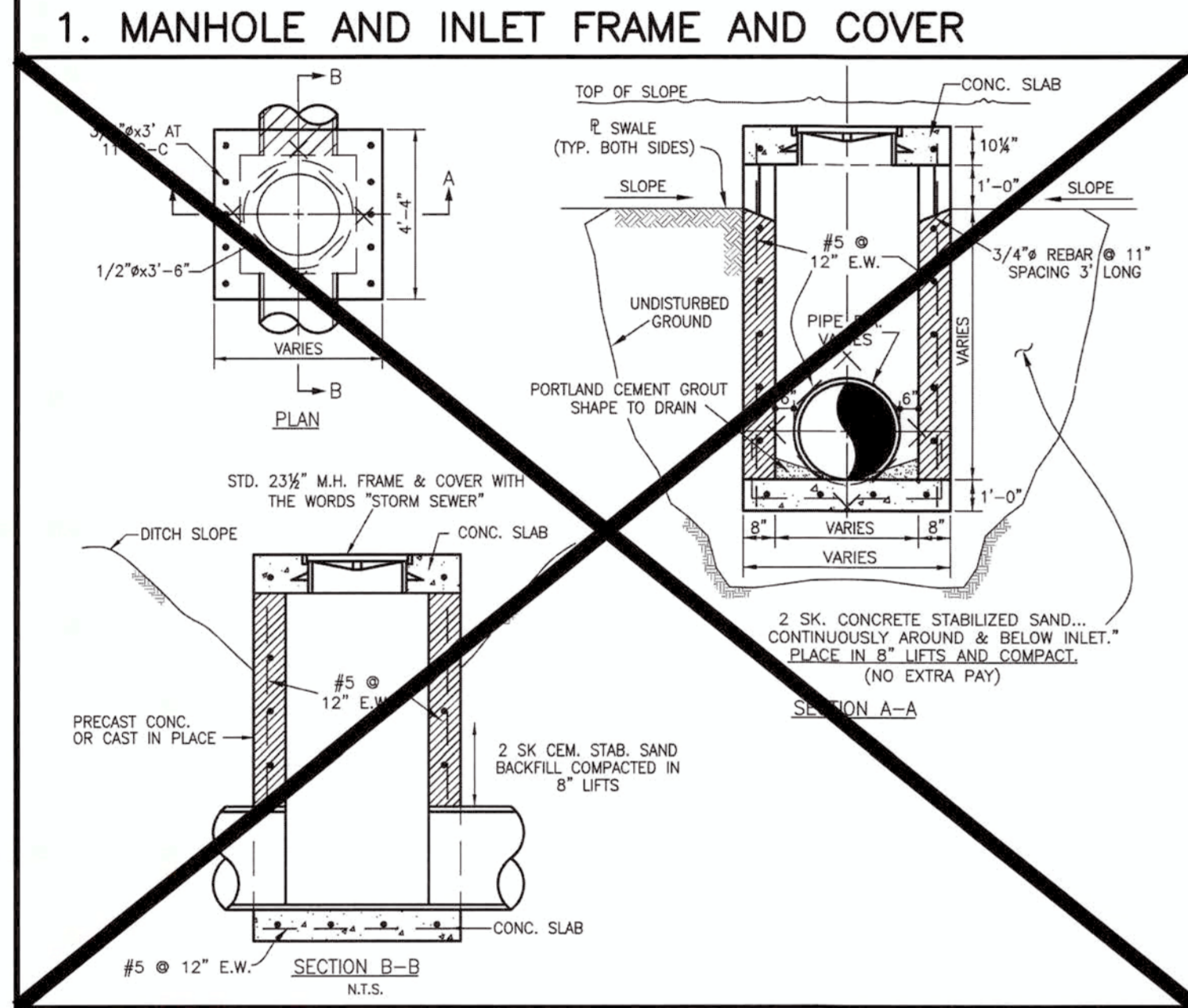
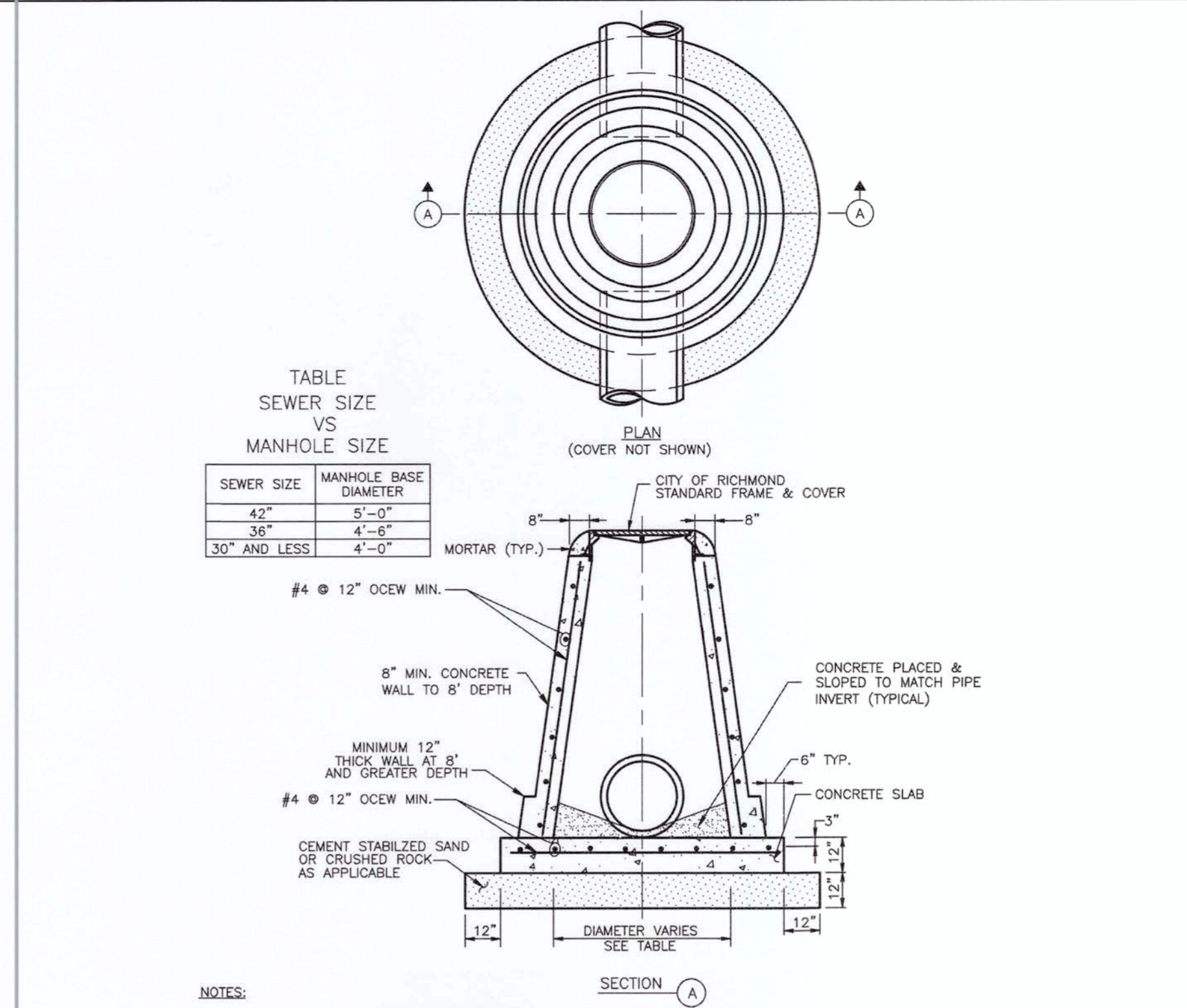
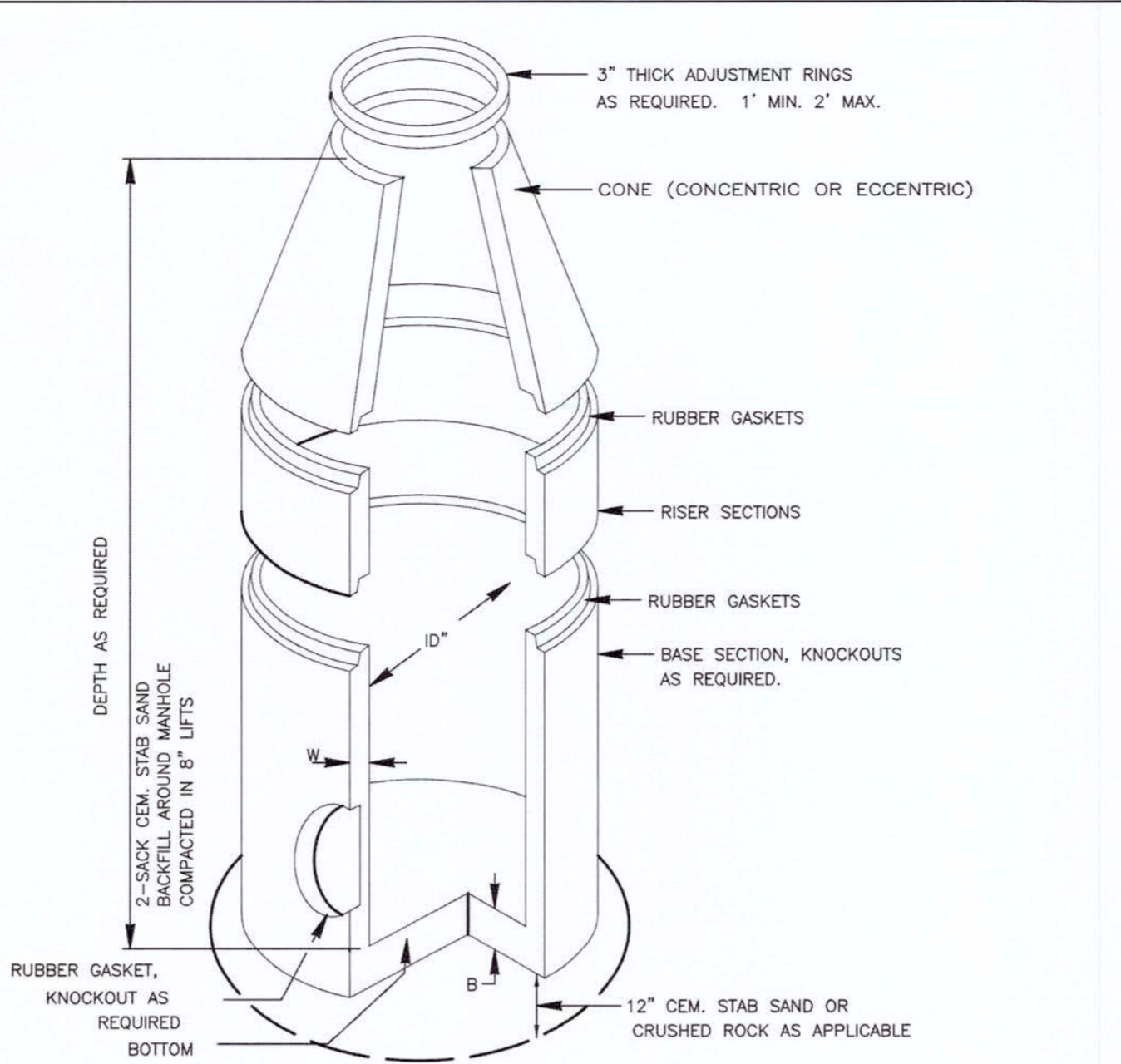
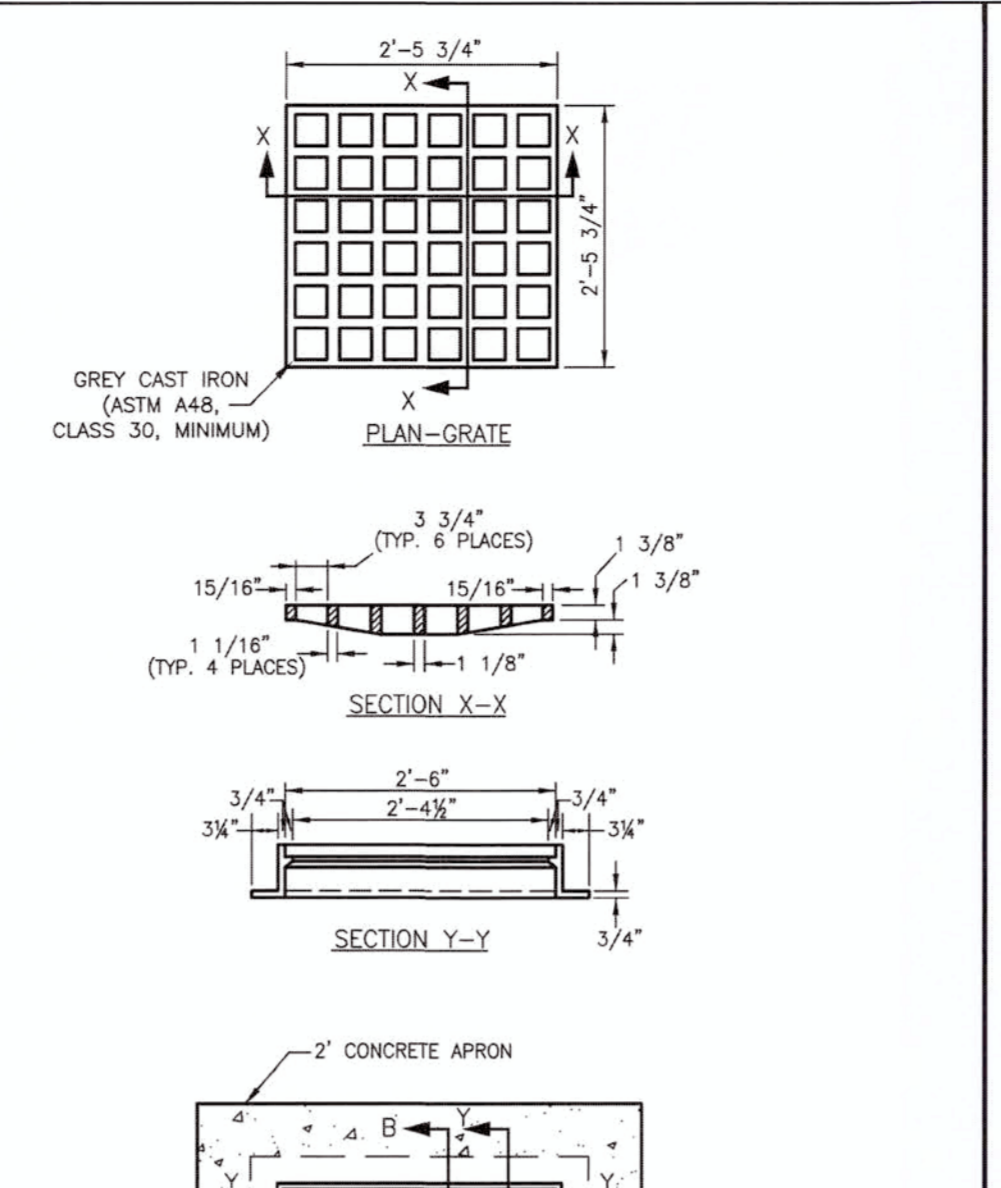
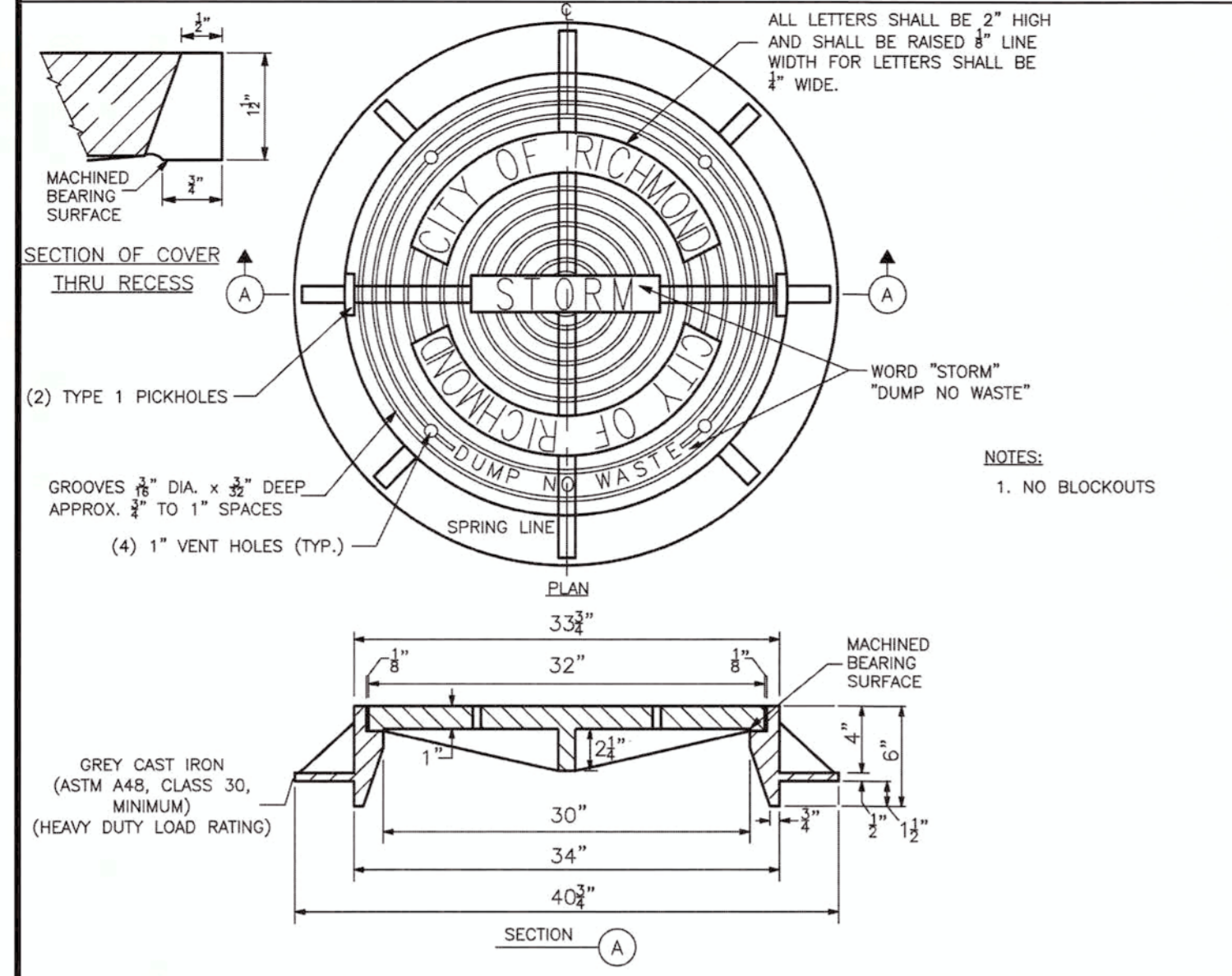


JOSEPH G. JAWORSKI
PROFESSIONAL ENGINEER
TEXAS LICENSE No. 120486

DEVELOPER:
FIRST HARTFORD REALTY CORPORATION
149 COLONIAL ROAD
MANCHESTER, CT 06042-2307
TEL: (860) 646-6555
FAX: (860) 646-8572
PROJECT CONTACT: JOHN TOIC

Rev.	Date	Comments	By
1	05/11/17	REV. PER AGENCY COMMENTS	DNH
2	05/15/17	REV. PER CITY COMMENTS	DNH
3	07/19/17	REV. PER CITY COMMENTS	MAL

SCALE:	(H) NOTE TO SCALE (V)
DRAWN BY:	DNH
DESIGNED BY:	JAK
CHECKED BY:	SES
DATE:	02/17/17
JOB No:	0469-16-197
TITLE:	CITY DETAILS
SHEET No:	25 of 36
COMMENTS:	THIS PLAN IS FOR APPROVAL PROCESS ONLY AND MAY NOT BE USED FOR CONSTRUCTION
Rev. #	3

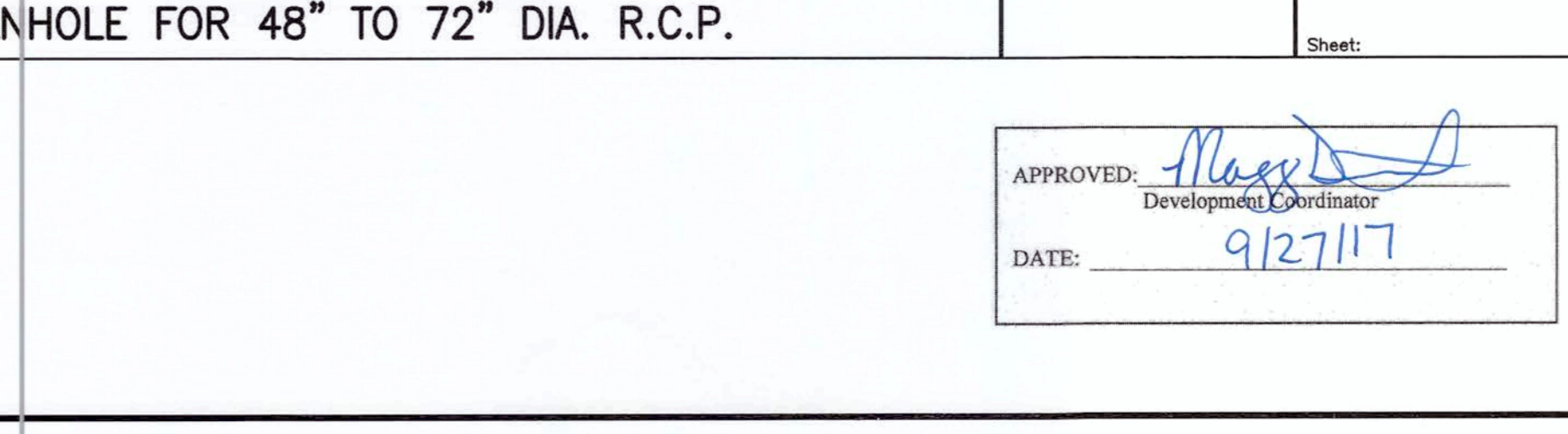
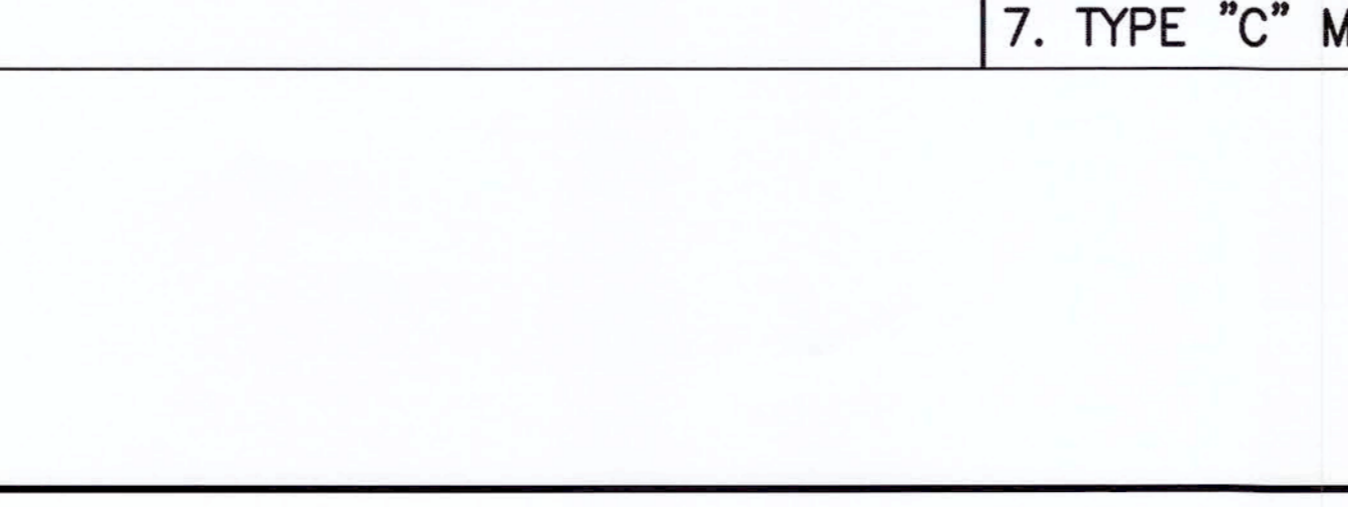
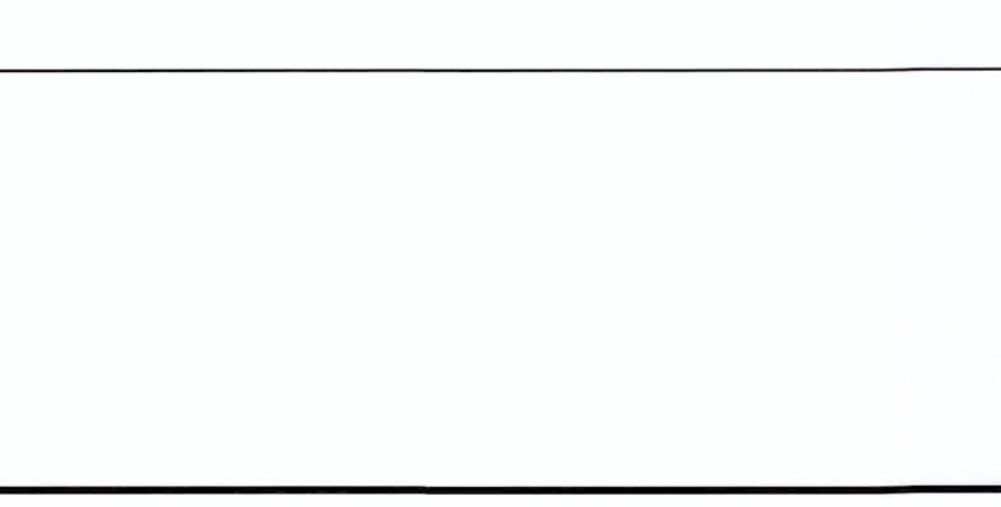
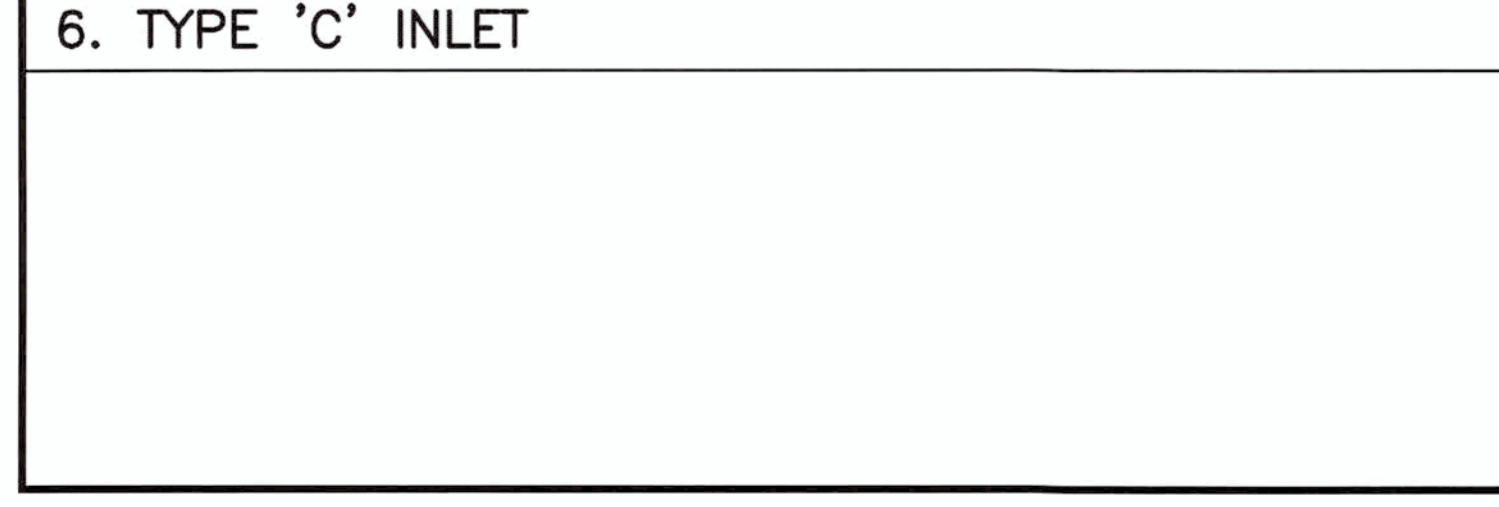
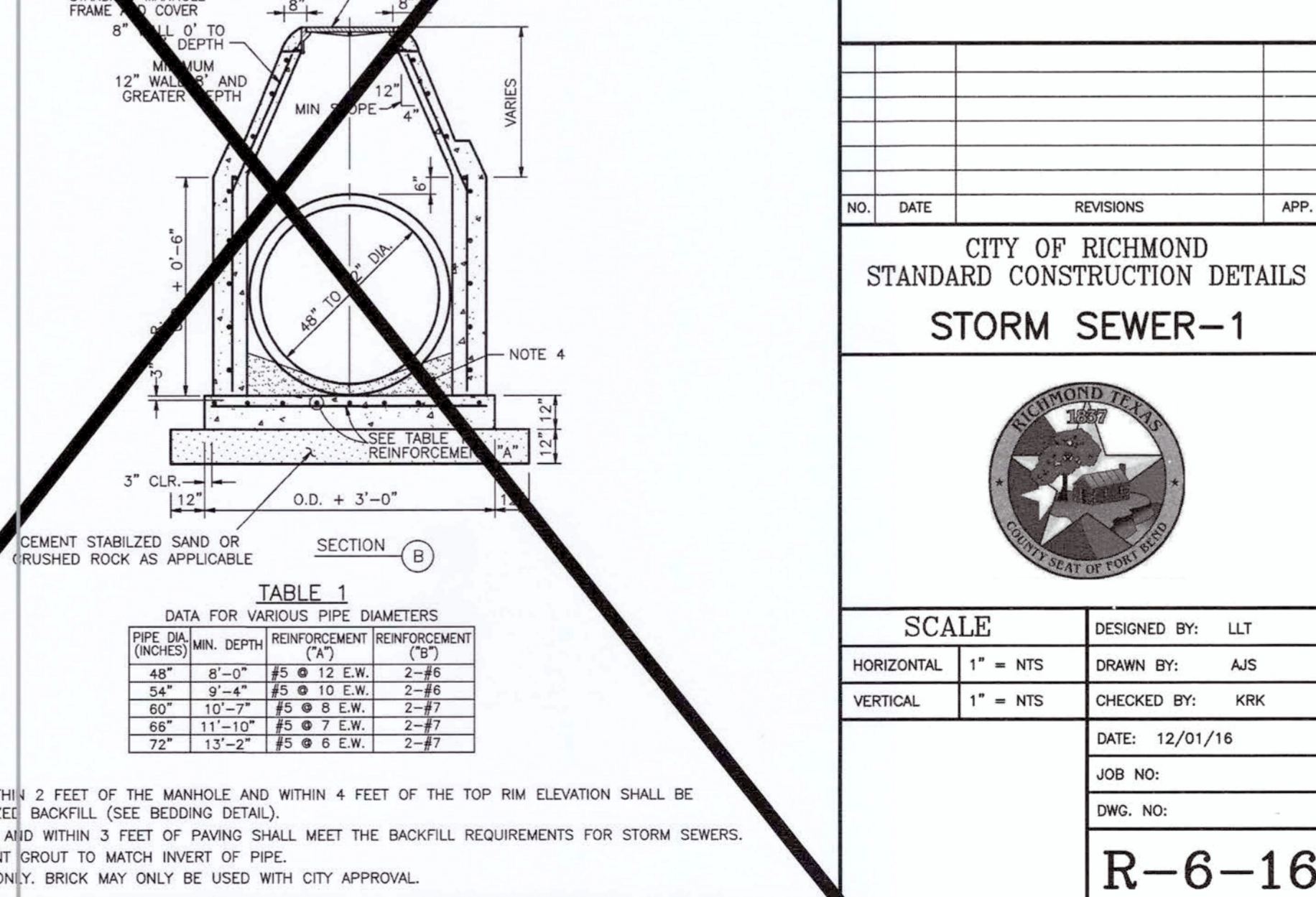
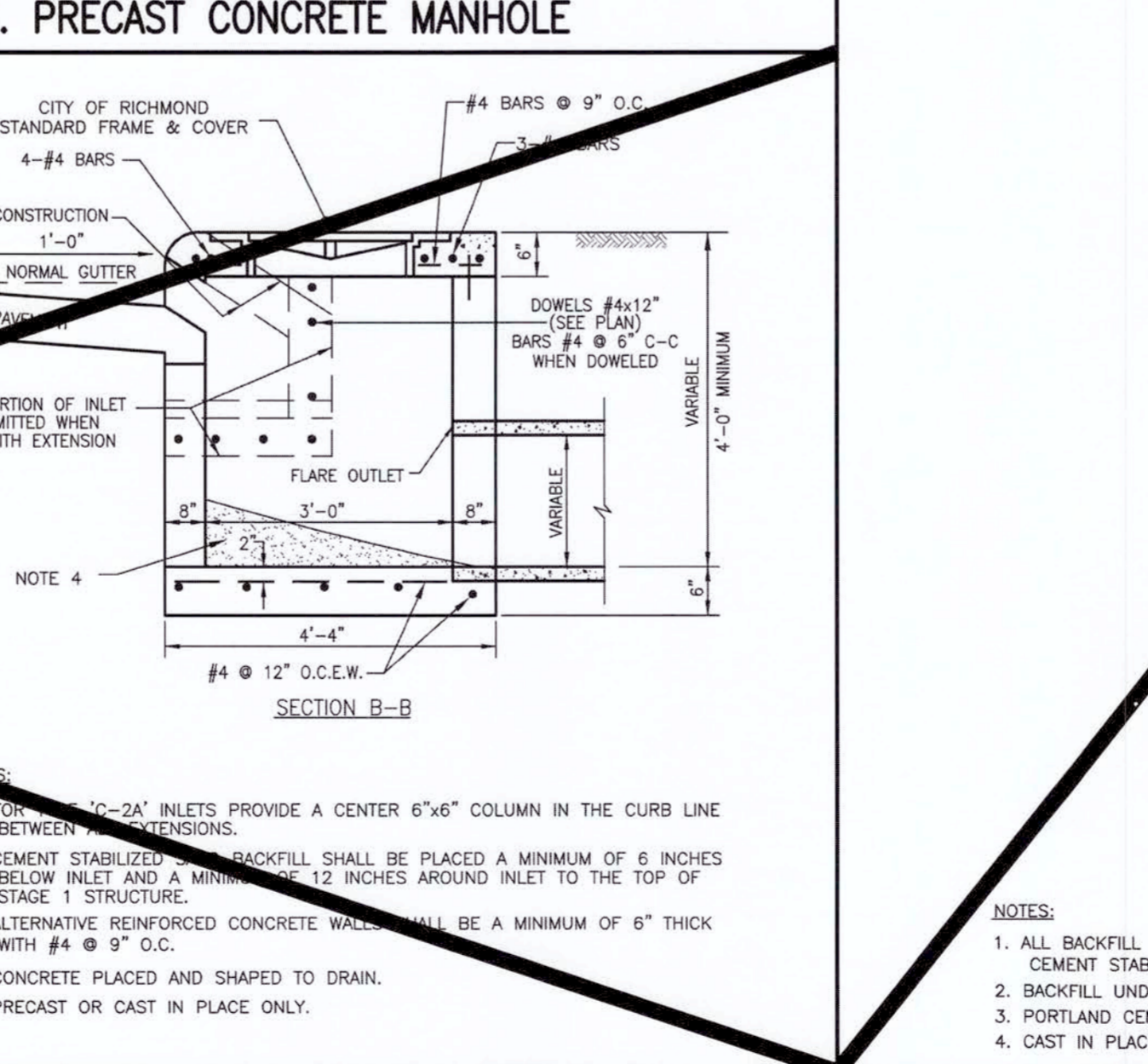
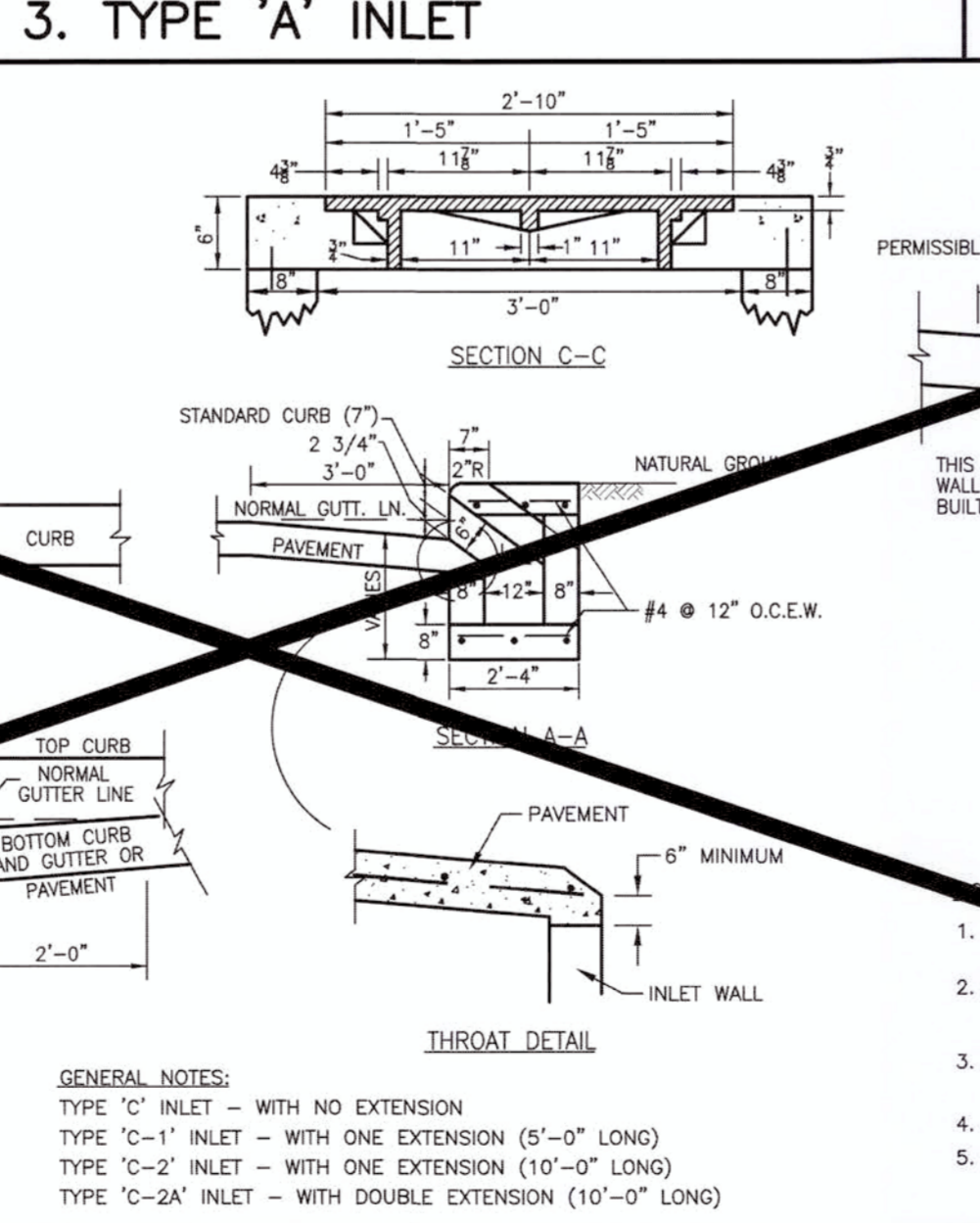
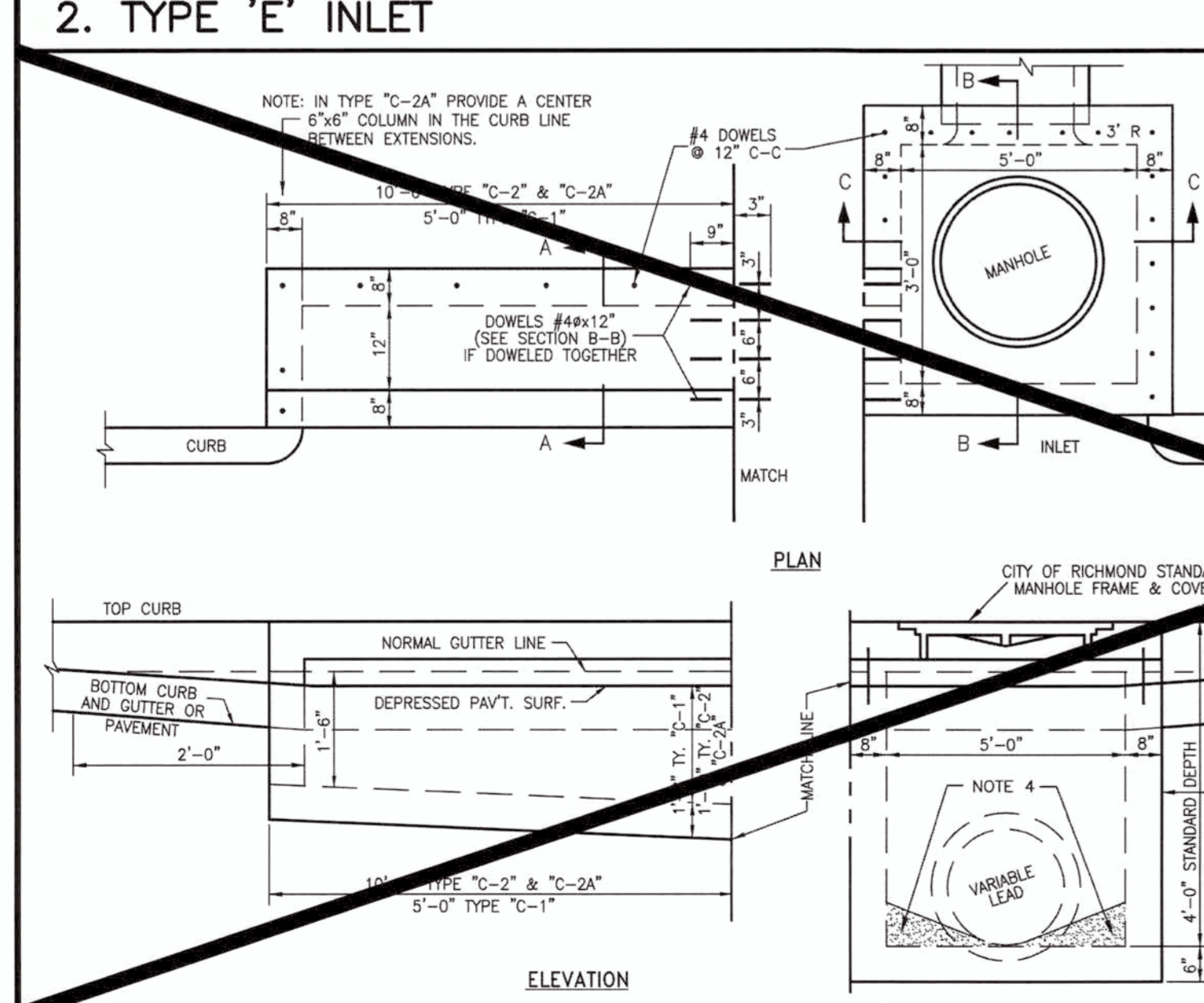
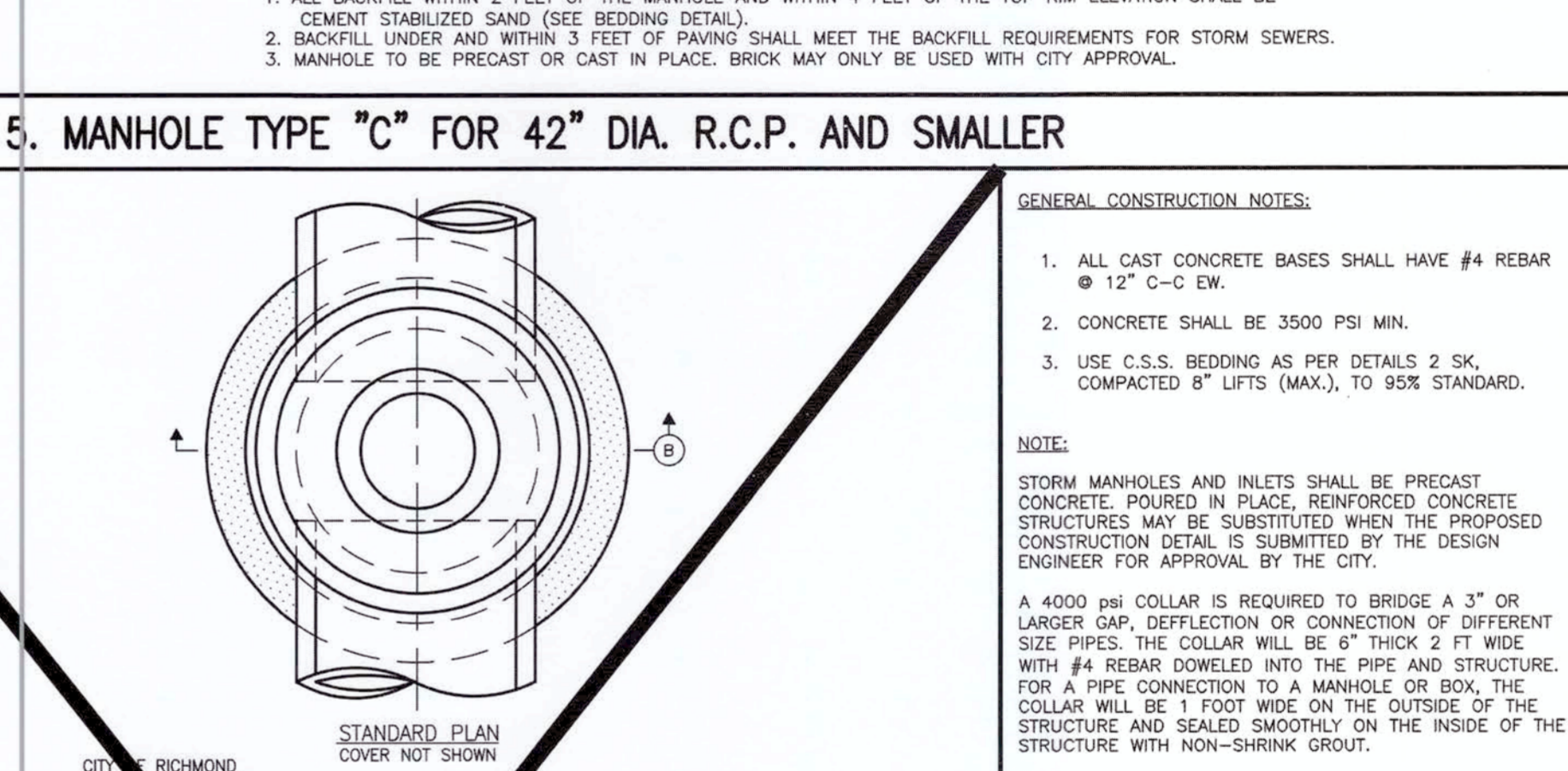


DIMENSIONS AND WEIGHTS

I.D. SIZE (in)	W (in)	B (in)	WT/LF (lb)
48	5	6	868
60	6	8	1300
72	7	8	1811
96	9	8	3090

NOTES:

- LIFTING INSERTS AS REQUIRED.
- ALL JOINTS SHALL BE SEALED WITH APPROVED RUBBER GASKET.
- STRUCTURE TO BE PLACED ON 12\"/>



CVS pharmacy

14 K CORNER ENTRY
BUMP-OUT DRIVE-THRU (LEFT)
STORE NUMBER: 11096

4110 WILLIAMS WAY BOULEVARD
CITY OF RICHMOND, FORT BEND COUNTY, TEXAS, 77469
CS PROJECT NUMBER: 99715

DYNAMIC ENGINEERING

Central NJ Office: 6600 North Ave., Suite 200, Newark, NJ 07102
North NJ Office: 2400 Westfield Ave., Suite 100, Clifton, NJ 07011
South NJ Office: 4600 North Ave., Suite 200, Newark, NJ 07102
PA Office: 790 Newmarket Road, Suite 425, Newmarket, VA 22440
Dallas Texas Office: 1300 Commerce Street, Suite 210, Dallas, TX 75201
Houston TX Office: 1401 Gessner Road, Suite 500, Houston, TX 77040
Austin Texas Office: 901 Maple Springs Road, Austin, TX 78754

07/19/17

STATE OF TEXAS

JOSEPH G. JAWORSKI
120486
LICENSED PROFESSIONAL ENGINEER

JOSEPH G. JAWORSKI
PROFESSIONAL ENGINEER
TEXAS LICENSE No. 120486

DEVELOPER:

FIRST HARTFORD REALTY CORPORATION
49 COLONIAL ROAD
MANCHESTER, CT 06042-2307
TEL: (860) 646-6555
FAX: (860) 646-8572
PROJECT CONTACT: JOHN TOIC

Rev.	Date	Comments	By
1	05/11/17	REV. PER AGENCY COMMENTS	DNH
2	05/15/17	REV. PER CITY COMMENTS	DNH
3	07/19/17	REV. PER CITY COMMENTS	MAL

SCALE: (B) NOTE TO SCALE (V)

DESIGNED BY: LLT
DRAWN BY: AJIS
CHECKED BY: KKK

DATE: 12/01/16
JOB NO:
DWG. NO:
R-6-16

CITY OF RICHMOND
STANDARD CONSTRUCTION DETAILS
STORM SEWER-1

SCALE: 1" = NTS
HORIZONTAL
VERTICAL

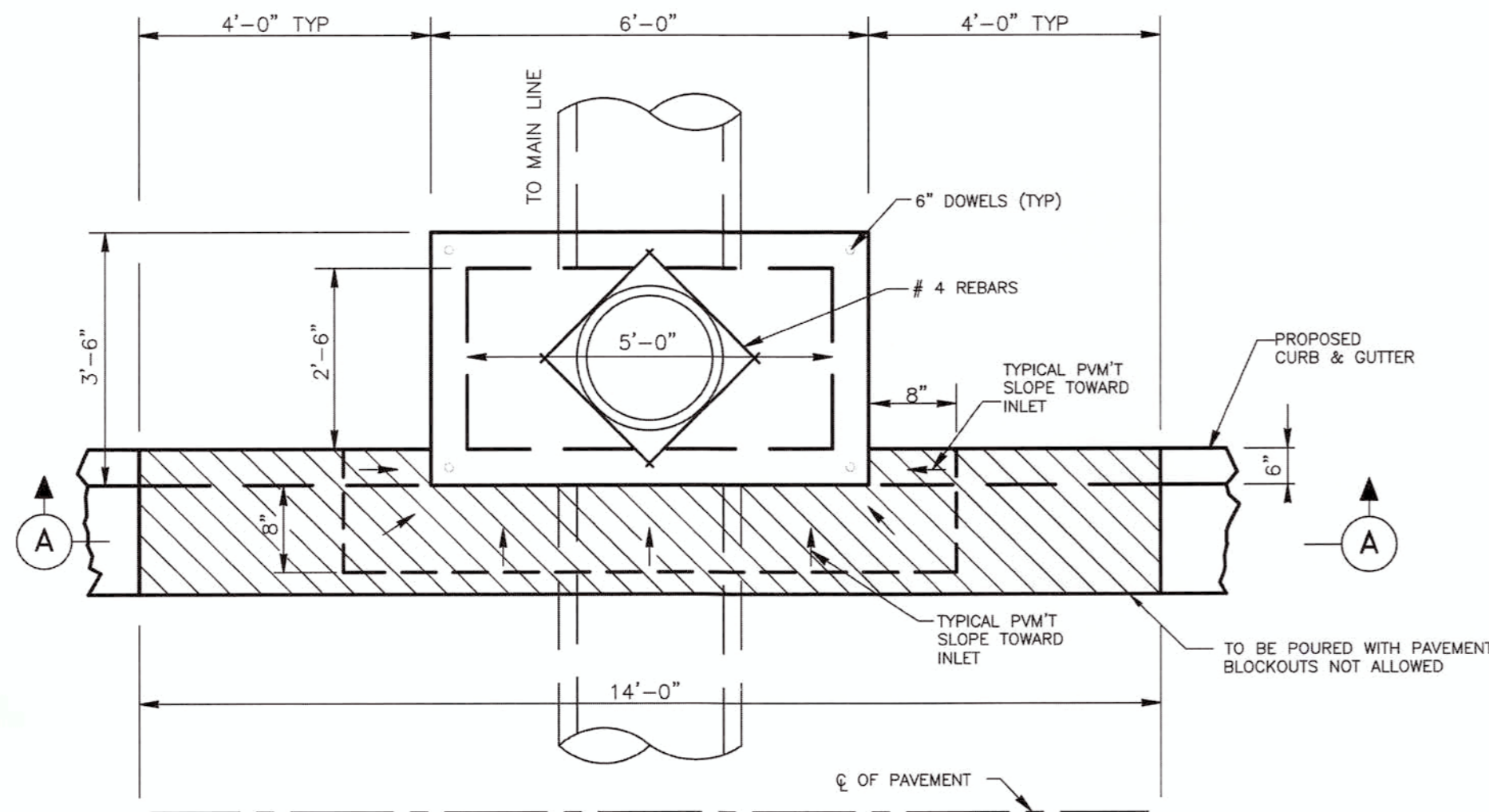
DATE: 02/17/17
JOB No: 0469-16-197
TITLE: CITY DETAILS
SHEET No: 26 OF 36

APPROVED: *Maxwell*
Development Coordinator
DATE: 9/27/17

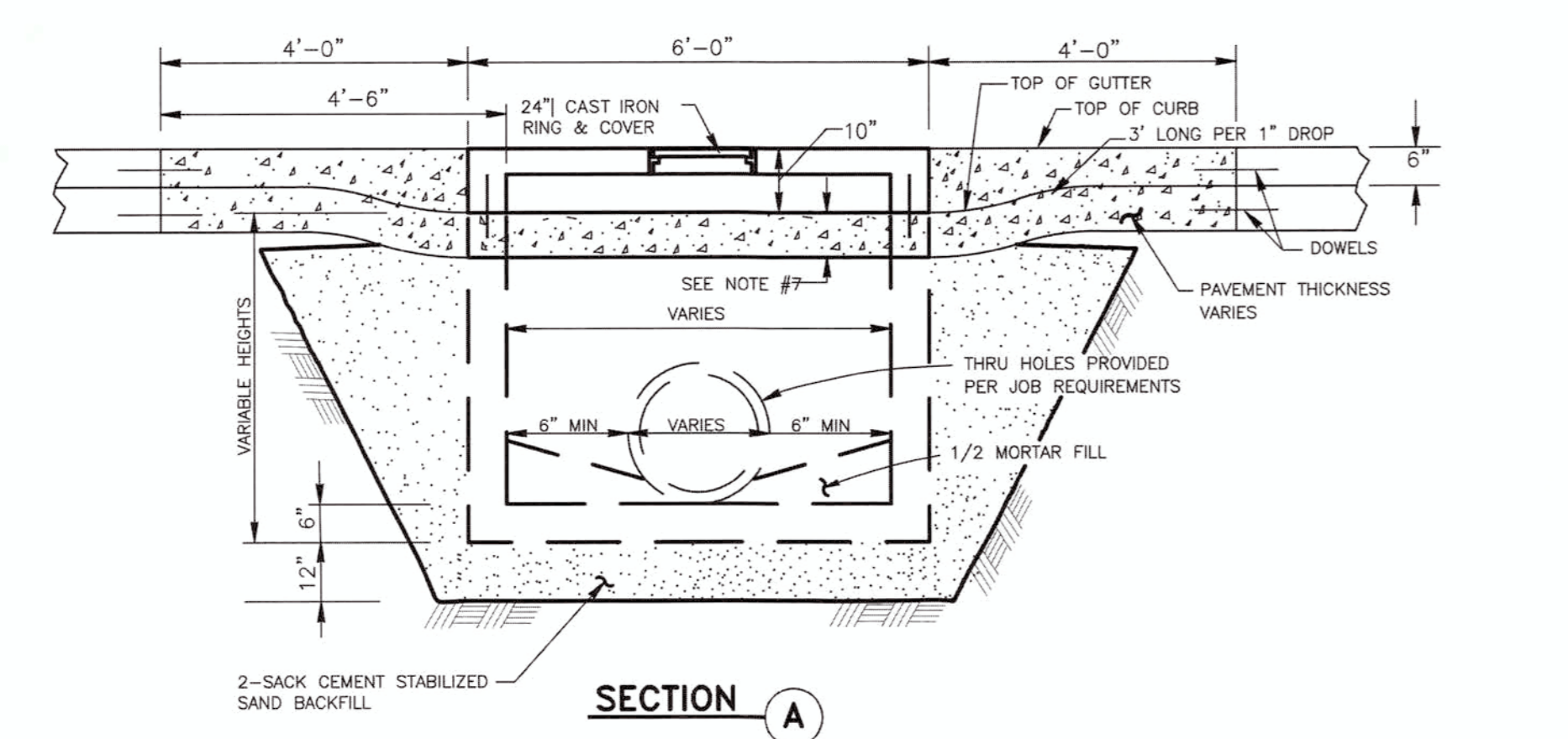
COMMENTS:
THIS PLAN IS FOR APPROVAL PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

Rev. # 3

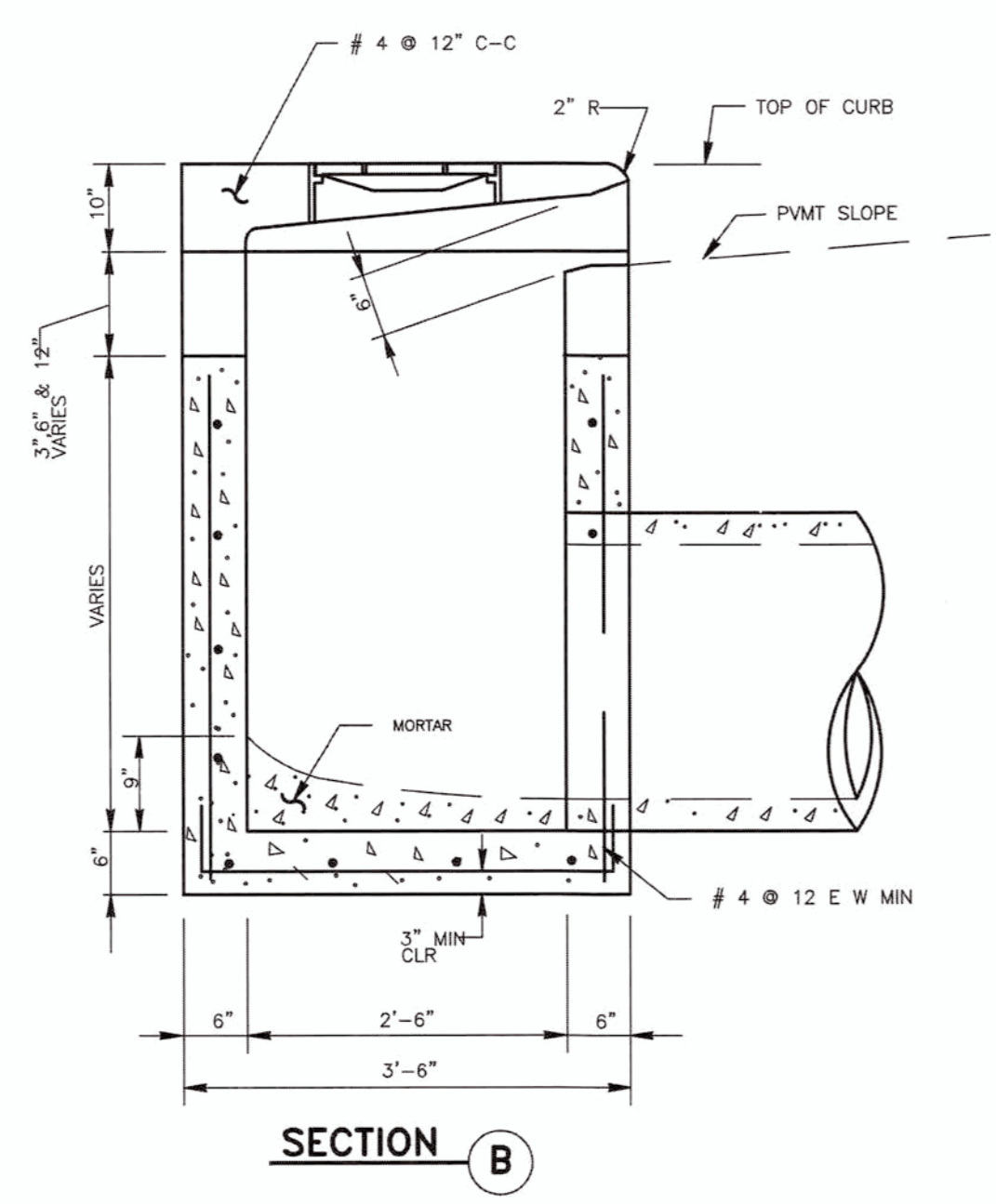
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PLAN

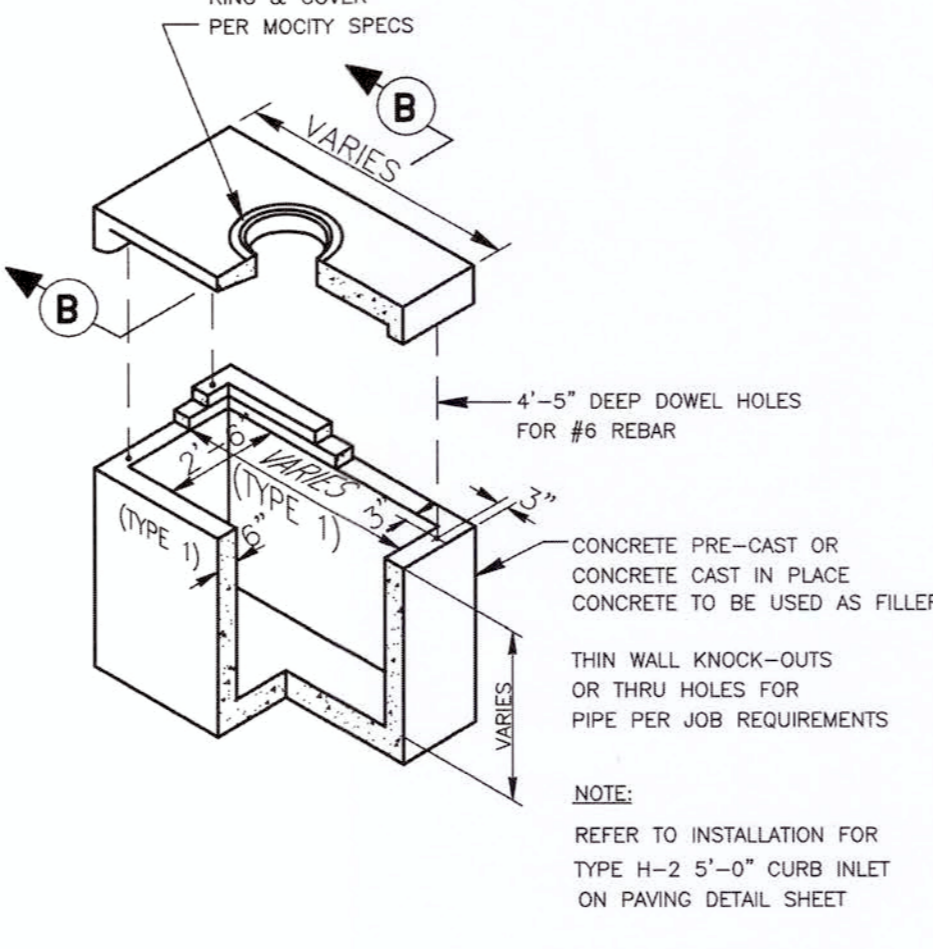


SECTION A

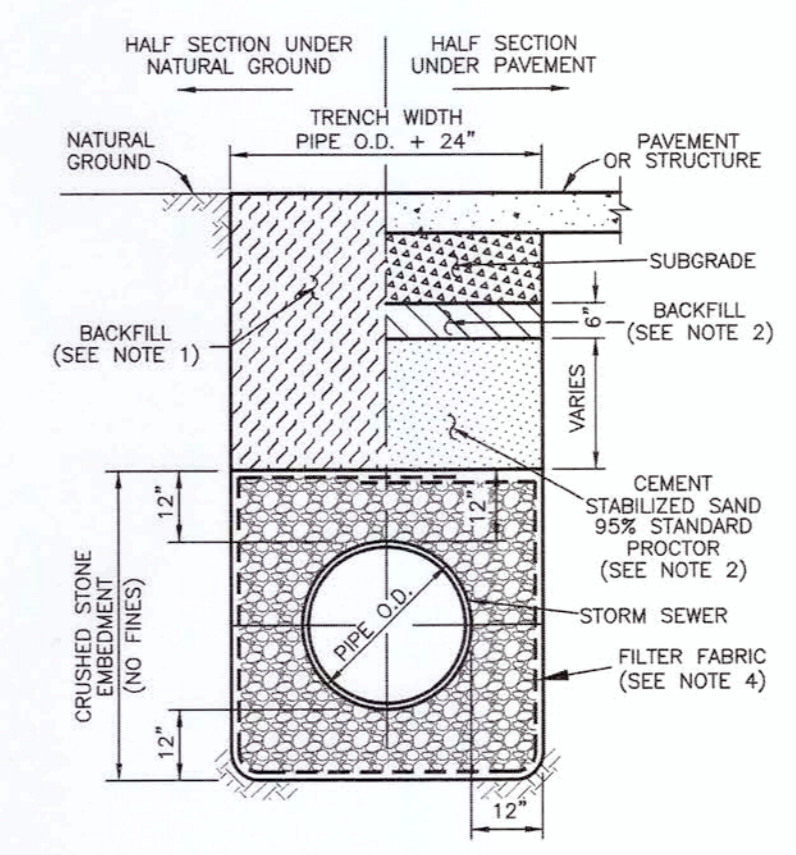
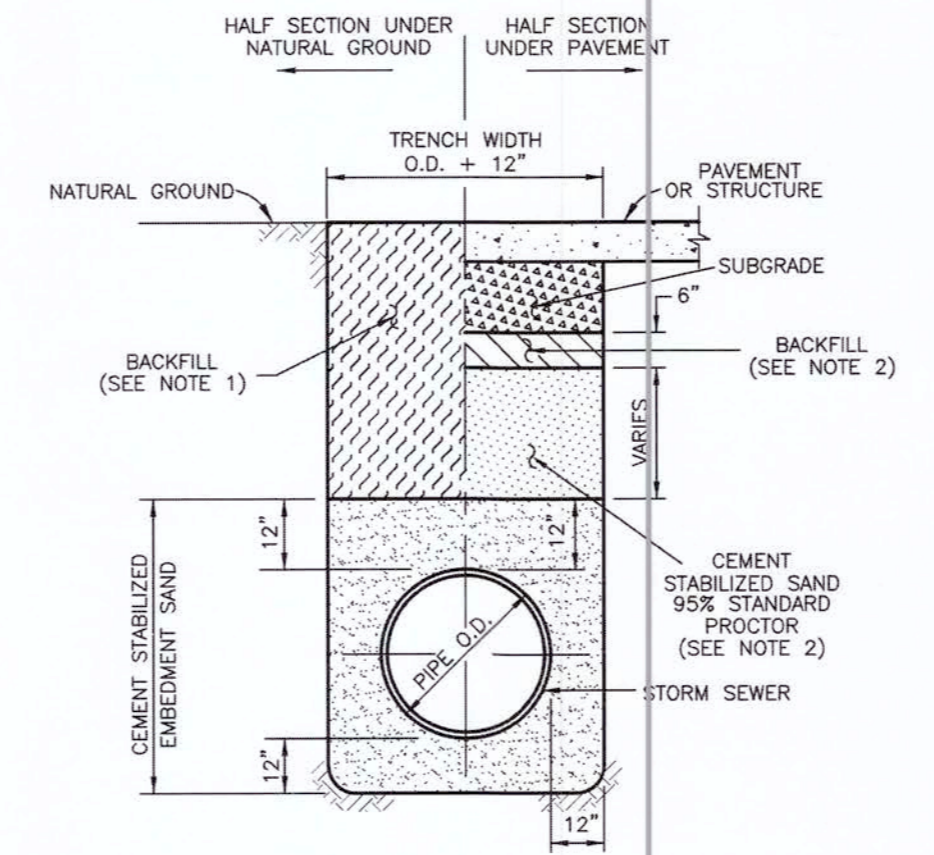


SECTION B

- NOTES:**
1. INLET WALLS MAY BE EXTENDED USING PRECAST RISER SECTION.
 2. INLET TOPS MUST BE SECURED TO THE INLET WALL USING #6 DOWELS DRILLED AND GROUTED A MINIMUM DEPTH OF 5" INTO THE INLET WALL.
 3. INLET BACKFILL SHALL BE CEMENT STABILIZED SAND TO THE TOP OF INLET FIRST STAGE.
 4. GRADE 60 REINFORCED #4 STEEL REBAR TO CONFORM TO ASTM A615 ON REQUIRED CENTERS OR EQUAL.
 5. PRECAST INLET MUST BE CONSTRUCTED TO SPECIFICATIONS REQUIRED BY APPROVED DRAWINGS. (SEE GENERAL NOTES)
 6. TOPS POURED-IN-PLACE REQUIRE #4 REBAR @ 12" C-C EACH WAY, 3,500 PSI CONCRETE MINIMUM AND 3" THICK MINIMUM.
 7. PAVEMENT DEPTH AT INLET SHALL BE EQUAL TO OR GREATER THAN REQUIRED PAVEMENT DEPTH.
 8. DEPRESS



NOTE:
REFER TO INSTALLATION FOR TYPE H-2 5'-0" CURB INLET ON PAVING DETAIL SHEET

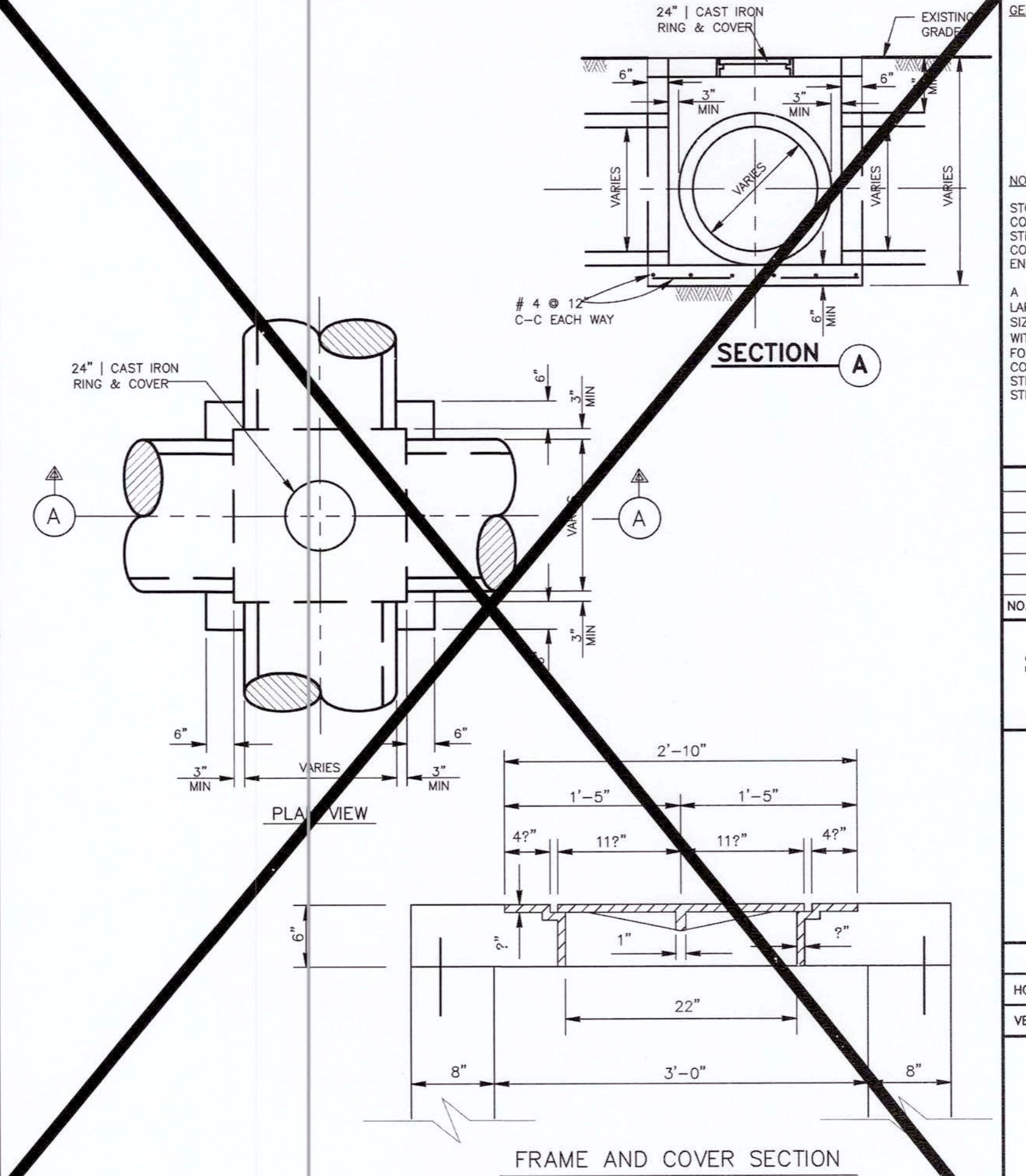


- NOTES:**
1. BACKFILL SHALL BE NATIVE SOIL, FREE OF DEBRIS, PLACED IN LIFTS, 8" THICK OR LESS, COMPACTED TO 95% STANDARD PROCTOR DENSITY, EXCEPT AS REQUIRED BELOW.
 2. BACKFILL UNDER AND WITHIN 3 FEET OF DRIVEWAYS AND PUBLIC STREETS SHALL BE CEMENT STABILIZED SAND (2 SACKS OF CEMENT PER TON OF SAND), EXCEPT THE TOP 6" SHALL BE NATIVE SOIL, FREE OF DEBRIS. ALL BACKFILL UNDER PAVING SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 3. TRENCH SHORING, IN ACCORDANCE WITH OSHA, SHALL BE INSTALLED AS REQUIRED.

- GENERAL CONSTRUCTION NOTES:**
1. ALL CAST CONCRETE BASES SHALL HAVE #4 REBAR @ 12" C-C EW.
 2. CONCRETE SHALL BE 3500 PSI MIN.
 3. USE C.S.S. BEDDING AS PER DETAILS 2 SK COMPACTED 8" LIFTS (MAX.), TO 95% STANDARD.
- NOTE:
STORM MANHOLES AND INLETS SHALL BE PRECAST CONCRETE. POURED IN PLACE, REINFORCED CONCRETE STRUCTURES MAY BE SUBSTITUTED WHEN THE PROPOSED CONSTRUCTION DETAIL IS SUBMITTED BY THE DESIGN ENGINEER FOR APPROVAL BY THE CITY.
- A 4000 PSI COLLAR IS REQUIRED TO BRIDGE A 3" OR LARGER GAP, DEFLECTION OR CONNECTION OF DIFFERENT SIZE PIPES. THE COLLAR WILL BE 6" THICK 2 FT WIDE WITH #4 REBAR DOWELED INTO THE PIPE AND STRUCTURE. FOR A PIPE CONNECTION TO A MANHOLE OR BOX, THE COLLAR WILL BE 1 FOOT WIDE ON THE OUTSIDE OF THE STRUCTURE AND SEALED SMOOTHLY ON THE INSIDE OF THE STRUCTURE WITH NON-SHRINK GROUT.

3. STORM SEWER BEDDING

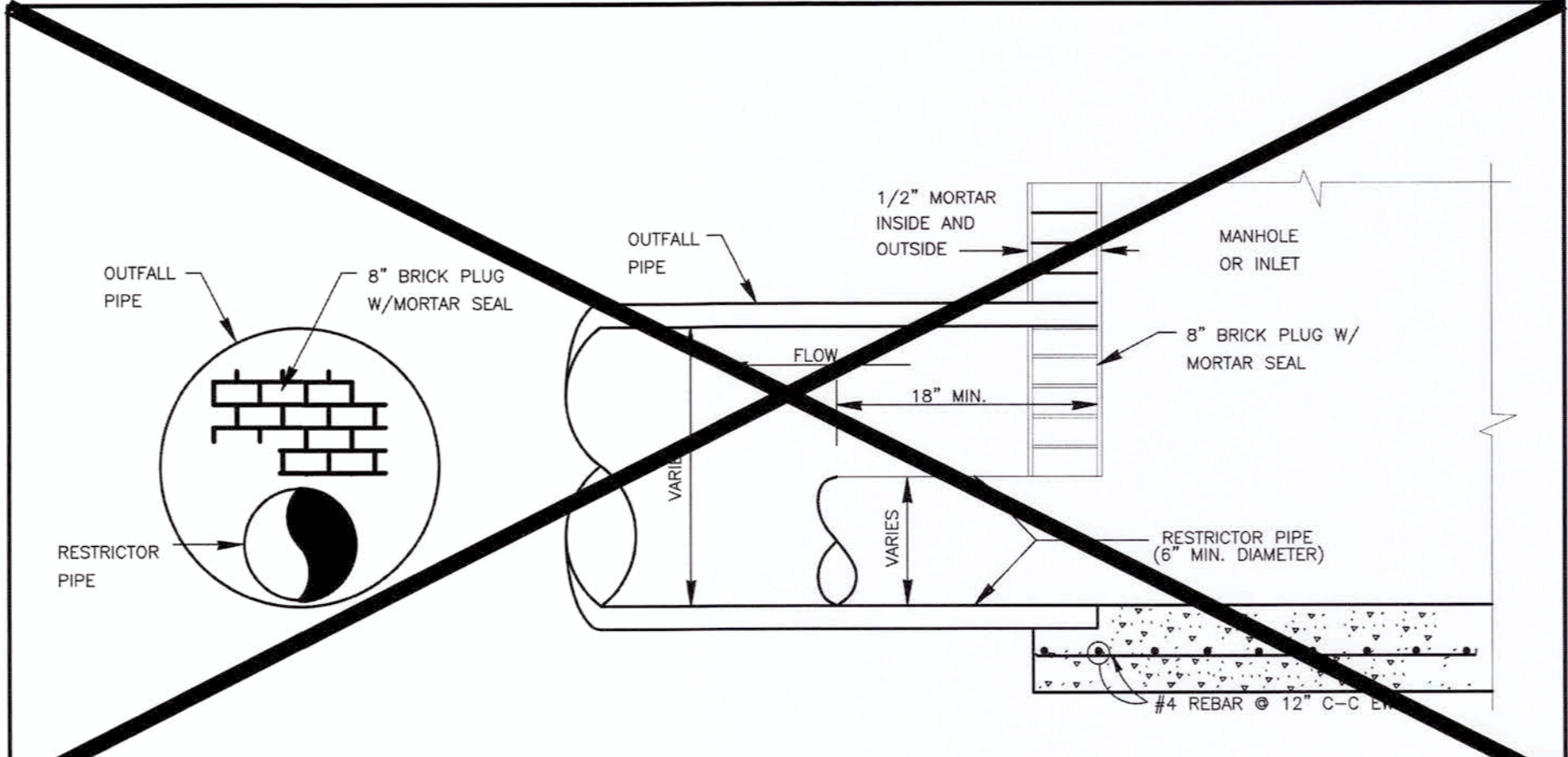
4. STORM SEWER BEDDING FOR WET CONDITIONS



SECTION A

PLAN VIEW

FRAME AND COVER SECTION



2. STORM SEWER CHOKe OUTFALL RESTRICTOR

5. JUNCTION BOX

1. TYPE "H-2" PRECAST INLET

CITY OF RICHMOND
STANDARD CONSTRUCTION DETAILS
STORM SEWER-2

SCALE

HORIZONTAL	1" = NTS
VERTICAL	1" = NTS

DESIGNED BY: LLT
DRAWN BY: AJS
CHECKED BY: KKK
DATE: 12/01/16
JOB NO:
DWG. NO:
R-7-16
Sheet:

APPROVED: *Max D*
Development Coordinator
DATE: 9/27/17



14 K CORNER ENTRY
BUMP-OUT DRIVE-THRU (LEFT)
STORE NUMBER: 11096

4110 WILLIAMS WAY BOULEVARD
CITY OF RICHMOND, FORT BEND COUNTY, TEXAS, 77469
CS PROJECT NUMBER: 99715

D
DYNAMIC
ENGINEERING

Central NJ Office
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STATE OF TEXAS
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PROJECT CONTACT: JOHN TOIC

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1	05/11/17	REV. PER AGENCY COMMENTS	DNH
2	05/15/17	REV. PER CITY COMMENTS	DNH
3	07/19/17	REV. PER CITY COMMENTS	MAL

NO.	DATE	REVISIONS	APP.

SCALE:	(H) NOTE TO SCALE
DRAWN BY:	DNH
DESIGNED BY:	JAK
CHECKED BY:	SES
DATE:	02/17/17
JOB No:	0469-16-197

TITLE: CITY DETAILS

SHEET No: **27**

OF 36

COMMENTS:
THIS PLAN IS FOR APPROVAL PROCESS ONLY AND MAY NOT BE USED FOR CONSTRUCTION

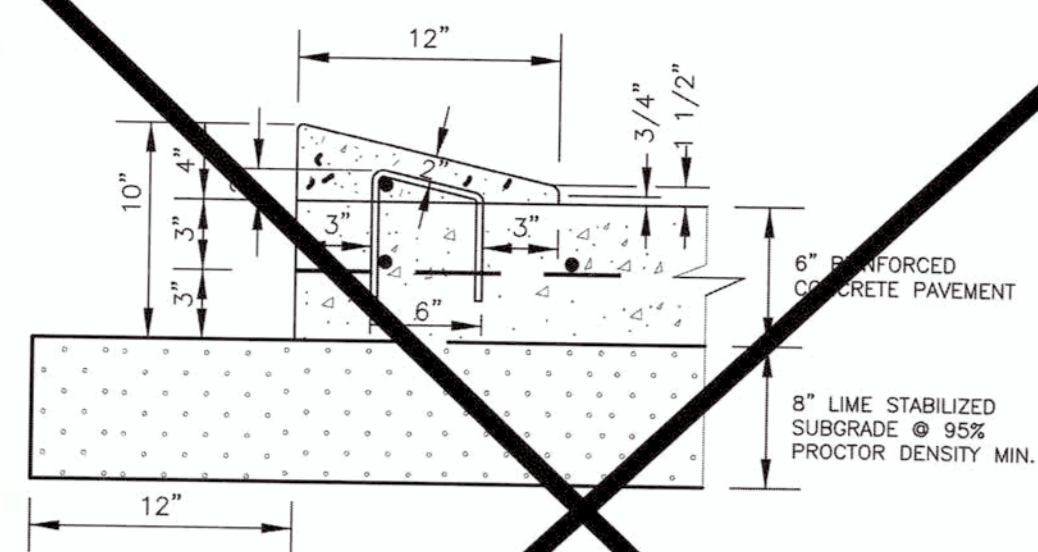
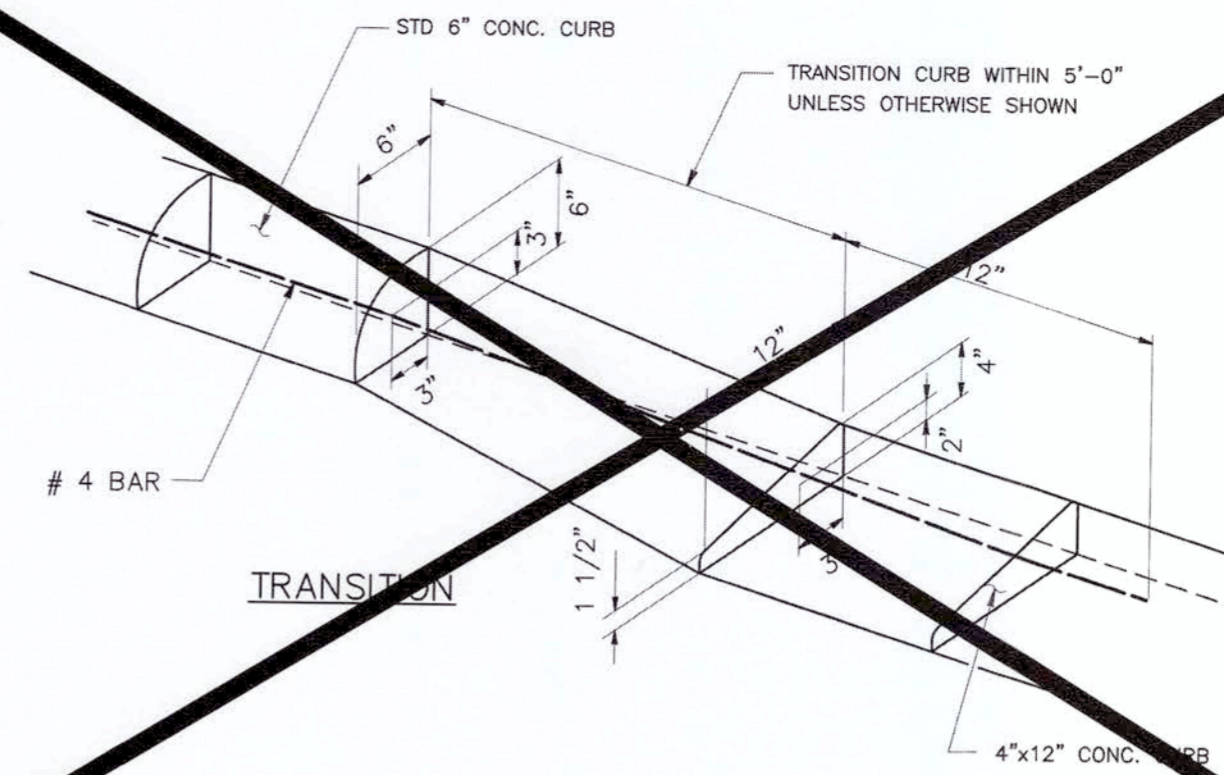
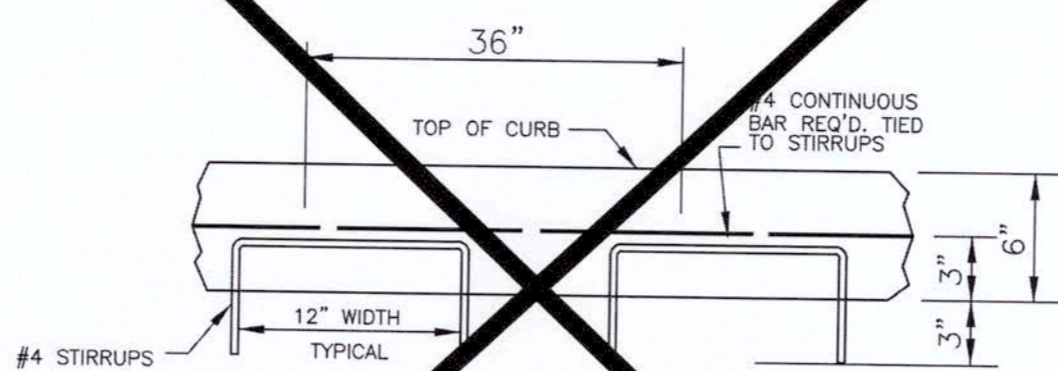
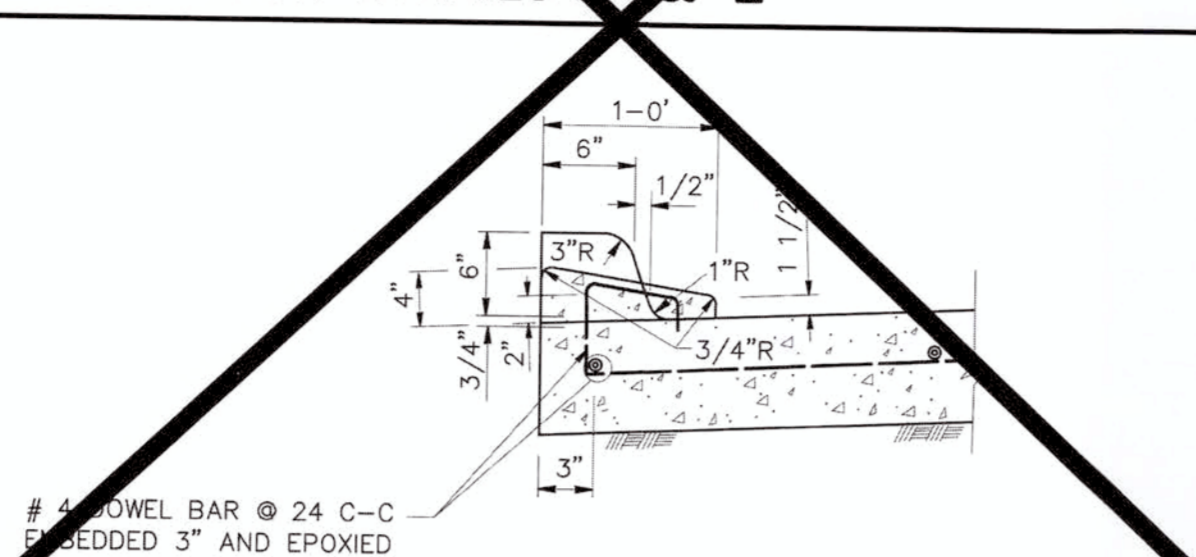
Rev # 3

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4"x12" MOUNTABLE CONCRETE CURB AND TRANSITION CURB NOTES:

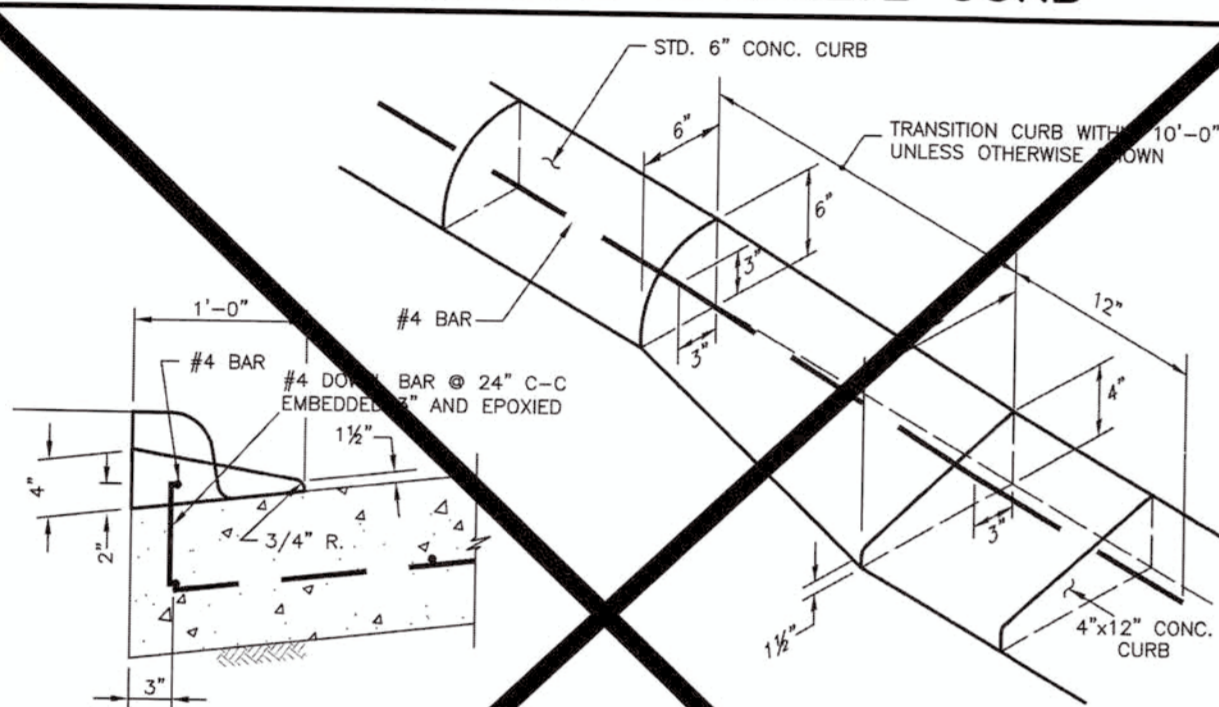
- 1. 6-INCH CONCRETE CURB TO BE CONSTRUCTED ON ALL ESPLANADES, ISLANDS AND NON-RESIDENTIAL STREETS. RESIDENTIAL STREETS MAY BE CONSTRUCTED WITH EITHER 6-INCH CONCRETE CURB OR 4-INCH X 12-INCH CONCRETE CURB AS NOTED IN PLANS.
- 2. ALL 4-INCH X 12-INCH CONCRETE CURBS TO BE POURED SEPARATE FROM PROPOSED CONCRETE PAVEMENT.
- 3. TRANSITIONS FROM 6-INCH CONCRETE CURB TO 4-INCH X 12-INCH CONCRETE CURB TO BE ACCOMPLISHED WITHIN 5 FEET (TYP.), UNLESS OTHERWISE SHOWN. REINFORCING STEEL AS SHOWN IN "4-INCH X 12-INCH TRANSITION CURB" DETAIL IS TO BE INSTALLED.

NOTES FOR DETAILS 1 & 2

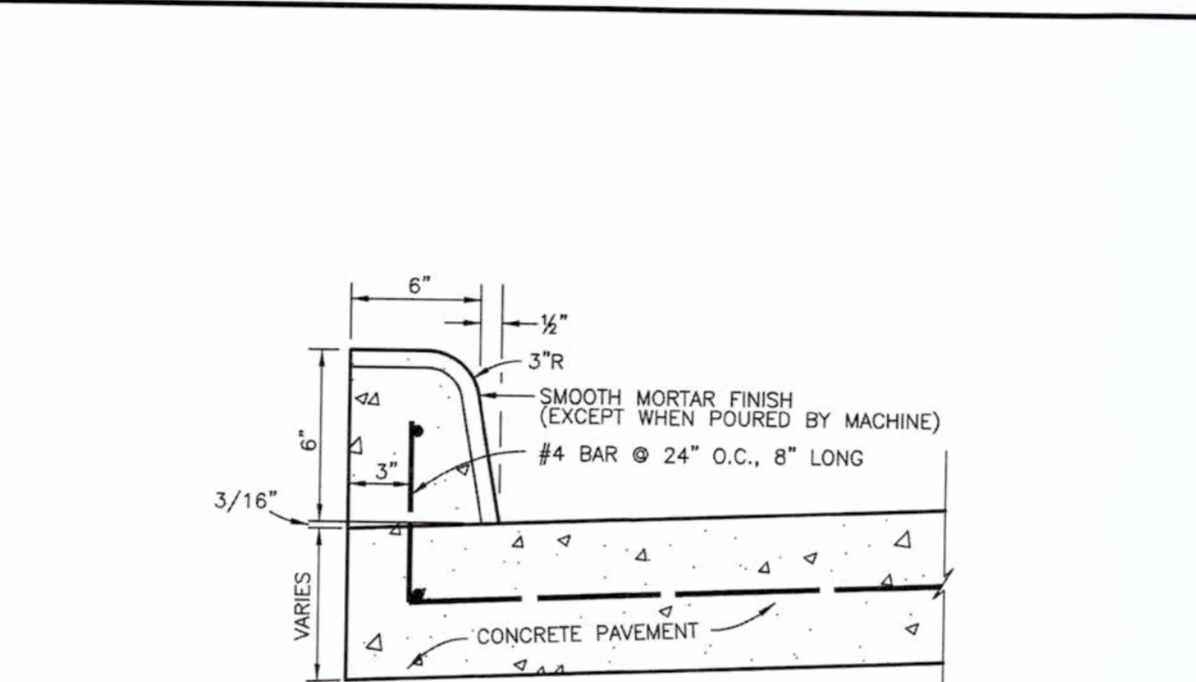


- NOTES:
- 1. #3 RE-BAR STIRRUPS TO BE PLACED AT INTERVALS OF 2' (FT) C-C.
 - 2. #3 RE-BAR LONGITUDINAL SHALL BE TIED TO EACH STIRRUP.
- MOUNTABLE CURB ONLY ALLOWED ON $\leq 41'$ (FT), UNDIVIDED, RESIDENTIAL ROADWAYS WITHIN SUBDIVISIONS.

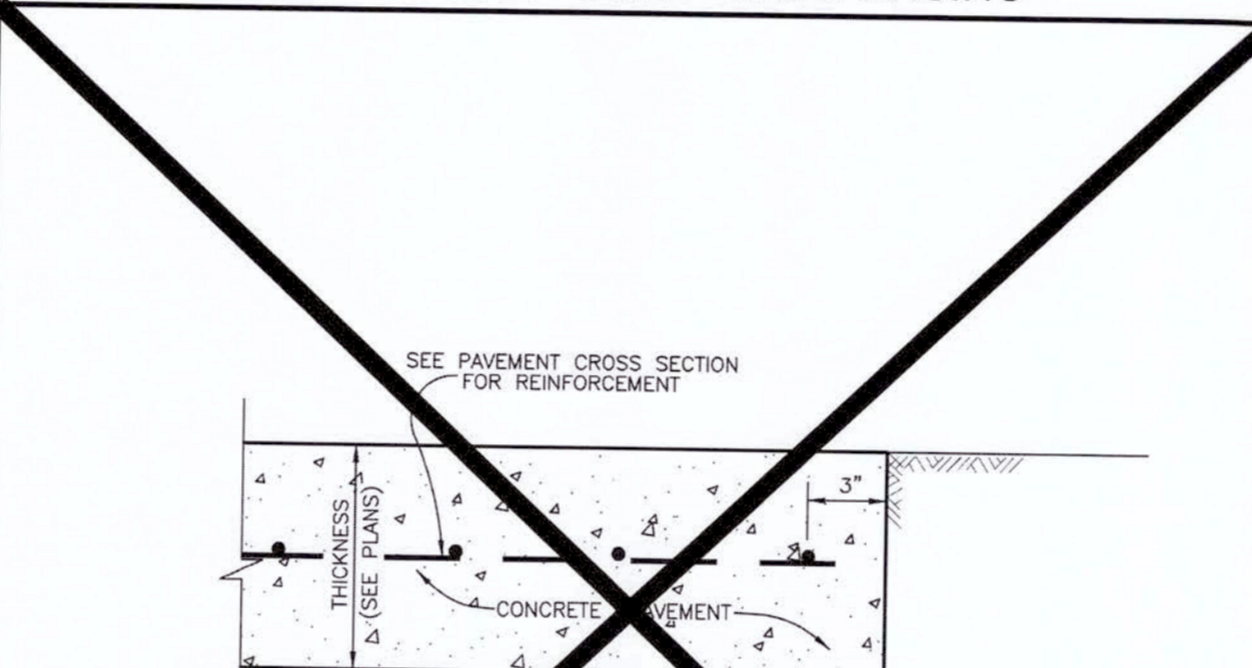
1. 4"x12" MOUNTABLE CONCRETE CURB



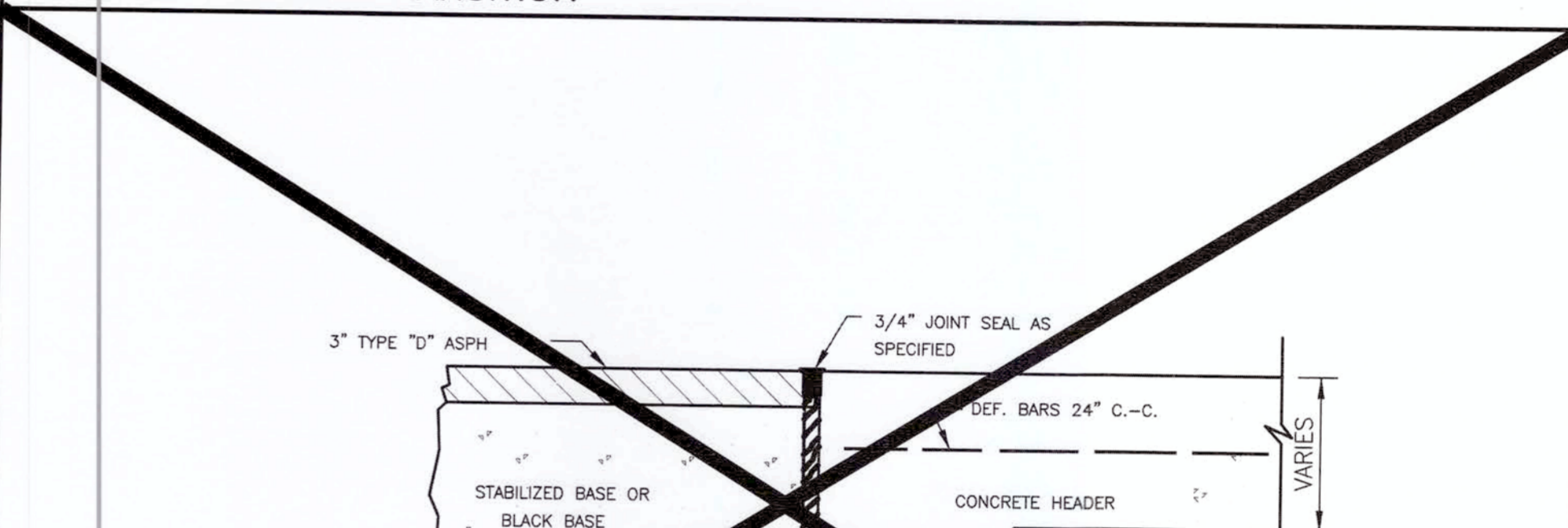
2. 4"x12" TRANSITION CURB



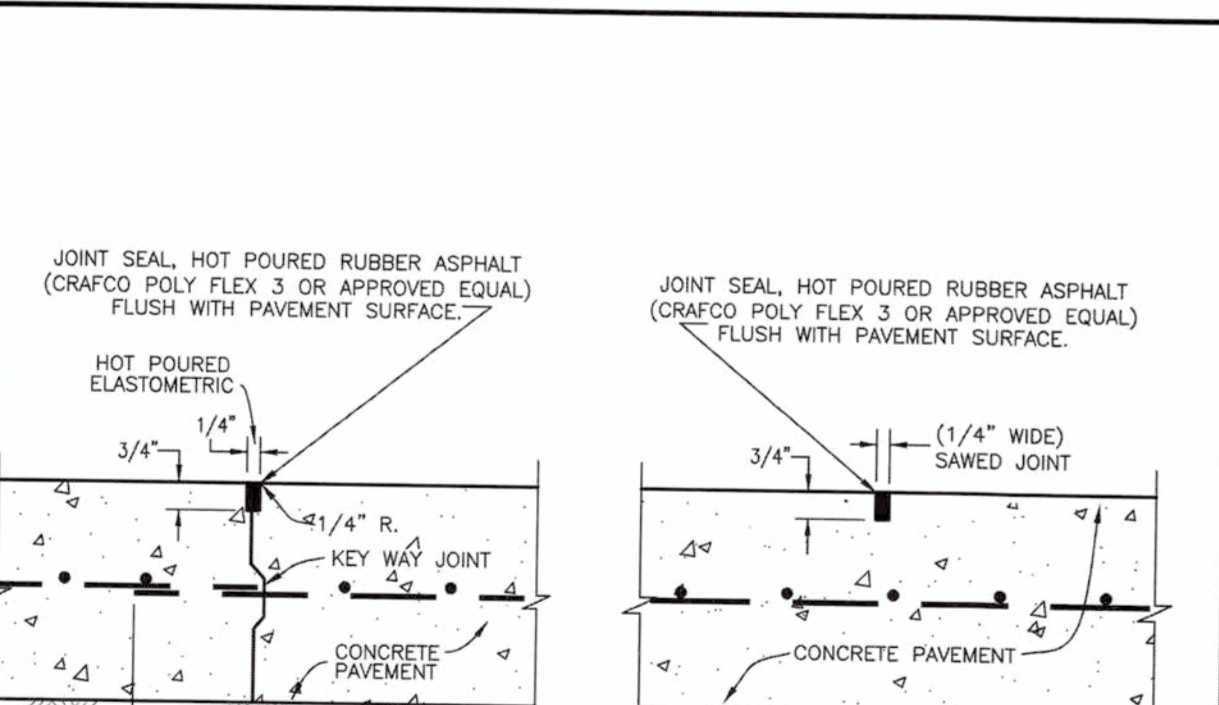
3. TYPICAL CONCRETE CURB REINFORCING



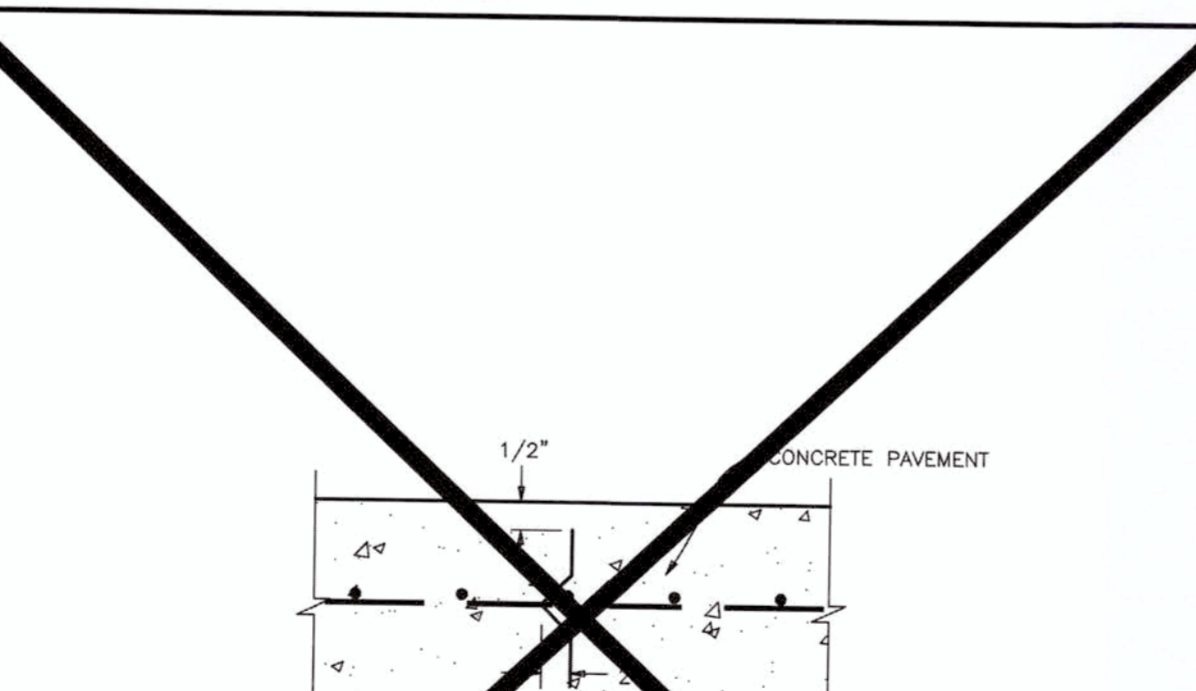
4. TYPICAL CURB TRANSITION



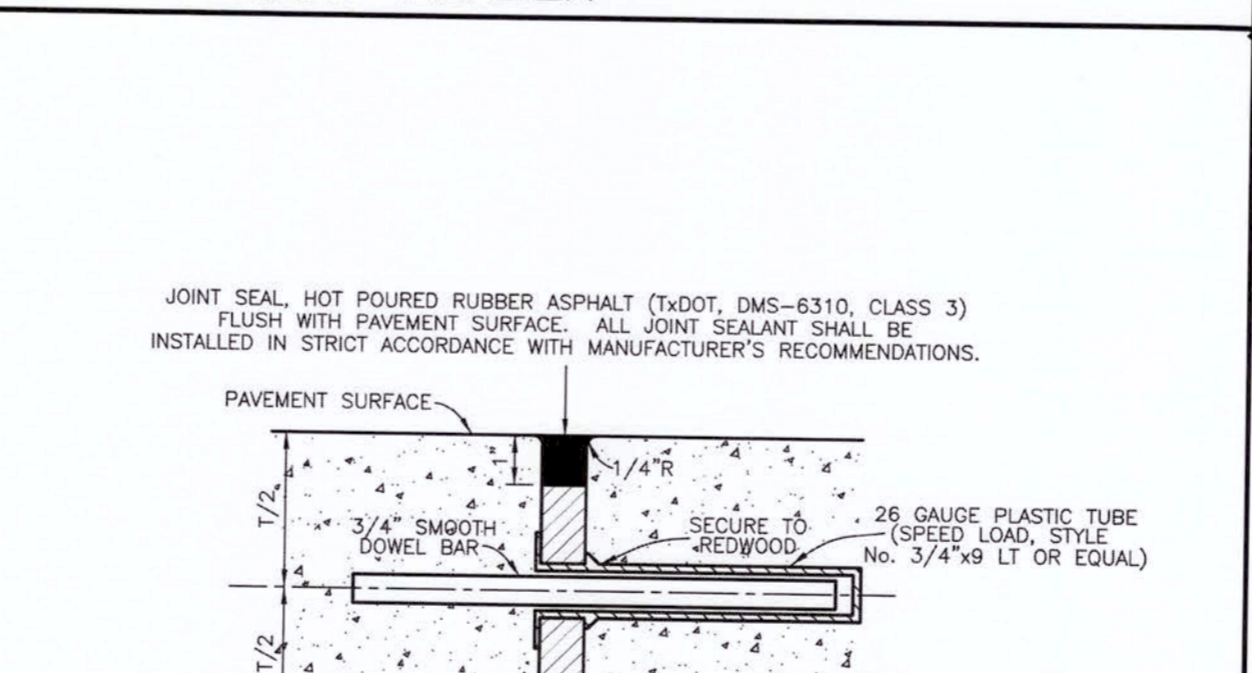
5. 4"x12" TRANSITION CURB



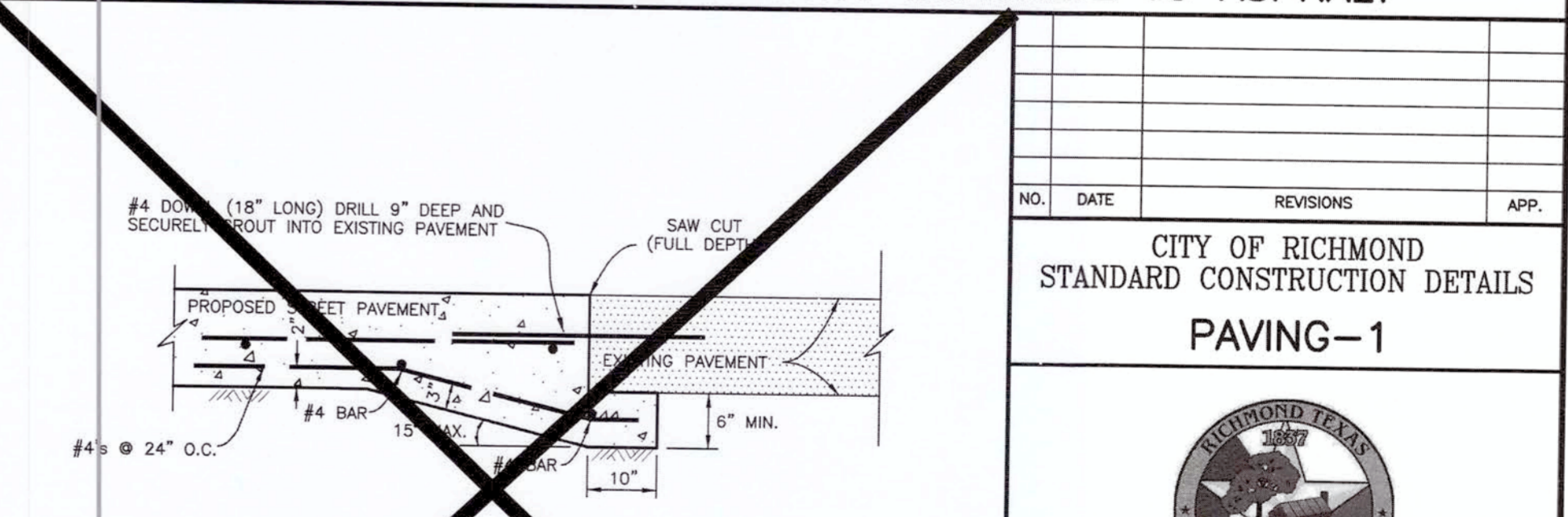
6. CONCRETE CURB



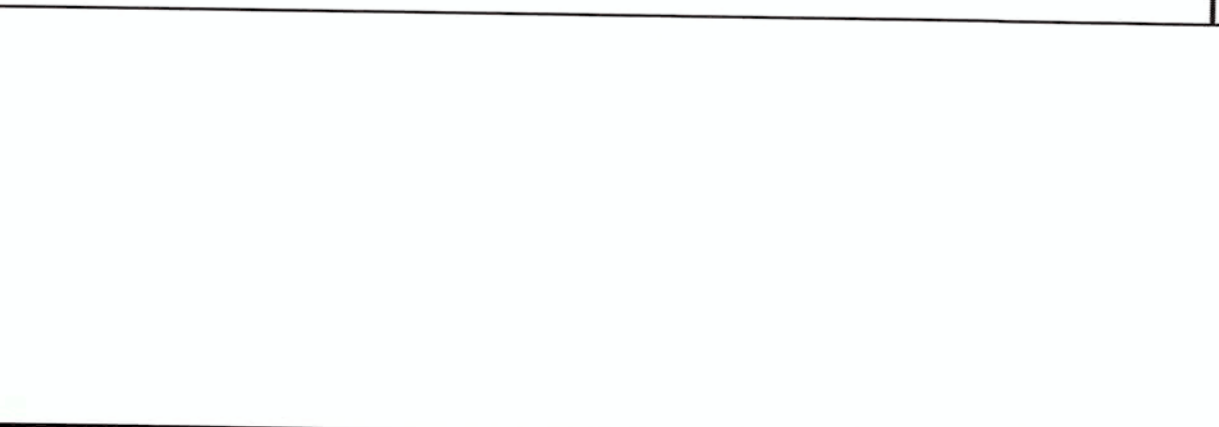
7. PAVEMENT HEADER



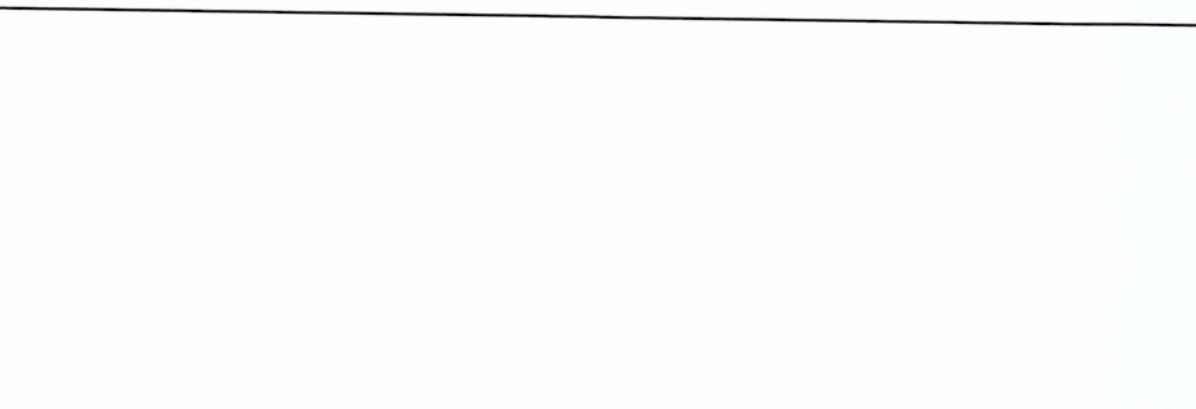
8. PAVEMENT HEADER FOR CONNECTING CONCRETE TO ASPHALT



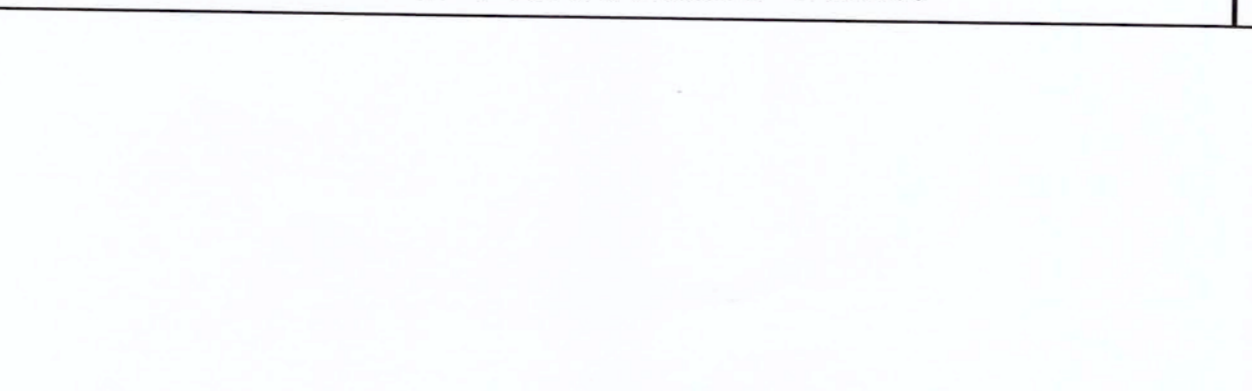
9. PAVEMENT JOINTS



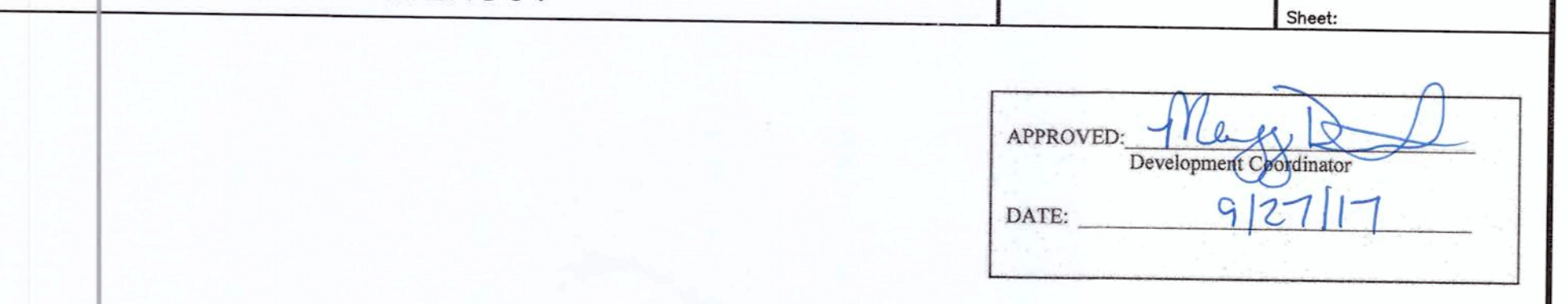
10. DEFORMED METAL STRIP



11. DOWEL TYPE EXPANSION JOINT




12. PAVEMENT UNDERCUT



NO.	DATE	REVISIONS	APP.

CITY OF RICHMOND
STANDARD CONSTRUCTION DETAILS
PAVING-1



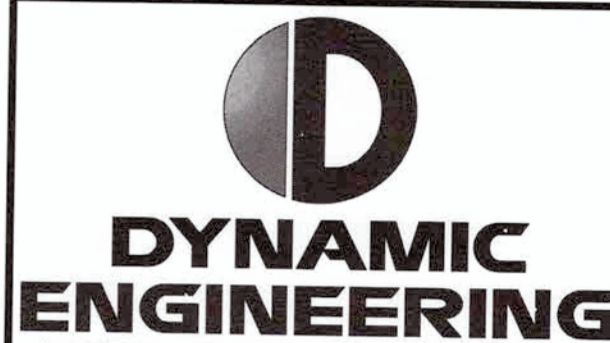
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DATE: 12/01/16		
JOB NO:		
DWG. NO: R-9-16		
Sheet:		

APPROVED: *[Signature]*
Development Coordinator
DATE: 9/27/17



14 K CORNER ENTRY
BUMP-OUT DRIVE-THRU (LEFT)
STORE NUMBER: 11096

4110 WILLIAMS WAY BOULEVARD
CITY OF RICHMOND, FORT BEND COUNTY, TEXAS, 77469
CS PROJECT NUMBER: 99715



Central NJ Office 1000 Route 100 Suite 200 Little Ferry, NJ 07643 T: 201.261.1234 F: 201.261.1235	North NJ Office 2400 Highway 100 Suite 200 Cherry Hill, NJ 08034 T: 856.426.1234 F: 856.426.1235	PA Office 750 Newkirk Phoenix, PA 15106 T: 481.481.1234 F: 481.481.1235	Dallas Texas Office 1301 Commerce Street, Suite 210 Allen, TX 75015 T: 972.942.1234	Houston TX Office 10000 Westchase Houston, TX 77042 T: 281.481.1234 F: 281.481.1235
-------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------



JOSEPH G. JAWORSKI
PROFESSIONAL ENGINEER
TEXAS LICENSE NO. 120486

DEVELOPER:
FIRST HARTFORD REALTY CORPORATION
149 COLONIAL ROAD
MANCHESTER, CT 06042-2307
TEL: (860) 646-6555
FAX: (860) 646-6572
PROJECT CONTACT: JOHN TOIC

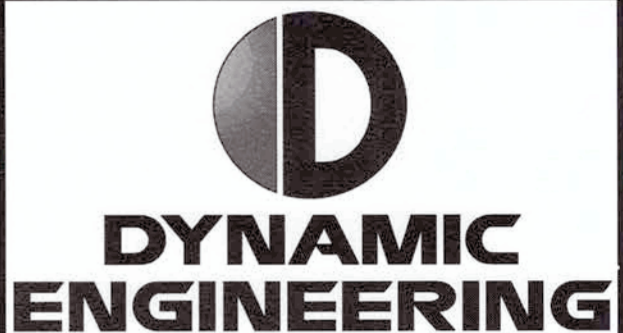
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2	05/15/17	REV. PER CITY COMMENTS	DNH
3	07/19/17	REV. PER CITY COMMENTS	MAL

SCALE:	(1) 1" = 30'
DRAWN BY:	DNH
DESIGNED BY:	JAK
CHECKED BY:	SES
DATE:	02/17/17
JOB NO:	0469-16-197
CITY DETAILS	
28	
OF 36	
COMMENTS:	
THIS PLAN IS FOR APPROVAL PROCESS ONLY AND MAY NOT BE USED FOR CONSTRUCTION	
Rev. #	3



14 K CORNER ENTRY
BUMP-OUT DRIVE-THRU (LEFT)
STORE NUMBER: 11096

4110 WILLIAMS WAY BOULEVARD
CITY OF RICHMOND, FORT BEND COUNTY, TEXAS, 77469
CS PROJECT NUMBER: 99715



Central NJ Office
North NJ Office
South NJ Office
Delaware Office
Austin Texas Office



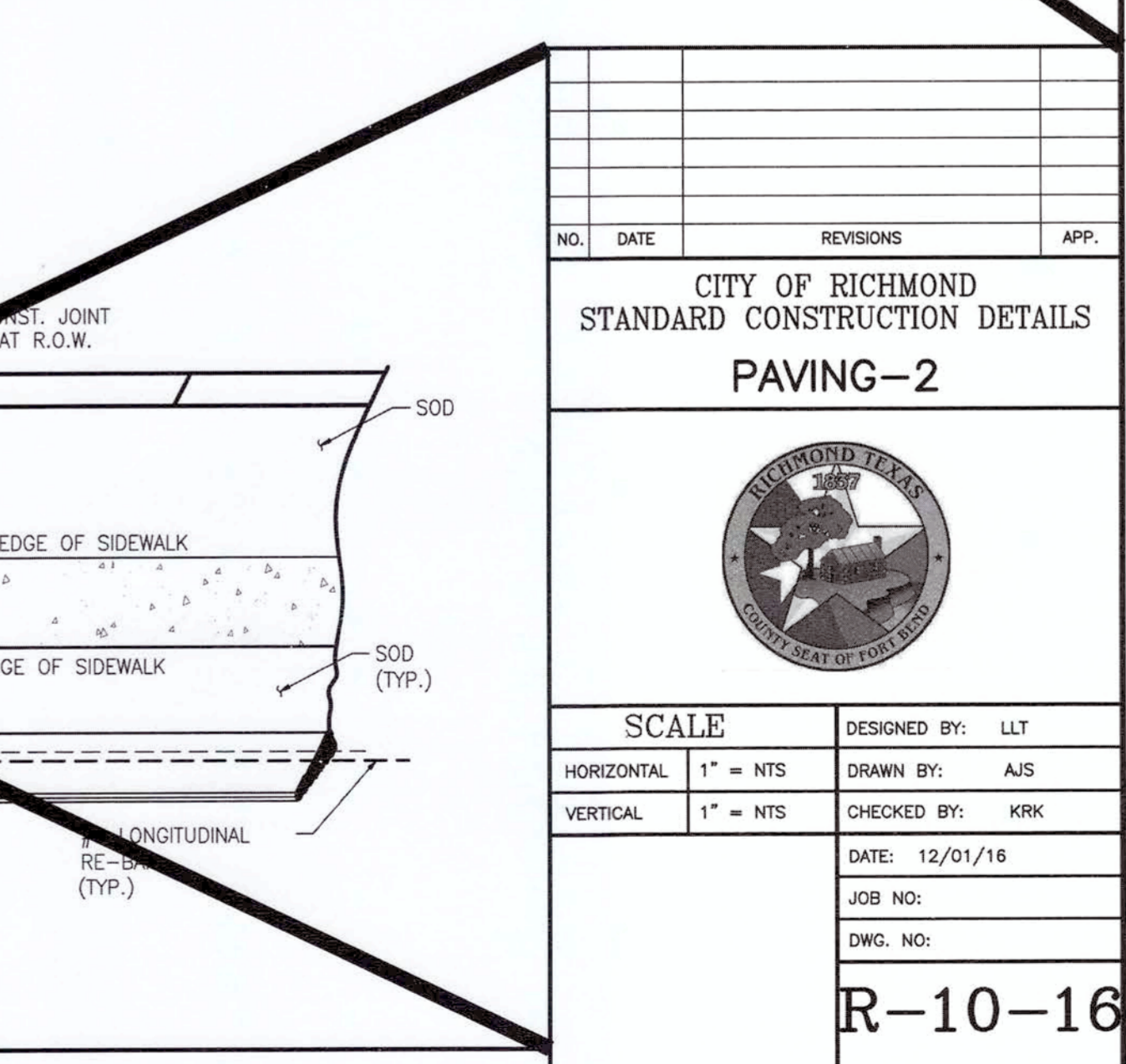
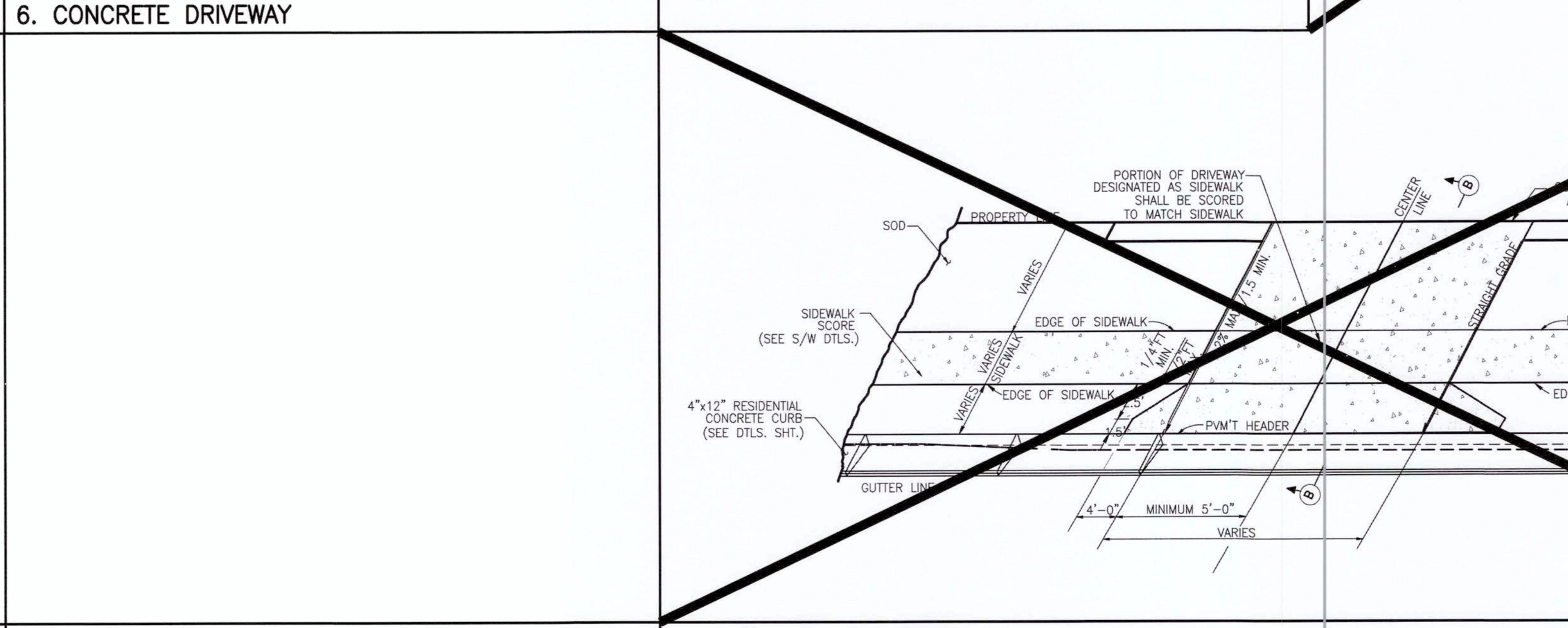
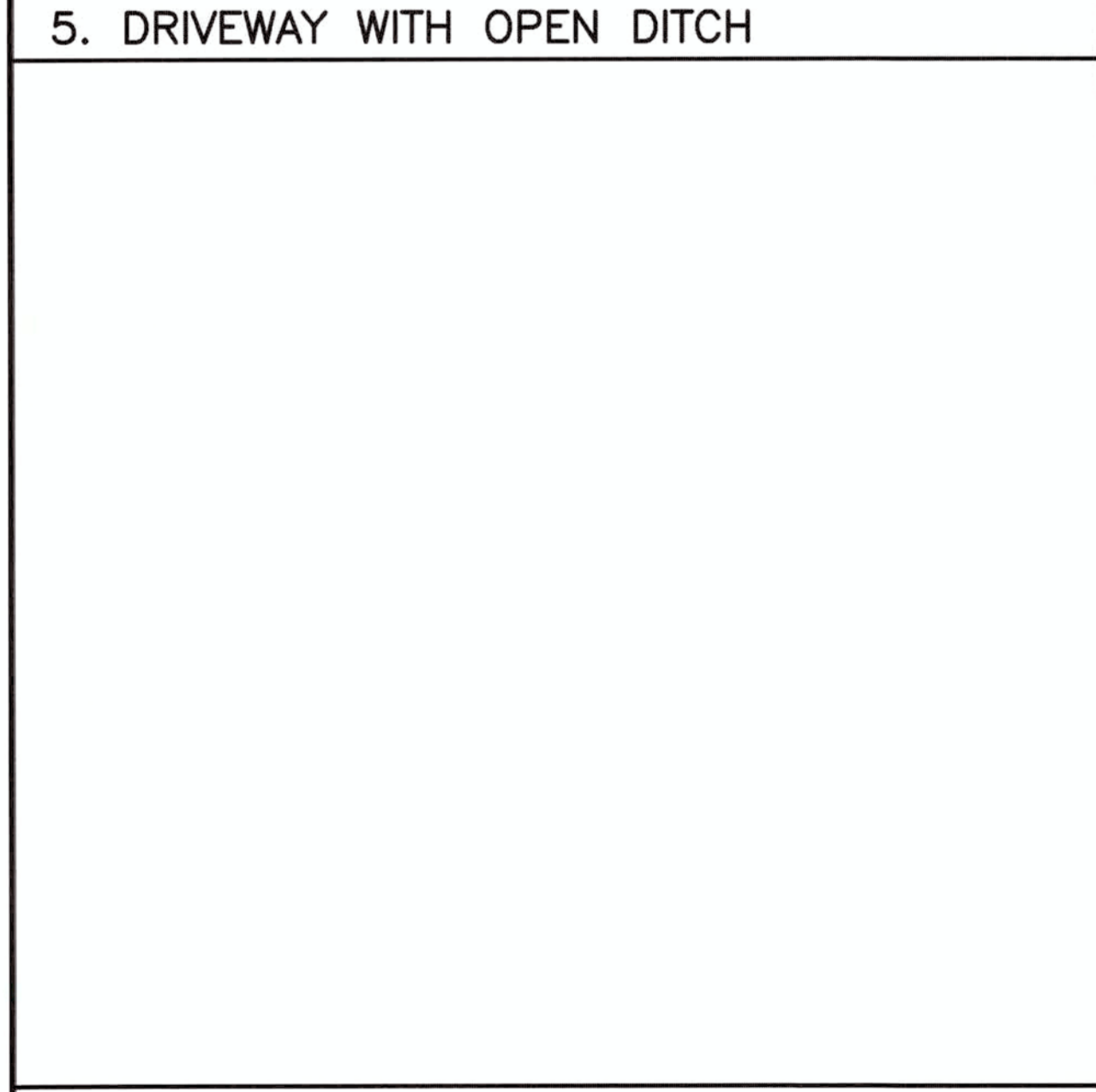
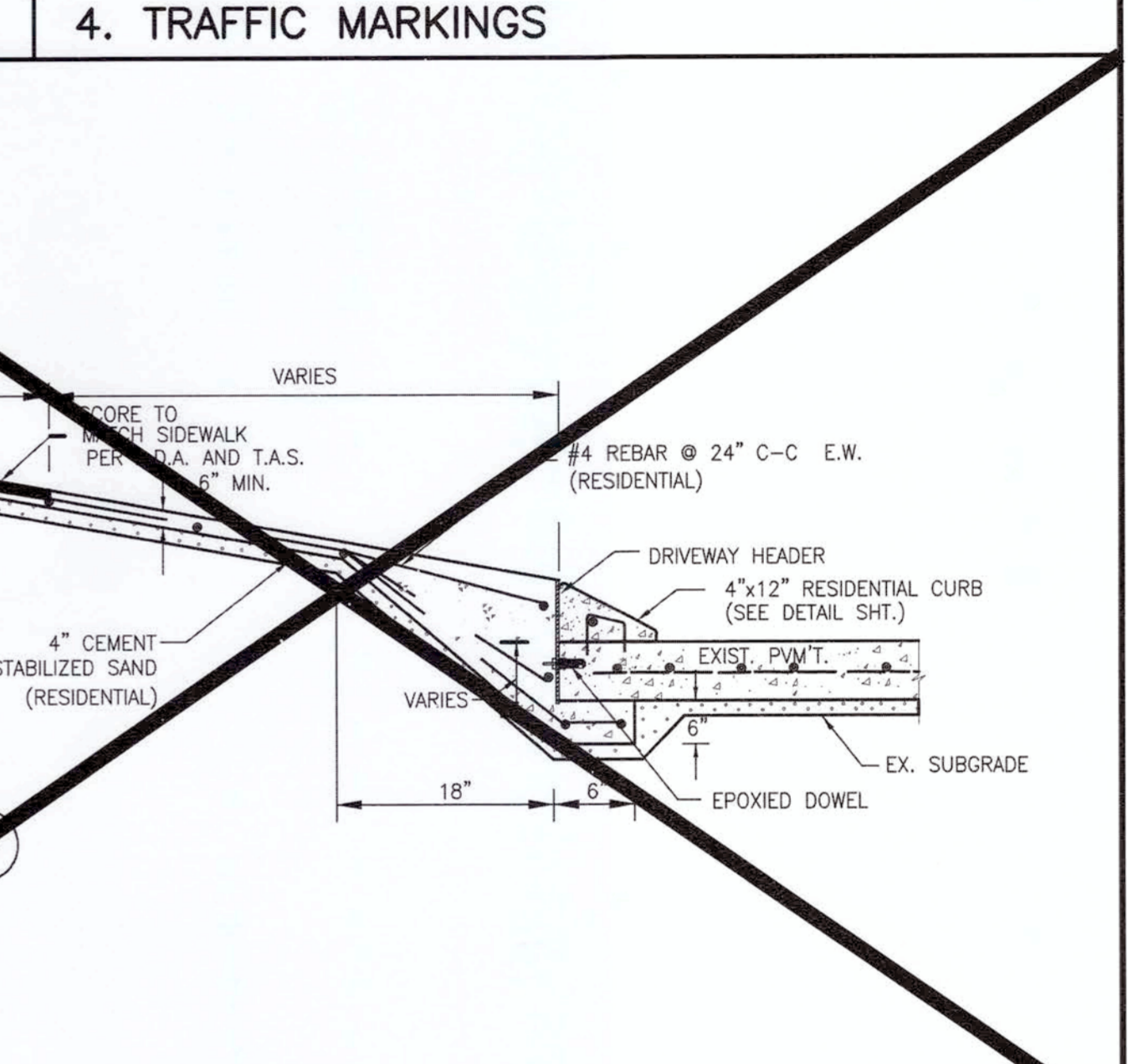
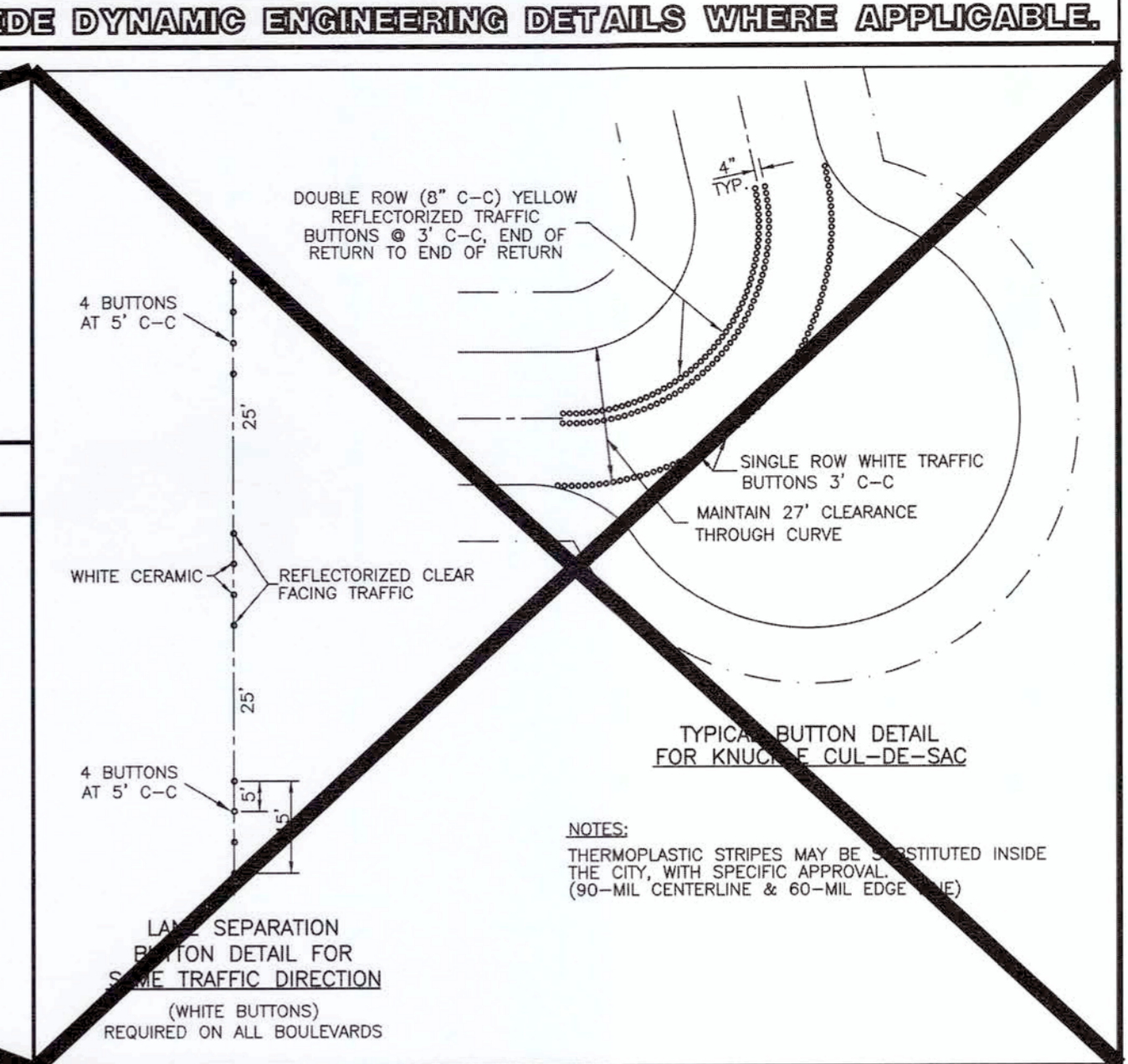
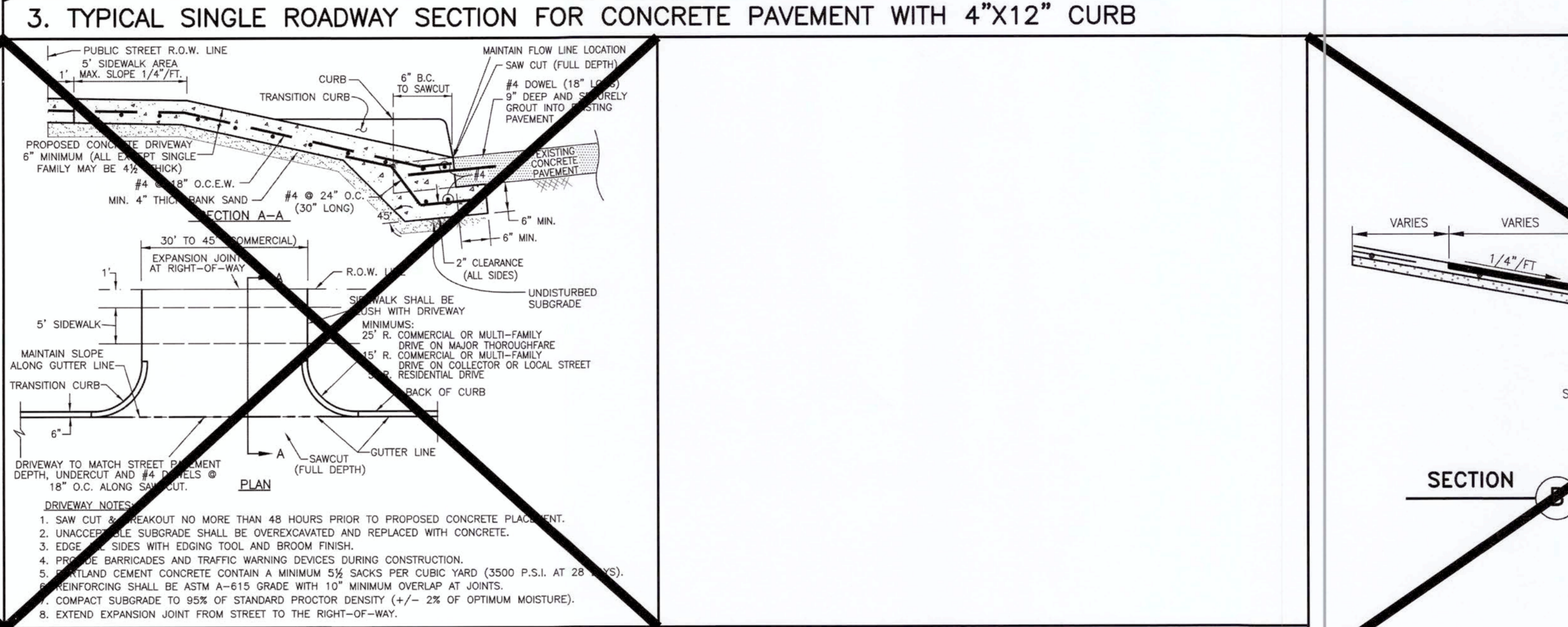
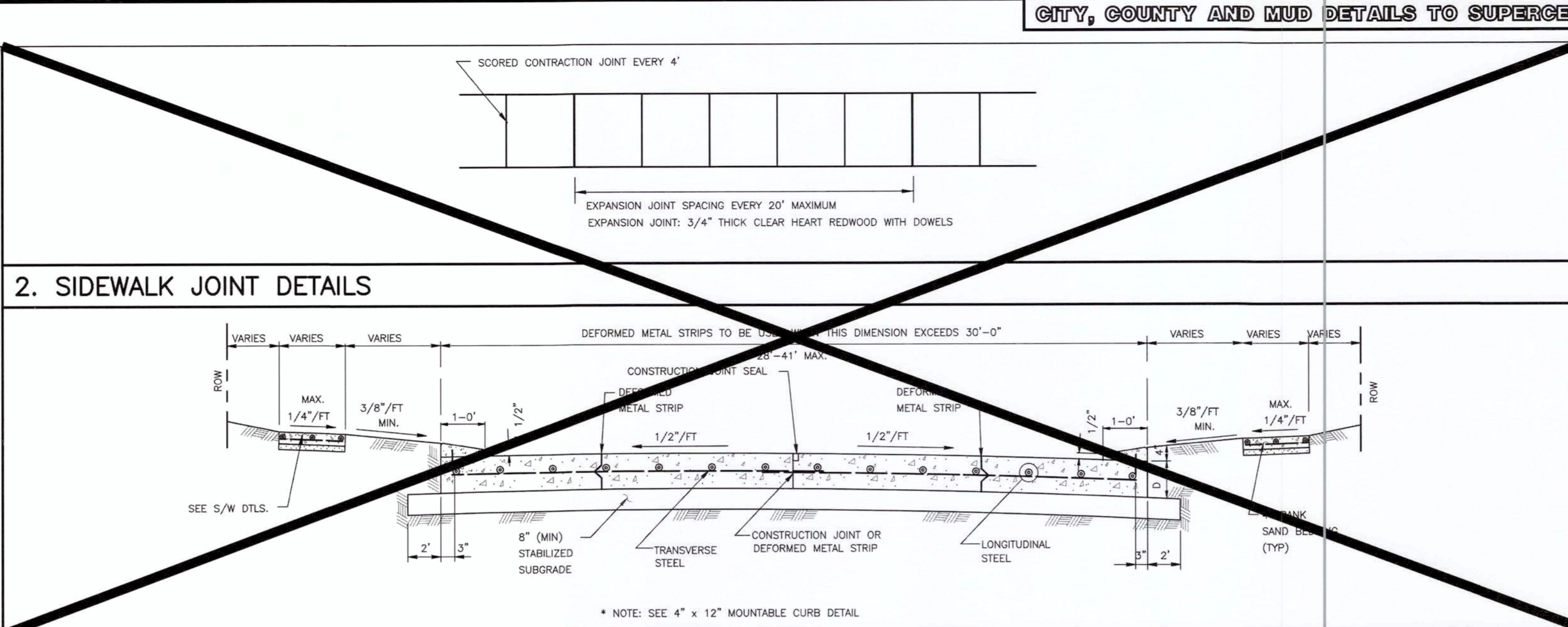
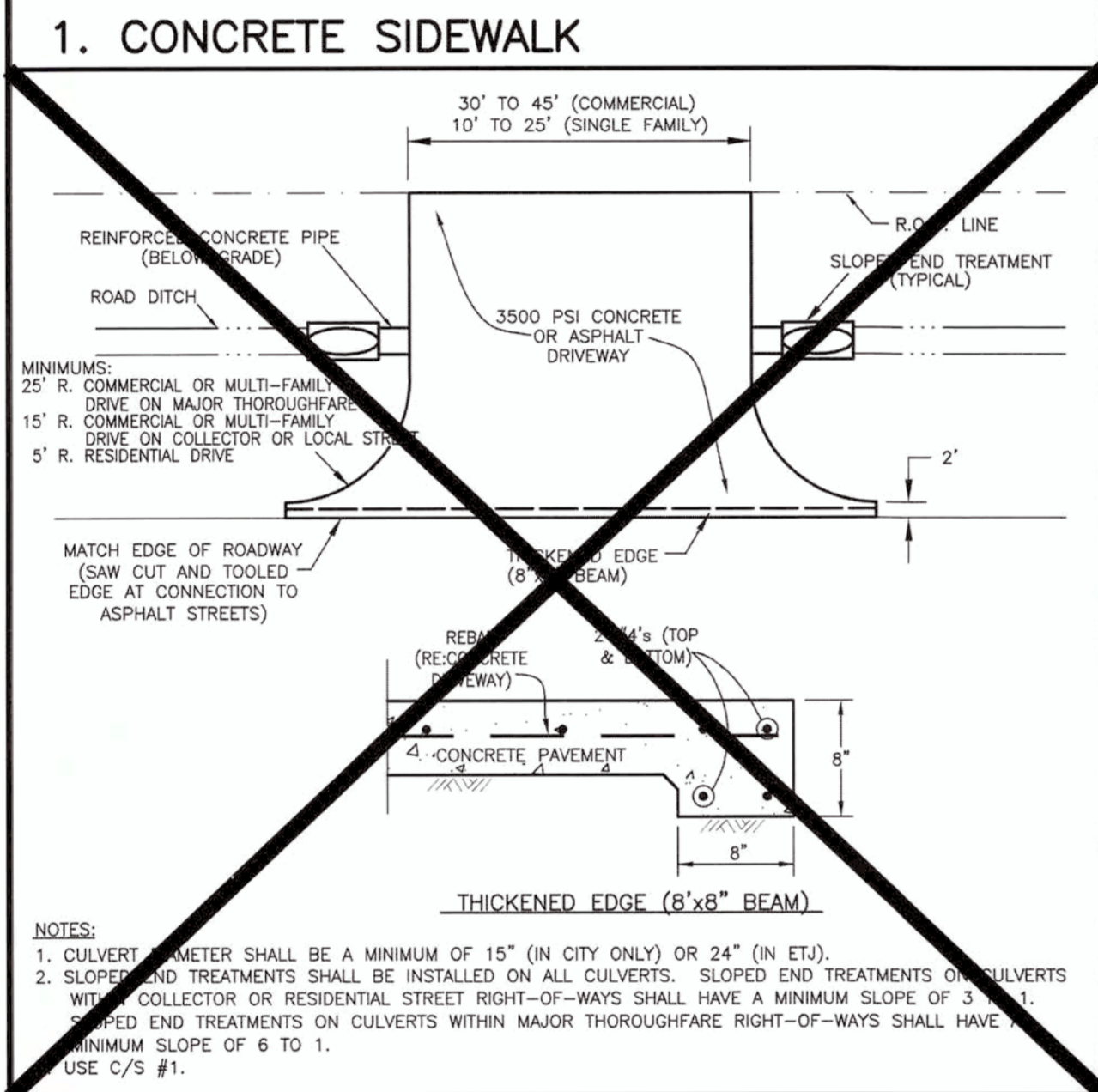
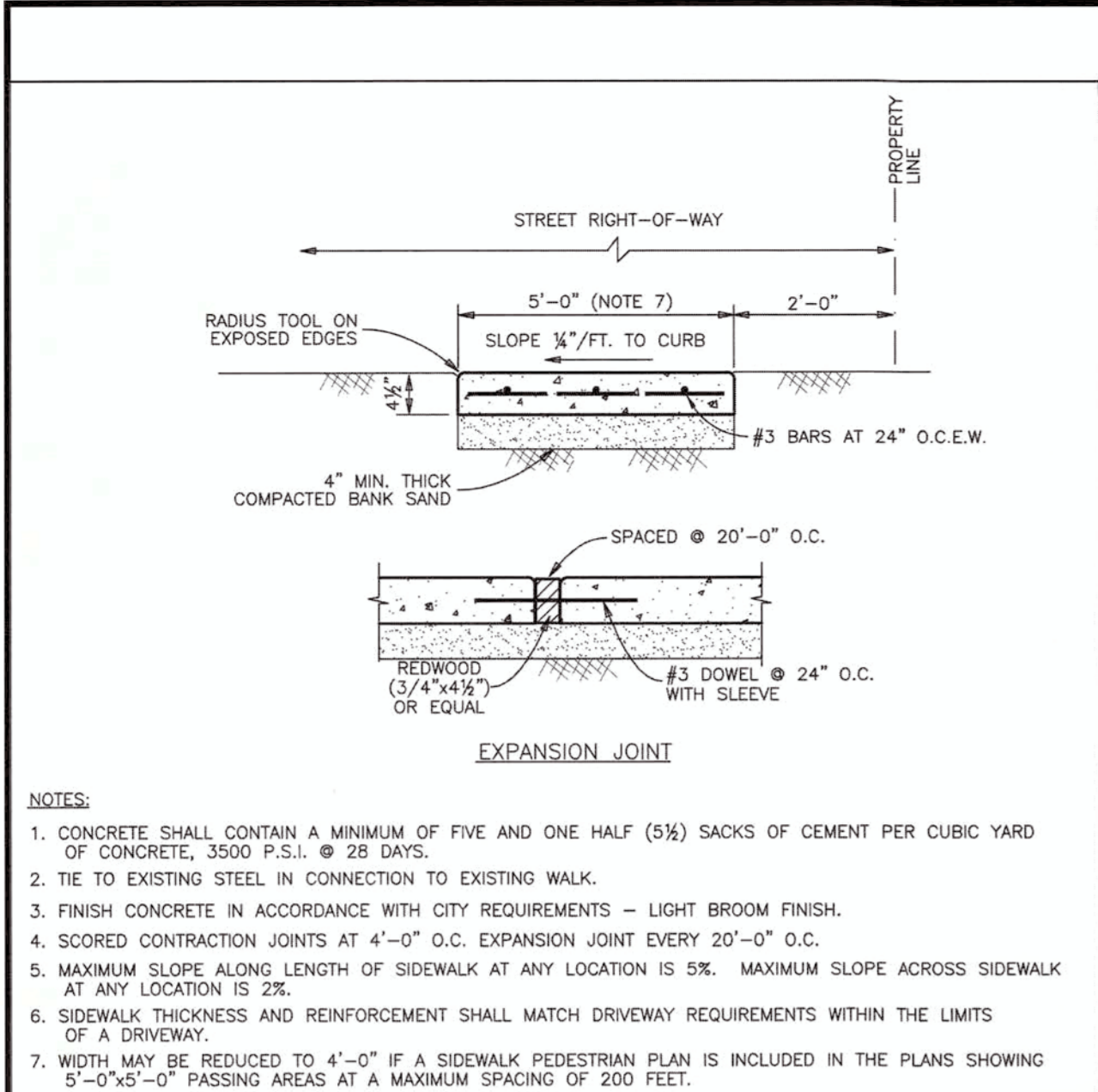
JOSEPH G. JAWORSKI
PROFESSIONAL ENGINEER
TEXAS LICENSE No. 120486

DEVELOPER:
FIRST HARTFORD REALTY CORPORATION
149 COLONIAL ROAD
MANCHESTER, CT 06042-2307
TEL: (860) 646-6555
FAX: (860) 646-8572
PROJECT CONTACT: JOHN TOIC

Rev.	Date	Comments	By
1	05/11/17	REV. PER AGENCY COMMENTS	DNH
2	05/15/17	REV. PER CITY COMMENTS	DNH
3	07/19/17	REV. PER CITY COMMENTS	MAL

SCALE:	(H) 1" = 30'
	(V) 1" = 10'
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DESIGNED BY:	JAK
CHECKED BY:	SES
DATE:	02/17/17
JOB NO:	0469-16-197
TITLE:	CITY DETAILS

SHEET NO: **29** OF 36
COMMENTS:
THIS PLAN IS FOR APPROVAL PROCESS ONLY AND MAY NOT BE USED FOR CONSTRUCTION
Rev. # 3



CITY OF RICHMOND
STANDARD CONSTRUCTION DETAILS
PAVING-2

SCALE
HORIZONTAL 1" = 10'
VERTICAL 1" = 10'

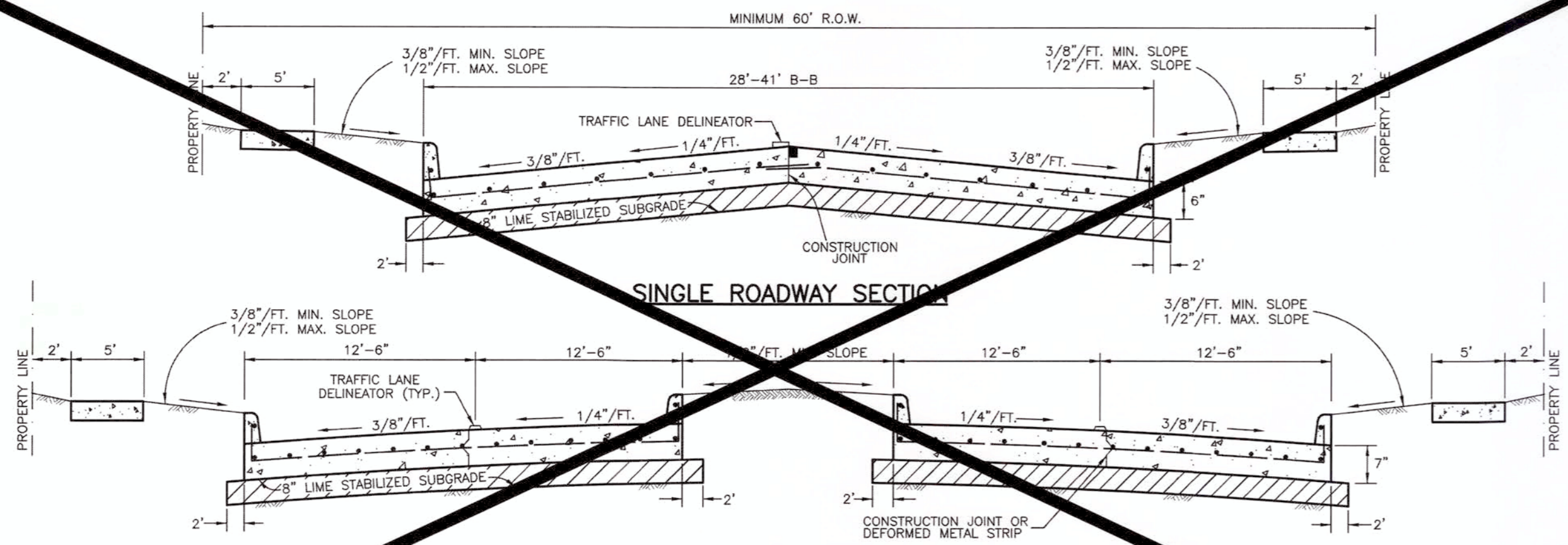
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DWG. NO:

R-10-16

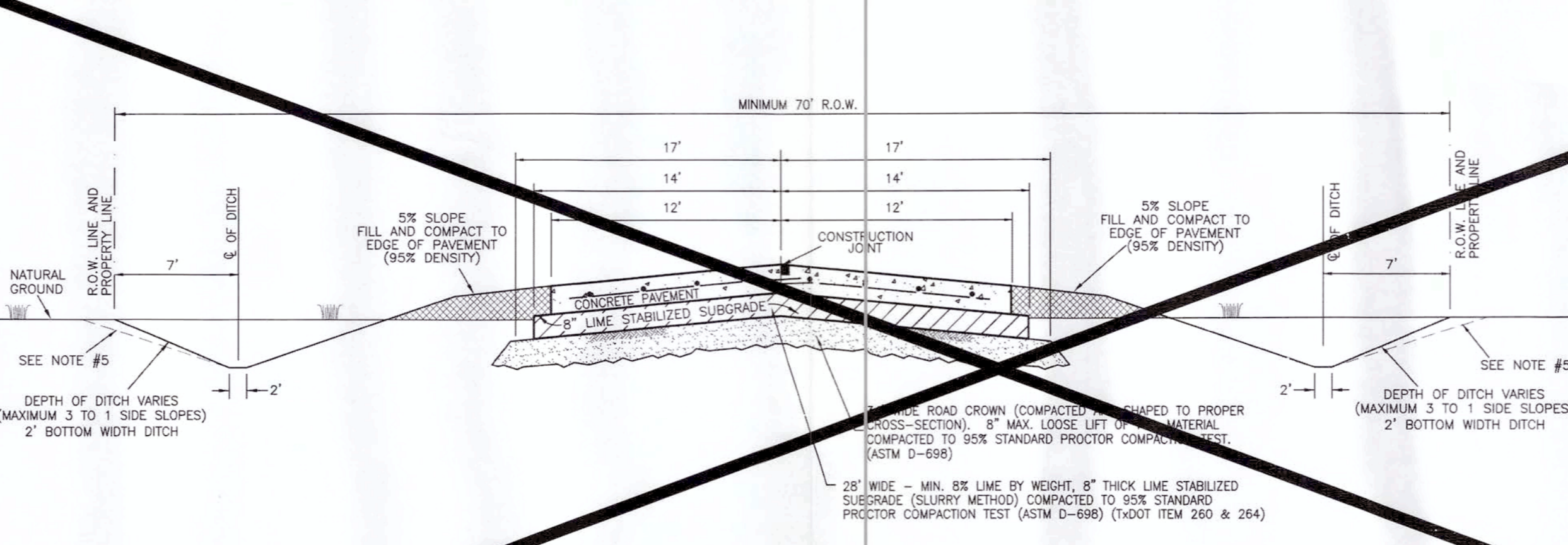
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APPROVED: *Mary D.*
Development Coordinator
DATE: 9/27/17

Plotted: 07/18/17 - 6:28 PM, Dr. Mizeg
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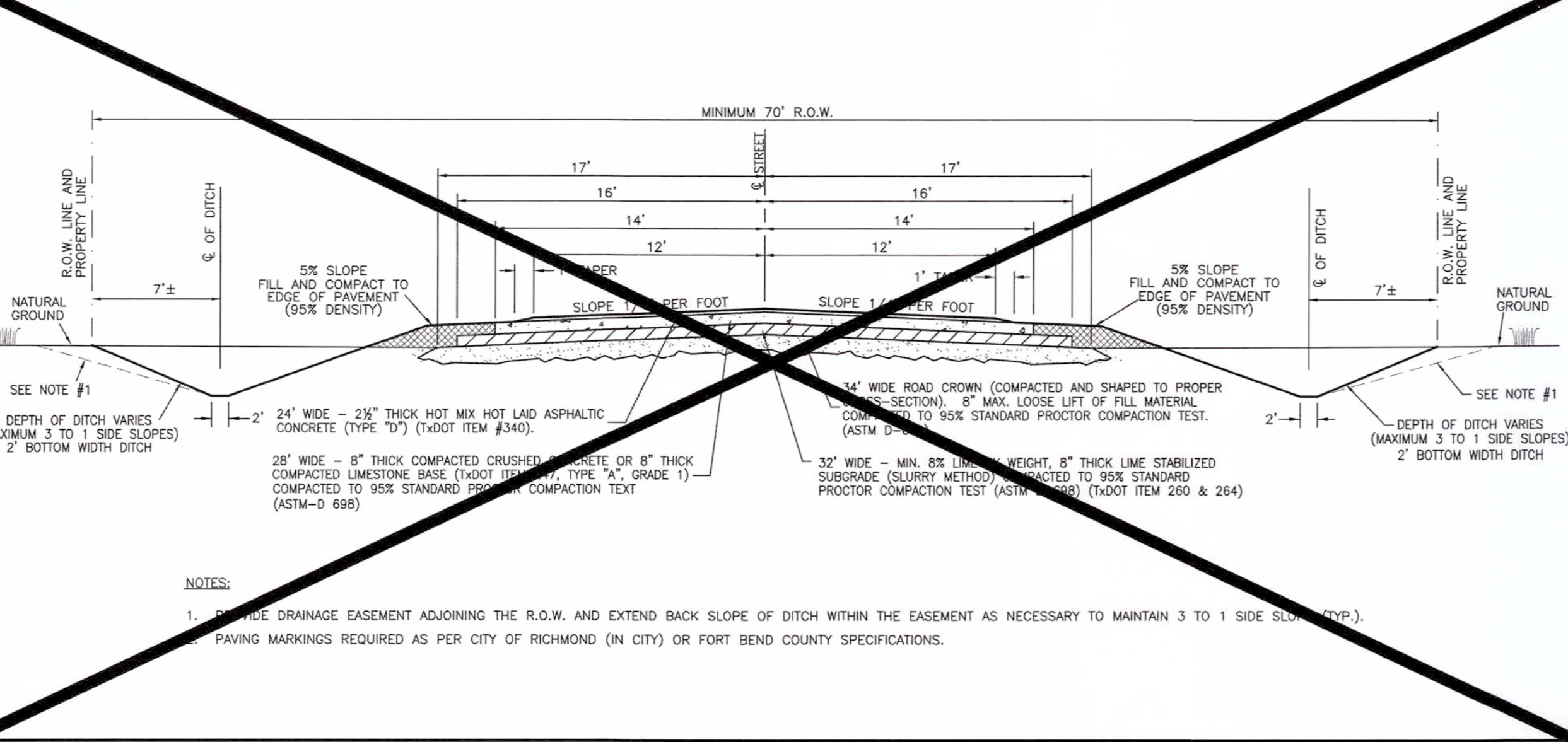


- NOTE: 1. ALL REINFORCING STEEL SHALL CONFORM TO ASTM-615, CURRENT REVISION, GRADE 60. MINIMUM LAP AT ALL SPLICES SHALL BE FIFTEEN INCHES (15'). No. 4 BARS @ 18" O.C.E.W. 2. CONCRETE SHALL HAVE A 3500 P.S.I. COMPRESSIVE STRENGTH AT 28 DAYS AND A MINIMUM 550 P.S.I. FLEXURAL STRENGTH AT 7 DAYS, AND SHALL CONTAIN A MINIMUM OF FIVE AND ONE HALF (5 1/2) SACKS OF CEMENT PER CUBIC YARD OF CONCRETE. 3. EXPANSION JOINTS SHALL BE SPACED AT 60'-0" O.C. (MAXIMUM) WITH LATERAL, SAWED JOINTS AT 20'-0" O.C. (MAXIMUM). ALL JOINTS SHALL BE SEALED. THE LOCATION OF CONSTRUCTION JOINTS AND DEFORMED METAL STRIPS MAY BE VARIED WITH CITY APPROVAL. 4. LIME STABILIZED SUBGRADE SHALL BE A MINIMUM OF 8% LIME, UNLESS SPECIFICALLY APPROVED BY THE CITY. THE SLOPE BETWEEN PAVEMENT AND THE SIDEWALK/PROPERTY LINE MAY BE INCREASED, WITH APPROVAL FROM THE CITY.

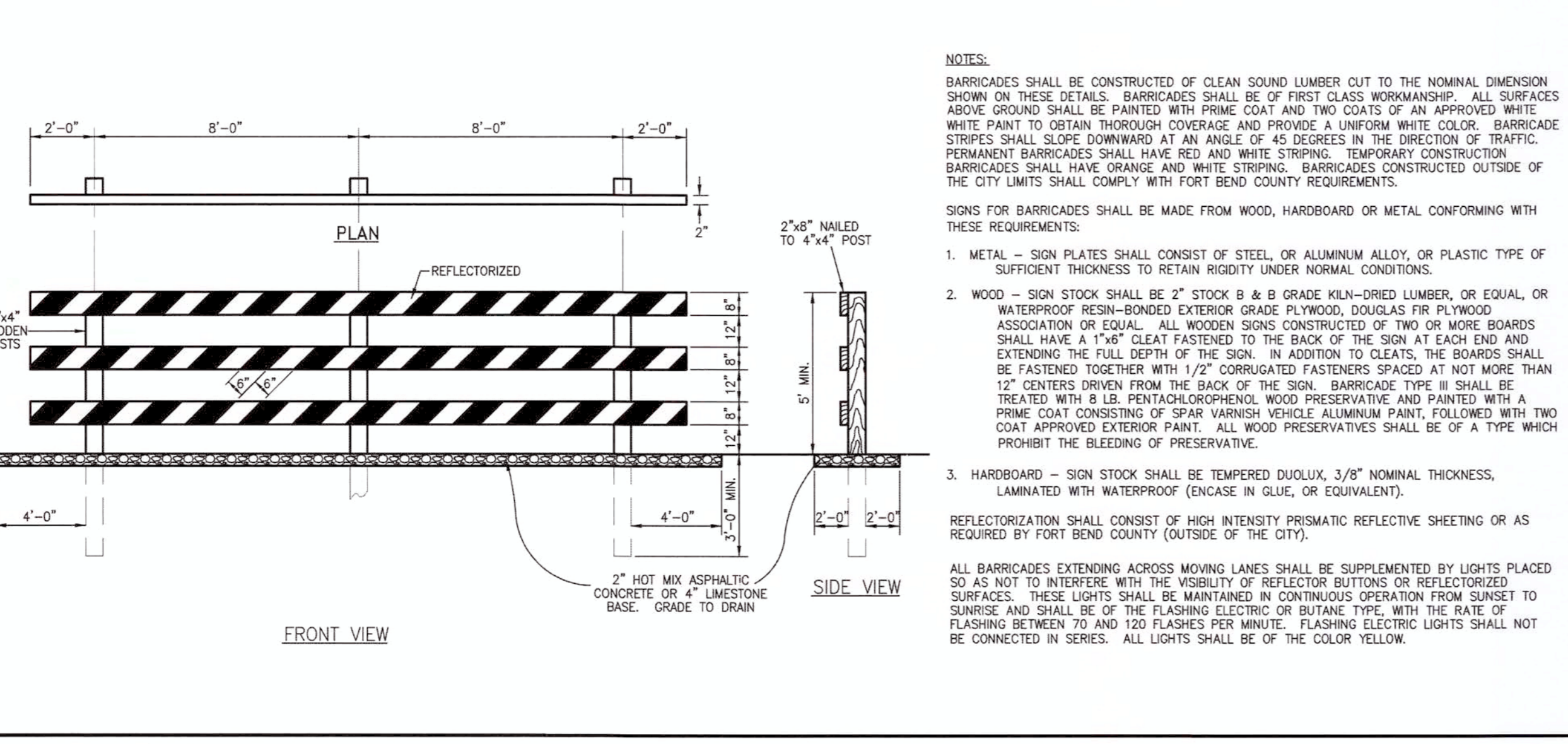


- NOTE: 1. ALL REINFORCING STEEL SHALL CONFORM TO ASTM-615, CURRENT REVISION, GRADE 60. MINIMUM LAP AT ALL SPLICES SHALL BE FIFTEEN INCHES (15'). No. 4 BARS @ 18" O.C.E.W. 2. CONCRETE SHALL HAVE A 3500 P.S.I. COMPRESSIVE STRENGTH AT 28 DAYS AND A MINIMUM 550 P.S.I. FLEXURAL STRENGTH AT 7 DAYS, AND SHALL CONTAIN A MINIMUM OF FIVE AND ONE HALF (5 1/2) SACKS OF CEMENT PER CUBIC YARD OF CONCRETE. 3. EXPANSION JOINTS SHALL BE SPACED AT 60'-0" O.C. (MAXIMUM) WITH LATERAL, SAWED JOINTS AT 20'-0" O.C. (MAXIMUM). ALL JOINTS SHALL BE SEALED. THE LOCATION OF CONSTRUCTION JOINTS AND DEFORMED METAL STRIPS MAY BE VARIED WITH CITY APPROVAL. 4. LIME STABILIZED SUBGRADE SHALL BE A MINIMUM OF 8% LIME, UNLESS SPECIFICALLY APPROVED BY THE CITY. PROVIDE DRAINAGE EASEMENT ADJOINING THE R.O.W. AND EXTEND BACK SLOPE OF DITCH WITHIN THE EASEMENT AS NECESSARY TO MAINTAIN 3 TO 1 SIDE SLOPE (TYP.).

1. STANDARD CONCRETE CURB AND GUTTER STREET CROSS-SECTIONS



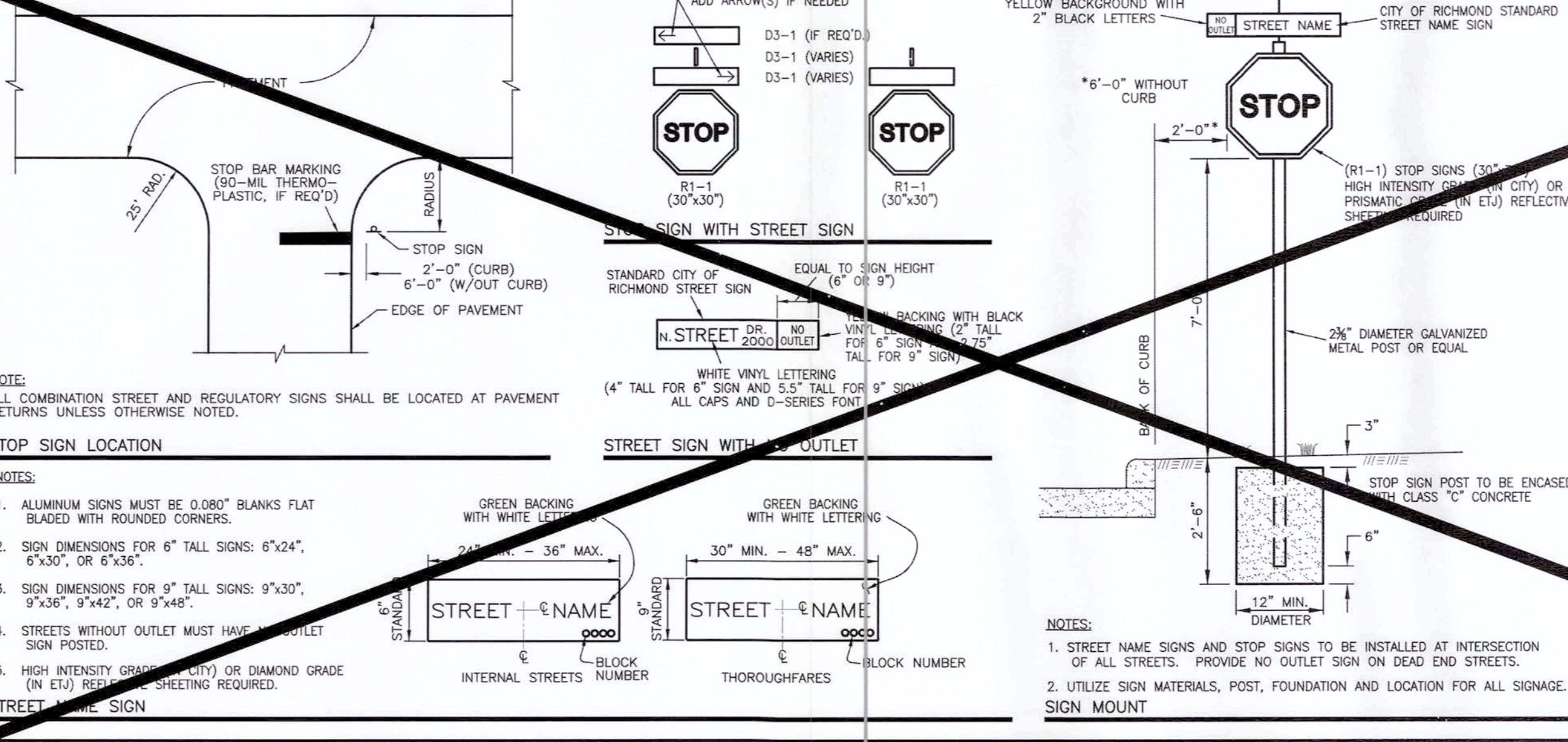
3. STANDARD ASPHALT PAVEMENT WITH OPEN DITCH CROSS-SECTION



5. TYPE 'III' BARRICADE



2. STANDARD CONCRETE PAVEMENT WITH OPEN DITCH CROSS-SECTION



4. TRAFFIC SIGNAGE

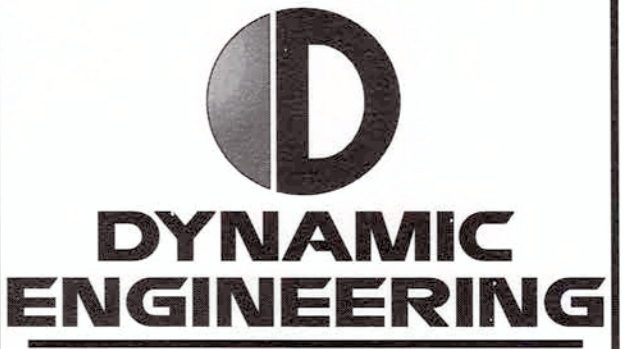


5. TYPE 'III' BARRICADE

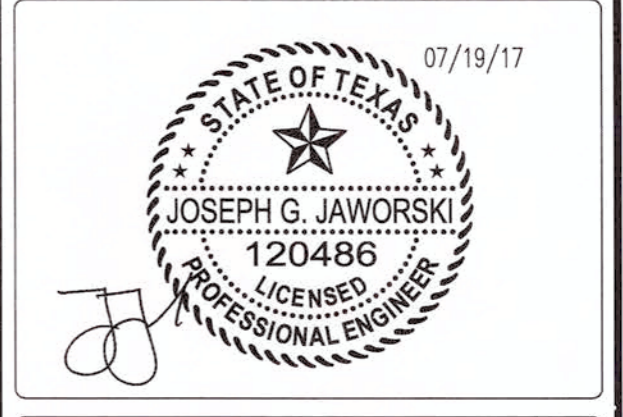


14 K CORNER ENTRY BUMP-OUT DRIVE-THRU (LEFT) STORE NUMBER: 11096

4110 WILLIAMS WAY BOULEVARD CITY OF RICHMOND, FORT BEND COUNTY, TEXAS, 77469 CS PROJECT NUMBER:99715



Control NJ Office, North NJ Office, South NJ Office, PA Office, Dallas Texas Office, Houston TX Office, Austin Texas Office



JOSEPH G. JAWORSKI PROFESSIONAL ENGINEER TEXAS LICENSE No. 120486

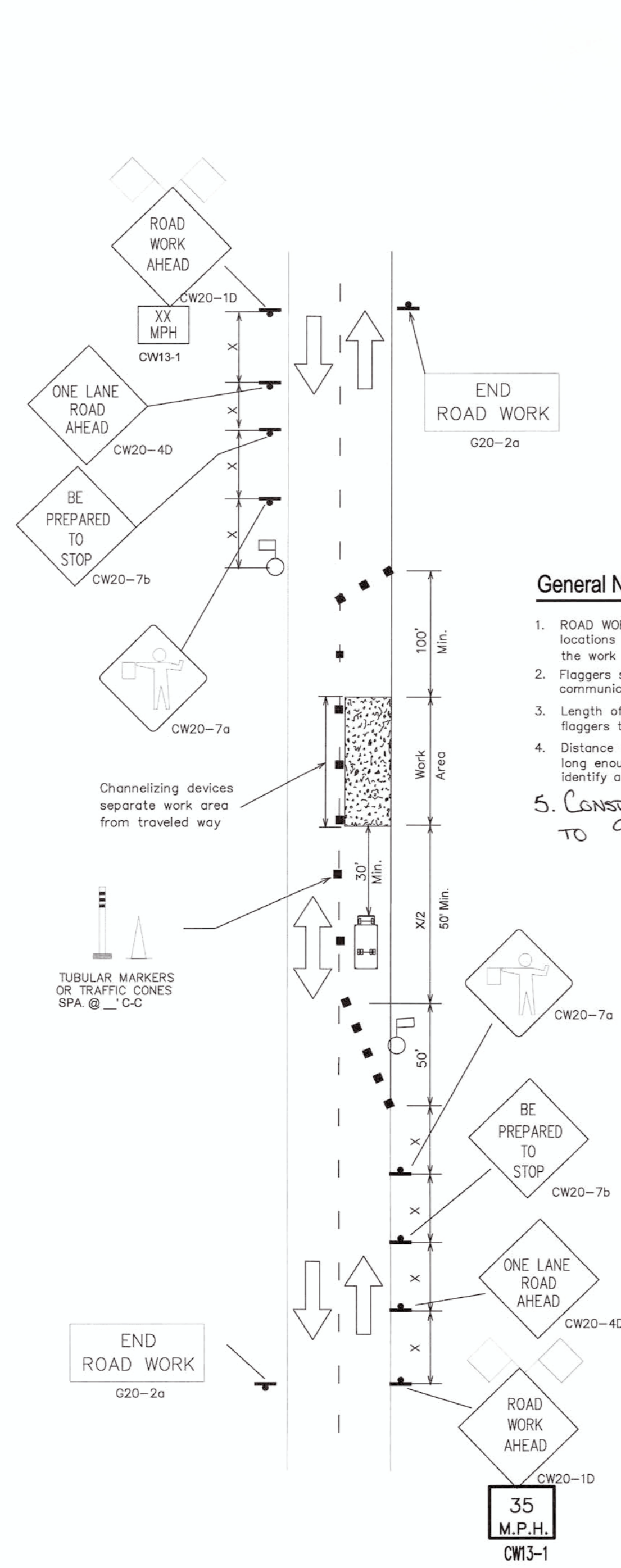
DEVELOPER: FIRST HARTFORD REALTY CORPORATION 149 COLONIAL ROAD MANCHESTER, CT 06042-2307 TEL: (860) 646-6555 FAX: (860) 646-8572 PROJECT CONTACT: JOHN TOIC

CITY OF RICHMOND STANDARD CONSTRUCTION DETAILS PAVING-3 SCALE DESIGNED BY: LLT DRAWN BY: AJS CHECKED BY: KRK DATE: 12/01/16 JOB NO: DWG. NO: R-11-16 SHEET: APPROVED: [Signature] DATE: 9/27/17

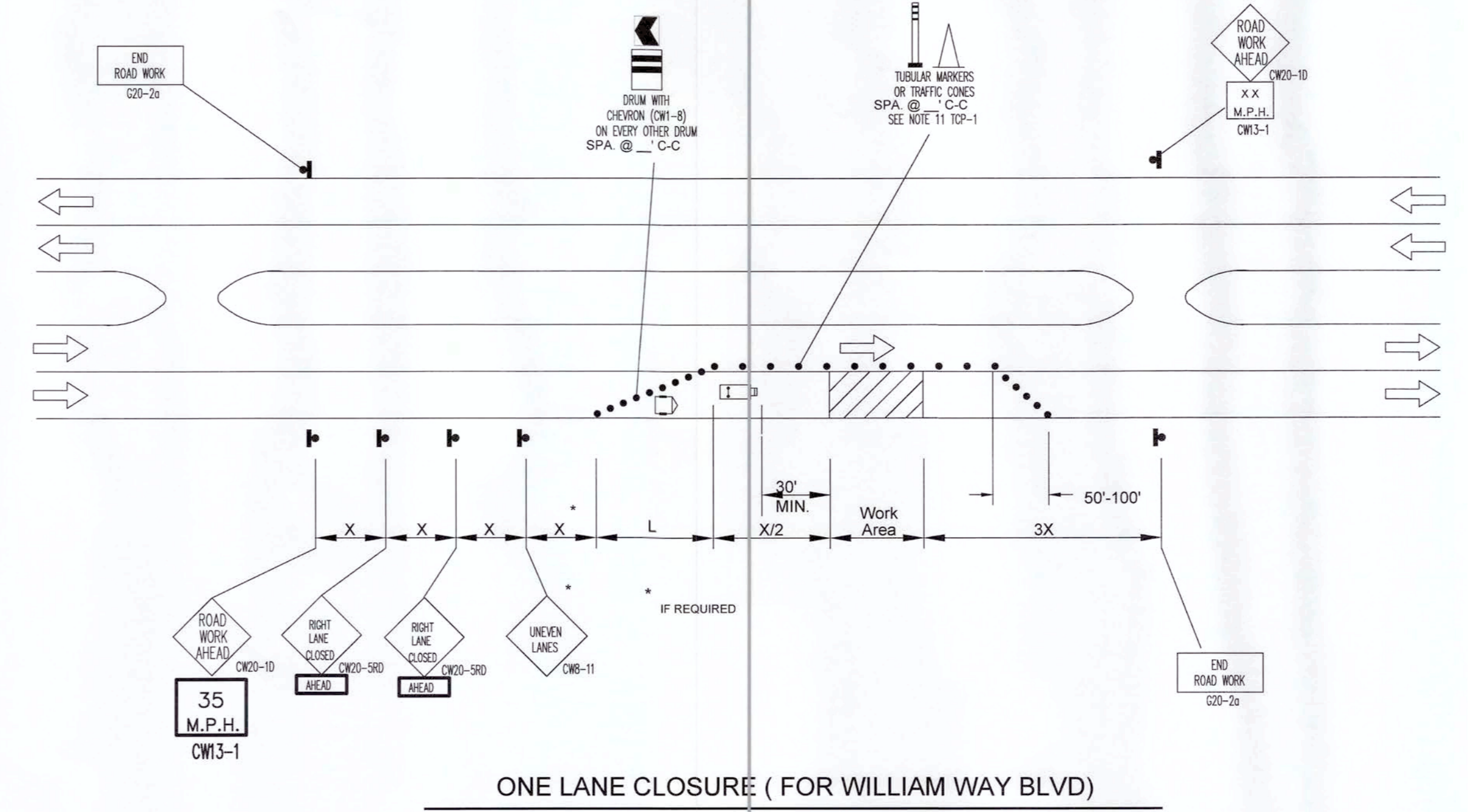
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SCALE: (H) 1"=30' (V) 1"=15' DRAWN BY: DNH DESIGNED BY: JAK CHECKED BY: SES DATE: 02/17/17 JOB No: 0469-16-197 TITLE: CITY DETAILS SHEET No: 30 OF 36 COMMENTS: THIS PLAN IS FOR APPROVAL PROCESS ONLY AND MAY NOT BE USED FOR CONSTRUCTION Rev. # 3

Plotted: 07/18/17 - 5:26 PM. By: mlopez File: P:\DECPC PROJECTS\0469 Frat Hartford\16-187 Richmond TX - SMC Williams Way\Dwg\Site Plans\046916197SD3.dwg. ---> 30 CITY



- General Notes**
- ROAD WORK AHEAD Sign may be installed at two or more locations on the approach to the work zone if visibility of the work zone is less than 1500 feet.
 - Flaggers should use two-way radios or other method to communicate.
 - Length of work area should be based on the ability of flaggers to communicate.
 - Distance along curve or area of obstruction should be long enough to develop enough time for a motorist to identify and react to flagger signals.
 - CONSTRUCTION HOURS LIMITED TO 9AM - 4PM



ONE LANE CLOSURE (FOR WILLIAM WAY BLVD)

35 M.P.H.

TYPICAL TRANSITION LENGTHS AND SUGGESTED MAXIMUM SPACING OF DEVICES

Posted Speed	Formula	Minimum Desirable Taper Lengths			Suggested Maximum Spacing of Device	
		10' Offset	11' Offset	12' Offset	On a Taper	On a Tangent
30	$L = \frac{W^2}{60}$	150'	165'	180'	30'	60'-75'
35		205'	225'	245'	35'	70'-90'
40		265'	295'	320'	40'	80'-100'
45	L=WS	450'	495'	540'	45'	90'-110'
50		500'	550'	600'	50'	100'-125'
55		550'	605'	660'	55'	110'-140'
60	L=WS	600'	660'	720'	60'	120'-150'
65		650'	715'	780'	65'	130'-175'

* 85th Percentile Speed may be used on roads where traffic speeds normally exceed the posted speed limit.
** Taper lengths have been rounded off.

CONSTRUCTION WARNING SIGN SPACING

Posted Speed or 85th Speed (MPH)	X Min. Distance (feet)
30 or less	120
35	160
40	240
45	320
50	400
55	500
65	750

X = SIGN SPACING
L = TAPER
 HEAVY WORK VEHICLE

- NOTES:**
- ALL TRAFFIC CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST REVISION.
 - THE MINIMUM LANE WIDTH ALLOWED IS 10 FEET. THE MINIMUM BUFFER ZONE BETWEEN THE WORK ZONE AN ADJACENT TRAFFIC IS 2 FEET.
 - FLORESCENT ORANGE SHALL BE THE BACK GROUND COLOR ON ALL WORK ZONE SIGNS.

LEGEND

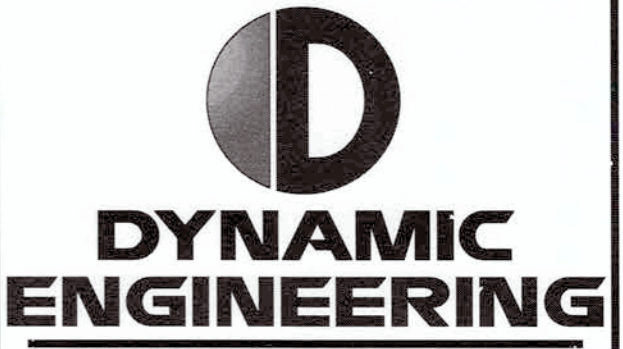
- CONSTRUCTION AREA
- OPEN TO TRAFFIC
- HEAVY WORK VEHICLE
- FLASHING ARROW BOARD
- SIGN POST
- TUBULAR MARKERS, CONES OR DRUMS
- FLAGGER
- X = SIGN SPACING
- L = TAPER LENGTH
- XX = SPEED TO BE DETERMINED BY ENGINEER

APPROVED:
Development Coordinator
DATE: 9/27/17

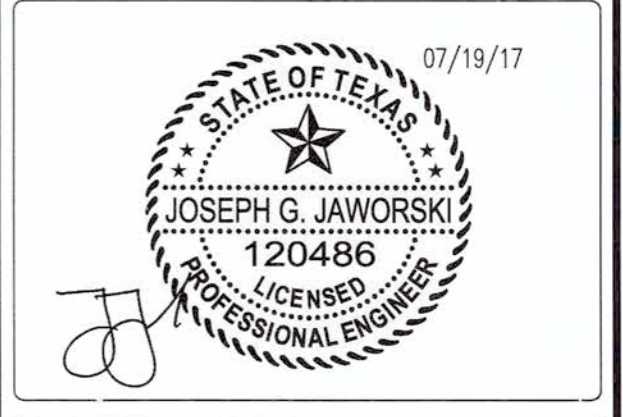


14 K CORNER ENTRY
BUMP-OUT DRIVE-THRU (LEFT)
STORE NUMBER: 11096

4110 WILLIAMS WAY BOULEVARD
CITY OF RICHMOND, FORT BEND COUNTY, TEXAS, 77469
CS PROJECT NUMBER: 99715



Central NJ Office
North NJ Office
South NJ Office
PA Office
Dallas Texas Office
Houston TX Office
Austin Texas Office



JOSEPH G. JAWORSKI
PROFESSIONAL ENGINEER
TEXAS LICENSE No. 120486

DEVELOPER:
FIRST HARTFORD REALTY CORPORATION
149 COLONIAL ROAD
MANCHESTER, CT 06042-2307
TEL: (860) 646-6555
FAX: (860) 646-6572
PROJECT CONTACT: JOHN TOIC

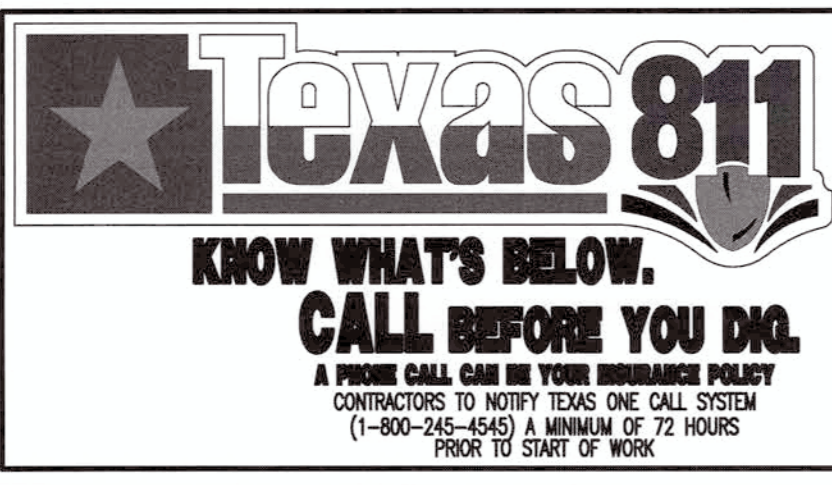
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1	05/11/17	REV. PER AGENCY COMMENTS	DNH
2	05/15/17	REV. PER CITY COMMENTS	DNH
3	07/19/17	REV. PER CITY COMMENTS	MAL

SCALE: (H) NOT TO SCALE
(V) :
DRAWN BY: DNH/GRY
DESIGNED BY: JAK
CHECKED BY: SES
DATE: 02/17/17
JOB No: 0469-16-197

TITLE:
TRAFFIC CONTROL PLAN

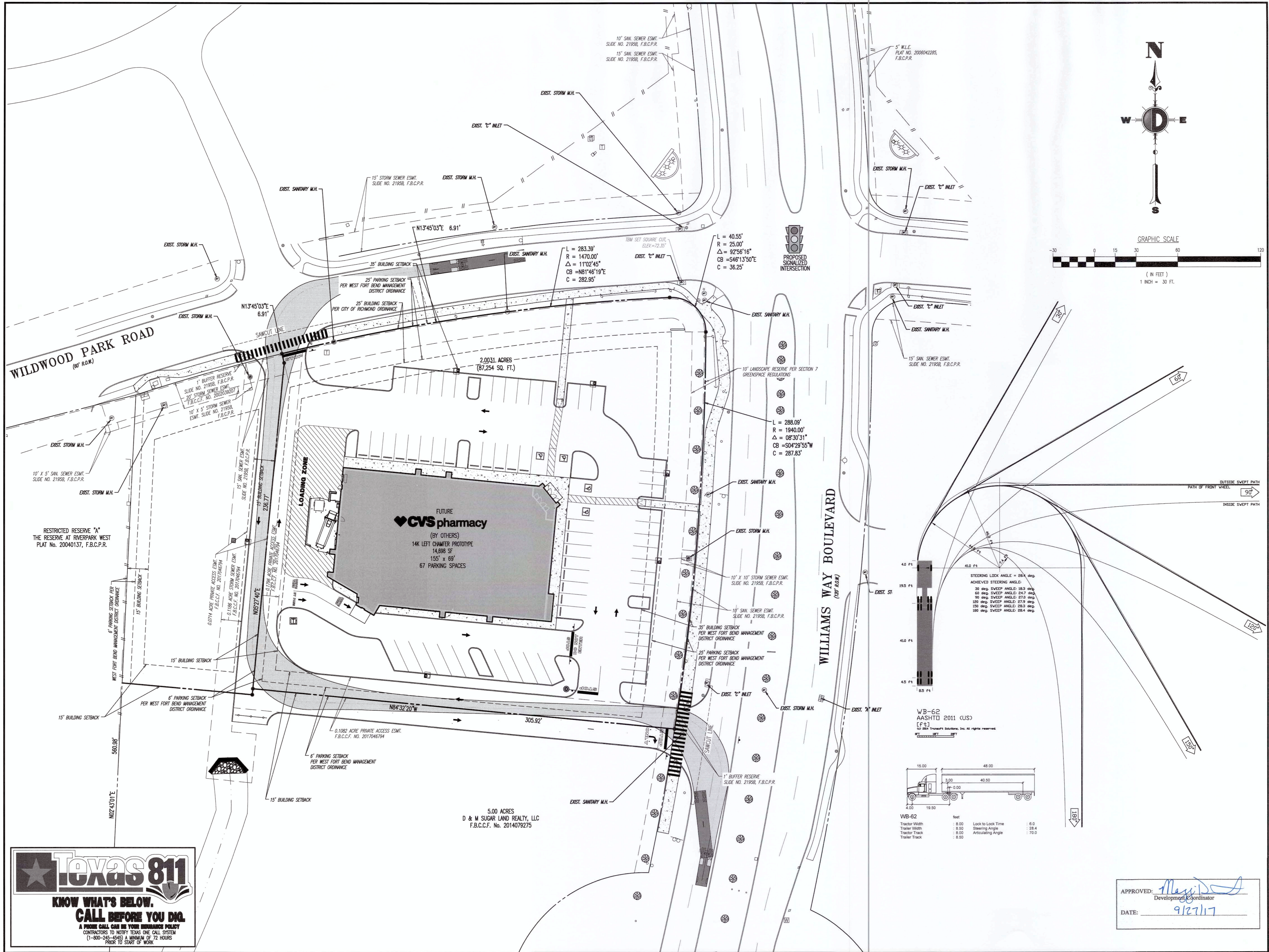
SHEET No: **31** OF 36

COMMENTS:
THIS PLAN IS FOR APPROVAL PROCESS ONLY AND MAY NOT BE USED FOR CONSTRUCTION



Plotted: 07/18/17 - 5:28 PM, By: mlopez
 File: P:\DEPC PROJECTS\0-69 First Hartford\16--197 Richmond TX - SMC Williams Way\Site Plans\046916197SV3.dwg, ----> 32 VEHICLE CIRCULATION

KNOW WHAT'S BELOW.
CALL BEFORE YOU DIG.
 A PHONE CALL CAN BE YOUR INSURANCE POLICY.
 CONTRACTORS TO NOTIFY TEXAS ONE CALL SYSTEM
 PRIOR TO START OF WORK.



STEERING LOCK ANGLE = 28.1 deg
 ACHIEVED STEERING ANGLE

30 deg	SWEEP ANGLE 183 deg
40 deg	SWEEP ANGLE 247 deg
50 deg	SWEEP ANGLE 275 deg
60 deg	SWEEP ANGLE 279 deg
70 deg	SWEEP ANGLE 283 deg
80 deg	SWEEP ANGLE 284 deg

WB-62
 AASHTO 2011 (US)
 © 2004 Transp Solutions, Inc. All rights reserved.

Tractor Width	8.00	Lock to Lock Time	6.0
Trailer Width	8.50	Steering Angle	28.4
Tractor Track	8.00	Articulating Angle	70.0
Trailer Track	8.00		

APPROVED: *Max...*
 Development Coordinator
 DATE: 9/27/17

pharmacy

14 K CORNER ENTRY
BUMP-OUT DRIVE-THRU (LEFT)
STORE NUMBER: 11096

4110 WILLIAMS WAY BOULEVARD
 CITY OF RICHMOND, FORT BEND COUNTY, TEXAS, 77469
CS PROJECT NUMBER: 99715

DYNAMIC ENGINEERING

Central NJ Office: 1000 West Street, Suite 100, Newark, NJ 07102
 North NJ Office: 2400 Westfield Avenue, Suite 100, Westfield, NJ 07090
 South NJ Office: 4000 Westfield Avenue, Suite 100, Westfield, NJ 07090
 Dallas Texas Office: 1301 Carpenters Road, Suite 210, Dallas, TX 75244
 Austin Texas Office: 9000 Woodloch Forest Drive, Austin, TX 78746

JOSEPH G. JAWORSKI
 PROFESSIONAL ENGINEER
 TEXAS LICENSE NO. 120486

DEVELOPER:
FIRST HARTFORD REALTY CORPORATION
 149 COLONIAL ROAD
 MANCHESTER, CT 06042-2307
 TEL: (860) 646-8555
 FAX: (860) 646-8572
 PROJECT CONTACT: JOHN TOIC

Rev.	Date	Comments	By
1	05/11/17	REV. PER AGENCY COMMENTS	DNH
2	05/15/17	REV. PER CITY COMMENTS	DNH
3	07/19/17	REV. PER CITY COMMENTS	MAL

SCALE: (H) 1"=30'
 (V) 1"=30'

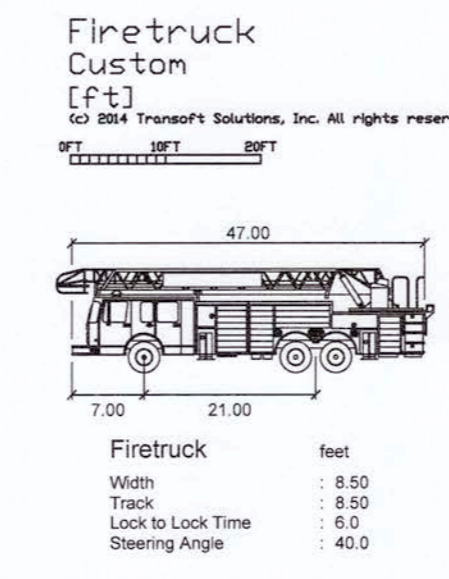
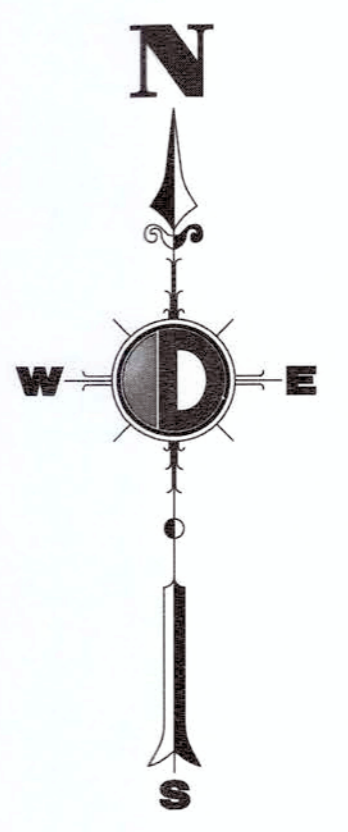
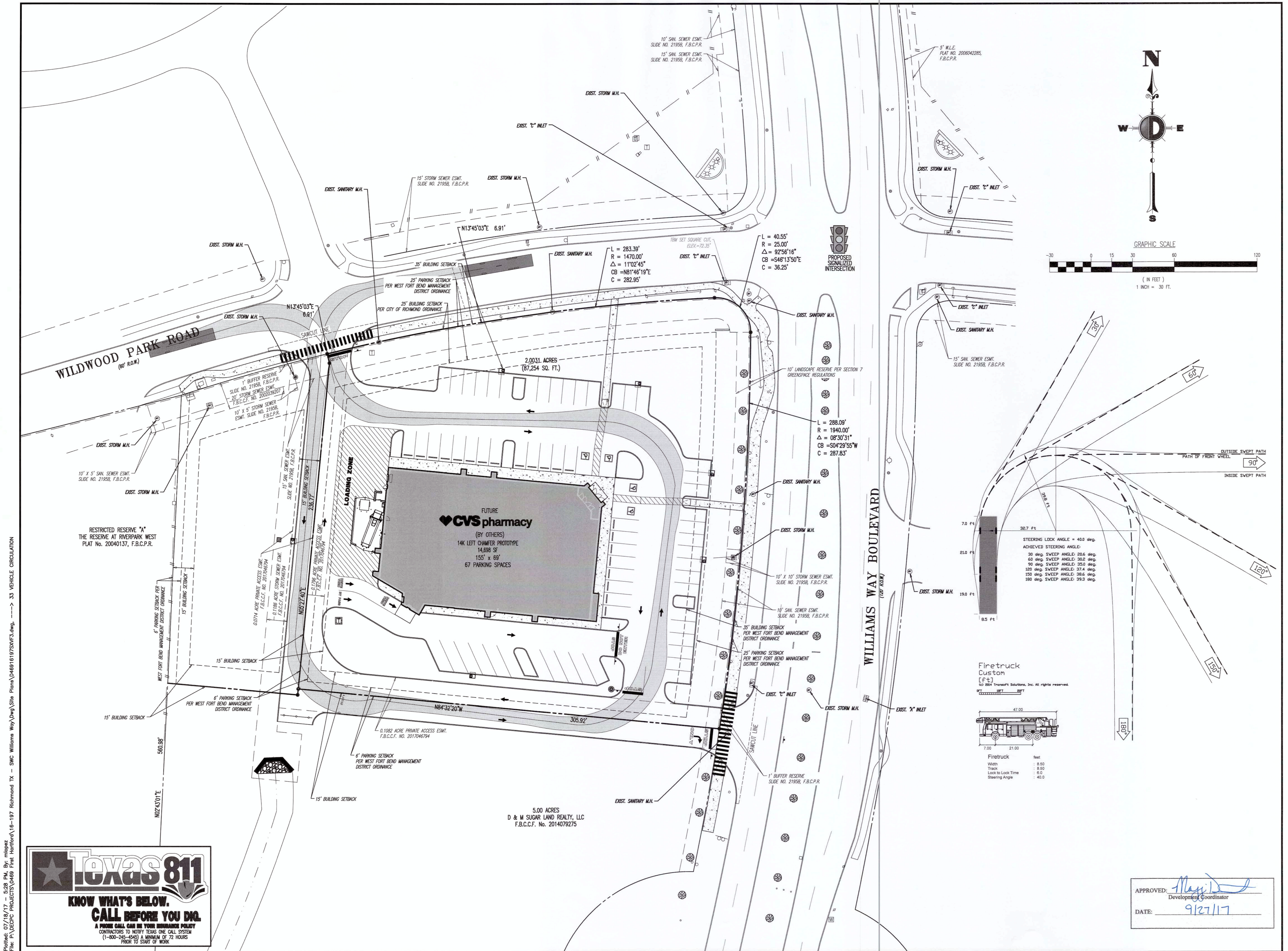
DRAWN BY: DNH/GRY
 DESIGNED BY: JAK
 CHECKED BY: SES
 DATE: 02/17/17
 JOB No: 0469-16-197

TITLE:
VEHICLE CIRCULATION PLAN (WB-62)

SHEET No: **32** OF 36

COMMENTS:
 THIS PLAN IS FOR APPROVAL PROCESS ONLY AND MAY NOT BE USED FOR CONSTRUCTION

Rev. # 3



STEERING LOCK ANGLE = 40.0 deg
 ACHIEVED STEERING ANGLE:

- 30 deg SWEEP ANGLE 20.6 deg
- 60 deg SWEEP ANGLE 30.2 deg
- 90 deg SWEEP ANGLE 25.0 deg
- 120 deg SWEEP ANGLE 37.4 deg
- 150 deg SWEEP ANGLE 38.6 deg
- 180 deg SWEEP ANGLE 39.3 deg

APPROVED: *[Signature]*
 Development Coordinator
 DATE: 9/27/17

Plotted: 07/19/17 - 5:28 PM. By: mlopez
 File: P:\COPC PROJECTS\0469-Frt. Hartford\16-197 Richmond TX - SMC Williams Way\DWG\Site Plans\0469\16197SWV3\Plan.dwg, ---> 33 VEHICLE CIRCULATION

**14 K CORNER ENTRY
 BUMP-OUT DRIVE-THRU (LEFT)
 STORE NUMBER: 11096**

4110 WILLIAMS WAY BOULEVARD
 CITY OF RICHMOND, FORT BEND COUNTY, TEXAS, 77469
 CS PROJECT NUMBER: 99715

DYNAMIC ENGINEERING

Central NJ Office: 770 State Street, Suite 110, Newark, NJ 07102, F: 973.974.5321
 North NJ Office: 2480 Springfield Rd, Suite 100, Springfield, NJ 07081, F: 908.979.2011
 South NJ Office: 8500 River Road, Suite 100, Riverdale, NJ 08828, F: 732.974.5339
 PA Office: 770 Newcomer Highway, Suite 425, Haverhill, PA 19949, F: 717.461.6814
 Dallas Texas Office: 1501 Cornwell Highway, Suite 210, Allen, TX 75013, F: 972.294.2100
 Houston TX Office: 14021 Old Katy Road, Suite 250, Houston, TX 77049, F: 281.798.4907
 Austin Texas Office: 1411 W. Braker Avenue, Austin, TX 78764, F: 512.454.2644
 www.dynamiceng.com

JOSEPH G. JAWORSKI
 PROFESSIONAL ENGINEER
 TEXAS LICENSE No. 120486

DEVELOPER:
FIRST HARTFORD REALTY CORPORATION
 149 COLONIAL ROAD
 MANCHESTER, CT 06042-2307
 TEL: (860) 646-6555
 FAX: (860) 646-8572
 PROJECT CONTACT: JOHN TOIC

Rev.	Date	Comments	By
1	05/11/17	REV. PER AGENCY COMMENTS	DNH
2	05/15/17	REV. PER CITY COMMENTS	DNH
3	07/19/17	REV. PER CITY COMMENTS	MAL

SCALE: (H) 1"=30'	(V) 1"=30'
DRAWN BY: DNH/GRY	
DESIGNED BY: JAK	
CHECKED BY: SES	
DATE: 02/17/17	
JOB No: 0469-16-197	

TITLE:
**VEHICLE CIRCULATION
 PLAN (FIRE TRUCK)**

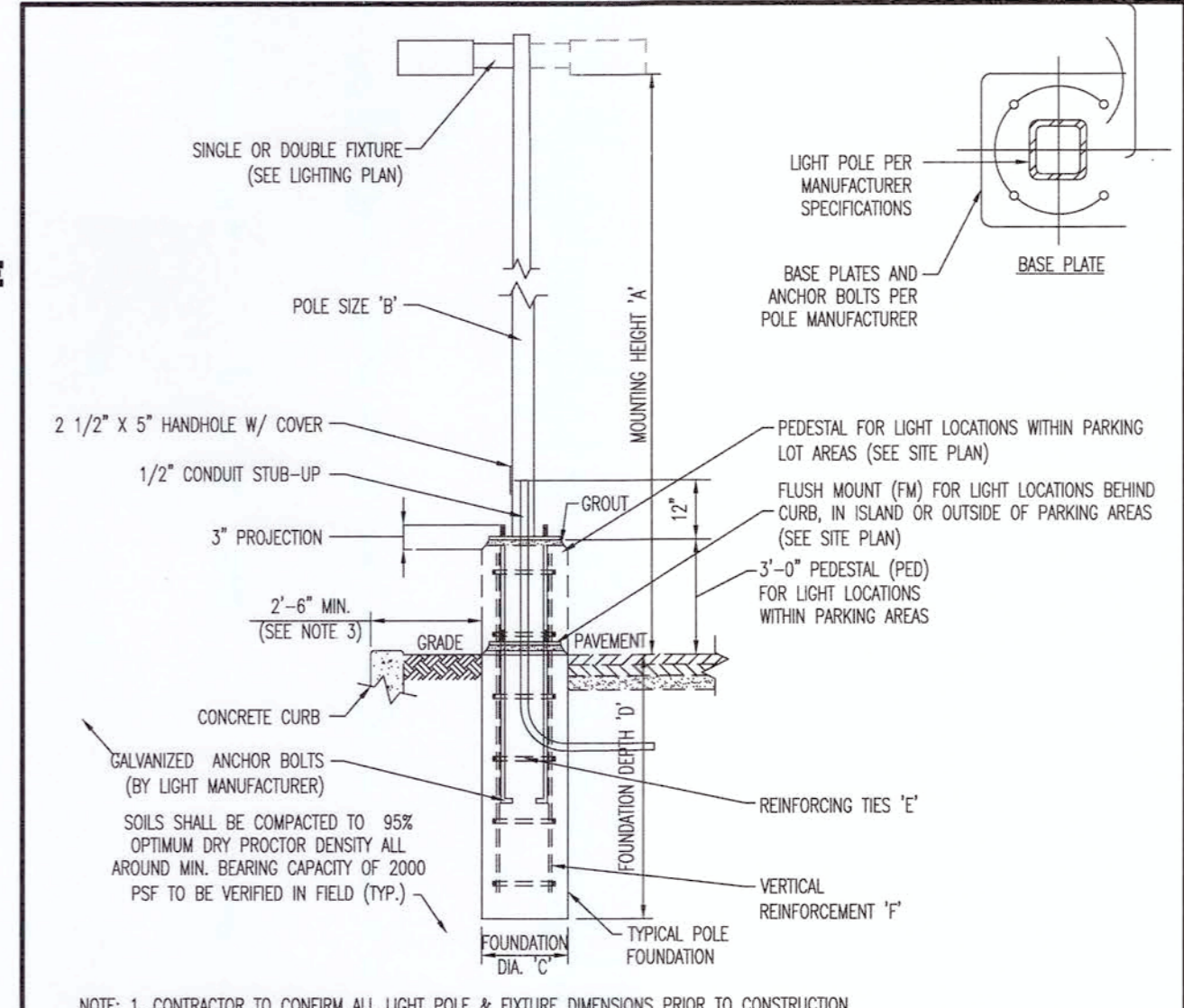
SHEET No: **33** OF 36

COMMENTS:
 THIS PLAN IS FOR APPROVAL PROCESS ONLY AND
 MAY NOT BE USED FOR CONSTRUCTION

Rev. # 3

GENERAL NOTES

1. THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER RELATED VARIABLE FIELD CONDITIONS.
2. ALL EXISTING CONDITIONS LIGHTING LEVELS ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES AND/OR ACTUAL FIELD MEASUREMENTS TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHTING LEVELS MAY DIFFER AND THE LIGHTING LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED AS APPROXIMATE.
3. CONDUITS SHALL BE INSTALLED A MINIMUM OF 2 FEET BEHIND GUARDRAIL POSTS.
4. ALL WIRING METHODS AND EQUIPMENT CONSTRUCTION SHALL CONFORM TO THE CURRENT NATIONAL ELECTRICAL CODE.



- NOTE: 1. CONTRACTOR TO CONFIRM ALL LIGHT POLE & FIXTURE DIMENSIONS PRIOR TO CONSTRUCTION.
 2. PROPOSED POLE IN COMBINATION WITH CONCRETE PEDESTAL TO EQUAL MOUNTING HEIGHT 'A'. ACTUAL POLE HEIGHT TO BE ADJUSTED ACCORDINGLY.
 3. PROPOSED CONCRETE FOUNDATION AND POLE TO BE CONSTRUCTED WITHIN SUBJECT PROPERTY UNLESS OTHERWISE NOTED. SETBACK FROM CURB IS PREFERRED BUT TO BE ADJUSTED AS NEEDED TO PREVENT ENCROACHMENT OVER PROPERTY LINE.

LIGHT POLE FOUNDATION SCHEDULE	
MOUNTING HEIGHT ABOVE GRADE 'A'	25'
POLE DIA. 'B'	6" SQUARE (OR PER MANUFACTURER)
# OF FIXTURES	SINGLE OR DOUBLE
FOUNDATION DIAMETER 'C'	24" DIA. ROUND
FOUNDATION DEPTH 'D'	7'0"
REINFORCING TIES 'E'	#4 @ 12" O.C.
VERTICAL REINFORCEMENT 'F'	(7) #6 BARS EQUALLY SPACED

- SOIL NOTES**
1. FOOTING DESIGN BASED ON ASSUMED MAXIMUM ALLOWABLE SOILS BEARING CAPACITY OF 2,000 PSF. CONTRACTOR RESPONSIBLE TO VERIFY ADEQUACY OF ASSUMED BEARING CAPACITY PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED IF INCONSISTENCIES EXIST.
 2. SUBGRADE TO BE FREE OF ORGANICS AND BE SUITABLE, COMPACTED MATERIAL.

- CONCRETE NOTES**
1. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS WITH A MINIMUM CEMENT CONTENT OF 600 POUNDS PER CUBIC YARD FOR ALL FOOTINGS.
 2. ALL CONCRETE SHALL HAVE A SLUMP OF NO GREATER THAN 4" TO WITHIN A TOLERANCE OF 1".
 3. ALL EXPOSED CONCRETE SHALL BE AIR-ENTRAINED (WITHIN 1% TOLERANCE), CONFORMING TO ASTM C260.
 4. REINFORCING FRAMEWORK AND PLACEMENT OF CONCRETE SHALL COMPLY WITH GOOD CONSTRUCTION PRACTICES AND BE IN ACCORDANCE WITH ALL LOCAL GOVERNING CODES AND REGULATIONS AS WELL AS THE ACI AND UNIFORM BUILDING CODE.

AREA LIGHT DETAIL
NOT TO SCALE



FOR PRICING & CUT SHEETS
WEIDENBACH-BROWN CO., INC.
 315 NORWOOD PARK SOUTH
 NORWOOD, MA 02062
 TEL: 781-769-9868
 EMAIL: cvssupport@wblight.com

NOTES:
 1. ALL PARKING LOT LIGHTING AND WALL PACK LIGHTING SHALL BE FULL CUT-OFF.

Luminaire Schedule
Project: HUBBELL LIGHTING

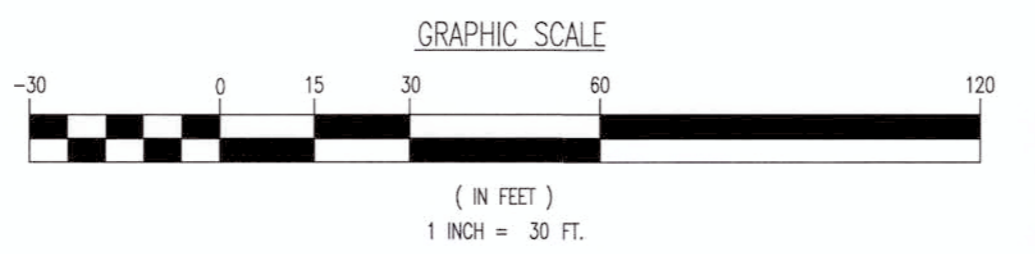
Symbol	Label	Qty	Arrangement	Description	Lum. Lumens	LMF
[OC]	OC	4	SINGLE	SGV8LEDGV-S5L-40K-E1-AR8710GV-SG-SO	3994	0.903
[OC1]	OC1	4	SINGLE	SGV8LEDGV-27L-40K-E1-AR6710GV-MW-SO	1540	0.903
[FB]	FB	18	GROUP	SSL-ECVXWET-6-LINV-4K-3080	N/A	0.903
[WP]	WP	7	SINGLE	DSXW1 LED 10C 1000 40K TTFM MVOLT	3944	0.903
[WS]	WS	2	SINGLE	CR670-APSL-131-MS12	5187	0.903

Luminaire Schedule
Project: HUBBELL LIGHTING

Symbol	Label	Qty	Arrangement	Description	Lum. Lumens	LMF	Lum. Watts	Arr. Watts	Total Watts
[T3A]	T3A	1	SINGLE	CL1-30L-4K-3	7641	0.903	70	70	70
[T3A-BC]	T3A-BC	6	SINGLE	CL1-30L-4K-3-BC	5132	0.903	70	70	420
[T4B-BC]	T4B-BC	5	SINGLE	CL1-60L-4K-4-BC	12392	0.903	135	135	675

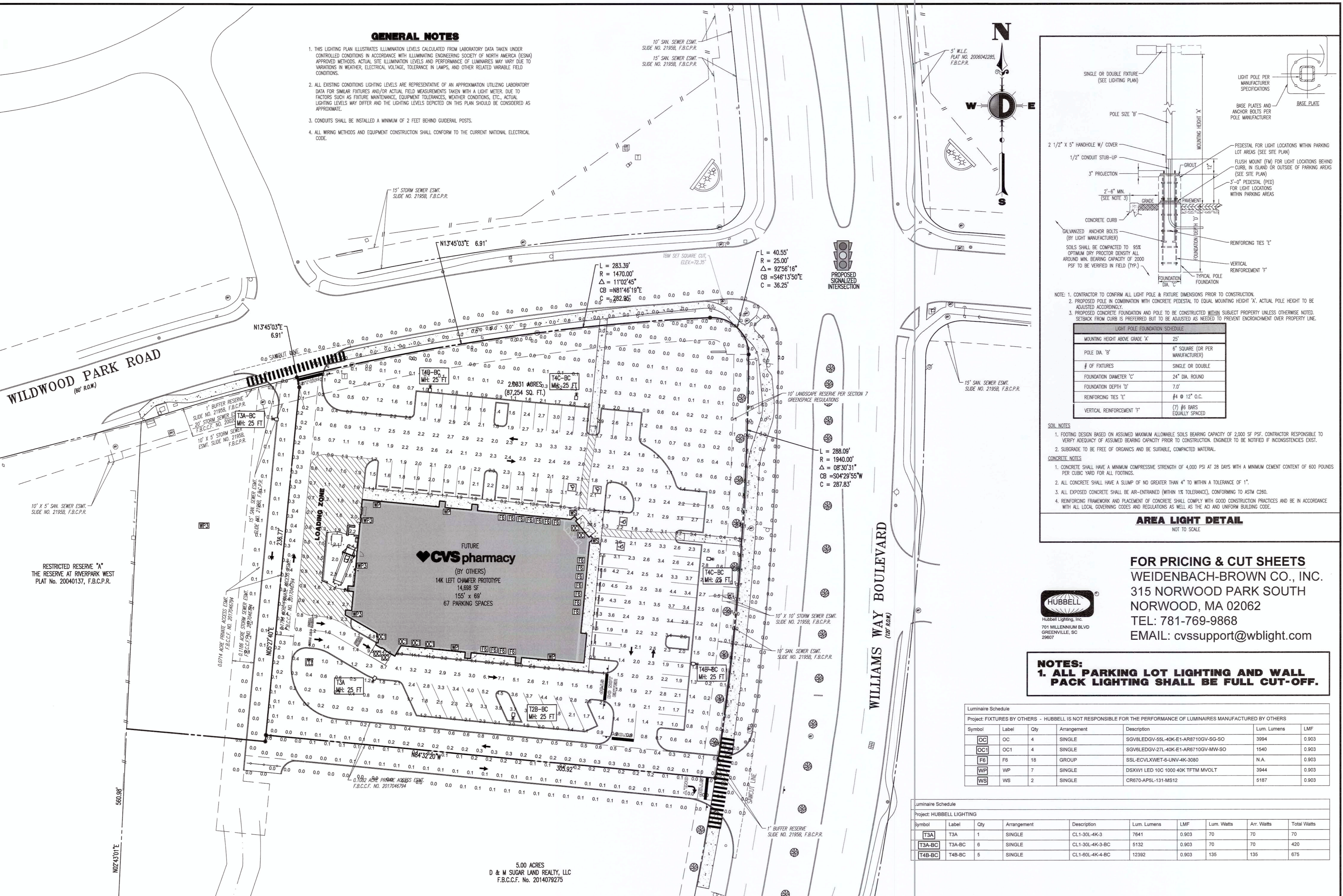
Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	PlSpClr	PlSpTb
All CalcPts Extending Out To Zero Fc	Illuminance	Fc	1.99	48.6	0.0	N.A.	N.A.	10	10
Parking Areas	Illuminance	Fc	2.30	7.0	1.1	2.09	6.36	10	10
Property Line 20-Foot Offset	Illuminance	Fc	0.15	0.5	0.0	N.A.	N.A.	10	N.A.
Property Line	Illuminance	Fc	0.64	1.8	0.0	N.A.	N.A.	10	N.A.
Northwest Access Point - Fc Limited Area	Illuminance	Fc	1.05	1.5	0.7	1.50	2.14		
Southeast Access Point - Fc Limited Area	Illuminance	Fc	1.22	2.0	0.7	1.74	2.86		



Texas 811
 KNOW WHAT'S BELOW.
 CALL BEFORE YOU DIG.
 A FREE CALL CENTER WITH A MINIMUM OF 72 HOURS PRIOR TO START OF WORK.

Plotted: 07/18/17 - 5:29 PM. By: migomez File: P:\DECPC PROJECTS\0469 Frat Hartford\16--197 Richmond TX -- SWC Williams Way\Drawings\16197SS3.dwg. ---> 34 LIGHTING



CVS pharmacy
 14 K CORNER ENTRY
 BUMP-OUT DRIVE-THRU (LEFT)
 STORE NUMBER: 11096
 4110 WILLIAMS WAY BOULEVARD
 CITY OF RICHMOND, FORT BEND COUNTY, TEXAS, 77469
 CS PROJECT NUMBER: 99715

DYNAMIC ENGINEERING
 Centennial NJ Office
 North NJ Office
 South NJ Office
 Dallas Texas Office
 Houston TX Office
 Austin Texas Office

JOSEPH G. JAWORSKI
 LICENSED PROFESSIONAL ENGINEER
 TEXAS LICENSE No. 120486

DEVELOPER:
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 FAX: (860) 646-8572
 PROJECT CONTACT: JOHN TOIC

Rev.	Date	Comments	By
1	05/11/17	REV. PER AGENCY COMMENTS	DNH
2	05/15/17	REV. PER CITY COMMENTS	DNH
3	07/19/17	REV. PER CITY COMMENTS	MAL

SCALE: (H) 1"=30'
(V) 1"=15'
 DRAWN BY: DNH/GRY
 DESIGNED BY: JAK
 CHECKED BY: SES
 DATE: 02/17/17
 JOB No: 0469-16-197
 TITLE: **LIGHTING PLAN**
 SHEET No: **34** OF 36
 COMMENTS: THIS PLAN IS FOR APPROVAL PROCESS ONLY AND MAY NOT BE USED FOR CONSTRUCTION
 Rev. # 3



14 K CORNER ENTRY BUMP-OUT DRIVE-THRU (LEFT) STORE NUMBER: 11096

4110 WILLIAMS WAY BOULEVARD CITY OF RICHMOND, FORT BEND COUNTY, TEXAS, 77469 CS PROJECT NUMBER: 99715

DYNAMIC ENGINEERING logo and contact information for various office locations including Central NJ, North NJ, South NJ, Dallas, Houston, and Austin.

Professional Engineer seal for Joseph G. Jaworski, State of Texas, License No. 120486.

FIRST HARTFORD REALTY CORPORATION logo and contact information for John Toic, Project Contact.

Scale: (H) NOT TO SCALE (V) DRAWN BY: DNH/GRY DESIGNED BY: JAK CHECKED BY: SES DATE: 02/17/17 JOB No: 0469-16-197 TITLE: LIGHTING CONSTRUCTION DETAILS SHEET No: 36 OF 36 COMMENTS: THIS PLAN IS FOR APPROVAL PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

Type F6



eCOVELINE XL WET



PHOTOMETRY: Zonal Lumens Summary and Illuminance at Distance for eCOVELINE XL WET. Includes tables for 2700K, 3000K, and 4000K color temperatures.

SPECIFICATION: Color temperature, beam spread, lumen output, color consistency, lifetime, input voltage, power consumption, dimensions, weight, housing, mounting, operating temperature, power supply, certification, standards, materials, warranty.

CATALOG NUMBER: Table with columns for model, length, temperature, options.

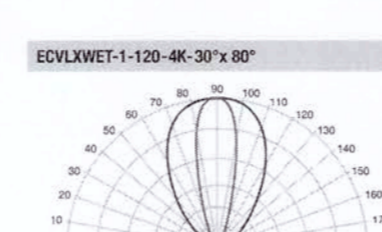
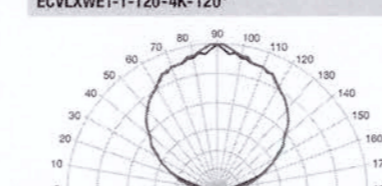
ORDERING GUIDE: Table with columns for Series, Size, Lamp/Wattage, Color Temp, Voltage, Finish, Options.

GALILEO FAMILY - CR867 Series - Apollo with Shield. Includes specifications, ordering guide, and a detailed diagram of the luminaire with its components labeled.

APPROVED: Max Development Coordinator DATE: 9/27/17

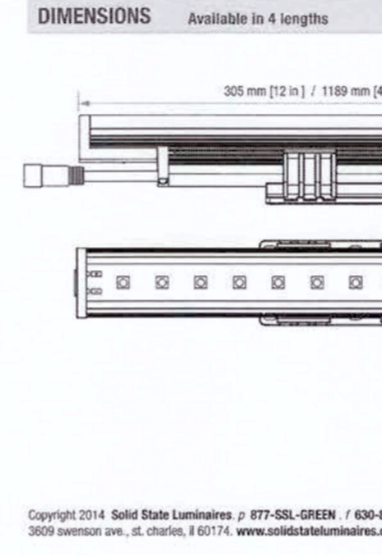


PHOTOMETRY



PERFORMANCE: Table comparing Connected and Delivered Lumens for various models.

DIMENSIONS: Available in 4 lengths.



Type WP



D-Series Size 1 LED Wall Luminaire

Specifications Luminaire: Table with columns for Width, Depth, Height, Weight. Includes Back Box (BBW, ELWCW) details.

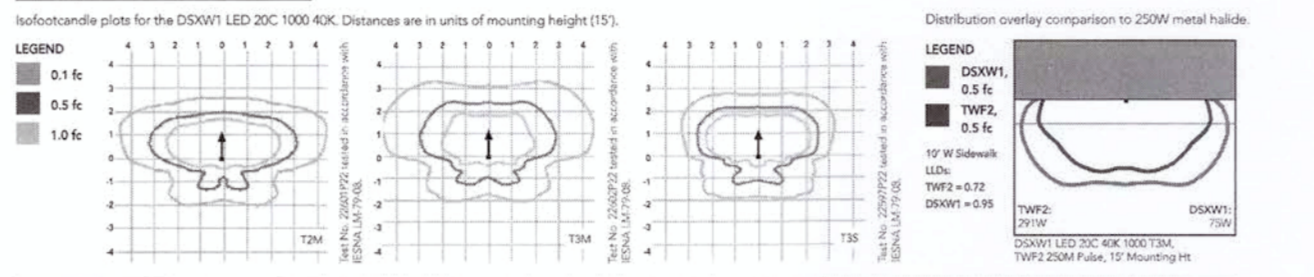
Ordering Information: Table with columns for Series, LEDs, Color Temp, Distribution, Voltage, Housing, Control Options, Silver Options, Finish.

EXAMPLE: DSWLED LED 20C 100V 40K T3M MVOLT DBTBD. Table with columns for Series, LEDs, Color Temp, Distribution, Voltage, Housing, Control Options, Silver Options, Finish.

APPROVED: Max Development Coordinator DATE: 9/27/17

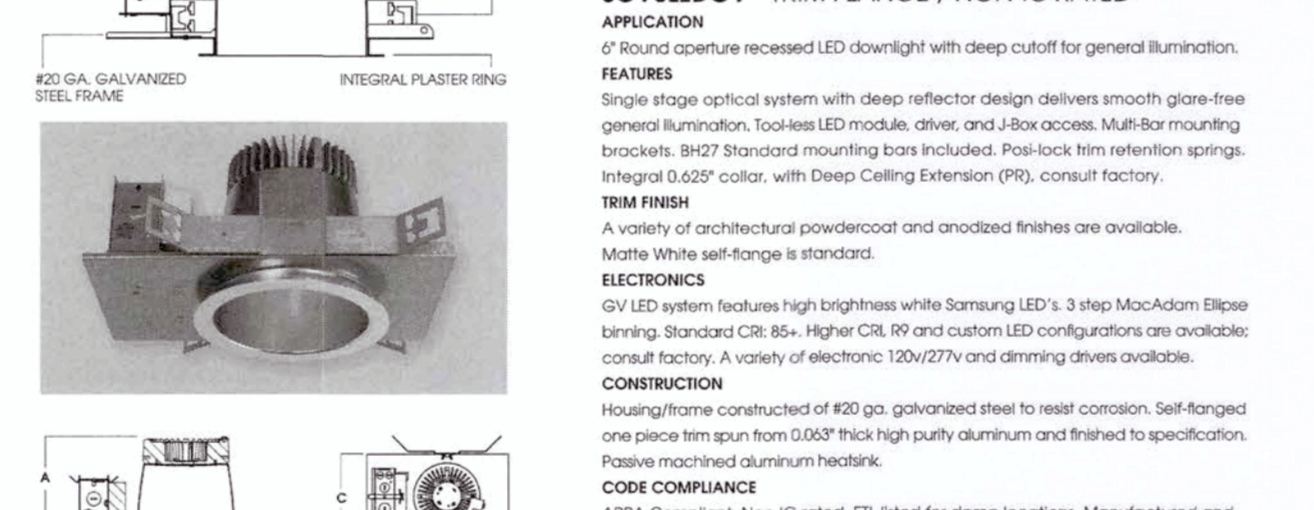


Performance Data: Lumen Output and Lumen Ambient Temperature (LAT) Multipliers. Includes tables for Lumen Output by fixture type and LAT Multipliers by ambient temperature.



FEATURES & SPECIFICATIONS: INTENDED USE, CONSTRUCTION, FINISH, OPTIONS, ELECTRICAL. Detailed technical specifications for the lighting fixture.

Type OC 1



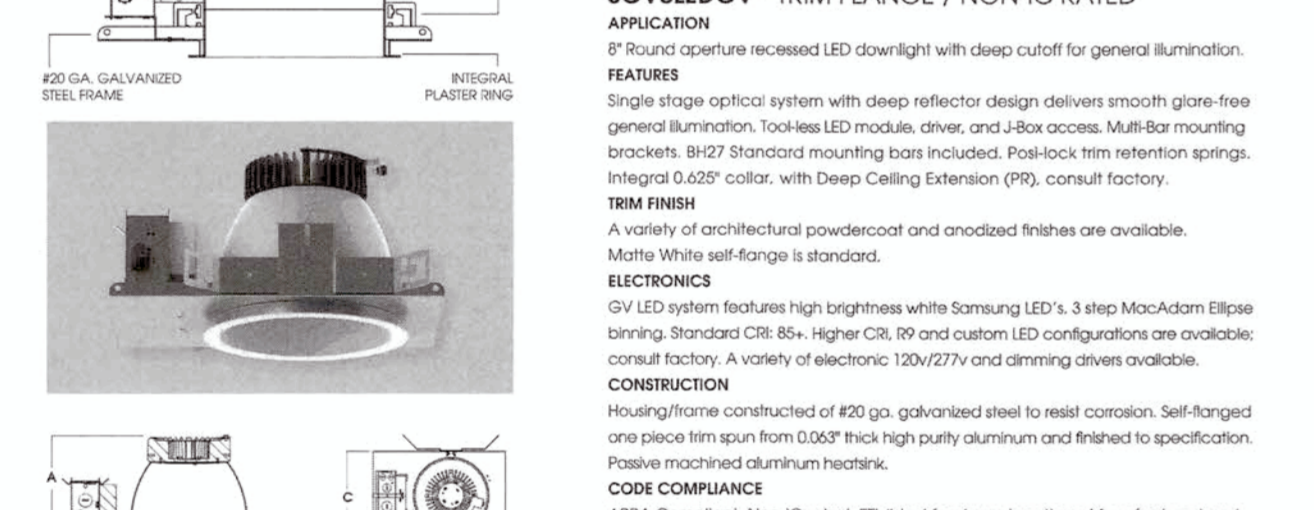
EXAMPLE: SGV8LEDGV 27L5K5KE1B127/AR6710GVWVW. Table with columns for Series, Lumens, CCT, Driver/Voltage, Options, Trim/Finish, Trim Options.

APPROVED: Max Development Coordinator DATE: 9/27/17



CVS 11096 Richmond TX. Type OC. 8\"/>

Type OC



EXAMPLE: SGV8LEDGV 15L5K5KE1B127/AR6710GVWVW. Table with columns for Series, Lumens, CCT, Driver/Voltage, Options, Trim/Finish, Trim Options.

APPROVED: Max Development Coordinator DATE: 9/27/17



Texas 811 logo and slogan: KNOW WHAT'S BELOW. CALL BEFORE YOU DIG. A PREMIER CALL CENTER FOR YOUR UTILITY SERVICE. CONTRACTORS TO NOTIFY TEXAS ONE CALL SYSTEM PRIOR TO START OF WORK.



1 FRONT SIDE ELEVATION
1/8" = 1'-0"

EAST

STONE VENEER
 ACME Natural Stone
 Sar ta Maria Chopped Leuders

PORTLAND CEMENT PLASTER
 BENJAMINE MOORE
 North Creek Brown 1001
 Color to Match

PORTLAND CEMENT PLASTER
 BENJAMINE MOORE
 Montgomery White HC-33
 Color to Match

FRONT/ EAST ELEVATION

- PCP (NORTH CREEK BROWN):	44.66%
- PCP (MONTGOMERY WHITE):	09.54%
- STONE VENEER:	32.68%
- GLAZING + DOOR:	13.12%

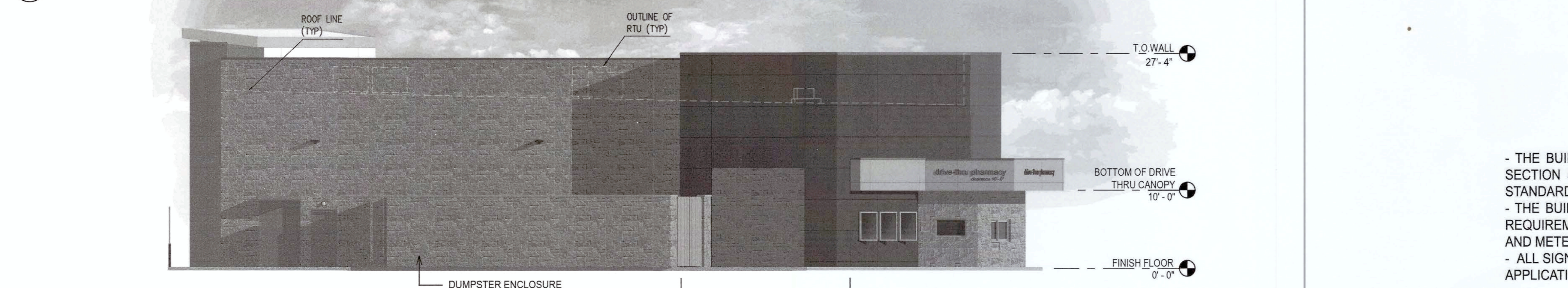


2 RIGHT SIDE ELEVATION
1/8" = 1'-0"

NORTH

RIGHT/ NORTH ELEVATION

- PCP (NORTH CREEK BROWN):	25.02%
- PCP (MONTGOMERY WHITE):	05.68%
- STONE VENEER:	61.80%
- GLAZING + DOOR:	07.50%



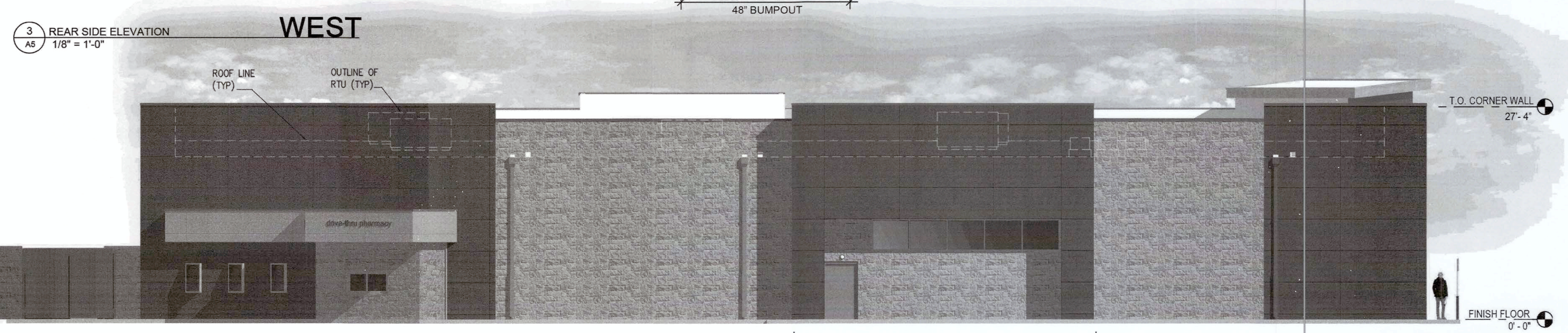
3 REAR SIDE ELEVATION
1/8" = 1'-0"

WEST

REAR/ WEST ELEVATION

- PCP (NORTH CREEK BROWN):	18.15%
- PCP (MONTGOMERY WHITE):	02.39%
- STONE VENEER:	75.95%
- GLAZING + DOOR:	03.51%

- THE BUILDING DESIGN COMPLIES WITH ALL STANDARDS OF SECTION 5.1.200, NONRESIDENTIAL AND MIXED-USED DESIGN STANDARDS.
 - THE BUILDING DESIGN IS IN COMPLIANCE WITH SCREENING REQUIREMENTS PER SECTION 5.1.202, MECHANICAL EQUIPMENT AND METERS, OF THE UDC.
 - ALL SIGNAGE SHALL BE APPROVED THROUGH A SIGN PERMIT APPLICATION PROCESS.

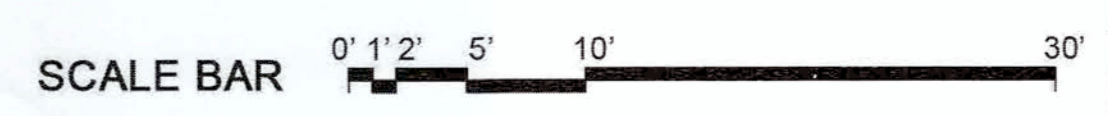


4 LEFT SIDE ELEVATION
1/8" = 1'-0"

SOUTH

LEFT/ SOUTH ELEVATION

- PCP (NORTH CREEK BROWN):	53.33%
- PCP (MONTGOMERY WHITE):	02.40%
- STONE VENEER:	40.56%
- GLAZING + DOOR:	03.71%



14K - RL
 RIGHT HAND ENTRY
 LEFT BUMPOUT DRIVE-THRU
 STORE NUMBER: 11096
 4110 WILLIAMS WAY BLVD.
 RICHMOND, TX 77469
 PROJECT TYPE: NEW STORE
 DEAL TYPE: FEE FOR SERVICE
 CS PROJECT NUMBER: 99715

ARCHITECT OF RECORD:
 GENESIS DESIGN GROUP, INC.
 421 W. HARWOOD ROAD
 SUITE 100
 HURST, TX 76054
 TEL (817) 285-7444
 FAX (817) 285-7318

STRUCTURAL ENGINEER:

MEP ENGINEER:

DEVELOPER:

SEAL:

REVISIONS

NO.	DESCRIPTION	DATE

CITY APPROVAL

DRAWING BY: DW
 DATE: MAY-24-2017
 JOB NUMBER: 16-035

TITLE: EXTERIOR ELEVATIONS

SHEET NUMBER: A5

COMMENTS:
 ISSUE FOR CITY REVIEW

Maggie 9/27/17