



**PERMIT APPLICATION REVIEW FORM FOR  
CABLE, CONDUIT, AND POLE LINE ACTIVITY  
IN FORT BEND COUNTY**

**Fort Bend County  
Engineering Department**  
301 Jackson Suite 401  
Richmond, Texas 77469  
281.633.7500  
[Permits@fortbendcountytx.gov](mailto:Permits@fortbendcountytx.gov)

- ☒ **Right of Way Permit**  
☐ **Commercial Driveway Permit**

Permit No: 2017-16798

The following "Notice of Proposed Cable, Conduit, and/or Pole Line activity in Fort Bend County" and accompanying attachments have been reviewed and the notice conforms to appropriate regulations set by Commissioner's Court of Fort Bend County, Texas.

**(1) COMPLETE APPLICATION FORM:**

- ☒ a. Name of road, street, and/or drainage ditch affected.  
☒ b. Vicinity map showing course of directions  
☒ c. Plans and specifications

**(2) BOND:**

- ☐ County Attorney, approval when applicable.
- ☐ Perpetual bond currently posted.      Bond No: \_\_\_\_\_ Amount: \_\_\_\_\_
- ☒ Performance bond submitted.      Bond No: [REDACTED]      Amount: \$15,000.00
- ☐ Cashier's Check      Check No: \_\_\_\_\_ Amount: \_\_\_\_\_

**(3) DRAINAGE DISTRICT APPROVAL (WHEN APPLICABLE):**

\_\_\_\_\_  
Drainage District Approval

\_\_\_\_\_  
Date

**We have reviewed this project and agree it meets minimum requirements.**

*Charles O. Ay*

\_\_\_\_\_  
Permit Administrator

11/14/2017

\_\_\_\_\_  
Date

By: \_\_\_\_\_  
Deputy

**PERFORMANCE BOND COVERING ALL CABLE, CONDUIT AND/OR POLE LINE  
ACTIVITY IN, UNDER, ACROSS OR ALONG FORT BEND COUNTY ROAD,  
COMMERCIAL DRIVEWAY AND MEDIAN OPENINGS OR MODIFICATIONS  
(AUTHORIZED)**

BOND NO [REDACTED]

THE STATE OF TEXAS           §

KNOW ALL MEN BY THESE PRESENTS:

COUNTY OF FORT BEND       §

6901 Raton, Ste. 100 Houston, TX 77055

THAT WE, Mickie Services Company, Inc. whose (address, phone) is \_\_\_\_\_  
Texas, hereinafter called the Principal, and SureTec Insurance Company, a Corporation existing under and by virtue of the  
laws of the state of Texas and authorized to do an indemnifying business in the state of Texas, and whose principal office  
is located at (name/address/phone) 1330 Post Oak Blvd., Suite 1100 Houston, TX 77056 (713) 812-0800, whose officer residing in the  
State of Texas, authorized to accept service in all suits and actions brought whining said state is Steven D. Nelson and whose  
address is 9737 Great Hills Trail, Ste 320, Austin, TX 78759, hereinafter called the Surety, and held and firmly bound unto ,  
Robert E. Hebert, County Judge of Fort Bend County, Texas, or his successors in office, in the full sum of  
Fifteen Thousand Dollars Dollars (\$ 15,000.00) current, lawful money of the United States of America, to be paid  
to said Robert E. Hebert, County Judge of Fort Bend County, Texas, or his successors in office, to which payment well and  
truly to be made and done, we, the undersigned, bind ourselves and each of us, our heirs, executors, administrators,  
successors, assigns, and legal representatives, jointly and severally, by these presents.

THE CONDITION OF THIS BOND IS SUCH THAT, WHEREAS, the above bounden principal contemplates laying,  
constructing, maintaining and/or repairing one or more cables, conduits, and/or pole lines in, under, across and/or along  
roads, streets and highways, commercial driveway and median openings or modifications in the County of Fort Bend, and the  
State of Texas, under the jurisdiction of the Commissioners' Court of Fort Bend County, Texas, pursuant to the  
Commissioners' Court order adopted on the 1st day of December, A.D. 1980, recorded in Volume 13, of the Commissioners'  
Court Minutes of Fort Bend County, Texas, regulating same, which Commissioners' Court order is hereby referred to and  
made a part hereof for all purposes as though fully set out herein;

AND WHEREAS, the principal desires to provide Fort Bend County with a performance bond covering all such cable,  
conduit and/or pole line activity, commercial driveway and median openings or modifications;

NOW, THEREFORE, if the above bounden principal shall faithfully perform all its cable, conduit and/or pole line  
activity (including, but not limited to the laying, construction, maintenance and/or repair of cables, conduits and/or pole lines)  
in, under, across and/or along roads, streets and highways, commercial driveway and median openings or modifications in  
the County of Fort Bend and State of Texas, under the jurisdiction of the Commissioners Court of Fort Bend County, Texas,  
pursuant to and in accordance with minimum requirements and conditions of the above mentioned Commissioners' Court  
order set forth and specified to be by said principal done and performed, at the time and in the manner therein specified, and  
shall pay over and make good and reimburse Fort Bend County, all loss and damages which Fort Bend County may sustain  
by reason of any failure or default on the part of said principal, then this obligation shall be null and void, otherwise to remain  
in full force and effect.

This bond is payable at the County Courthouse in the County of Fort Bend and State of Texas.

It is understood that at any time Fort Bend County deems itself insecure under this bond, it may require further  
and/or additional bonds of the principal.

EXECUTED this 2nd day of November, 2017.

Mickie Services Company, Inc.

PRINCIPAL

BY 

SureTec Insurance Company

SURETY

BY 

C. A. McClure, Attorney in Fact

# SureTec Insurance Company

## LIMITED POWER OF ATTORNEY

**Know All Men by These Presents**, That SURETEC INSURANCE COMPANY (the "Company"), a corporation duly organized and existing under the laws of the State of Texas, and having its principal office in Houston, Harris County, Texas, does by these presents make, constitute and appoint

C. A. McClure

its true and lawful Attorney-in-fact, with full power and authority hereby conferred in its name, place and stead, to execute, acknowledge and deliver any and all bonds, recognizances, undertakings or other instruments or contracts of suretyship to include waivers to the conditions of contracts and consents of surety for:

**Principal:** Mickie Services Company, Inc.  
**Obligee:** Fort Bend County Judge  
**Amount:** \$ 15,000.00

and to bind the Company thereby as fully and to the same extent as if such bond were signed by the President, sealed with the corporate seal of the Company and duly attested by its Secretary, hereby ratifying and confirming all that the said Attorney-in-Fact may do in the premises. Said appointment is made under and by authority of the following resolutions of the Board of Directors of the SureTec Insurance Company:

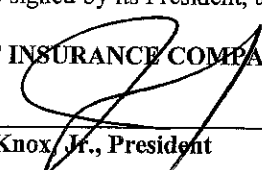
*Be it Resolved*, that the President, any Vice-President, any Assistant Vice-President, any Secretary or any Assistant Secretary shall be and is hereby vested with full power and authority to appoint any one or more suitable persons as Attorney(s)-in-Fact to represent and act for and on behalf of the Company subject to the following provisions:

*Attorney-in-Fact* may be given full power and authority for and in the name of and of behalf of the Company, to execute, acknowledge and deliver, any and all bonds, recognizances, contracts, agreements or indemnity and other conditional or obligatory undertakings and any and all notices and documents canceling or terminating the Company's liability thereunder, and any such instruments so executed by any such Attorney-in-Fact shall be binding upon the Company as if signed by the President and sealed and effected by the Corporate Secretary.

*Be it Resolved*, that the signature of any authorized officer and seal of the Company heretofore or hereafter affixed to any power of attorney or any certificate relating thereto by facsimile, and any power of attorney or certificate bearing facsimile signature or facsimile seal shall be valid and binding upon the Company with respect to any bond or undertaking to which it is attached. (Adopted at a meeting held on 20<sup>th</sup> of April, 1999.)

**In Witness Whereof**, SURETEC INSURANCE COMPANY has caused these presents to be signed by its President, and its corporate seal to be hereto affixed this 6th day of April, A.D. 2017.

SURETEC INSURANCE COMPANY

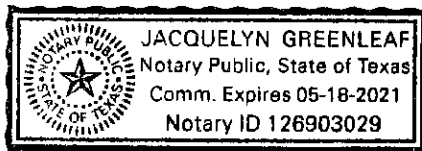
By:   
 John Knox, Jr., President

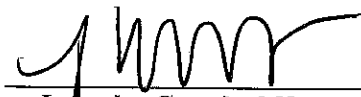
State of Texas  
 County of Harris

ss:



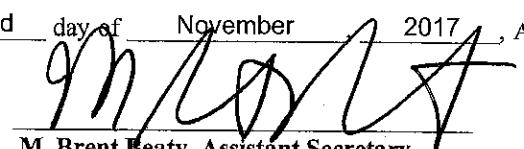
On this 6th day of April, A.D. 2017 before me personally came John Knox, Jr., to me known, who, being by me duly sworn, did depose and say, that he resides in Houston, Texas, that he is President of SURETEC INSURANCE COMPANY, the company described in and which executed the above instrument; that he knows the seal of said Company; that the seal affixed to said instrument is such corporate seal; that it was so affixed by order of the Board of Directors of said Company; and that he signed his name thereto by like order.



  
 Jacquelyn Greenleaf, Notary Public  
 My commission expires May 18, 2021

I, M. Brent Beaty, Assistant Secretary of SURETEC INSURANCE COMPANY, do hereby certify that the above and foregoing is a true and correct copy of a Power of Attorney, executed by said Company, which is still in full force and effect; and furthermore, the resolutions of the Board of Directors, set out in the Power of Attorney are in full force and effect.

Given under my hand and the seal of said Company at Houston, Texas this 2nd day of November, 2017, A.D.

  
 M. Brent Beaty, Assistant Secretary

Any instrument issued in excess of the penalty stated above is totally void and without any validity.

For verification of the authority of this power you may call (713) 812-0800 any business day between 8:00 am and 5:00 pm CST.



# **SureTec Insurance Company**

## **THIS BOND RIDER CONTAINS IMPORTANT COVERAGE INFORMATION**

### **Statutory Complaint Notice/Filing of Claims**

To obtain information or make a complaint: You may call the Surety's toll free telephone number for information or to make a complaint or file a claim at: 1-866-732-0099. You may also write to the Surety at:

SureTec Insurance Company  
9737 Great Hills Trail, Suite 320  
Austin, Tx 78759

You may contact the Texas Department of Insurance to obtain information on companies, coverage, rights or complaints at 1-800-252-3439. You may write the Texas Department of Insurance at

PO Box 149104  
Austin, TX 78714-9104  
Fax#: 512-490-1007  
Web: <http://www.tdi.state.tx.us>  
Email: [ConsumerProtection@tdi.texas.gov](mailto:ConsumerProtection@tdi.texas.gov)

**PREMIUM OR CLAIM DISPUTES:** Should you have a dispute concerning your premium or about a claim, you should contact the Surety first. If the dispute is not resolved, you may contact the Texas Department of Insurance.

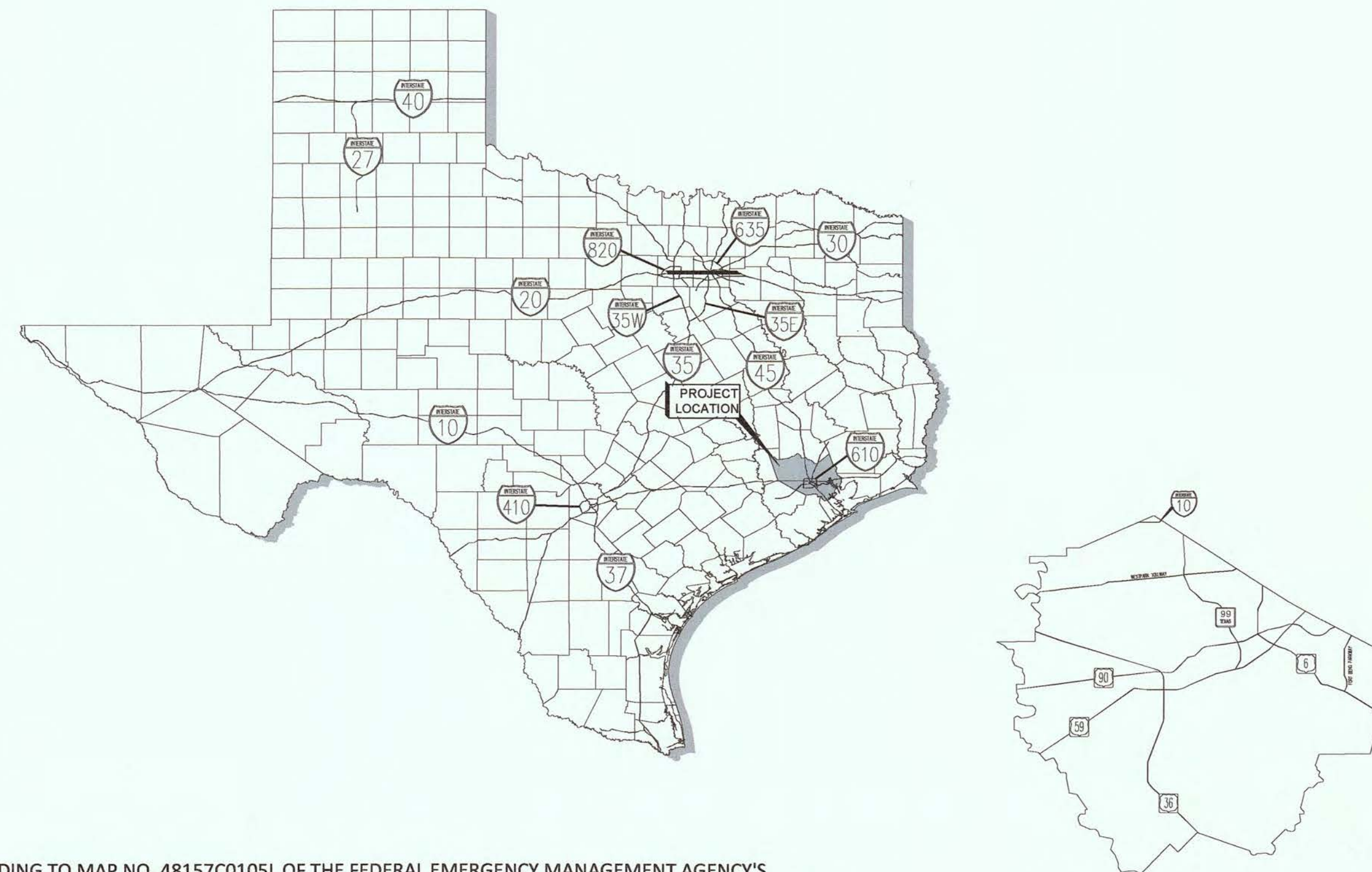
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LOCATION MAP  
N.T.S.

KEYMAP NO.: 524G  
ZIP CODE: 77494

CIVIL PLANS  
FOR  
STARBUCKS & SALATA  
LOCATED AT  
9333 SPRING GREEN BLVD  
LOCATED IN  
CITY OF HOUSTON ETJ, FORT BEND COUNTY, TEXAS



ACCORDING TO MAP NO. 48157C0105L OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR FORT BEND COUNTY AND INCORPORATED AREAS, DATED APRIL 2, 2014, THE SUBJECT TRACT IS SITUATED WITHIN: UNSHADED ZONE 'X'

## PLANS SUBMITTAL/REVIEW LOG

SUBMIT TO FORT BEND COUNTY & MUD -NOT FOR CONSTRUCTION	03/21/2017
SUBMIT FOR PERMIT & BID -NOT FOR CONSTRUCTION	04/05/2017

PROJECT TEAM:

**ARCHITECT**  
**IDENTITY ARCHITECTS**  
**ATTN: CORY DECUIRE**  
**111 TRAVIS ST**  
**HOUSTON, TX 77002**  
**713.595.2150**

**CIVIL ENGINEER**  
ALJ LINDSEY, LLC.  
5629 FM 1960 WEST, SUITE 314  
HOUSTON, TEXAS 77069  
281.301.5955  
CONTACT: PAT CARRIGAN

FORT BEND COUNTY ENGINEER

ENGINEER: Rail J. Stangle, PE, PTOE  
for RICHARD W. STOLLEIS, P.E.

DATE: 5/30/17

THESE SIGNATURES ARE VOID IF CONSTRUCTION HAS NOT COMMENCED IN ONE (1) YEAR FROM  
DATE OF APPROVAL

AUTHORIZATION IS VALID FOR 1 YEAR.

APPROVED: Maggie D DEVELOPMENT COORDINATOR

DATE: 5/30/17

CALL BEFORE YOU DIG  
TEXAS ONE CALL PARTICIPANTS REQUEST  
72 HOURS NOTICE BEFORE YOU DIG, DRILL  
OR BLAST - STOP CALL  
TEXAS ONE CALL SYSTEM  
1-800-545-6005  
IN HOUSTON  
(713)-223-4567

NOT FOR CONSTRUCTION



**ALJ Lindsey**  
Civil Engineers  
5629 FM 1960 W., Suite 314  
Houston, TX 77069  
281.301.5955  
FRN F-11526

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**OWNER:**  
Thor Ranch II, LLC  
25 W. 39th St.  
10th Floor  
New York, NY 10018

**CIVIL:**  
ALJ Lindsey  
5629 FM 1960 West  
Suite 314  
Houston, Texas 77069  
281.301.5955

**STRUCTURE:**  
CJG Engineers  
3200 Wilcrest, Suite 305  
Houston, Texas 77042  
713.780.3345  
FIRM #: F-170

**MEP:**  
Salas O'Brien  
10930 W. Sam Houston  
Pkwy N  
Suite 900  
Houston, Texas 77064  
832.664.0642

**LANDSCAPE:**  
CMB Landscape  
Architecture  
18135 FM 362  
Navasota, Texas 77868  
832.428.1209

INDEX OF SHEETS	
CIVIL ENGINEERING (ALJ LINDSEY, LLC)	
SHEET NO.	DESCRIPTION
C0.0	COVER SHEET
C0.1	GENERAL NOTES
C0.2	TOPOGRAPHIC SURVEY
C0.3	PLAT
C1.0	DEMOLITION PLAN
C1.1	DIMENSION CONTROL PLAN
C2.0	UTILITY PLAN
C3.0	STORM SEWER PLAN
C3.1	DRAINAGE CALCULATIONS
C4.0	GRADING PLAN
C5.0	PAVING PLAN
C6.0	EROSION CONTROL PLAN
C7.0	CONSTRUCTION DETAILS (1 OF 4)
C7.1	CONSTRUCTION DETAILS (2 OF 4)
C7.2	CONSTRUCTION DETAILS (3 OF 4)
C7.3	CONSTRUCTION DETAILS (4 OF 4)

[illegible]

PROJECT NAME AND ADDRESS:

1 STORY RETAIL SHELL

9333 SPRING GREEN BLVD.  
KATY, TX 77494

DRAWN: \_\_\_\_\_ CHECKED: \_\_\_\_\_

REFERENCE NUMBER: 14021-06

TITLE: **COVER SHEET**

DRAWING NUMBER:

C0.0

# identityARCHITECTS

111 Travis Street, Houston, Texas 77002  
713.595.2150  
[www.identityarchitects.com](http://www.identityarchitects.com)

PLAT NAME: CROSSING AT CINCO RANCH PARTIAL REPLAT No. 1



- THE LOCATION OF ALL UTILITIES SHOWN ON THESE PLANS WAS TAKEN FROM AVAILABLE SURVEY INFORMATION AND/OR EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHALL BE DETERMINED BY CONTRACTOR. IT SHALL BE THE DUTY AND RESPONSIBILITY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A DISCREPANCY AND/OR CONFLICT IS DISCOVERED. CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PUBLIC UTILITIES, PAVEMENT TO REMAIN, CURBS, SIDEWALKS, SIGNS, TREES, ETC., IN THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES. DURING CONSTRUCTION ALL DAMAGES SHALL BE REPAIRED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE OWNING/OPERATING AUTHORITY, WITH NO COST TO THE CITY, COUNTY, PRIVATE UTILITY OWNERS, ENGINEER, OR THE OWNER.
- CONTRACTOR SHALL VERIFY LOCATION OF UNDERGROUND UTILITY LINES AND SHALL NOTIFY THE FOLLOWING AGENCIES 72 HOURS PRIOR TO EXCAVATING OR AUGERING NEAR EXISTING FACILITIES.
  - A. TEXAS ONE CALL SYSTEM AT 1-800-245-4545
  - B. LONE STAR NOTIFICATION CENTER AT 1-800-669-8344
  - C. TEXAS EXCAVATION SAFETY SYSTEM AT 1-800-344-8377
- PRIOR TO ANY CONSTRUCTION ACTIVITY, CONTRACTOR IS TO ACQUIRE ALL REQUIRED CONSTRUCTION PERMITS FROM APPROPRIATE AUTHORITIES. CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS, OR PERSONS IN CHARGE OF PUBLIC AND PRIVATE UTILITY LINES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCEMENT OF WORK.
- THE ENGINEER AND THE CITY/COUNTY OR MUD SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO THE CONTRACTOR CONNECTING TO ANY EXISTING UTILITY LINES.
- NO CONNECTIONS SHALL BE MADE TO EXISTING PUBLIC WATER LINES OR PUBLIC SANITARY SEWERS UNTIL ALL PROPOSED WATER OR SEWER LINES HAVE BEEN THOROUGHLY CLEANED, TESTED (AS REQUIRED) AND APPROVED BY THE APPROPRIATE AUTHORITIES.
- HORIZONTAL AND VERTICAL INFORMATION REGARDING UTILITY CONNECTIONS TO PROPOSED BUILDINGS ON THIS SET OF PLANS TERMINATE AT FIVE (5) FEET FROM THE NEAREST BUILDING WALL.
- ALL MANHOLES, CLEAN-OUTS, VALVE BOXES, FIRE HYDRANTS, ETC MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THE PAVING FOR THIS DEVELOPMENT.
- ALL APPOINTMENTS WILL BE ASSUMED TO BE IN GOOD CONDITION UNLESS OTHERWISE CONFIRMED IN WRITING PRIOR TO COMMENCEMENT OF WORK.
- OVERHEAD LINES EXIST ON THE PROPERTY. WE HAVE NOT ATTEMPTED TO MARK THOSE LINES SINCE THEY ARE CLEARLY VISIBLE, BUT YOU SHOULD LOCATE THEM PRIOR TO BEGINNING CONSTRUCTION. TEXAS LAW, SECTION 752, HEALTH AND SAFETY CODE, FORBIDS ALL ACTIVITIES IN WHICH PERSON OR EQUIPMENT MAY COME WITHIN 6 FEET OF LIVE OVERHEAD HIGH VOLTAGE LINES. CONTRACTORS ARE LEGALLY RESPONSIBLE FOR SAFETY OF CONSTRUCTION WORKERS UNDER THIS LAW. THIS LAW CARRIES BOTH CIVIL AND CRIMINAL LIABILITY.
- CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS AND ALL REGULATIONS OF UTILITY COMPANIES CONCERNING SAFETY AND HEALTH PRACTICES. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SITE TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH CITY/COUNTY STANDARDS, TEXAS STATE LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION.
- PRIOR TO THE START OF CONSTRUCTION, OWNER AND CONTRACTOR ARE RESPONSIBLE FOR SUBMITTING THE "NOTICE OF INTENT" (N.O.I.) AND ANY ADDITIONAL INFORMATION REQUIRED BY THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ). UPON COMPLETION OF THE PROJECT, OWNER AND CONTRACTOR ARE RESPONSIBLE FOR SUBMITTING THE "NOTICE OF TERMINATION" (N.O.T.).
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE AT ALL TIMES DURING CONSTRUCTION
- CONTRACTOR SHALL REMOVE ALL MUD, DIRT, AND DEBRIS DEPOSITED OR DROPPED ON THE EXISTING ROADWAY AT THE END OF EACH WORK DAY. MATERIAL THAT IS HAZARDOUS TO TRAFFIC OR OTHERWISE PRESENTS A SAFETY CONCERN, SHALL BE REMOVED IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL STATE AND LOCAL REGULATIONS RELATED TO STORM WATER POLLUTION AND QUALITY. REFER TO EROSION CONTROL PLAN.
- CONTRACTOR SHALL REESTABLISH ALL TURF DISTURBED DURING CONSTRUCTION TO ACCEPTABLE OPERATING CONDITION, AS DETERMINED BY OWNER AND/OR REGULATORY AGENCIES.
- CONTRACTOR SHALL MAINTAIN A WORKSITE FREE OF TRASH AND DEBRIS.
- CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES, NO TREE SHALL BE REMOVED OR ALTERED WITHOUT WRITTEN PERMISSION FROM OWNER OR ENGINEER. EQUIPMENT OR MATERIALS SHALL NOT BE STAGED UNDER THE DRIP LINE OF EXISTING TREES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A SET OF "AS BUILT" PLANS FOR ALL WORK PERFORMED ON AND OFF SITE. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL PROVIDE AS-BUILT PLANS IDENTIFYING ALL DEVIATIONS OR VARIATIONS FROM ORIGINAL PLANS TO THE OWNER AND THE ENGINEER.
- ALL TRAFFIC CONTROL AND WARNING SIGNS SHALL BE IN ACCORDANCE WITH TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ALL SIDEWALKS, RAMPS, AND HANDRAILS TO MEET OR EXCEED CITY/COUNTY, TAS, AND ADA REQUIREMENTS.
- ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY/COUNTY RULES AND REGULATIONS, CONSTRUCTION SPECIFICATIONS AND CONSTRUCTION DETAILS.
- ALL SPOIL MATERIAL GENERATED FROM CONSTRUCTION ACTIVITY TO BE HAULED OFFSITE AND DISPOSED IN ACCORDANCE WITH LOCAL LAWS, RULES, AND REGULATIONS.
- AT THE END OF ALL CONSTRUCTION PROJECTS, THE CONTRACTOR SHALL RESTORE THE EXISTING FACILITIES, TO EQUAL TO BETTER THAN EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION. ALL FINISHED GRADES SHALL VARY UNIFORMLY BETWEEN THE FINISHED ELEVATIONS SHOWN.
- CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING LANDSCAPING AND IRRIGATION. NO SEPARATE PAY.
- PRIOR TO SUBMITTAL OF BID OR PROPOSAL, CONTRACTOR SHALL VISIT PROJECT SITE AND BECOME FAMILIAR WITH THE PROJECT AND THE EXISTING CONDITIONS ON THE SITE. NO ADDITIONAL CONSIDERATION WILL BE GIVEN FOR ADDITIONAL WORK CAUSED BY FIELD CONDITIONS VISIBLE ON SITE DURING BIDDING BUT NOT SHOWN ON THESE PLANS.
- THERE WILL BE NO SEPARATE PAYMENT FOR WORK SHOWN ON THESE PLANS, UNLESS SPECIFICALLY ESTABLISHED IN THE BID SECTION OF THE CONTRACT DOCUMENTS. INCLUDE COST OF SAME TO WHICH THIS WORK IS A COMPONENT PART.
- IN THE EVENT OF A DISCREPANCY WITHIN THESE PLANS, OR BETWEEN THESE PLANS AND THE GEOTECHNICAL REPORT, THE MOST CONSERVATIVE CRITERIA SHALL APPLY.
- ALL UTILITY TRENCHES BELOW PROPOSED OR FUTURE PAVING SHALL BE BACKFILLED WITH CEMENT SAND.
- UTILITY TRENCHES ARE A COMMON SOURCE OF WATER INFILTRATION AND MIGRATION. ALL UTILITY TRENCHES THAT PENETRATE BENEATH THE BUILDING SHOULD BE EFFECTIVELY SEALED TO RESTRICT WATER INTRUSION AND FLOW THROUGH THE TRENCHES THAT COULD MIGRATE BELOW THE BUILDING. WE RECOMMEND CONSTRUCTING AN EFFECTIVE CLAY "TRENCH PLUG" THAT EXTENDS AT LEAST 5 FEET OUT FROM THE FACE OF THE BUILDING. EXTERIOR TO THE PLUG MATERIAL SHOULD CONSIST OF CLAY COMPACTED AT A WATER CONTENT AT OR ABOVE THE SOILS OPTIMUM WATER CONTENT. THE CLAY FILL SHOULD BE PLACED TO COMPLETELY SURROUND THE UTILITY LINE AND BE COMPACTED IN ACCORDANCE WITH RECOMMENDATIONS IN THIS REPORT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITY TIE IN LOCATIONS FOR MATERIAL, SIZE, ELEVATION AND FIELD CONDITIONS, IN THE EVENT THE PLANS DO NOT REPRESENT FIELD CONDITIONS THE CONTRACTOR IS TO CONTACT THE ENGINEER AND OWNER IMMEDIATELY AND PRIOR TO PERFORMING ANY WORK.
- PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR TO CONFIRM POSSESSION OF LATEST DRAWINGS, INCLUDING ANY REVISIONS. IF THE DRAWINGS ARE NOT LABELED AS "CONSTRUCTION SET" ON THE COVER PAGE, CONTRACTOR TO CONTACT ENGINEER IMMEDIATELY.
- CONTRACTOR TO OBTAIN ALL PERMITS. OWNER WILL PROVIDE PAYMENT AS NECESSARY AND REQUESTED BY CONTRACTOR.

1. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
2. BEFORE STARTING CONSTRUCTION, CONTRACTOR SHALL VERIFY BENCHMARK ELEVATION AND NOTIFY ENGINEER IF ANY DISCREPANCY AND/OR CONFLICT IS FOUND.
3. CONTRACTOR SHALL ENSURE THERE IS POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS AND NO PONDING IN PAVED AREAS, AND SHALL NOTIFY ENGINEER IF ANY GRADING DISCREPANCIES ARE FOUND IN THE EXISTING AND PROPOSED GRADES PRIOR TO PLACEMENT OF PAVEMENT OR UTILITIES.
4. CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES THAT ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION.
5. ALL EXISTING CONCRETE PAVING, SIDEWALK, AND CURB DEMOLITION SHALL BE REMOVED AND DISPOSED OF BY CONTRACTOR. DISPOSAL SHALL BE AT AN APPROVED OFF-SITE, LAWFUL LOCATION, UNLESS DIRECTED OTHERWISE BY THE OWNER.

1. CONTRACTOR SHALL CALL THE TEXAS ONE CALL AND DIG-TESS AT LEAST 72 HOURS PRIOR TO COMMENCING DEMOLITION OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR BEARS SOLE RESPONSIBILITY FOR VERIFYING LOCATIONS OF EXISTING UTILITIES, SHOWN OR NOT SHOWN, AND FOR ANY DAMAGE TO THESE FACILITIES.
2. CONTRACTOR SHALL INSTALL LONG SWEEPS FOR DRY UTILITY CONDUITS WHERE A BEND IS GRAPHICALLY SHOWN.

PAVEMENT DESIGN AND SOIL PREPARATION RECOMMENDATIONS FOR BOTH MATERIALS. PRACTICE OF INSTALLATION, CONTRACTOR SHALL ENSURE ALL SPECIFICATIONS AND TESTING ARE MET AS OUTLINED IN THIS REPORT. CONTRACTOR IS RESPONSIBLE FOR OBTAINING THIS REPORT PRIOR TO PRICING ITEMS IMPACTED BY THE REPORT.

2. ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND CITY/COUNTY STANDARDS.

3. CONTRACTOR SHALL FURNISH ALL PAVEMENT MARKINGS FOR FIRE LANES, ROADWAY LANES, PARKING STALLS, HANDICAPPED PARKING SYMBOLS, ACCESS AISLES, STOP BARS AND SIGNS, AND MISCELLANEOUS STRIPING WITHIN PARKING LOT AS SHOWN ON THE PLANS.

4. ALL JOINTS SHALL BE SEALED PER CITY/COUNTY SPECIFICATIONS. ALL JOINTS SHALL EXTEND THROUGH THE CURB.

5. THE MATERIALS AND PROPERTIES OF CONCRETE SHALL MEET THE APPLICABLE REQUIREMENTS IN THE A.C.I. (AMERICAN CONCRETE INSTITUTE) MANUAL OF CONCRETE PRACTICE AS WELL AS CITY/COUNTY STANDARDS.

6. ANY DAMAGED PAVEMENT, CURB AND/OR SIDEWALK WILL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE TO THE SATISFACTION OF THE ENGINEER AND OWNER.

7. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE HANDICAPPED ROUTES (PER A.D.A. & T.A.S.) EXIST TO AND FROM EVERY DOOR. IN NO CASE SHALL:

- A. HANDICAP RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL.
- B. SIDEWALK CROSS SLOPES EXCEED 2.0 PERCENT.
- C. LONGITUDINAL SIDEWALK SLOPES EXCEED 5.0 PERCENT.
- D. CONTRACTOR SHALL CONTACT ENGINEER BEFORE ANY PAVEMENT CONSTRUCTION IF ANY SLOPES EXCEED THE ABOVE LIMITS.

8. REINFORCING BAR SPLICES SHALL BE STAGGERED WITH NO MORE THAN 2 SPLICES ADJACENT TO EACH OTHER.

9. STABILIZED SUBGRADE SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND EDGE OF ALL PAVEMENT, OR AS DIRECTED IN GEOTECHNICAL REPORT.

10. ALL CONCRETE PAVEMENT SHALL BE FLOAT FINISHED MECHANICALLY WITH APPROVED SELF-PROPELLED MACHINES, HANDING FLOATING SHALL BE REPEATED UNTIL SURFACE IS UNACCESSIBLE TO A FINISHING MACHINE. AFTER FLOATING, CONTRACTOR SHALL PROVIDE A FINE OR MEDIUM COARSE "BROOM FINISH," UNLESS OTHERWISE INDICATED BY THE OWNER, FOR ALL EXTERIOR SIDEWALKS, EXTERIOR RAMPS, EQUIPMENT AND TRANSFORMER PADS, AND SITE PAVING. BROOMING SHALL BE DONE TRANSVERSELY TO THE DIRECTION OF MAIN TRAFFIC. ALL FINISHING SHALL CONFORM TO A.C.I.301. CONTRACTOR SHALL DETERMINE THE APPROPRIATE MEANS & METHODS TO PROTECT THE FINISHED CONCRETE FROM PRECIPITATION FOR A MINIMUM OF 24 HOURS.

11. CONTRACTOR SHALL PROTECT THE FINISHED CONCRETE PAVEMENT AGAINST LOSS OF MOISTURE FOR NO LESS THAN 72 HOURS IN CONFORMANCE WITH THE A.C.I. MANUAL OF CONCRETE PRACTICE.

## STORM SEWERS

1. STORM SEWER PIPE USED FOR CONNECTION TO STORM SEWER IN PUBLIC RIGHT-OF-WAY OR CONSTRUCTED WITHIN PUBLIC EASEMENTS SHALL BE REINFORCED CONCRETE PIPE ASTM C-76, CLASS III, WITH RUBBER GASKET PER ASTM C-443 AND SHALL EXTEND TO FIRST PRIVATE INLET OR MANHOLE. ALL OTHER PRIVATE STORM SEWER MAY BE SELECTED PER THE FOLLOWING CRITERIA:

- A. CORRUGATED HIGH-DENSITY POLYETHYLENE (HDPE) (4 INCHES TO 48 INCHES IN DIAMETER): AASHTO M 294, DUAL WALL WITH WATER TIGHT (ASTM D3212) BELL-TO-BELL COUPLER, TRADE NAME N-12 BY ADS OR EQUAL.
- B. POLYVINYL CHLORIDE (PVC) CORRUGATED PIPE WITH SMOOTH INTERIOR PER ASTM F 949 (4 INCHES TO 36 INCHES (102-MM TO 914-MM)) WITH ELASTOMERIC GASKET JOINTS. TRADE NAME A-2000 BY CONTECH OR EQUAL.
- C. STEEL REINFORCED HIGH-DENSITY POLYETHYLENE (HDPE) (24 INCHES TO 48 INCHES IN DIAMETER): AASHTO M 294, HIGH DUREMAXX JOINTS (ASTM D3212), TRADE NAME DUREMAXX OR EQUAL.
- D. REINFORCED CONCRETE PIPE (RCP): ASTM C76, CLASS III WITH RUBBER GASKET JOINTS PER ASTM C-443.

2. STORM SEWERS IN PUBLIC R.O.W. OR PUBLIC EASEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST FORT BEND COUNTY STANDARD CONSTRUCTION SPECIFICATIONS FOR STORM DRAINAGE INCLUDING ALL CURRENT AMENDMENTS THERETO. ALL STORM SEWER ON PRIVATE PROPERTY SHALL BE CONSTRUCTED PER SPECIFICATIONS AND DETAILS IN THESE DRAWINGS AND IN ACCORDANCE WITH THE PIPE MANUFACTURERS RECOMMENDATIONS.

3. ALL SEWERS UNDER PROPOSED OR FUTURE PAVEMENT AND TO A POINT ONE (1) FOOT BACK OF ALL PROPOSED OR FUTURE CURBS SHALL BE BACKFILLED WITH 6" BRICK CEMENT, C- STABILIZED SAND TO WITHIN ONE (1) FOOT OF SUBGRADE. CEMENT STABILIZED SAND TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM C33, LATEST EDITION

4. TRENCH BACKFILL SHALL BE SUITABLE EARTH MATERIAL PLACED IN 8 INCH LIFTS, WITH TESTS TAKEN AT 100 FOOT INTERVALS ON EACH LIFT. BACKFILL TO BE MECHANICALLY COMPACTED TO A DENSITY OF NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR COMPACTION TEST (ASTM DESIGNATION D-698/AASHTO 799). MOISTURE CONTENT OF BACKFILL SHALL BE WITHIN PARAMETERS ESTABLISHED BY THE PROCTOR TEST.

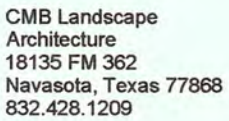
5. PROPOSED PIPE STUB-OUTS ARE TO BE PLUGGED WITH 8" BRICK WALLS, UNLESS OTHERWISE NOTED.

1. WATER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST FORT BEND COUNTY, MUD DISTRICT AND TCEQ REGULATIONS, STANDARD SPECIFICATIONS, AND CONSTRUCTION DETAILS.
2. 4" THRU 12" WATER LINES SHALL BE P.V.C. CLASS 150, DR-18, AWWA C-900 AND 1" THRU 3" WATER LINES SHALL BE PVC SCHEDULE 40. 4" THRU 54" D.I.P. WATER LINES SHALL BE AWWA C151 (ANSI A21.51) AND DOUBLE WRAPPED IN 8-MIL POLYETHYLENE PIPE SHALL BE LINED IN ACCORDANCE WITH AWWA C104 (ANSI A21.4).
3. CONCRETE THRUST BLOCKS SHALL BE PROVIDED AS NECESSARY TO PREVENT PIPE MOVEMENT. WHERE PREVENTING MOVEMENT OF 16" OR GREATER PIPE IS NECESSARY DUE TO THRUST, USE RESTRAINED JOINTS.
4. ALL WATER LINES UNDER PROPOSED OR FUTURE PAVING AND TO A POINT ONE (1) FOOT BACK OF ALL PROPOSED OR FUTURE CURBS SHALL BE ENCASED IN BANK SAND TO 12" OVER PIPE AND BACKFILLED WITH CEMENT STABILIZED SAND TO WITHIN ONE (1) FOOT OF SUBGRADE.
5. ALL WATER LINE AND SEWER LINE CROSSINGS SHALL BE CONSTRUCTED PER TCEQ REGULATIONS.
6. ALL WATER VALVES SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF AWWA C-500 AND SHALL BE OF THE RESILIENT SEAT TYPE.
7. ALL WATER LINES TO BE DISINFECTED IN CONFORMANCE WITH AWWA C-651, AND THE TEXAS STATE DEPARTMENT OF HEALTH. AT LEAST ONE BACTERIOLOGICAL SAMPLE SHALL BE COLLECTED FOR EACH 1,000 LINEAR FEET OF WATER LINE AND SHALL BE REPEATED IF CONTAMINATION PERSISTS.
8. ALL BELOW GRADE VALVES SHALL BE GASKETED, HUB-END GATE VALVES WITH A CAST IRON BOX, EXCEPT WHERE FLANGES ARE CALLED OUT ON THE PLANS.
9. 4" THRU 12" FITTINGS SHALL BE CEMENT MORTAR LINED COMPACT DUCTILE IRON PRESSURE FITTINGS PER ANSI A21.53, OR PUSH ON FITTINGS PER ANSI A21.10 PRESSURE RATED AT 250 PSIG.
10. HYDROSTATIC TESTING: ALL WATER PIPE SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH THE LATEST FORT BEND COUNTY, MUD DISTRICT AND TCEQ REQUIREMENTS. TESTS ARE TO BE PERFORMED ON THE TOTAL FOOTAGE OF WATER PIPE LINE INCLUDED IN THE PROJECT.
11. ALL WATER LINES TO HAVE 4' MINIMUM COVER TO FINISHED GRADE AND MINIMUM 12" CLEAR TO OTHER UTILITIES AT CROSSING UNLESS OTHERWISE NOTED ON PLANS. ALL WATER LINE INSTALLED OVER 8' DEEP SHALL UTILIZE RESTRAINED JOINT FITTINGS.
12. CONTRACTOR SHALL KEEP WATER PIPE CLEAN AND CAP (OR OTHERWISE EFFECTIVELY COVER) OPEN PIPE ENDS TO EXCLUDE INSECTS, ANIMALS OR OTHER SOURCES OF CONTAMINATION FROM UNFINISHED PIPE LINES AT TIMES WHEN CONSTRUCTION IS NOT IN PROGRESS.
13. ALL FIRE LINES TO BE INSTALLED AND TESTED PER NFPA REGULATIONS.

1. FORT BEND COUNTY MUST BE INVITED TO THE PRE-CONSTRUCTION MEETING.
2. CONTRACTOR SHALL NOTIFY FORT BEND COUNTY ENGINEERING DEPARTMENT 48 HOURS PRIOR TO COMMENCING CONSTRUCTION AND 48 HOUR NOTICE TO ANY CONSTRUCTION ACTIVITY WITHIN THE LIMITS OF THE PAVING AT CONSTRUCTION@FORTBENDCOUNTYTX.GOV.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FROM FORT BEND COUNTY PRIOR TO COMMENCING CONSTRUCTION OF ANY IMPROVEMENTS WITHIN COUNTY ROAD RIGHT OF WAYS.
4. ALL PAVING IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FORT BEND COUNTY "RULES, REGULATIONS AND REQUIREMENTS RELATING TO THE APPROVAL AND ACCEPTANCE OF IMPROVEMENTS IN SUBDIVISIONS AS CURRENTLY AMENDED.
5. ALL ROAD WIDTHS, CURB RADII AND CURB ALIGNMENT SHOWN INDICATES BACK OF CURB.
6. A CONTINUOUS LONGITUDINAL REINFORCING BAR SHALL BE USED IN THE CURBS.
7. ALL CONCRETE PAVEMENT SHALL BE 5 1/2 SACK CEMENT WITH A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI AT 28 DAYS. TRANSVERSE EXPANSION JOINTS SHALL BE INSTALLED AT EACH CURB RETURN AND AT A MAXIMUM SPACING OF 60 FEET.
8. ALL WEATHER AREAS AT ALL EXISTING STREETS AND DRIVEWAYS SHALL BE MAINTAINED AT ALL TIMES.
9. 4" x 12" REINFORCED CONCRETE CURB SHALL BE PLACED IN FRONT OF SINGLE FAMILY LOTS ONLY. ALL OTHER AREAS SHALL BE 6" REINFORCED CONCRETE CURB.
10. AT ALL INTERSECTION LOCATIONS, TYPE 7 RAMPS SHALL BE PLACED IN ACCORDANCE WITH TxDOT PED-12A STANDARD DETAIL SHEET. A.D.A. - HANDICAP RAMPS SHALL BE INSTALLED WITH STREET PAVING AT ALL INTERSECTIONS AND COMPLY WITH CURRENT A.D.A. REGULATIONS.
11. CURB HEADERS ARE REQUIRED AT CURB CONNECTIONS TO HANDICAP RAMPS, WITH NO CONSTRUCTION JOINT WITHIN 5' OF RAMPS.
12. ALL INTERSECTIONS UTILIZING TRAFFIC CONTROL MEASURES SHALL HAVE A.D.A. WHEEL CHAIR RAMPS INSTALLED.
13. GUIDELINES ARE SET FORTH IN THE TEXAS "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" AS CURRENTLY AMENDED. SHALL BE OBSERVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE FLAGMEN, SIGNING, STRIPING AND WARNING DEVICES, ETC., DURING CONSTRUCTION - BOTH DAY AND NIGHT.
14. ALL R1-1 STOP SIGNS SHALL BE 30" X 30" WITH DIAMOND GRADE SHEETING PER TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
15. STREET NAME SIGNAGE SHALL BE ON A 9" HIGH SIGN FLAT BLADE W/ REFLECTIVE GREEN BACKGROUND. STREET NAMES SHALL BE UPPER AND LOWERCASE LETTERING WITH UPPERCASE LETTERS OF 6" MINIMUM AND LOWERCASE LETTERS OF 4.5" MINIMUM. THE LETTERS SHALL BE REFLECTIVE WHITE. STREET NAME SIGNS SHALL BE MOUNTED ON STOP SIGN POST.
16. A BLUE DOUBLE REFLECTORIZED BUTTON SHALL BE PLACED AT ALL FIRE HYDRANT LOCATIONS. THE BUTTON SHALL BE PLACED 12 INCHES OFF OF THE CENTERLINE OF THE STREET ON THE SAME SIDE AS THE HYDRANT.

NOTE: FORT BEND COUNTY NOTES SUPERSEDE ANY CONFLICTING NOTES.

1. ALL SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST FORT BEND COUNTY, MUD DISTRICT AND TFO CRITERIA AND BE SUBJECT TO A REQUIRED FIELD TESTING. TESTS ARE TO BE PERFORMED ON THE TOTAL FLOWAGE CITY SEWER LINE INCLUDING THE PROJECT. REQUIREMENTS OF TEXAS ADMINISTRATIVE CODE, TITLE 30 CHAPTER 237, DESIGN CRITERIA FOR SEWER LINES, SHALL GOVERN WHERE CONFLICTS EXIST EXCEPT WHERE CITY REQUIREMENTS ARE OF HIGHER STANDARDS.
2. SANITARY SEWER PIPE USED FOR CONNECTION TO SEWER IN PUBLIC RIGHT-OF-WAY SHALL BE C900 P.V.C. PIPE MEETING ASTM SPECIFICATION D3034 WITH RUBBER GASKET JOINTS. ALL OTHER PRIVATE SANITARY SEWER PIPE MATERIAL SHALL CONFORM TO THE FOLLOWING CRITERIA:
  - A) POLYVINYL CHLORIDE (PVC) SCHEDULE 40 TO BE USED FOR PIPE SIZES 6 INCHES AND SMALLER.
  - B) STANDARD DIMENSION RATIO (SDR) 35 PVC OR 26 PVC CAN BE USED FOR PIPE SIZES 8 INCHES AND LARGER. SEE NOTE 5 BELOW REGARDING SDR 26 FITTINGS.
3. ALL SANITARY SEWER LINES UNDER PROPOSED OR FUTURE PAVING AND TO A POINT (1) FOOT BACK OF ALL PROPOSED OR FUTURE CURBS SHALL BE ENCASED IN BAND SAND TO 12" OVER PIPE AND BACKFILLED WITH CEMENT STABILIZED SAND TO WITHIN ONE (1) FOOT OF SUBGRADE.
4. ALL SANITARY SEWERS AND WATER LINES CROSSLINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FORT BEND COUNTY, MUD DISTRICT, AND TFO REGULATIONS.
5. SANITARY SEWER MANHOLE RIMS OUTSIDE OF PROPOSED PAVING WILL BE SET 3" - 6" ABOVE THE SURROUNDING LEVEL FINISHED GRADE AFTER PAVING AND GRADING OPERATIONS.
6. SDR 26 P.V.C. PIPE USES "FULL BODIED" SDR 26 P.V.C. FITTINGS OR D.I.P. FITTINGS WITH APPROPRIATE ADAPTERS. AWWA C-900 DR-18 P.V.C. PIPE USES EITHER AWWA C900 DR-18 P.V.C. FITTINGS OR D.I.P. FITTINGS.
7. DEFLECTION TEST: DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE AND SEMI-RIGID SEWER PIPE BETWEEN MANHOLES. DEFLECTION TESTS SHALL BE TESTED. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF .5% THE DEFLECTION TEST SHALL USE A RIGID 7-SIDED MANDEL, WITH A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. NO MECHANICAL PULLING IS ALLOWED.
8. INFILTRATION, EXFILTRATION OR LOW-PRESSURE AIR TEST: EITHER OF THE FOLLOWING TESTS SHALL BE PERFORMED AS PER TAC, TITLE 30 217.2 WITHIN THE SPECIFIED TOLERANCES ON ALL GRAVITY SEWERS.
9. NO CONNECTIONS SHALL BE MADE TO THE EXISTING SANITARY SEWER LINES UNTIL ALL PROPOSED SEWER LINES HAVE BEEN THOROUGHLY CLEANED, TESTED AND APPROVED BY THE ENGINEER. THE ENGINEER AND MUD DISTRICT SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO THE CONTRACTOR CONNECTING TO ANY EXISTING SEWER LINES.
10. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE CITY/COUNTY AT LEAST 48 HOURS PRIOR TO PRESSURE AND DEFLECTION TEST ON ALL SANITARY LINES.
11. ALL SEWER LINES ENTERING A MANHOLE AT A FLOWLINE HIGHER THAN 3.0' OR 36" ABOVE THE MANHOLE INVERT MUST BE PROVIDED WITH A DROP PIPE OUTSIDE OF THE MANHOLE.



# identityARCHITECTS

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## 1 STORY RETAIL SHELL

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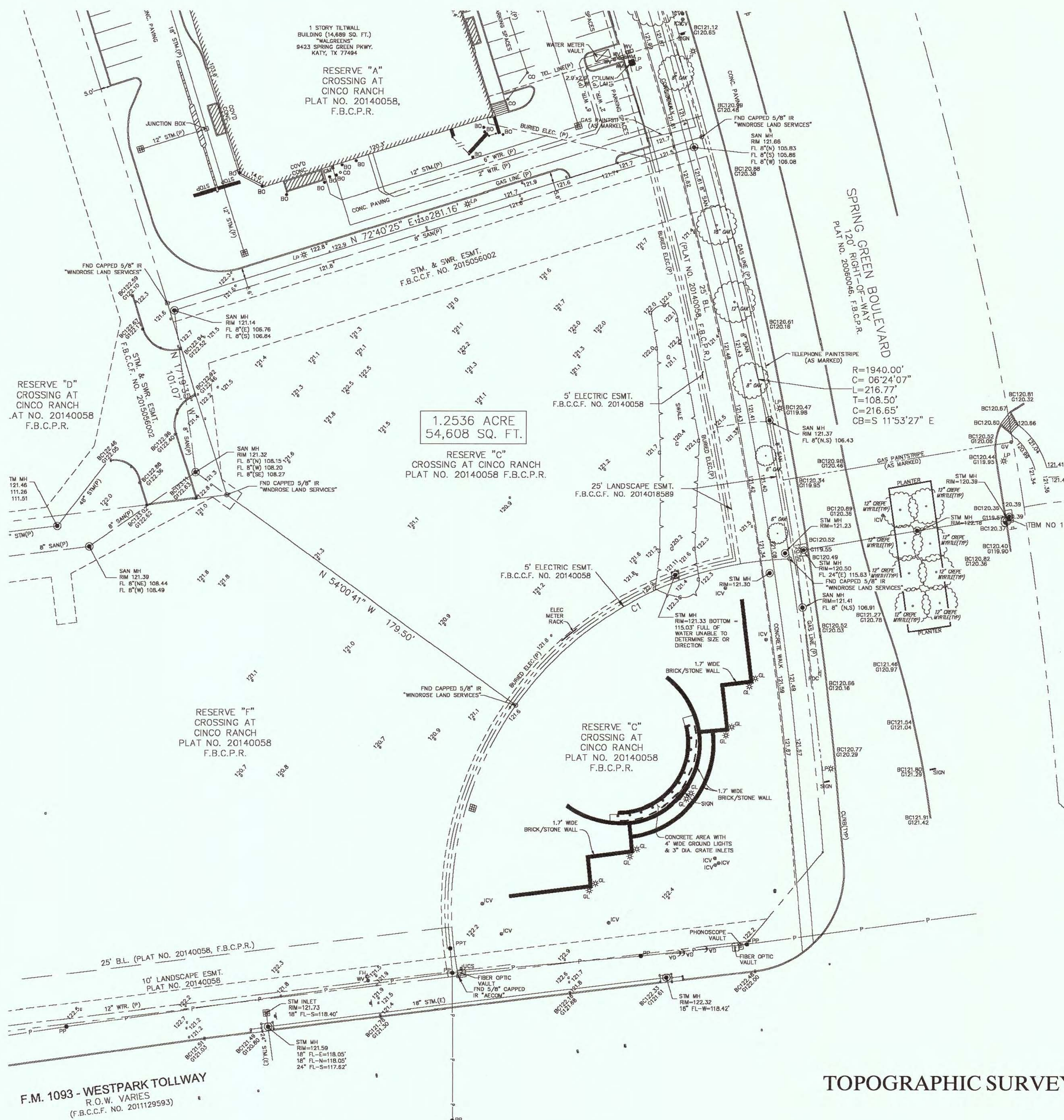
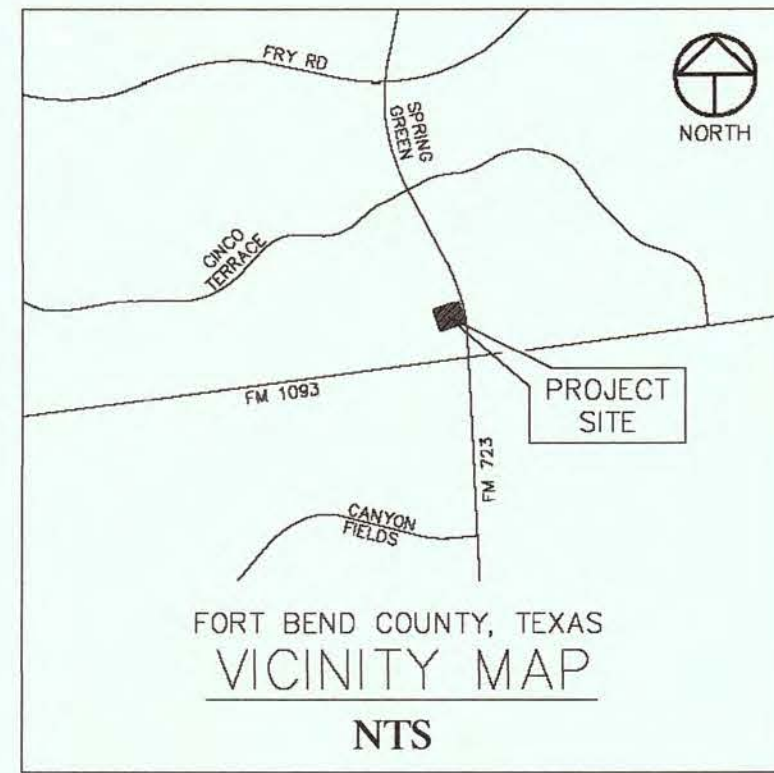
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## GENERAL NOTES

DRAWING NUMBER:

## C0.1



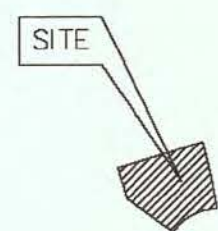


#### LEGEND

\* SOME OF THESE ELEMENTS MAY NOT BE USED ON THIS SURVEY

BO	BOLLARD	PLM	PIPELINE MARKER
HC	HANDICAP	UCS	UNDERGROUND CABLE SIGN
GM	GAS METER	CTL	CATHODIC TEST LEAD
GV	GAS VALVE	MW	MONITORING WELL
FI	FIRE HYDRANT	P	PIN FLAG/PAINT MARK
WM	WATER METER	TC	TOP OF CURB
WV	WATER VALVE	G	GUTTER
ICV	IRRIGATION CONTROL VALVE	TC	TOP OF GRATE
GI	GRATE INLET	FL	FLOW LINE
GI	GRATE INLET	HB	HIGHBANK
CO	MANHOLE	SAN	SANITARY SEWER
CO	CLEANOUT	STM	STORM SEWER
TP	TELEPHONE PEDESTAL	CMP	CORRUGATED METAL PIPE
EB	ELECTRIC BOX	CPP	CORRUGATED PLASTIC PIPE
TBS	TRAFFIC SIGNAL BOX	ROP	REINFORCED CONCRETE PIPE
LP	LIGHT POLE	TEL	TELEPHONE
TLP	TRAFFIC LIGHT POLE	SWBT	SOUTHWESTERN BELL TELEPHONE CO.
GL	GROUND/SPOT LIGHT	WTR	WATER
PP	POWER POLE	UG	UNDERGROUND
PP/T	POWER POLE W/TRANSFORMER	FND	FOUND
PP/AT	POWER POLE W/LIGHT	H.C.C.F.	HARRIS COUNTY CLERK FILE
PP/CT	POWER POLE W/CONDUIT	H.C.D.R.	HARRIS COUNTY DEED RECORDS
MP	METER POLE	H.C.M.R.	HARRIS COUNTY MAP RECORDS
SP	SERVICE POLE	IP	IRON PIPE
GA	GUY ANCHOR	IR	IRON ROD
OP	OVERHEAD POWER LINE	NO.	NUMBER
WF	WROUGHT IRON FENCE	PG.	PAGE
WF	WOOD FENCE	R.O.W.	RIGHT-OF-WAY
CF	CHAINLINK FENCE	SQ. FT.	SQUARE FEET
GP	GATE POST	VOL.	VOLUME
PL	PER PLANS	F.C.	FILM CODE
APPROX.	APPROXIMATE	B.L.	BUILDING LINE
U.E.	UTILITY EASEMENT	U.E.	UTILITY EASEMENT
4	SIGN	○	TREE/SHRUB

#### FLOOD INFORMATION



A Map\FM48157C0105L.t

## TOPOGRAPHIC SURVEY

C0.2

#### REVISIONS

DATE	REASON	BY

BENCHMARK PUBLISHED ELEVATION - 115.26'  
HARRIS COUNTY FLOODPLAIN REFERENCE MARK NUMBER 190045, BRASS DISK STAMPED 190045 ON BRIDGE AT CINCO RANCH BOULEVARD AND UPPER BUFFALO BAYOU LOCATED ON DOWNSTREAM CONCRETE WALK, ON NE CORNER OF BRIDGE KEY MAP 48157C0105, THE BARKER WATERSHED NEAR STREAM T100-00-00. (NAVD 1988, 2001 ADJUSTED)

TEMPORARY BENCHMARK NO 1 ELEVATION - 120.41'  
BRASS DISK ON CURB INLET LOCATED ON THE EASTERLY SIDE OF SPRING GREEN BOULEVARD, 184' +/- NORTH OF F.M. 1093.

TEMPORARY BENCHMARK NO 2 ELEVATION - 123.30'  
CUT BOX ON CONCRETE BASE OF LOWE'S HOME IMPROVEMENT CENTERS MONUMENT SIGN ON THE NORTH SIDE OF F.M. 1093, APPROX. 1000' WEST OF SPRING GREEN BOULEVARD

#### GENERAL NOTES

- SURVEYOR DID NOT ABSTRACT SUBJECT PROPERTY. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT OR ABSTRACTORS CERTIFICATE AND WOULD BE SUBJECT TO ANY AND ALL CONDITIONS OR RESTRICTIONS THAT A CURRENT TITLE REPORT OR ABSTRACTORS CERTIFICATE MAY DISCLOSE.
- BEARINGS WERE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE (NAD83).
- ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP (FIRM) FOR FORT BEND COUNTY, TEXAS, MAP NO. 48157C0105, REVISED/DATE APRIL 02, 2017, THE SUBJECT TRACT APPEARS TO BE WITHIN UNSHADED ZONE "X". THIS DETERMINATION WAS DONE BY GRAPHIC PLOTTING AND IS APPROXIMATE ONLY. AND HAS NOT BEEN FIELD VERIFIED. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, ON RARE OCCASIONS FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF WINDROSE LAND SERVICES, INC.
- DEVELOPMENT OF THIS TRACT IS SUBJECT TO REQUIREMENTS PER CITY OF HOUSTON ORDINANCE NO. 1999-262 WHICH STIPULATES PLATTING AND SETBACK CONSTRAINTS. PROPOSED USAGE OF THIS TRACT WILL DETERMINE ACTUAL BUILDING SETBACK LINE(S) ALONG ANY ADJOINING STREETS. REFER TO CITY OF HOUSTON BUILDING CODES TO ESTABLISH MINIMUM PUBLISHED SETBACK REQUIREMENTS. ULTIMATELY THE CITY OF HOUSTON PLANNING COMMISSION WILL DETERMINE REQUIRED SETBACKS UPON REVIEW OF PLANS OR PLATS SUBMITTED TO SAID COMMISSION. THIS TRACT MAY REQUIRE PLATTING AS A CONDITION FOR RECEIVING BUILDING PERMITS.
- READILY VISIBLE IMPROVEMENTS AND UTILITIES WERE LOCATED WITH THIS SURVEY. NO SUBSURFACE PROBING, EXCAVATION OR EXPLORATION WAS PERFORMED BY WINDROSE LAND SERVICES, INC.
- ENVIRONMENTAL AND DRAINAGE ISSUES ARE BEYOND THE SCOPE OF THIS SURVEY.
- THE SQUARE FOOTAGE TOTALS SHOWN HEREON ARE BASED ON THE MATHEMATICAL CLOSURE OF THE COURSES AND DISTANCES REFLECTED ON THE SURVEY. IT DOES NOT INCLUDE THE TOLERANCES THAT MAY BE PRESENT DUE TO THE POSITIONAL ACCURACY OF THE BOUNDARY MONUMENTATION.
- FENCES SHOWN HEREON WITH DIMENSIONAL TIES ARE SHOWN WHERE THEY ARE PHYSICALLY MEASURED. THE FENCE MAY MEANDER BETWEEN MEASURED LOCATIONS.
- ELEVATIONS SHOWN TO THE NEAREST TENTH ARE NATURAL GROUND SURFACE ELEVATIONS AND ELEVATIONS SHOWN TO THE NEAREST HUNDRETH ARE SOLID SURFACE ELEVATIONS.
- GAS, SANITARY, STORM, TELEPHONE AND WATER LINES SHOWN HEREON ARE BASED ON UTILITY PLANS ACQUIRED FROM CENTERPOINT ENERGY, A.T.&T. AND CINCO SOUTHWEST M.U.D. NO. 2 AND WERE FIELD VERIFIED WHERE POSSIBLE. OTHER UTILITY PLANS OR INFORMATION MAY EXIST NOT KNOWN TO THIS COMPANY.
- SURVEYOR DID NOT PHYSICALLY ENTER MANHOLES. UNDERGROUND PIPE SIZES WERE DETERMINED BY A "MEASURE DOWN" METHOD FROM TOP OF MANHOLE RIM OR TOP OF GRATE OR TOP OF CURB AND WERE COMPARED WITH UTILITY PLANS WHERE POSSIBLE.
- SURVEYOR HAS CONTACTED DIGTESS FOR LOCATION OF BURIED UTILITY AND FIBER OPTIC LINES PRIOR TO THIS SURVEY. SURVEYOR CANNOT CERTIFY OR GUARANTEE THE ACCURACY OR COMPLETENESS OF THIS REQUEST. OTHER UNDERGROUND UTILITY LINES MAY EXIST NOT KNOWN TO THIS COMPANY. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT DIGTESS OR OTHER UTILITY NOTIFICATION SERVICES FOR LOCATION OF UNDERGROUND UTILITIES, PRIOR TO CONSTRUCTION.

#### SURVEYOR'S CERTIFICATION

I DO HEREBY CERTIFY TO THE ABOVE LISTED THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND AND WAS PERFORMED UNDER MY SUPERVISION. THAT THIS PLAT CORRECTLY REPRESENTS THE PROPERTY LEGALLY DESCRIBED HEREON. THAT THE FACTS FOUND AT THE TIME OF THIS SURVEY SHOW THE IMPROVEMENTS AND THAT THERE ARE NO VISIBLE ENROACHMENTS APPARENT ON THE GROUND, EXCEPT AS SHOWN. THIS SURVEY SUBSTANTIALLY CONFORMS TO THE CURRENT TEXAS SOCIETY OF PROFESSIONAL SURVEYORS STANDARDS AND SPECIFICATIONS FOR A CATEGORY 6, CONDITION 1 SURVEY, TO THE BEST OF MY KNOWLEDGE.

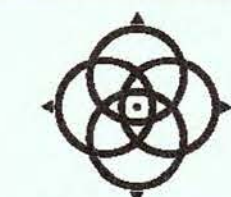
#### PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

03/01/17

ROBERT KNESS  
Registered Professional Land Surveyor  
Texas Registration No. 54986

DATE



**WINDROSE**  
LAND SURVEYING & PLATTING  
3200 WILCREST, SUITE 325 | HOUSTON, TX 77042 | 713.458.2281  
FIRM REGISTRATION NO. 10108800 | WINDROSESERVICES.COM

TOPOGRAPHIC SURVEY OF  
1.2536 ACRE / 54,608 SQ. FT.  
ALL OF RESERVE "C" OF CROSSING AT CINCO RANCH  
PLAT NO. 20140058, F.B.C.P.R.  
SITUATED IN THE  
I & G.N. R.R. CO. SURVEY, ABSTRACT NO. 365  
FORT BEND COUNTY, TEXAS

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FIELDED BY: MO CHECKED BY: KR JOB NO. 50050-RESERVE E TOPO  
DRAWN BY: RK DATE: 03/01/17 SHEET NO. 1 OF 1

Massi 5/30/17



STATE OF TEXAS  
COUNTY OF FORT BEND

We, HRC Partners # 3, LLC acting by and through Richard Rainer, Manager and Thor Ranch, LLC, a Delaware limited liability company, acting by and through its sole member Thor Ranch Holdings, LLC, a Delaware limited liability company, acting by and through its sole member Thor Urban Operating Fund, LP, a Delaware limited partnership, acting by and through its general partner Thor Operating Fund, LLC, a Delaware limited liability company, acting by and through Morris Misry, Vice President, hereinafter referred to as the Owners of the 32.7025 acre tract described in the above and foregoing map of CROSSING AT CINCO RANCH PARTIAL REPLAT NO. 1, do hereby make and establish said subdivision and development plan of said property according to all laws, dedications, restrictions, and notations on said maps or plat according to all laws, dedications, restrictions, and notations on said maps or plat and hereby dedicate to the use of the public forever, all streets (except those streets designated as private streets, or permanent access easements), alleys, paths, water courses, drains, easements and public places shown thereon for the purposes and considerations therein expressed; and do hereby bind ourselves, our heirs, successors and assigns to warrant and forever defend the title on the land so dedicated.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional eleven feet, six inches (11'6") for ten feet (10'0") perimeter ground easements or seven feet, six inches (7'6") for fourteen feet (14'0") perimeter ground easements or five feet, six inches (5'6") for sixteen feet (16'0") perimeter ground easements, from a plane sixteen feet (16'0") above the ground level upward, located adjacent to and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals twenty one feet, six inches (21'6") in width.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional ten feet (10'0") for ten feet (10'0") back-to-back ground easements, or eight feet (8'0") for fourteen feet (14'0") back-to-back ground easements or seven feet (7'0") for sixteen feet (16'0") back-to-back ground easements, from a plane sixteen feet (16'0") above the ground level upward, located adjacent to both sides and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals thirty feet (30'0") in width.

FURTHER, Owners do hereby covenant and agree that all of the property within the boundaries of this plat is hereby restricted to prevent the drainage of any septic tanks into any public or private street, permanent access easement, road or alley or any drainage ditch, either directly or indirectly.

FURTHER, Owners do hereby dedicate to the public a strip of land twenty (20) feet wide on each side of the center line of any and all bays, creeks, ditches, ravines, draws, sloughs or other natural drainage courses located in said plat, as easements for drainage purposes, giving the City of Houston, Fort Bend County, or any other governmental agency, the right to enter upon said easement at any and all times for the purpose of construction and maintenance of drainage facilities and structures.

FURTHER, Owners do hereby covenant and agree that all of the property within the boundaries of this subdivision and adjacent to any drainage easement, ditch, gully, creek or natural drainage way shall hereby be restricted to keep such drainage ways and easements clear of fences, buildings, excessive vegetation and other obstructions to the operation and maintenance of the drainage facility and that such obstructions shall not be permitted to drain directly into this easement except by means of an approved drainage structure.

FURTHER, we do hereby acknowledge the receipt of the "Orders for Regulation of Outdoor Lighting in the Unincorporated Areas of Fort Bend County, Texas", and do hereby covenant and agree and shall comply with this order as adopted by Fort Bend County Commissioners' Court on March 23, 2004, and any subsequent amendments.

IN TESTIMONY WHEREOF, Thor Ranch, LLC a Delaware limited liability company, acting by and through its sole member Thor Ranch Holdings, LLC, a Delaware limited liability company, acting by and through its sole member Thor Urban Operating Fund, LP, a Delaware limited partnership, acting by and through its general partner Thor Operating Fund, LLC, a Delaware limited liability company has caused these presents to be signed by Morris Misry, Vice President, thereunto authorized this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

By: Thor Ranch, LLC  
By: Thor Ranch Holdings, LLC, its Sole Member  
By: Thor Urban Operating Fund, LP, its Sole Member  
By: Thor Operating Fund, LLC, its General Partner  
By: Morris Misry  
Vice President

STATE OF NEW YORK  
COUNTY OF NEW YORK

Before me, the undersigned authority, on this day personally appeared Morris Misry, Vice President of Thor Operating Fund, LLC, the General Partner of Thor Urban Operating Fund, LP, the Sole Member of Thor Ranch Holdings, LLC, the Sole Member of Thor Ranch, LLC, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed, and in the capacity therein and herein set out, and as the act and deed of said corporation.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 6th day of August, 2015.

Camille Falzarano  
Notary Public, State of New York  
No. 01FA0075263  
Qualified in Nassau County  
Commission Expires June 9, 2018

Notary Public in and for the  
State of New York  
6-3-18  
My Commission Expires:

I, Mike Kurkowski, am authorized under the laws of the State of Texas to practice the profession of surveying and hereby certify that the above subdivision is true and accurate; was prepared from an actual survey of the property made under my supervision on the ground; that, except as shown all boundary corners, angle points, points of curvature and other points of reference have been marked with iron (or other objects of a permanent nature) pipes or rods having an outside diameter of not less than five eighths (5/8) inch and a length of not less than three (3) feet; and that the plat boundary corners have been tied to the Texas Coordinate System of 1983, south central zone.



Mike Kurkowski  
Registered Professional Land Surveyor  
Texas Registration No. 5101

I, Patrick L. Carrigan, a Professional Engineer registered in the State of Texas to do hereby certify that this plat meets all requirements of Fort Bend County, Texas, to the best of my knowledge.



Patrick L. Carrigan  
Texas Registration No.  
ALJ-Lindsay, LLC

This is to certify that the Planning Commission of the City of Houston, Texas, has approved this plat and subdivision of CROSSING AT CINCO RANCH PARTIAL REPLAT NO. 1 in conformance with the laws of the State of Texas and the ordinances of the City of Houston as shown hereon and authorized recording of this plat this day of \_\_\_\_\_, 2015.

By: Mark A. Kilkenny or M. Sonny Garza  
Chair Vice Chairman  
By: Patrick Walsh, P.E.  
Secretary

#### GENERAL NOTES

- Bearings were based on the Texas State Plane Coordinate System, South Central Zone (NAD83).
- All coordinates shown hereon are Texas South Central Zone No. 4204 State Plane Grid Coordinates (NAD 83), and may be brought to surface by applying the following scale factor 0.99983441.
- Unless otherwise indicated, the building line (b.l.), whether one or more, shown on this subdivision plat is established in accordance with the applicable provisions of Chapter 42, Code of Ordinances, City of Houston, Texas, in effect at the time this plat was approved, which may be amended from time to time.
- Primary Benchmark is Harris County Floodplain Reference Mark Number 190045, brass disk stamped 190045 on bridge at Cinco Ranch Boulevard and upper Buffalo Bayou located on downstream concrete walk, on northeast corner of bridge in Key Map 4855 in the Barker watershed near stream T100-00-00.  
Elevation=115.26 feet, NAVD 1988, 2001 adjusted.  
Temporary Benchmark is a brass disk on curb inlet located on the easterly side of Spring Green Boulevard, 400 +/- north of F.M. 1093.  
Elevation=120.41 feet, NAVD 1988, 2001 adjusted.
- According to the Federal Emergency Management Agency (FEMA), Flood Insurance Rate Map (FIRM) for Fort Bend County, Texas, Map No. 481570100J revised/dated January 3, 1997, the subject tract appears to lie within unshaded zone "A".
- The top of all floor slab elevations shall be a minimum of 122.5 feet above Mean Sea Level. The top of slab elevation at any point on the perimeter of the slab shall not be less than 18 inches above natural ground.
- The drainage system for this subdivision is designed in accordance with the Fort Bend County Drainage Criteria Manual which allows street ponding with intense rainfall events.
- All drainage easements shall be kept clear of fences, building, vegetation, and other obstructions for the purpose of the operation and maintenance of the drainage facility.
- All property to drain into a drainage easement only through an approved drainage structure.
- Pipeline easements within the platted area shown hereon.
- This plat was prepared to meet City of Houston and Fort Bend County requirements.
- Sidewalks shall be built or caused to be built not less than 5 feet in width on both sides of all dedicated rights-of-way within said plat and on the contiguous right-of-way of all perimeter roads surrounding said plat, in accordance with the A.D.A.
- This plat lies wholly within Fort Bend County Lighting Zone LZ3
- This plat is subject to the terms, conditions and provisions as set out by the "Regulations of Fort Bend County for the Placement of Signs Visible from the Motor-Trafficked Way of a Toll Road", as adopted by Commissioners' Court on January 24, 2006, and as amended on August 27, 2013.
- Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public Utilities may put solid wooden posts and paneled wooden fences back up, but generally will not replace with new fencing.

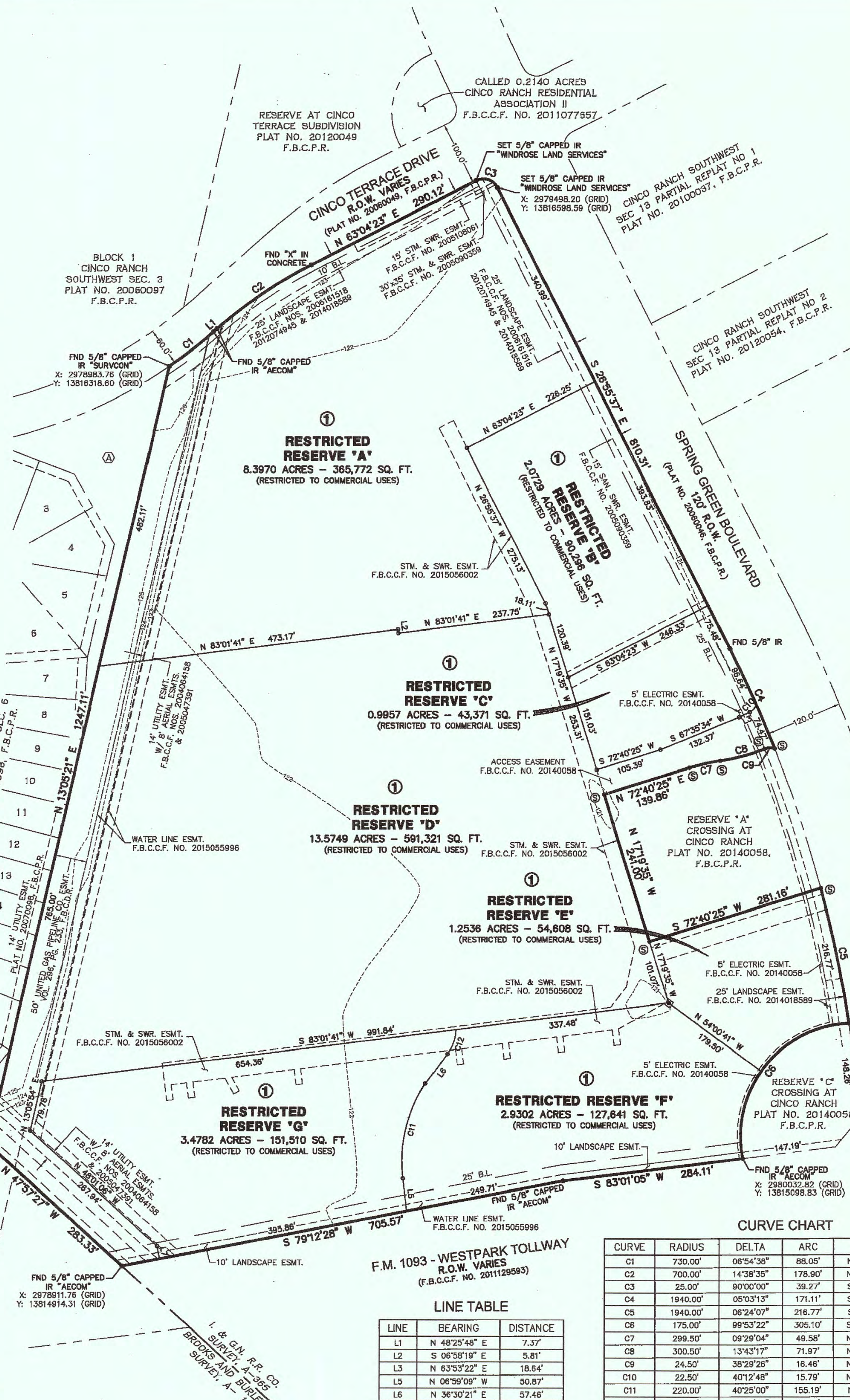
#### DISTRICT NAMES

WCID	N/A
MUD	C.S.M.U.D. 2
LID	N/A
DID	FBC DRAINAGE
SCHOOL	KATY ISD
FIRE	F.B.E.S.D. NO. 4
IMPACT FEE AREA	N/A
CITY OR CITY ETJ	CITY OF HOUSTON ETJ
UTILITIES CO.	CENTERPOINT ENERGY

#### ABBREVIATIONS

ESMT. - EASEMENT	R.O.W. - RIGHT-OF-WAY
FND - FOUND	SQ. FT. - SQUARE FEET
F.B.C.C.F. - FORT BEND COUNTY CLERK FILE	VOL. - VOLUME
F.B.C.D.R. - FORT BEND COUNTY DEED RECORDS	B.L. - BUILDING LINE
F.B.C.P.R. - FORT BEND COUNTY PLAT RECORDS	W.L.E. - WATER LINE EASEMENT
IP - IRON PIPE	S.S.E. - SANITARY SEWER EASEMENT
IR - IRON ROD	U.E. - UTILITY EASEMENT
NO. - NUMBER	Ⓢ - SET 5/8" CAPPED IR "WINDROSE LAND SERVICES"
PG. - PAGE	A.D.A. - AMERICANS WITH DISABILITIES ACT

RESIDUE OF  
CALLED 62.2830 ACRES  
JANE HARWOOD McALL  
AND STEPHEN HARWOOD  
VOL. 707, PG. 701,  
F.B.C.D.R.



F.M. 1093 - WESTPARK TOLLWAY  
R.O.W. VARIES  
(F.B.C.C.F. NO. 2011128593)

#### LINE TABLE

LINE	BEARING	DISTANCE
L1	N 48°25'48" E	7.37'
L2	S 08°58'19" E	5.81'
L3	N 63°53'22" E	18.84'
L5	N 06°59'08" W	50.87'
L6	N 36°30'21" E	57.46'
L7	N 10°47'32" W	20.17'

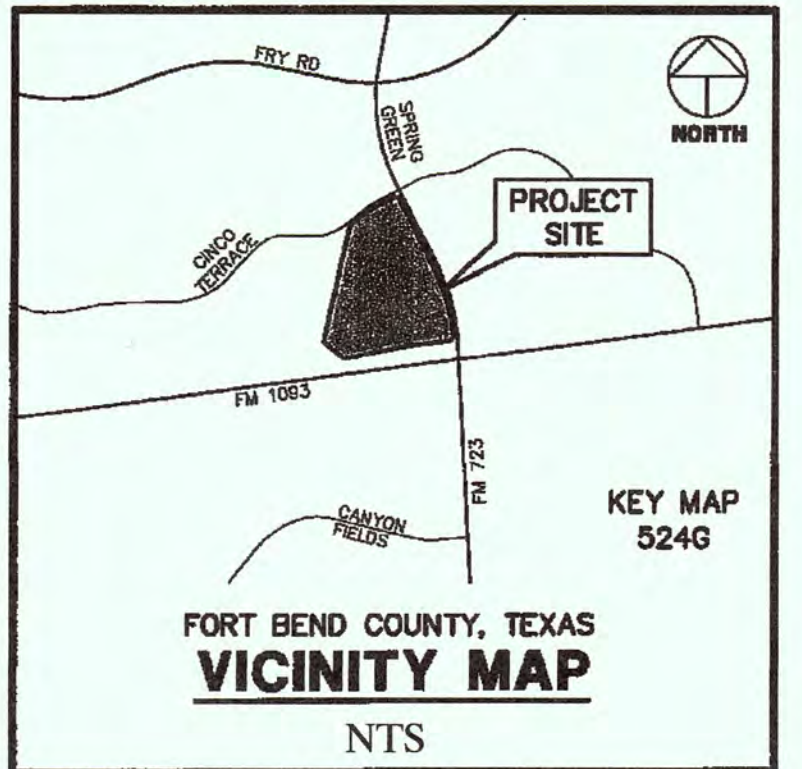
#### CURVE CHART

CURVE	RADIUS	DELTA	ARC	BEARING	CHORD
C1	730.00'	06°54'38"	88.05'	N 51°53'07" E	87.89'
C2	700.00'	14°38'35"	178.90'	N 55°45'08" E	178.41'
C3	25.00'	80°00'00"	39.27'	S 71°55'37" E	35.36'
C4	1940.00'	05°03'13"	171.11'	S 24°24'01" E	171.05'
C5	1940.00'	06°24'07"	216.77'	S 11°53'27" E	216.65'
C6	175.00'	89°53'22"	305.10'	S 38°24'17" W	267.90'
C7	299.50'	09°28'04"	49.58'	N 77°24'57" E	49.52'
C8	300.50'	13°43'17"	71.97'	N 75°17'50" E	71.79'
C9	24.50'	38°29'26"	16.46'	N 87°40'55" E	16.15'
C10	22.50'	40°12'48"	15.79'	N 43°45'58" E	15.47'
C11	220.00'	40°25'00"	155.19'	N 131°3'21" E	151.99'
C12	66.55'	34°37'38"	40.22'	N 191°11'32" E	39.61'



NORTH

NTS



I, Richard W. Stolleis, P.E., Fort Bend County Engineer, do hereby certify that the plat of this subdivision complies with all the existing rules and regulations of this Office as adopted by the Fort Bend County Commissioners' Court. However, no certification is hereby given as to the effect of drainage from this subdivision on the intercepting drainage artery, or parent stream, or on any other area or subdivision within the watershed.

Richard W. Stolleis, P.E.  
Fort Bend County Engineer

APPROVED by the Commissioners' Court of Fort Bend County, Texas, this, \_\_\_\_\_ day of \_\_\_\_\_, 2015.

Richard Morrison  
Commissioner, Precinct 1

Grady Prestage  
Commissioner, Precinct 2

Robert E. Hebert, Ph.D.  
County Judge

W. A. "Andy" Meyers  
Commissioner, Precinct 3

James Patterson  
Commissioner, Precinct 4

I, Laura Richard, County Clerk in and for Fort Bend County, hereby certify that the foregoing instrument with its certificate of authentication was filed for recordation in my office on \_\_\_\_\_, 2015, at \_\_\_\_\_ o'clock \_\_\_\_\_ M., in Plat No. \_\_\_\_\_ of the Plat Records of Fort Bend County, Texas.

Witness my hand and seal of office, at Richmond, Texas, the day and date last above written.

Dianne Wilson  
County Clerk  
Fort Bend County, Texas

By: \_\_\_\_\_  
Deputy

PLAT  
C0.3

### CROSSING AT CINCO RANCH PARTIAL REPLAT NO 1

A SUBDIVISION OF 32.7025 ACRES OR 1,424,520 SQUARE FEET OF LAND BEING A REPLAT OF RESERVE "B", CROSSING AT CINCO RANCH, RECORDED IN PLAT NO. 20140058, F.B.C.P.R. SITUATED IN THE I. & G.N.R.R. CO. SURVEY, A-365 FORT BEND COUNTY, TEXAS

1 BLOCK 7 RESERVES 0 LOTS  
REASON FOR REPLAT: TO CREATE SEVEN (7) RESERVES  
JULY, 2015

#### Owners

Thor Ranch, LLC & HRC Partners # 3, LLC  
25 West 38th Street, 10th Floor  
New York, NY 10018  
(212) 529-5044

Windrose Land Services, Inc.  
3200 Wilcrest, Suite 325  
Houston, Texas 77042  
Phone (713) 458-2281 Fax (713) 461-1151  
Firm Registration No. 10108800

Professional Development Consultants  
Land Surveying, Platting, Project Management, GIS Services



Magd 5/30/17





Civil Engineers  
5629 FM 1960 W., Suite 314  
Houston, TX 77069  
281.301.5955  
FRN F-11526

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Thor Ranch II, LLC  
25 W. 39th St.  
10th Floor  
New York, NY 10018

ALJ Lindsey  
5629 FM 1960 West  
Suite 314  
Houston, Texas 77061  
281.301.5955

CJG Engineers  
3200 Wilcrest, Suite 300  
Houston, Texas 77042  
713.780.3345  
FIRM #: E-170

Salas O'Brien  
10930 W. Sam Houston  
Pkwy N  
Suite 900  
Houston, Texas 77064  
832.664.0642

**CMB Landscape  
Architecture**  
18135 FM 362  
Navasota, Texas 77868  
832.428.1209

www.identityarchitects.com

713.595.2150

1111 Travis Street, Houston, Texas 77002



BENCHMARK:  
HARRIS COUNTY FLOODPLAIN REFERENCE MARK NUMBER 190045  
BRASS DISK STAMPED 190045 ON BRIDGE AT CINCO RANCH BLVD  
AND UPPER BUFFALO BAYOU LOCATED ON DOWNSTREAM  
CONCRETE WALK, ON NE CORNER OF BRIDGE IN KEY MAP 485S IN  
THE BARKER WATERSHED NEAR STREAM T100-00-00.  
ELEVATION = 115.26' (NAVD88, 2001 ADJ.)

TEMPORARY BENCHMARK "A":  
BRASS DISK ON CURB INLET LOCATED ON THE EASTERLY SIDE OF  
SPRING GREEN BLVD, 184' +/- NORTH OF F.M. 1093.  
ELEVATION = 120.41'

TEMPORARY BENCHMARK "B":  
CUT BOX ON CONCRETE BASE OF LOWE'S HOME IMPROVEMENT  
CENTERS MONUMENT SIGN ON THE NORTH SIDE OF F.M. 1093,  
APPROX. 1000' WEST OF SPRING GREEN BLVD.  
ELEVATION = 123.30'

EXISTING FEATURES TO BE REMOVED

- ① CONCRETE CURB
- ② DITCH
- ③ STORM MANHOLE (SEE NOTE 5)
- ④ TREE

 EXISTING CURB (TO BE REMOVED)

--- --- --- LIMITS OF DISTURBED AREA

SAWCUT

1. ALL SAWCUTS TO EXTEND FULL DEPTH OF EXISTING PAVEMENT, AND IN NO CASE SHALL THE PROPOSED CONCRETE PAVEMENT SECTION BE LESS THAN 24 INCHES IN WIDTH. CONTRACTOR TO SAW CUT ALONG ENTIRE EXISTING PAVEMENT AND ADJUST LOCATION OF SAWCUT TO ENSURE ADEQUATE WIDTH OF PROPOSED PAVEMENT.
2. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL FOR ALL WORK TO BE DONE IN RIGHT-OF-WAY ACCORDING TO THE LATEST MUTCD REQUIREMENTS.
3. CONTRACTOR TO CLEAR AND GRUB PROJECT SITE AS NECESSARY FOR INSTALLATION OF PROPOSED FACILITIES. CLEARING AND GRUBBING CONSISTS OF REMOVAL AND DISPOSAL OF TREES, STUMPS, BRUSH, ROOTS, VEGETATION, LOGS, LIMBSH AND ANY OTHER EXCEPTIONABLE MATTER WITHIN THE DESIGNATED AREA. CONTRACTOR TO REMOVE STUMPS AND ROOTS WITHIN CLEARING LIMITS TO MINIMUM DEPTH OF TWO (2') FEET BELOW NATURAL GROUND ELEVATION. CLEARED AND LOGGED MATERIAL TO BE REMOVED FROM PROJECT SITE BY CONTRACTOR, TO BE REMOVED FROM THE WORK SITE OR DISPOSED OF AT NO EXTRA COST TO THE OWNER.
4. CONTRACTOR RESPONSIBLE TO CLEAR AND DEMO ALL WITHIN LIMITS OF DISTURBANCE LINE.
5. CONTRACTOR TO FIELD VERIFY EXISTING ONSITE DRAINAGE FACILITIES AND PROVIDE INFORMATION TO ENGINEER IF NOT DRAINING.

MULTIPLE EXISTING PUBLIC AND PRIVATE UTILITY LINES EXIST ON THIS SITE. THE UTILITY LINES SHOWN ON THESE DRAWINGS REFLECT INFORMATION OBTAINED FROM RECORD DRAWINGS AND MAY NOT INCLUDE ALL EXISTING UTILITIES. CONTRACTOR IS TO USE EXTREME CAUTION DURING ALL CONSTRUCTION ACTIVITIES AND IS SOLELY RESPONSIBLE FOR DAMAGE TO EXISTING FACILITIES.

AUTHORIZATION IS VALID FOR 1 YEAR.

APPROVED: *Maeil*

DATE: 5/30/17

PROJECT NAME AND ADDRESS:

1 STORY RETAIL SHELL

9333 SPRING GREEN BLVD.  
KATY, TX 77494

DRAWN

CHECKED:

REFERENCE NUMBER:

14021-06

TITLE:

## DEMOLITION PLAN

DRAWING NUMBER:

C1.0

CALL BEFORE YOU DIG  
TEXAS ONE CALL PARTICIPANTS REQUEST  
72 HOURS NOTICE BEFORE YOU DIG, DRILL  
OR BLAST - STOP CALL  
TEXAS ONE CALL SYSTEM  
1-800-545-6005  
IN HOUSTON  
(713)-223-4567





**OWNER:**  
Thor Ranch II, LLC  
25 W. 39th St.  
10th Floor  
New York, NY 10018

**CIVIL:**  
ALJ Lindsey  
5629 FM 1960 West  
Suite 314  
Houston, Texas 77069  
281.301.5955

**STRUCTURE:**  
CJG Engineers  
3200 Wilcrest, Suite 305  
Houston, Texas 77042  
713.780.3345  
FIRM #: F-170

**MEP:**  
Salas O'Brien  
10930 W. Sam Houston  
Pkwy N  
Suite 900  
Houston, Texas 77064  
832.664.0642

**LANDSCAPE:**  
CMB Landscape  
Architecture  
18135 FM 362  
Navasota, Texas 77868  
832.428.1209

**identity**ARCHITECTS

111 Travis Street, Houston, Texas 77002  
713.595.2150  
[www.identityarchitects.com](http://www.identityarchitects.com)

[illegible]

PROJECT NAME AND ADDRESS:

9333 SPRING GREEN BLVD.  
KATY, TX 77494

DRAWN: \_\_\_\_\_ CHECKED: \_\_\_\_\_

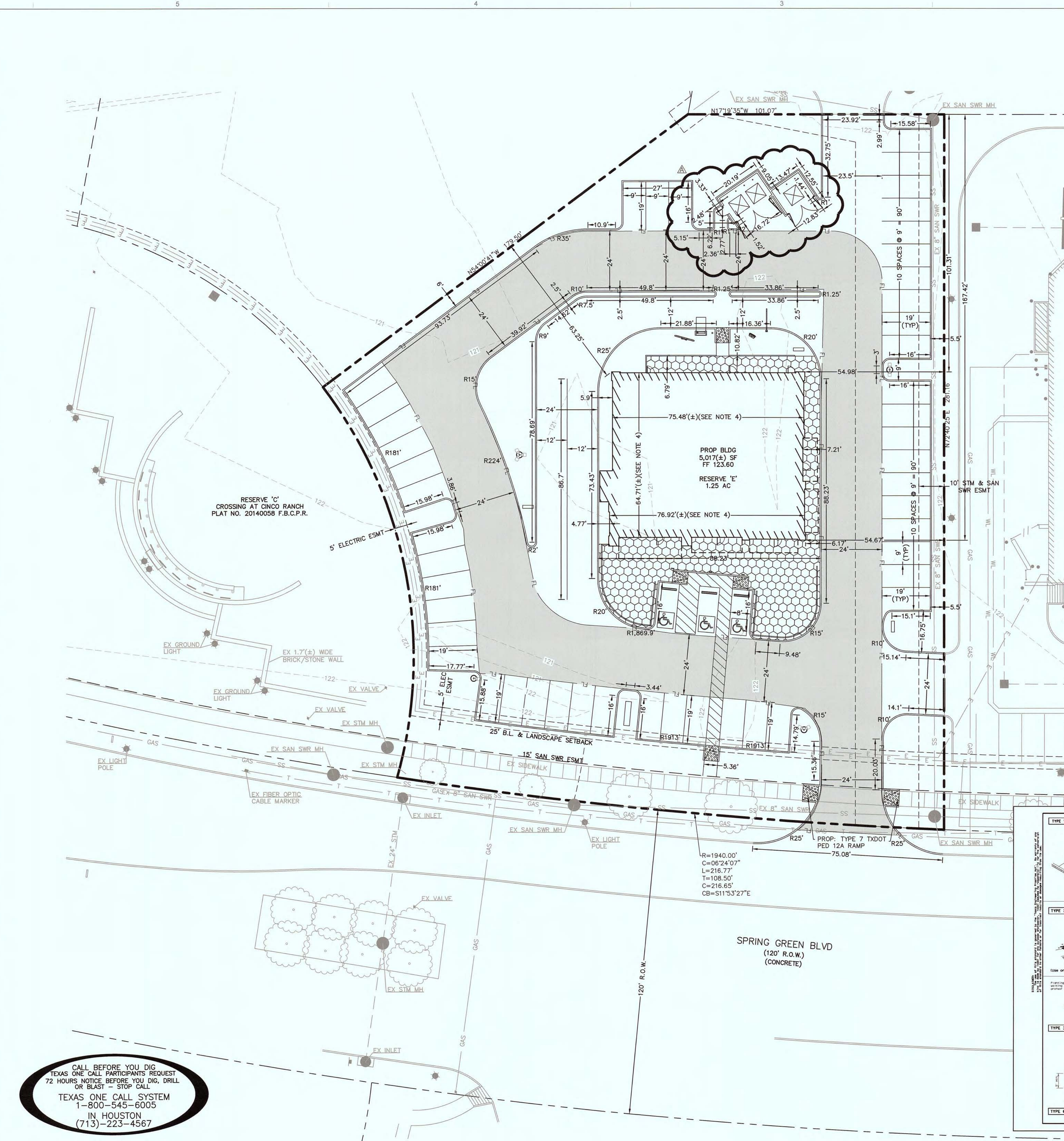
REFERENCE NUMBER: 14021-06

TITLE:

## DIMENSION CONTROL PLAN

DRAWING NUMBER:

### C1.1





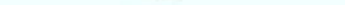
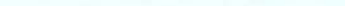

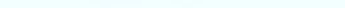
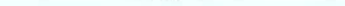



BENCHMARK:  
HARRIS COUNTY FLOODPLAIN REFERENCE MARK NUMBER 190045  
BRASS DISK STAMPED 190045 ON BRIDGE AT CINCO RANCH BLVD  
AND UPPER BUFFALO BAYOU LOCATED ON DOWNSTREAM  
CONCRETE WALK, ON NE CORNER OF BRIDGE IN KEY MAP 4855  
THE BARKER WATERSHED NEAR STREAM T100-00-00.  
ELEVATION = 115.26' (NAVD88, 2001 ADJ.)

TEMPORARY BENCHMARK "A":  
BRASS DISK ON CURB INLET LOCATED ON THE EASTERLY SIDE OF  
SPRING GREEN BLVD, 184' +/- NORTH OF F.M. 1093.  
ELEVATION = 120.41'

TEMPORARY BENCHMARK "B":  
CUT BOX ON CONCRETE BASE OF LOWE'S HOME IMPROVEMENT  
CENTERS MONUMENT SIGN ON THE NORTH SIDE OF F.M. 1093,  
APPROX. 1000' WEST OF SPRING GREEN BLVD.  
ELEVATION = 123.30'

### LEGEND

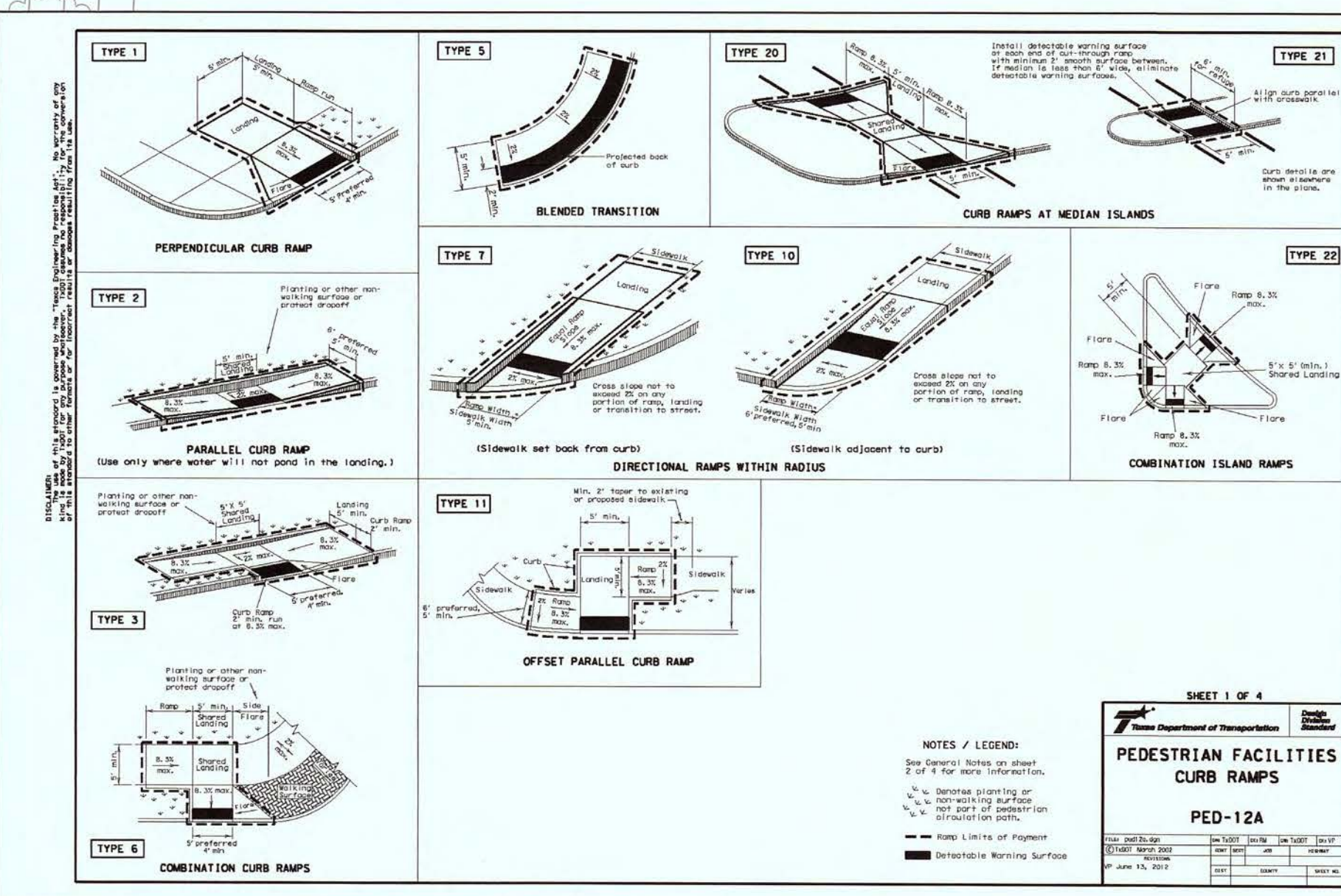
	PROPOSED FIRE LANE (RED STRIPING)
	PROPOSED BUILDING PERIMETER SIDEWALK
	PROPOSED CURB RAMP
	EX. MANHOLE
	EX. STORM SEWER
	EX. WATER LINE
	EX. SANITARY SEWER LINE
	EX. OVERHEAD POWER LINE
	EX. UNDERGROUND GAS LINE
	EX. CONTOUR

GENERAL NOTES

1. PAVEMENT DIMENSIONS AND RADII ARE FACE TO FACE OF CURB, UNLESS OTHERWISE NOTED.
2. RADII ARE 3' UNLESS OTHERWISE NOTED.
3. REFER TO SITE ELECTRICAL PLAN FOR PROPOSED SITE LIGHTING LAYOUT.
4. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING/FOUNDATION DIMENSIONS.

### FIRE LANE MARKING NOTES

CURBS LOCATED ON EITHER SIDE OF A FIRE LANE SHALL BE PAINTED RED. RED STRIPES SHALL BE PLACED ALONG THE PAVEMENT WHERE THERE IS NO CURB, WHERE A FIRE LANE PASSES BETWEEN HEAD-IN PARKING SPACES, THE RED STRIPES SHOULD BE PLACED ALONG THE REAR OF THESE SPACES CLEARLY DEFINING THE FIRE LANE. PAINTED CURBS AND FIRE LANE STRIPES SHALL ALSO BE CONSPICUOUSLY AND LEGIBLY MARKED WITH THE WARNING **FIRE LANE-TOW AWAY ZONE** IN WHITE LETTERS AT LEAST THREE (3) INCHES IN HEIGHT, AT INTERVALS NOT EXCEEDING (50) FEET



AUTHORIZATION IS VALID FOR 1 YEAR

APPROVED: *Massi*

DATE: 5/30/17

CALL BEFORE YOU DIG  
TEXAS ONE CALL PARTICIPANTS REQUEST  
72 HOURS NOTICE BEFORE YOU DIG, DRILL  
OR BLAST - STOP CALL

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IN HOUSTON  
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**Civil Engineers**  
5629 FM 1960 W., Suite 314  
Houston, TX 77069  
281.301.5955  
FRN F-11526

**OWNER:**

CIVIL:

STRUCTURE:

MEP:

**LANDSCAPE:**

# identityARCHITECTS

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713.595.2150

111 Travis Street, Houston, Texas 77002

PROJECT NAME AND ADDRESS:

9333 SPRING GREEN BLVD.  
KATY, TX 77494

DRAWN: \_\_\_\_\_ CHECKED: \_\_\_\_\_

REFERENCE NUMBER: 14021-06

TITLE:

DRAWING NUMBER:

C2.0



TEMPORARY BENCHMARK "A":  
BRASS DISK ON CURB INLET LOCATED ON THE EASTERLY SIDE OF  
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TEMPORARY BENCHMARK "B":  
CUT BOX ON CONCRETE BASE OF LOWE'S HOME IMPROVEMENT  
CENTERS MONUMENT SIGN ON THE NORTH SIDE OF F.M. 1093,  
APPROX. 1000' WEST OF SPRING GREEN BLVD.  
ELEVATION = 123.30'

_____	SS	_____	PROPOSED SANITARY SEWER
_____	WL	_____	PROPOSED WATER LINE
_____	FIRE	_____	PROPOSED FIRE LINE
_____		_____	EX. STORM SEWER
_____	WL	_____	EX. WATER LINE
_____	SS	_____	EX. SANITARY SEWER LINE
_____	GAS	_____	EX. UNDERGROUND GAS LINE
_____	100	_____	EX. CONTOUR

1. REFERENCE SANITARY SEWER, FIRE, AND WATER LINE NOTES SHEET CO-1 FOR PIPE MATERIAL REQUIREMENTS.
2. REFER TO SITE ELECTRICAL PLAN FOR PROPOSED SITE LIGHTING LAYOUT.
3. REFERENCE MEP PLANS FOR CONTINUATION OF SANITARY AND WATER FACILITIES INSIDE BUILDING.
4. ALL CLEANOUTS LOCATED WITHIN CONCRETE PAVEMENT TO BE TRAFFIC RATED.
5. THE EXISTING SANITARY SEWER MANHOLE ALONG SPRING GREEN BLVD HAS A RIM ELEVATION OF 121.3'. THE PROPOSED FINISH FLOOR IS AT 123.50, WHICH EQUATES TO A DIFFERENCE OF 2.13'. THIS MEETS THE MINIMUM OF 12" BELOW THE PROPOSED FINISH FLOOR PER SECTION 510.1 OF THE 2006 IBC CODE.
6. ANY CONFLICT IN PLANS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO INSTALLATION.
7. PRIOR TO ORDERING MATERIALS, CONTRACTOR TO FIELD VERIFY SIZE, LOCATION, AND DEPTH OF EXISTING 16" WATER LINE ALONG SPRING GREEN BLVD. IF CONFLICT IS IDENTIFIED, CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY.
8. PRIOR TO CONSTRUCTION A PRE-CONSTRUCTION MEETING MUST BE HELD WITH BGE (KEVIN CUNNINGHAM, 832-782-8807) AND SEVERN TRENT SERVICES (BILL RICHMOND, 281-375-5963). PLEASE CONTACT THOSE INDIVIDUALS TO SCHEDULE THIS MEETING.
9. SEWER AND WATER CONNECTIONS AND FEES ARE HANDLED BY SEVERN TRENT SERVICES (BILL RICHMOND, 281-375-5963). PRIOR TO ANY CONNECTION A REVOLUTION CATCH BASIN REQUIRED TO BE GRANTED BY CINCO SOUTHWEST MUD 1. BGE (KEVIN CUNNINGHAM, 832-782-8807) HANDLES THE OBSERVATIONS OF THE STORM DRAIN CONNECTIONS.
10. ANY DISTURBANCE OF OR DAMAGE TO EXISTING CINCO SOUTHWEST MUD 1 OR CINCO SOUTHWEST MUD NO. 2 FACILITIES OR UNAUTHORIZED CHANGES THERE TO MAY RESULT IN A STOPPAGE OF WORK, UNCOVERING, REPAIR, OR REPLACEMENT OF FACILITIES.

MULTIPLE EXISTING PUBLIC AND PRIVATE UTILITY LINES EXIST ON THIS SITE. THE UTILITY LINES SHOWN ON THESE DRAWINGS REFLECT INFORMATION OBTAINED FROM RECORD DRAWINGS AND MAY NOT INCLUDE ALL EXISTING UTILITIES. CONTRACTOR IS TO USE EXTREME CAUTION DURING ALL CONSTRUCTION ACTIVITIES AND IS SOLELY RESPONSIBLE FOR DAMAGE TO EXISTING FACILITIES.

AUTHORIZATION IS VALID FOR 1 YEAR.

APPROVED: Mag: [Signature]  
DEVELOPMENT COORDINATOR

DATE: 5/30/17

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Civil Engineers  
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Houston, TX 77069  
281.301.5955  
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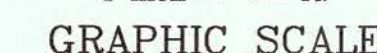
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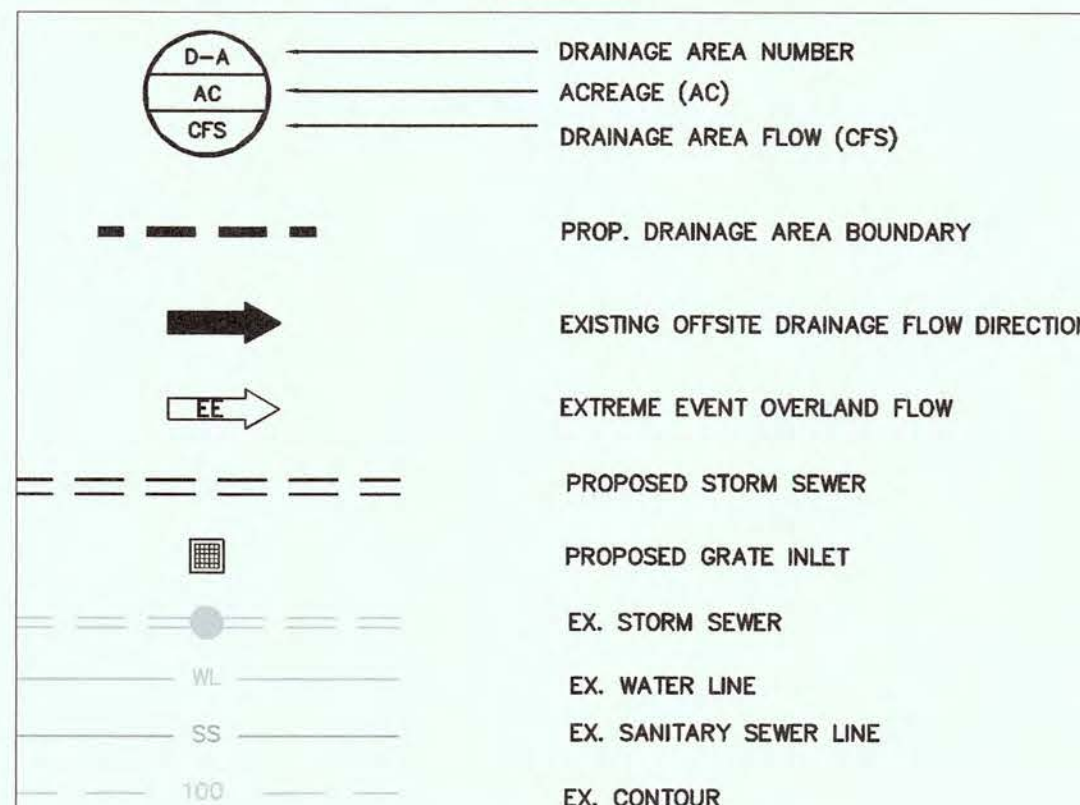


BENCHMARK:  
HARRIS COUNTY FLOODPLAIN REFERENCE MARK NUMBER 190045  
BRASS DISK STAMPED 190045 ON BRIDGE AT CINCO RANCH BLVD  
AND UPPER BUFFALO BAYOU LOCATED ON DOWNSTREAM  
CONCRETE WALK, ON NE CORNER OF BRIDGE IN KEY MAP 4855 IN  
THE BARKER WATERSHED NEAR STREAM T100-00-00.  
ELEVATION = 115.26' (NAVD88, 2001 ADJ.)

TEMPORARY BENCHMARK "A":  
BRASS DISK ON CURB INLET LOCATED ON THE EASTERLY SIDE OF  
SPRING GREEN BLVD, 184' +/- NORTH OF F.M. 1093.  
ELEVATION = 120.41'

TEMPORARY BENCHMARK "B":  
CUT BOX ON CONCRETE BASE OF LOWE'S HOME IMPROVEMENT  
CENTERS MONUMENT SIGN ON THE NORTH SIDE OF F.M. 1093,  
APPROX. 1000' WEST OF SPRING GREEN BLVD.  
ELEVATION = 123.30'

LEGEND



## GENERAL NOTES

1. REFERENCE STORM SEWER NOTES SHEET C0.1 FOR PIPE MATERIAL REQUIREMENTS.
2. REFERENCE MEP PLANS FOR EXACT CONTINUATION OF PROPOSED STORM SEWER INSIDE OF BUILDING.
3. FOR TYPE "A" INLET, JUNCTION BOX, TYPE "C" MANHOLE, TYPE "B" INLET, TRENCH DRAIN, AND BACKFILL DETAILS, SEE SHEET C7.2.
4. ANY CONFLICT IN PLANS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO INSTALLATION.
5. PRIOR TO ORDERING MATERIALS, CONTRACTOR TO FIELD VERIFY LOCATION & DEPTH OF EXISTING MANHOLE.
6. THE SITE ULTIMATELY OUTFALLS INTO CINCO SOUTHWEST CHANNEL DSE THE MAXIMUM 100-YR WATER SURFACE IN THAT OUTFALL CHANNEL IS ELEVATION 115.46.
7. PRIOR TO CONSTRUCTION A PRE-CONSTRUCTION MEETING MUST BE HELD WITH BGE (KEVIN CUNNINGHAM, 832-782-8807) AND SEVERN TRENT SERVICES (BILL RICHMOND, 281-375-5963). PLEASE CONTACT THOSE INDIVIDUALS TO SCHEDULE THIS MEETING.
8. SEWER AND WATER CONNECTIONS AND FEES ARE HANDLED BY SEVERN TRENT SERVICES (BILL RICHMOND, 281-375-5963). PRIOR TO ANY CONNECTION A RESERVATION OF CAPACITY IS REQUIRED TO BE OBTAINED BY CINCO SOUTHWEST MUD NO. 1, BGE (KEVIN CUNNINGHAM, 832-782-8807) HANDLES THE OBSERVATIONS OF THE STORM DRAIN CONNECTIONS.
9. ANY DISTURBANCE OF OR DAMAGE TO EXISTING CINCO SOUTHWEST MUD NO. 1 OR CINCO SOUTHWEST MUD NO. 2 FACILITIES OR UNAUTHORIZED CONSTRUCTION THAT RESULTS IN THE STORAGE OF WORK, UNCOVERING, REPAIR, OR REPLACEMENT OF FACILITIES.

### CROSSING TABLE

	SAN	STM	CLR
A	6" 116.36'	12" 117.98'	1.12
B	6" 116.59'	12" 118.39'	1.30
C	6" 117.39'	12" 118.78	0.80

## MAX PONDING DEPTH

DRAINAGE AREA	MAXIMUM PONDING DEPTH
A1	0.86'
A2	0.30
A3	0.20'
A4	0.35'
A3A	0.40'
B1	0.80'
B2	0.30'
B3	0.30'
B4	0.70'

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AUTHORIZATION IS VALID FOR 1 YEAR

APPROVED: *M. H. S.*

DATE: 5/30/17 <sup>(D)</sup>

TITLE:

## STORM SEWER PLAN

DRAWING NUMBER:

C3.0

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CUMULATIVE 3-YEAR STORM SEWER CALCULATIONS

Storm Sewer Design Analysis																Design Frequency: 3 years																			
Salata																100-Year Multiplier: 1.00																			
Spring Green Blvd & FM 1093																Downstream 25-year WS ELEV 117.76 feet																			
Fort Bend County, Texas																																			
Manhole No. From	to	Drainage Area (acres)	Total Area (acres)	Runoff Coefficient C	DA C * A	Total C * A	Time of Conc. (min)	Intensity I (in/hr)	Drainage Area Flow (cfs)	Total Flow (cfs)	Reach Length (ft)	Diameter (in) or Rise (ft)	Slope %	Manning's Roughness Coefficient "n"	Design Capacity (cfs)	Design Velocity (ft/sec)	Full Pipe Flow Area (sq ft)	Wetted Perimeter (ft)	Fall (ft)	Drop from Downstream Manhole (ft)	Flowline Elevation Upstream (ft)	Flowline Elevation Downstream (ft)	Minimum Depth Ratio (y/d or y/h)	Minimum W.S. Elev. Downstream (ft)	Actual Depth Ratio y/d or y/h	Actual Velocity (ft/sec)	Actual Flow per Barrel Area (sq ft)	Wetted Perimeter (ft)	Hydraulic Gradient %	Change in Head (ft)	Elevation of Hyd. Grad. Upstream (ft)	Elevation of Hyd. Grad. Downstream (ft)	Top of Pipe Elevation Upstream (ft)	Top of Pipe Elevation Downstream (ft)	Pvmt / Grate Elevation Upstream (ft)
A4	A3	0.22	0.22	0.80	0.18	0.18	22.66	4.08	0.72	0.72	88	12	0.450	0.013	2.4	3.0	0.8	3.1	0.40	0.00	118.20	117.80	0.37	118.17	0.57	1.59	0.45	1.69	0.112	0.10	118.47	118.37	119.20	118.80	121.35
A3	A2	0.17	0.54	0.80	0.14	0.43	23.97	3.96	0.54	1.71	106	12	0.450	0.013	2.4	3.0	0.8	3.1	0.48	0.00	117.80	117.32	0.62	117.94	0.73	2.82	0.61	2.03	0.306	0.32	118.37	118.05	118.80	118.32	121.20
A2	A1	0.08	0.62	0.80	0.06	0.50	24.19	3.94	0.25	1.95	107	12	0.450	0.013	2.4	3.0	0.8	3.1	0.48	1.00	117.32	116.84	0.68	117.52	0.93	2.58	0.76	2.57	0.261	0.28	118.05	117.77	118.32	117.84	122.20
A1	EX	0.14	1.27	0.80	0.23	0.73	25.43	3.83	0.89	2.79	40	24	0.200	0.013	10.1	3.2	3.1	6.3	0.08		115.84	115.76	0.35	116.46	1.00	0.89	3.14	6.28	0.015	0.01	117.77	117.76	117.84	117.76	121.90
A3A	A3	0.15	0.15	0.80	0.12	0.12	22.16	4.13	0.50	0.50	44	12	0.450	0.013	2.4	3.0	0.8	3.1	0.20	0.00	118.00	117.80	0.30	118.10	0.30	2.62	0.19	1.14	0.576	0.25	118.35	118.10	119.00	118.80	120.50
B4	B3	0.15	0.15	0.80	0.12	0.12	22.16	4.13	0.50	0.50	49	12	0.450	0.013	2.4	3.0	0.8	3.1	0.22	0.00	119.09	118.87	0.30	119.17	0.43	1.54	0.32	1.43	0.131	0.06	119.37	119.30	120.09	119.87	121.60
B3	B2	0.04	0.19	0.80	0.03	0.15	22.46	4.10	0.13	0.62	52	12	0.450	0.013	2.4	3.0	0.8	3.1	0.23	0.00	118.87	118.64	0.34	118.98	0.66	1.13	0.55	1.90	0.051	0.03	119.33	119.30	119.87	119.64	122.20
B2	B1	0.05	0.36	0.80	0.04	0.29	23.35	4.01	0.16	1.16	41	12	0.450	0.013	2.4	3.0	0.8	3.1	0.18	0.00	118.64	118.46	0.49	118.95	0.80	1.74	0.67	2.19	0.113	0.05	119.30	119.26	119.64	119.46	122.20
B1	A1	0.15	0.51	0.80	0.12	0.41	23.88	3.97	0.48	1.62	85	12	0.450	0.013	2.4	3.0	0.8	3.1	0.38	0.00	118.46	118.08	0.60	118.68	1.00	2.06	0.79	3.14	0.206	0.18	119.26	119.08	119.46	119.08	121.65
R1	B2	0.12	0.12	0.80	0.10	0.10	21.88	4.16	0.40	0.40	1	8	0.750	0.013	1.0	3.0	0.3	2.1	0.01																

\*THE DRAINAGE CALCULATIONS LISTED ABOVE ARE BASED ON THE 3-YEAR STORM EVENTS PER THE FORT BEND COUNTY DRAINAGE CRITERIA MANUAL.

CUMULATIVE 100-YEAR STORM SEWER CALCULATIONS

Storm Sewer Design Analysis																	Design Frequency: 100 years																			
Salata																	100-Year Multiplier: 1.25																			
Spring Green Blvd & FM 1093																	Downstream 25-year WS ELEV 117.76 feet																			
Fort Bend County, Texas																																				
Manhole No. From	to	Drainage Area (acres)	Total Area (acres)	Runoff Coefficient C	Weighted Runoff Coefficient C	DA C * A	Total C * A	Time of Conc. (min)	Intensity I (in/hr)	Drainage Area Flow (cfs)	Total Flow (cfs)	Reach Length (ft)	Diameter (in) or Rise (ft)	Slope %	Manning's Roughness Coefficient "n"	Design Capacity (cfs)	Design Velocity (ft/sec)	Full Pipe Flow Area (sq ft)	Wetted Perimeter (ft)	Fall (ft)	Drop from Downstream Manhole (ft)	Flowline Elevation Upstream (ft)	Flowline Elevation Downstream (ft)	Minimum Depth Ratio (y/d or y/h)	Minimum W.S. Elev. Downstream (ft)	Actual Depth Ratio y/d or y/h	Actual Velocity (ft/sec)	Actual Flow per Barrel Area (sq ft)	Wetted Perimeter (ft)	Hydraulic Gradient %	Change in Head (ft)	Elevation of Hyd. Grad. Upstream (ft)	Elevation of Hyd. Grad. Downstream (ft)	Top of Pipe Elevation Upstream (ft)	Top of Pipe Elevation Downstream (ft)	Pvmt / Grate Elevation Upstream (ft)
A4	A3	0.22	0.22	0.80	1.25	0.28	0.28	22.66	8.44	2.32	2.32	88	12	0.450	0.013	2.4	3.0	0.8	3.1	0.40	0.00	118.20	117.80	0.79	118.59	1.00	2.96	0.79	3.14	0.425	0.37	124.18	123.80	119.20	118.80	121.35
A3	A2	0.17	0.54	0.80	1.25	0.21	0.68	23.97	8.22	1.75	5.55	106	12	0.450	0.013	2.4	3.0	0.8	3.1	0.48	0.00	117.80	117.32	1.00	118.32	1.00	7.07	0.79	3.14	2.426	2.57	123.80	121.23	118.80	118.32	121.20
A2	A1	0.08	0.62	0.80	1.25	0.10	0.78	24.19	8.19	0.82	6.34	107	12	0.450	0.013	2.4	3.0	0.8	3.1	0.48	1.00	117.32	116.84	1.00	117.84	1.00	8.08	0.79	3.14	3.170	3.39	121.23	117.84	118.32	117.84	122.20
A1	EX	0.14	1.27	0.80	1.25	0.36	1.14	25.43	7.99	2.90	9.09	40	24	0.200	0.013	10.1	3.2	3.1	6.3	0.08		115.84	115.76	0.74	117.24	1.00	2.89	3.14	6.28	0.161	0.06	117.82	117.76	117.84	117.76	121.90
A3A	A3	0.15	0.15	0.80	1.25	0.19	0.19	22.16	8.53	1.60	1.60	44	12	0.450	0.013	2.4	3.0	0.8	3.1	0.20	0.00	118.00	117.80	0.59	118.39	1.00	2.04	0.79	3.14	0.202	0.09	121.32	121.23	119.00	118.80	120.50
B4	B3	0.15	0.15	0.80	1.25	0.19	0.19	22.16	8.53	1.60	1.60	49	12	0.450	0.013	2.4	3.0	0.8	3.1	0.22	0.00	119.09	118.87	0.59	119.46	1.00	2.04	0.79	3.14	0.202	0.10	121.25	121.15	120.09	119.87	121.60
B3	B2	0.04	0.19	0.80	1.25	0.05	0.24	22.46	8.48	0.42	2.01	52	12	0.450	0.013	2.4	3.0	0.8	3.1	0.23	0.00	118.87	118.64	0.70	119.34	1.00	2.56	0.79	3.14	0.319	0.17	121.32	121.15	119.87	119.64	122.20
B2	B1	0.05	0.36	0.80	1.25	0.06	0.42	23.35	8.32	0.52	3.50	41	12	0.450	0.013	2.4	3.0	0.8	3.1	0.18	0.00	118.64	118.46	1.00	119.46	1.00	4.45	0.79	3.14	0.963	0.39	121.15	120.76	119.64	119.46	122.20
B1	A1	0.15	0.51	0.80	1.25	0.19	0.61	23.88	8.24	1.54	5.00	85	12	0.450	0.013	2.4	3.0	0.8	3.1	0.38	0.00	118.46	118.08	1.00	119.08	1.00	6.37	0.79	3.14	1.972	1.68	120.76	119.08	119.46	119.08	121.65
R1	B2	0.12	0.12	0.80	1.00	0.12	0.12	21.88	8.58	1.03	1.03	1	8	0.750	0.013	1.0	3.0	0.3	2.1	0.01																

\*THE DRAINAGE CALCULATIONS LISTED ABOVE ARE BASED ON THE 100-YEAR STORM EVENTS PER THE FORT BEND COUNTY DRAINAGE CRITERIA MANUAL.

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AUTHORIZATION IS VALID FOR 1 YEAR.





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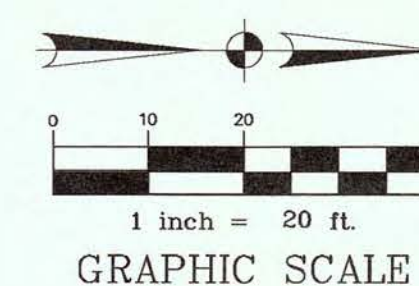
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





**BENCHMARK:**  
HARRIS COUNTY FLOODPLAIN REFERENCE MARK NUMBER 190045  
BRASS DISK STAMPED 190045 ON BRIDGE AT CINCO RANCH BLVD  
AND UPPER BUFFALO BAYOU LOCATED ON DOWNSTREAM  
CONCRETE WALK, ON NE CORNER OF BRIDGE IN KEY MAP 4855 IN  
THE BARKER WATERSHED NEAR STREAM T100-00-00.  
ELEVATION = 115.26' (NAVD88, 2001 ADJ.)

TEMPORARY BENCHMARK "A":  
BRASS DISK ON CURB INLET LOCATED ON THE EASTERLY SIDE OF  
SPRING GREEN BLVD, 184' +/- NORTH OF F.M. 1093.  
ELEVATION = 120.41'

**TEMPORARY BENCHMARK "B":**  
CUT BOX ON CONCRETE BASE OF LOWE'S HOME IMPROVEMENT  
CENTERS MONUMENT SIGN ON THE NORTH SIDE OF F.M. 1093,  
APPROX. 1000' WEST OF SPRING GREEN BLVD.  
ELEVATION = 123.30'

### LEGEND

- |   |  |
|---|--|
|  | PROPOSED TYPE "A" INLET (SEE DETAIL, SHEET C7.2) |
| TG  | TOP OF GRATE                                     |
| TP  | TOP OF PAVEMENT                                  |
| TC  | TOP OF CURB                                      |
| TS  | TOP OF SIDEWALK                                  |
| FG  | FINISHED GROUND                                  |
| FF  | FINISHED FLOOR                                   |
| TR  | TOP OF RAMP                                      |
|  | EXISTING SANITARY OR STORM SEWER MANHOLE         |
|  | PROPOSED HIGH POINT OF PAVEMENT                  |
|  | DRAINAGE FLOW ARROWS                             |
|  | EXISTING CONTOUR                                 |

### GENERAL NOTES

1. REFER TO ARCHITECTURAL PLANS FOR GRADES INSIDE THE BUILDING ENVELOPE.
2. PAVING CONTRACTOR TO CONFIRM AND/OR ADJUST ALL EXISTING AND PROPOSED UTILITIES AND APPROXIMATES TO FINISHED GRADE PRIOR TO PLACEMENT OF ANY PAVING.
3. CONTRACTOR TO MATCH EXISTING TOP OF PAVEMENT AND CURB ELEVATIONS.
4. CONTRACTOR TO INSTALL NEW SIDEWALK IN ADEQUATE ROUTE AT MAXIMUM 5% LONGITUDINAL SLOPE AND 2% CROSS SLOPE.
5. ANY CONFLICT IN PLANS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO INSTALLATION.

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AUTHORIZATION IS VALID FOR 1 YEAR.

APPROVED: Mass: [Signature]

DATE: 5/30/17

PROJECT NAME AND ADDRESS:

1 STORY RETAIL SHELL

9333 SPRING GREEN BLVD.  
KATY, TX 77494

DRAWN: \_\_\_\_\_ CHECKED: \_\_\_\_\_

REFERENCE NUMBER: 14021-06

TITLE-

## GRADING PLAN

DRAWING NUMBER:

C4.0

CALL BEFORE YOU DIG  
TEXAS ONE CALL PARTICIPANTS REQUEST  
72 HOURS NOTICE BEFORE YOU DIG, DRILL  
OR BLAST - STOP CALL

TEXAS ONE CALL SYSTEM  
1-800-545-6005  
IN HOUSTON  
(713)-223-4567

SPRING GREEN BLVD  
(120' R.O.W.)  
(CONCRETE)





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10th Floor  
New York, NY 10018

**CIVIL:**  
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**STRUCTURE:**  
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Houston, Texas 77042  
713.780.3345  
FIRM #: F-170

**MEP:**  
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Houston, Texas 77064  
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**LANDSCAPE:**  
CMB Landscape  
Architecture  
18135 FM 362  
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[illegible]

PROJECT NAME AND ADDRESS:

1 STORY RETAIL SHELL

9333 SPRING GREEN BLVD.  
KATY, TX 77494

DRAWN: \_\_\_\_\_ CHECKED: \_\_\_\_\_

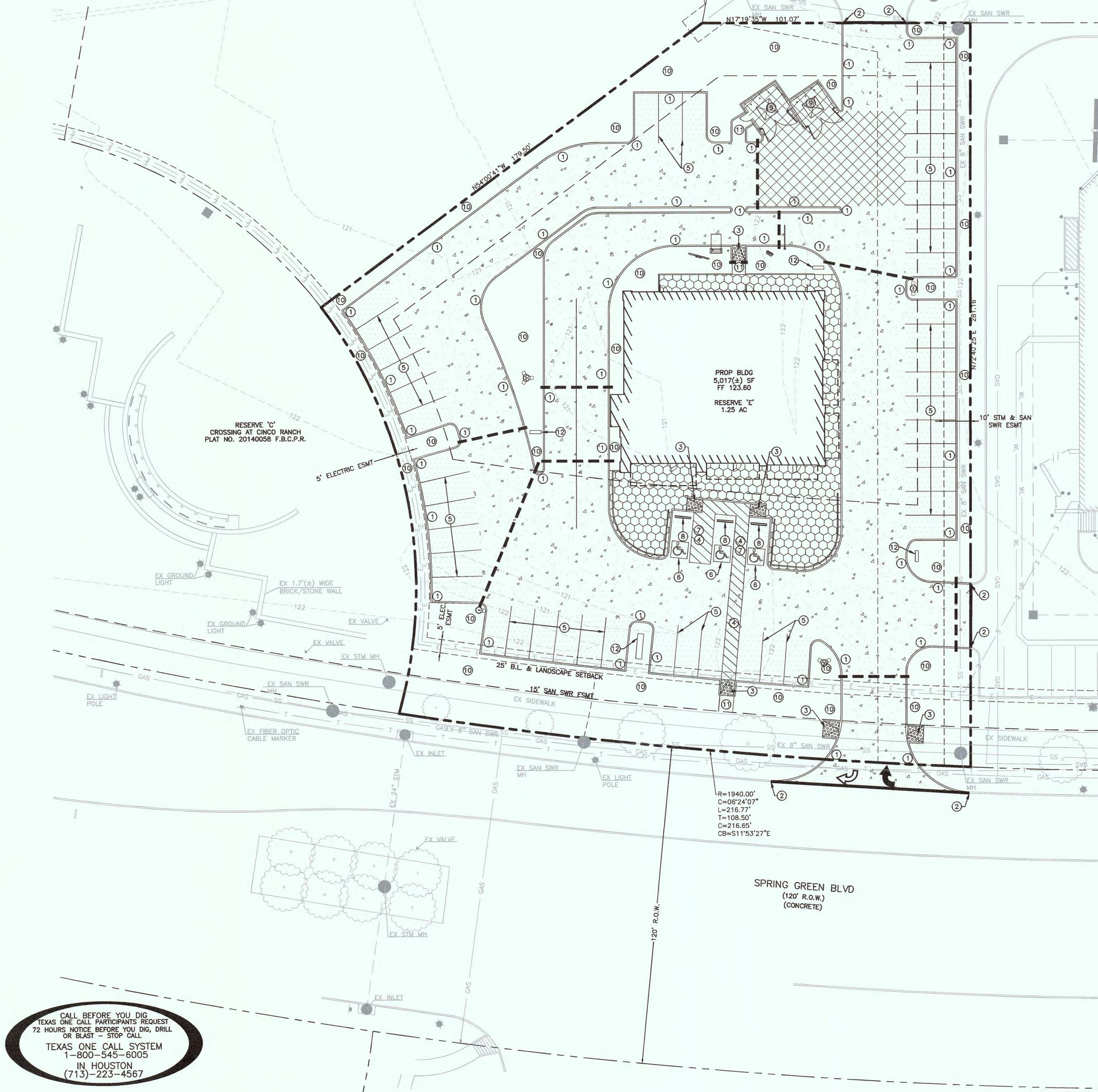
REFERENCE NUMBER: 14021-06

TITLE:

## PAVING PLAN


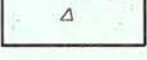




DRAWING NUMBER:

C5.0



## KEYED NOTES

- ① PROPOSED 6" MONOLITHIC CONCRETE CURB (SEE DETAIL, SHEET C7.0)
- ② TIE PROPOSED CURB INTO EXISTING CURB
- ③ CONSTRUCT CURB RAMP (SEE DETAIL, SHEET C7.0)
- ④ 4" PAINTED WHITE STRIPING @ 2' O.C. @ 45°
- ⑤ 90° WHITE PARKING LOT STRIPING
- ⑥ HANDICAP PARKING SYMBOL W/ SIGNAGE (SEE DETAIL, SHEET C7.0)
- ⑦ HANDICAP ACCESSIBLE PARKING STALL STRIPING
- ⑧ WHEEL STOP (SEE DETAIL, SHEET C7.0)
- ⑨ DUMPSTER ENCLOSURE
- ⑩ LANDSCAPED AREA (REF. LANDSCAPE PLANS)
- ⑪ CONCRETE SIDEWALK (WIDTH PER PLANS)
- ⑫ SIGN (REF. ARCHITECTURAL PLANS)
- ⑬ NOT USED

- |   |   |
|---|---|
|  | PROPOSED 5" LIGHT DUTY REINFORCED CONCRETE PAVEMENT WITH STABILIZED SUBGRADE (SEE NOTE 2 BELOW)   |
|  | PROPOSED 6" LIGHT DUTY TO MEDIUM DUTY REINFORCED CONCRETE PAVEMENT WITH STABILIZED SUBGRADE (SEE NOTE 2 BELOW)  |
|  | PROPOSED 7" MEDIUM DUTY REINFORCED CONCRETE PAVEMENT WITH STABILIZED SUBGRADE (SEE NOTE 2 BELOW)  |
|  | PROPOSED BUILDING PERIMETER SIDEWALK<br>(REF. ARCHITECTURAL PLANS FOR SURFACE FINISH, SEE GRADING ON SHEET C4.0)  |
|  | PROPOSED IRRIGATION SLEEVE (SEE NOTE 3)   |
|  | CONCRETE TO CONCRETE PAVEMENT CONNECTION<br>(DOWEL 2" SAWCUT, EXISTING PAVEMENT REMOVAL, EXISTING CURB REMOVAL, INCLUDING INTO EXISTING PAVEMENT, CONCRETE PAVEMENT HEAD AND SEALED JOINTS) |
- 100 —
- EX. CONTOUR

### GENERAL NOTES

1. REFER TO SITE ELECTRICAL PLAN FOR PROPOSED SITE LIGHTING LAYOUT.
2. PAVEMENT AND SUBGRADE THICKNESS INCLUDED ON THIS SHEET FOR REFERENCE ONLY. REFER TO GEOTECHNICAL REPORT PREPARED BY CQ LABORATORIES, INC., DATED MARCH 2017 (PROJECT NO. 17013759).
3. REFER TO IRRIGATION PLAN FOR EXACT LOCATION OF IRRIGATION SLEEVES.
4. MAXIMUM CONTROL JUMP SPACING TO BE 15-FT AND EXPANSION JUMP SPACING TO BE 60-FT.
5. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS AND ALL STEEL TO BE GRADE 60, UNLESS OTHERWISE SPECIFIED IN GEOTECHNICAL REPORT.
6. PAYING CONTRACTOR TO CONFIRM AND/OR ADJUST ALL EXISTING AND PROPOSED UTILITIES AND ADJUST PLACES TO FINISHED GRADE PRIOR TO PLACEMENT OF ANY PAVING.

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AUTHORIZATION IS VALID FOR 1 YEAR.

APPROVED: *Massi*

DATE: 5/30/15





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281.301.5955  
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## STRUCTURE

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10930 W. Sam Houston  
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LANDSCAPE

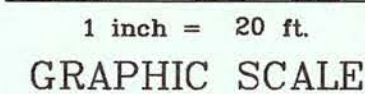
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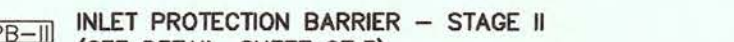
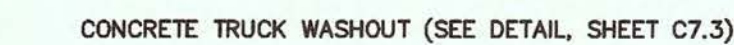
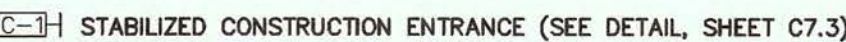


BENCHMARK:  
HARRIS COUNTY FLOODPLAIN REFERENCE MARK NUMBER 19004:  
BRASS DISK STAMPED 19004S ON BRIDGE AT CINCO RANCH BLVD  
AND UPPER BUFFALO BAYOU LOCATED ON DOWNSTREAM  
CONCRETE WALK, ON NE CORNER OF BRIDGE IN KEY MAP 485S IN  
THE BARKER WATERSHED NEAR STREAM T100-00-00.  
ELEVATION = 115.26' (NAVD88, 2001 ADJ.)

TEMPORARY BENCHMARK "A":  
BRASS DISK ON CURB INLET LOCATED ON THE EASTERLY SIDE OF  
SPRING GREEN BLVD, 184' +/- NORTH OF F.M. 1093.  
ELEVATION = 120.41'

TEMPORARY BENCHMARK "B":  
CUT BOX ON CONCRETE BASE OF LOWE'S HOME IMPROVEMENT  
CENTERS MONUMENT SIGN ON THE NORTH SIDE OF F.M. 1093,  
APPROX. 1000' WEST OF SPRING GREEN BLVD.  
ELEVATION = 123.30'

### LEGEND



LIMITS OF DISTURBED AREA

— EX. CONTOUR

## SITE DATA

TOTAL LOT AREA	1.25 AC
TOTAL AREA DISTURBED	1.30 AC
PAVED AREA AT COMPLETION	X.XX AC
ROOFED AREA AT COMPLETION	0.12 AC
LANDSCAPED AREA AT COMPLETION	X.XX AC

### GENERAL NOTES

1. CONTRACTOR TO MAINTAIN A CLEAN PROJECT SITE AND ENSURE THAT ALL DEBRIS IS PLACED IN DESIGNATED AREA PER PLANS. ALL SPOIL MATERIAL GENERATED FROM CONSTRUCTION ACTIVITY TO BE HAULED OFFSITE AND DISPOSED IN ACCORDANCE WITH LOCAL LAWS, RULES, AND REGULATIONS.

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AUTHORIZATION IS VALID FOR 1 YEAR.

APPROVED: Masi

DATE: 5/30/17

TITLE:

## EROSION CONTROL PLAN

DRAWING NUMBER:

## C6.0

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OR BLAST - STOP CALL  
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IN HOUSTON  
(713)-223-4567









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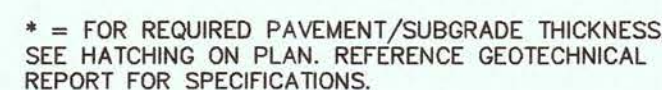
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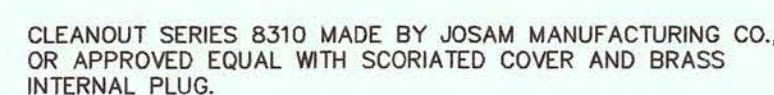
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BUILDING PERIMETER SIDEWALK  
N.T.S.



CLEANOUT DETAIL  
N.T.S.

18" MIN.

UNDISTURBED N.G.

BEND & TEE

6" MIN.

24" MIN.—12" & LARGER PIPE  
18" MIN.—10" & SMALLER PIPE

UNDISTURBED N.G.

PLUG

BEND

THRUST BLOCKS AT TRENCH FACE MUST HAVE A MINIMUM BEARING SURFACE OF 1.0 SQ. FOOT AND THE LEAST DIMENSION SHALL BE NO SMALLER THAN 1.5 TIMES PIPE DIAMETER, BUT NOT LESS THAN 1.0 FT.

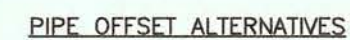
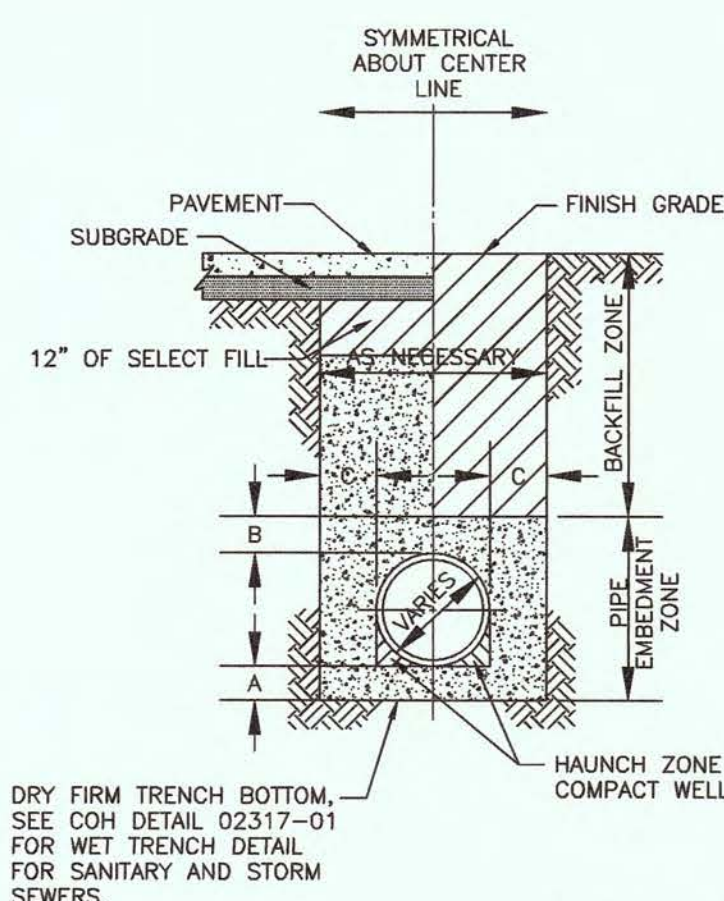
THRUST-BLOCKING  
N.T.S.

## MATERIAL REQUIREMENTS

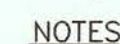
1. IN PAVED AREAS, USE CEMENT STABILIZED SAND, PLACE IN 8" LIFTS AND COMPACT TO 95% STANDARD PROCTOR DENSITY, TO WITHIN 12" OF SUBGRADE.

1. FOR STORM AND SANITARY SEWERS, USE CEMENT STABILIZED SAND, PLACE IN 8" LIFTS AND COMPACT TO 95% STANDARD PROCTOR DENSITY.

WATER, SANITARY AND STORM  
BEDDING AND BACKFILL FOR  
DRY STABLE TRENCH



1. DUCTILE IRON PIPE PRESSURE 250 PSI WITH APPROVED RESTRAINED JOINTS
2. PVC PIPE WITH INTEGRAL RESTRAINED JOINT SYSTEM, OR DUCTILE - IRON RESTRAINED JOINT FITTINGS, EPOXY LINED AND COATED, USE 250 PSI AWWA C900 OR 14 FOR PVC RESTRAINED JOINTS.
3. PVC NOT ALLOWED FOR GREATER THAN 20 FT OF COVER OR FOR DIAMETER LARGER THAN 20 IN.
4. USE ONLY DUCTILE IRON AND PVC PRODUCTS LISTEN ON OCE DIVISION APPROVED PRODUCTS LIST AND IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS.



1. CONTRACTOR TO ADD EXTRA DIAGONAL BAR IF DISTANCE TO NEAREST CORNER EXCEEDS 12".
2. FOR RADIUS OVER 10', CONTRACTOR TO PLACE LONG BAR AT 3" FROM BACK OF CURB ALONG ENTIRE RADIUS.

BAR SCHEMATIC FOR SMALL  
RADIUS CURVE  
N.T.S.

[illegible]

PROJECT NAME AND ADDRESS:

1 STORY RETAIL SHELL

9333 SPRING GREEN BLVD.  
KATY, TX 77494

DRAWN: \_\_\_\_\_ CHECKED: \_\_\_\_\_

REFERENCE NUMBER: 14021-06

TITEL:

## CONSTRUCTION DETAILS

(2 OF 4)

DRAWING NUMBER

C7.1







