



**PERMIT APPLICATION REVIEW FORM FOR  
CABLE, CONDUIT, AND POLE LINE ACTIVITY  
IN FORT BEND COUNTY**

**Fort Bend County  
Engineering Department**  
301 Jackson Suite 401  
Richmond, Texas 77469  
281.633.7500  
[Permits@fortbendcountytx.gov](mailto:Permits@fortbendcountytx.gov)

- Right of Way Permit  
 Commercial Driveway Permit

Permit No: 2017-16335

The following "Notice of Proposed Cable, Conduit, and/or Pole Line activity in Fort Bend County" and accompanying attachments have been reviewed and the notice conforms to appropriate regulations set by Commissioner's Court of Fort Bend County, Texas.

**(1) COMPLETE APPLICATION FORM:**

- a. Name of road, street, and/or drainage ditch affected.  
 b. Vicinity map showing course of directions  
 c. Plans and specifications

**(2) BOND:**

- County Attorney, approval when applicable.
- Perpetual bond currently posted.      Bond No: \_\_\_\_\_ Amount: \_\_\_\_\_
- Performance bond submitted.      Bond No: XXXXXXXXXX      Amount: \$5,000.00
- Cashier's Check      Check No: \_\_\_\_\_ Amount: \_\_\_\_\_

**(3) DRAINAGE DISTRICT APPROVAL (WHEN APPLICABLE):**

\_\_\_\_\_  
Drainage District Approval

\_\_\_\_\_  
Date

**We have reviewed this project and agree it meets minimum requirements.**

*Charles O. Ay*

\_\_\_\_\_  
Permit Administrator

10/27/2017

\_\_\_\_\_  
Date



**REVIEW BY FORT BEND COUNTY  
COMMISSIONERS COURT**

**Fort Bend County  
Engineering Department**  
301 Jackson Suite 401  
Richmond, Texas 77469  
281.633.7500  
[Permits@fortbendcountytx.gov](mailto:Permits@fortbendcountytx.gov)

**Right of Way Permit**

**Commercial Driveway Permit**

Permit No: 2017-16335

**Applicant:** Gardner Capital Construction, LLC/Foresite Group, Inc.

**Job Location Site:** 15010 Old Richmond Road, Sugar Land, TX 77948

**Bond No.**                      **Date of Bond:** 10/13/2017 **Amount:** \$5,000.00

The above applicant came to make use of certain Fort Bend County property subject to, "The Order Regulating the Laying, Construction, Maintenance, and Repair of Buried Cables, Conduits, and Pole Lines, In, Under, Across or Along Roads, Streets, Highways, and Drainage Ditches in Fort Bend County, Texas, Under the Jurisdiction of the Commissioners Court of Fort Bend County, Texas," as passed by the Commissioners Court of Fort Bend County, Texas, of the Minutes of the Commissioners Court of Fort Bend County, Texas, to the extent that such order is not inconsistent with Chapter 181, Vernon's Texas Statutes and Codes Annotated.


**Notes:**

1. Evidence of review by the Commissioners Court must be kept on the job site and failure to do so constitutes grounds for job shutdown.
2. Written notices are required:
  - a. 48 hours in advance of construction start up, and
  - b. When construction is completed and ready for final inspection, submit notification to Permit Administrator thru [MyGovernmentOnline.org](http://MyGovernmentOnline.org) portal.
3. This permit expires one (1) year from date of permit if construction has not commenced.

On this 7th day of November, 2017, Upon Motion of Commissioner \_\_\_\_\_, seconded by Commissioner \_\_\_\_\_, duly put and carried, it is ORDERED, ADJUDGED AND DECREED that said notice of said above purpose is hereby acknowledged by the Commissioners Court of Fort Bend County, Texas, and that said notice be placed on record according to the regulation order thereof.

**Signature**

Presented to Commissioners Court and approved.

By:   
County Engineer

Date Recorded \_\_\_\_\_ Comm. Court No. \_\_\_\_\_

By: N/A  
Drainage District Engineer/Manager

Clerk of Commissioners Court

By: \_\_\_\_\_  
Deputy

**PERFORMANCE BOND COVERING ALL CABLE, CONDUIT AND/OR POLE LINE  
ACTIVITY IN, UNDER, ACROSS OR ALONG FORT BEND COUNTY ROAD,  
COMMERCIAL DRIVEWAY AND MEDIAN OPENINGS OR MODIFICATIONS  
(AUTHORIZED)**

BOND NO [REDACTED]

THE STATE OF TEXAS           §  
COUNTY OF FORT BEND       §

KNOW ALL MEN BY THESE PRESENTS:

THAT WE, Gardner Capital Construction, LLC, Limited Liability Company whose (address, phone) is 7800 Shoal Creek Blvd., Suite 237-S, Austin, TX 78757, 417-447-5538, hereinafter called the Principal, and Travelers Casualty and Surety Company of America, a Corporation existing under and by virtue of the laws of the state of Connecticut and authorized to do an indemnifying business in the state of Texas, and whose principal office is located at (name/address/phone) One Tower Square, Hartford, CT 06183, 480-585-8906, whose officer residing in the State of Texas, authorized to accept service in all suits and actions brought whining said state is Texas and whose address is 1301 E Collins Boulevard, Richardson, TX USA 75081, hereinafter called the Surety, and held and firmly bound unto , Robert E. Hebert, County Judge of Fort Bend County, Texas, or his successors in office, in the full sum of Five Thousand Dollars (\$ 5,000.00 ) current, lawful money of the United States of America, to be paid to said Robert E. Hebert, County Judge of Fort Bend County, Texas, or his successors in office, to which payment well and truly to be made and done, we, the undersigned, bind ourselves and each of us, our heirs, executors, administrators, successors, assigns, and legal representatives, jointly and severally, by these presents.

THE CONDITION OF THIS BOND IS SUCH THAT, WHEREAS, the above bounden principal contemplates laying, constructing, maintaining and/or repairing one or more cables, conduits, and/or pole lines in, under, across and/or along roads, streets and highways, commercial driveway and median openings or modifications in the County of Fort Bend, and the State of Texas, under the jurisdiction of the Commissioners' Court of Fort Bend County, Texas, pursuant to the Commissioners' Court order adopted on the 1st day of December, A.D. 1980, recorded in Volume 13, of the Commissioners' Court Minutes of Fort Bend County, Texas, regulating same, which Commissioners' Court order is hereby referred to and made a part hereof for all purposes as though fully set out herein;

AND WHEREAS, the principal desires to provide Fort Bend County with a performance bond covering all such cable, conduit and/or pole line activity, commercial driveway and median openings or modifications;

NOW, THEREFORE, if the above bounden principal shall faithfully perform all its cable, conduit and/or pole line activity (including, but not limited to the laying, construction, maintenance and/or repair of cables, conduits and/or pole lines) in, under, across and/or along roads, streets and highways, commercial driveway and median openings or modifications in the County of Fort Bend and State of Texas, under the jurisdiction of the Commissioners Court of Fort Bend County, Texas, pursuant to and in accordance with minimum requirements and conditions of the above mentioned Commissioners' Court order set forth and specified to be by said principal done and performed, at the time and in the manner therein specified, and shall pay over and make good and reimburse Fort Bend County, all loss and damages which Fort Bend County may sustain by reason of any failure or default on the part of said principal, then this obligation shall be null and void, otherwise to remain in full force and effect.

This bond is payable at the County Courthouse in the County of Fort Bend and State of Texas.

It is understood that at any time Fort Bend County deems itself insecure under this bond, it may require further and/or additional bonds of the principal.

EXECUTED this 13th day of October, 2017.

Gardner Capital Construction, LLC, Limited Liability Company  
PRINCIPAL

BY

Travelers Casualty and Surety Company of America  
SURETY

BY David J. McKee, Attorney-In-Fact



POWER OF ATTORNEY

Farmington Casualty Company
Fidelity and Guaranty Insurance Company
Fidelity and Guaranty Insurance Underwriters, Inc.
St. Paul Fire and Marine Insurance Company
St. Paul Guardian Insurance Company

St. Paul Mercury Insurance Company
Travelers Casualty and Surety Company
Travelers Casualty and Surety Company of America
United States Fidelity and Guaranty Company

Attorney-In Fact No. 232446

Certificate No. 007305818

KNOW ALL MEN BY THESE PRESENTS: That Farmington Casualty Company, St. Paul Fire and Marine Insurance Company, St. Paul Guardian Insurance Company, St. Paul Mercury Insurance Company, Travelers Casualty and Surety Company, Travelers Casualty and Surety Company of America, and United States Fidelity and Guaranty Company are corporations duly organized under the laws of the State of Connecticut, that Fidelity and Guaranty Insurance Company is a corporation duly organized under the laws of the State of Iowa, and that Fidelity and Guaranty Insurance Underwriters, Inc., is a corporation duly organized under the laws of the State of Wisconsin (herein collectively called the "Companies"), and that the Companies do hereby make, constitute and appoint

David J. McKee, Patrick R. Hedges, Joseph A. Clarken III, Jennifer Castillo, Melanie Ankeney, and Chrystal Hedges

of the City of Phoenix, State of Arizona, their true and lawful Attorney(s)-in-Fact, each in their separate capacity if more than one is named above, to sign, execute, seal and acknowledge any and all bonds, recognizances, conditional undertakings and other writings obligatory in the nature thereof on behalf of the Companies in their business of guaranteeing the fidelity of persons, guaranteeing the performance of contracts and executing or guaranteeing bonds and undertakings required or permitted in any actions or proceedings allowed by law.

IN WITNESS WHEREOF, the Companies have caused this instrument to be signed and their corporate seals to be hereto affixed, this 26th day of July, 2017.

Farmington Casualty Company
Fidelity and Guaranty Insurance Company
Fidelity and Guaranty Insurance Underwriters, Inc.
St. Paul Fire and Marine Insurance Company
St. Paul Guardian Insurance Company

St. Paul Mercury Insurance Company
Travelers Casualty and Surety Company
Travelers Casualty and Surety Company of America
United States Fidelity and Guaranty Company



State of Connecticut
City of Hartford ss.

By: [Signature]
Robert L. Raney, Senior Vice President

On this the 26th day of July, 2017, before me personally appeared Robert L. Raney, who acknowledged himself to be the Senior Vice President of Farmington Casualty Company, Fidelity and Guaranty Insurance Company, Fidelity and Guaranty Insurance Underwriters, Inc., St. Paul Fire and Marine Insurance Company, St. Paul Guardian Insurance Company, St. Paul Mercury Insurance Company, Travelers Casualty and Surety Company, Travelers Casualty and Surety Company of America, and United States Fidelity and Guaranty Company, and that he, as such, being authorized so to do, executed the foregoing instrument for the purposes therein contained by signing on behalf of the corporations by himself as a duly authorized officer.

In Witness Whereof, I hereunto set my hand and official seal.
My Commission expires the 30th day of June, 2021.



[Signature]
Marie C. Tetreault, Notary Public

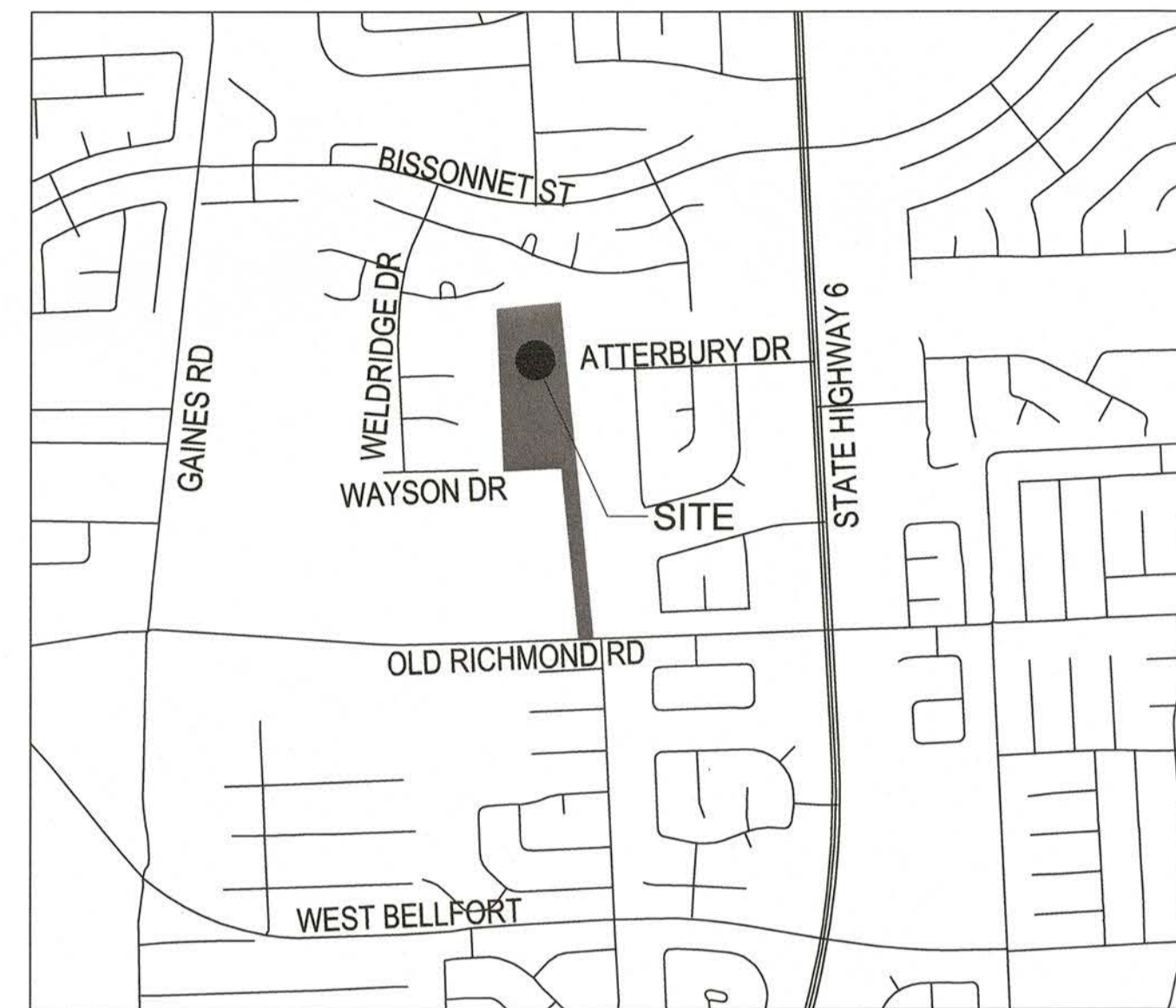
SITE DEVELOPMENT PLANS FOR:

# GALA AT FOUR CORNERS

15010 OLD RICHMOND ROAD  
SUGAR LAND, FORT BEND COUNTY, TX 77498

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VICINITY MAP  
NOT TO SCALE  
KEY MAP PAGE #527V

SITE DISTURBED AREA = 8.43 AC.

THE CONTRACTOR SHALL BE RESPONSIBLE  
FOR THE DEVELOPMENT OF THE  
STORMWATER POLLUTION PREVENTION PLAN  
IN ACCORDANCE WITH TCEQ GENERAL  
PERMIT TXR150000

## PROJECT DIRECTORY

**OWNER**  
GALA AT FOUR CORNERS, LP  
2501 N. HARWOOD STREET, SUITE 1501  
DALLAS, TX 75201  
(417) 447-5538  
CONTACT: MR. RUBEN ESQUEDA

**CIVIL ENGINEER**  
FORESITE GROUP, INC.  
1999 BRYAN STREET, SUITE 890  
DALLAS, TX 75201  
(214) 939-7123  
CONTACT: MR. JOHN B. RHODES, JR., PE

**ARCHITECT**  
CROSS ARCHITECTS, PLLC  
1255 W. 15TH STREET, SUITE 125  
PLANO, TX 75075  
(972) 398-6644  
CONTACT: MR. BRIAN RUMSEY

**SURVEYOR**  
TERRA SURVEYING CO. INC.  
3000 WILCREST DRIVE, SUITE 210  
HOUSTON, TX 77042  
(713) 993-0327  
CONTACT: MR. GEORGE COLLISON, RPLS

**GEOTECHNICAL ENGINEER**  
ALPHA TESTING INC.  
6513 W. LITTLE YORK ROAD  
HOUSTON, TX 77040  
(713) 360-0460  
CONTACT: MR. TONY JANISH, PE

**LOCAL ISSUING AUTHORITY**  
FORT BEND COUNTY ENGINEERING  
301 JACKSON STREET, 4TH FLOOR  
RICHMOND, TX 77469  
(281) 633-7500  
CONTACT: MR. RICK STAIGLE, PE, PTOE

ENGINEER:  
**FORESITE**  
group  
TBPE Firm No. F-12878  
Foresite Group, Inc.  
1999 Bryan St. o | 214.939.7123  
Suite 890 f | 888.765.8135  
Dallas, TX 75201 w | www.fg-inc.net  
D/B/A Foresite Consulting Group of Texas, Inc.

OWNER:  
**GARDNER CAPITAL**  
2501 N. HARWOOD ST, SUITE 1501  
DALLAS, TX 75201  
(417) 447-5538  
CONTACT: MR. RUBEN ESQUEDA

PROJECT:  
**GALA AT FOUR CORNERS**  
15010 OLD RICHMOND ROAD  
SUGAR LAND, FORT BEND COUNTY, TX 77498



REVISIONS	DATE
COUNTY COMMENTS	04/10/2017
MUD / DRAINAGE DISTRICT COMMENTS	07/21/2017
MUD COMMENTS	09/19/2017

PROJECT MANAGER: DN  
DRAWING BY: PA  
JURISDICTION: FORT BEND COUNTY  
DATE: 01/03/2017  
AS SHOWN

TITLE:

COVER  
SHEET NUMBER:

**G-1**

COMMENTS: NOT RELEASED FOR CONSTRUCTION

JOB/FILE NUMBER: 693.011

PREPARED BY:

**FORESITE**  
group

TBPE Firm No. F-12878  
Foresite Group, Inc.  
1999 Bryan Street o | 214.939.7123  
Suite 890 f | 888.765.8135  
Dallas, TX 75201 w | www.fg-inc.net  
D/B/A Foresite Consulting Group of Texas, Inc.

24 HR CONTACT:  
MR. JOHN B. RHODES, JR., PE  
(214) 939-7123

ISSUED:  
JANUARY 3, 2017  
693.011

FORT BEND COUNTY

ENGINEER *Rick Staigle, PE, PTOE*

DATE 10/3/17

THESE SIGNATURES ARE VOID IF CONSTRUCTION HAS NOT  
COMMENCED IN ONE (1) YEAR FROM THE DATE OF APPROVAL.

DEVELOPMENT COORDINATOR *Maggie*

DATE 10/3/17

DETENTION POND MAINTENANCE AND OWNERSHIP:

1) THE DETENTION POND WILL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER.

NOTE:

1) CONTRACTOR SHALL NOTIFY FORT BEND COUNTY OF PRE-CONSTRUCTION MEETING AND ALL PAVING ACTIVITIES BY EMAIL AT construction@fortbendcountytx.gov.

GENERAL NOTES

- A. DESIGN DATA PROVIDED IN ELECTRONIC FORMAT IS FOR INFORMATION PURPOSES ONLY AND SHOULD BE USED AT YOUR OWN RISK... B. UTILITIES: THERE MAY BE ADDITIONAL EXISTING UTILITIES NOT SHOWN ON THESE PLANS... C. TEMPORARY PROVISIONS: SEQUENCE THE WORK AND PROVIDE TEMPORARY MEASURES AS NEEDED TO MAINTAIN ACCESS TO THE SITE THROUGHOUT ALL ENTRANCES AT ALL TIMES DURING CONSTRUCTION... D. EQUIPMENT STORAGE: DO NOT PARK EQUIPMENT OR STORE MATERIALS IN STATE, COUNTY, OR CITY RIGHT-OF-WAY... E. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS IN THE FIELD AND THE SURVEY SHOWN ON THE PLANS BEFORE PROCEEDING WITH ANY NEW CONSTRUCTION... F. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED CONSTRUCTION RELATED PERMITS, INCLUDING DEMOLITION PERMIT, BEFORE STARTING WORK... G. APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL OF ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS... H. SIGNS (LOCATION, NUMBER, AND SIZE) ARE NOT APPROVED UNDER THE GENERAL DEVELOPMENT PERMIT... I. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL SITE IMPROVEMENTS HAVE BEEN COMPLETED ON THE SITE... J. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE STATE, FEDERAL, AND LOCAL BUILDING AND UTILITY INSTALLATION CODES... K. DO NOT DEVIATE FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER OF RECORD... L. WORK WITHIN D.O.T. RIGHT-OF-WAY... M. ARRANGE HIGH INTENSITY LIGHTING TO CONCEAL THE SOURCE OF LIGHT FROM PUBLIC VIEW AND PREVENT INTERFERENCE WITH TRAFFIC... N. ENSURE CORRECT HORIZONTAL AND VERTICAL ALIGNMENT OF ALL TIES BETWEEN PROPOSED AND EXISTING PAVEMENTS, CURBS AND GUTTERS, SIDEWALKS, WALLS, AND UTILITIES BEFORE BEGINNING WORK... TRAFFIC CONTROL... A. IF DRAWINGS DO NOT INDICATE SITE SPECIFIC TRAFFIC CONTROL MEASURES... B. ALL TEMPORARY TRAFFIC CONTROL DEVICES... C. CONTACT PROPERTY OWNERS TO BE AFFECTED BY CONSTRUCTION... D. THE CONTRACTOR SHALL CONTROL DUST AS NECESSARY... E. THE CONTRACTOR SHALL INSPECT TRAFFIC CONTROL DEVICES... F. THE CONTRACTOR SHALL COORDINATE ALL LANE CLOSURES...

TRAFFIC CONTROL

- A. VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED BEFORE STARTING DEMOLITION OPERATIONS... B. VERIFY THAT HAZARDOUS MATERIALS HAVE BEEN REMEDIATED BEFORE PROCEEDING WITH BUILDING DEMOLITION OPERATIONS... C. ENVIRONMENTAL & GEOTECHNICAL: REVIEW ALL PROJECT ENVIRONMENTAL AND GEOTECHNICAL REPORTS... D. EXISTING UTILITIES: LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITIES SERVING BUILDINGS AND STRUCTURES TO BE DEMOLISHED... E. EXISTING FACILITIES: PROTECT ADJACENT WALKWAYS, LOADING DOCKS, BUILDING ENTRIES, AND OTHER BUILDING FACILITIES DURING DEMOLITION OPERATIONS... F. TEMPORARY PROTECTION: ERECT TEMPORARY PROTECTION, SUCH AS WALKS, FENCES, RAILINGS, CANOPIES, AND COVERED PASSAGEWAYS... G. REMOVE TEMPORARY BARRIERS AND PROTECTIONS WHERE HAZARDS NO LONGER EXIST... H. REMOVE DEMOLITION WASTE MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN AN EPA-APPROVED LANDFILL... I. DO NOT BURN DEMOLISHED MATERIALS... J. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY BUILDING DEMOLITION OPERATIONS...

KINGSBRIDGE MUD GENERAL NOTES

- 1. CONTRACTOR TO CONTACT ONE STAR NOTIFICATION CENTER AT 713/223-4567 48 HOURS PRIOR TO COMMENCING ANY WORK ON THIS SITE... 2. CONTRACTOR SHALL CONTACT SI ENVIRONMENTAL, BUILDER SERVICES AT 832/490-1610 48 HOURS PRIOR TO COMMENCING CONSTRUCTION... 3. CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED BY FORT BEND COUNTY PRIOR TO COMMENCING WORK... 4. CONTRACTOR SHALL CONTACT KINGSBRIDGE MUD ENGINEER AT 713/977-4700 48 HOURS PRIOR TO TIE-IN TO DISTRICT STORM SEWER LINES AND PRIOR TO BACKFILL OF PRIVATE STORM DRAINAGE LINES AND APPURTENANCES.

SITE CLEARING

- 1) PROJECT CONDITIONS... A. TRAFFIC: MINIMIZE INTERFERENCE WITH ADJOINING ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES... B. ENVIRONMENTAL & GEOTECHNICAL: REVIEW ALL PROJECT ENVIRONMENTAL AND GEOTECHNICAL REPORTS... C. TEMPORARY PROVISIONS: SEQUENCE THE WORK AND PROVIDE TEMPORARY MEASURES AS NEEDED TO MAINTAIN ACCESS TO THE SITE THROUGHOUT ALL ENTRANCES AT ALL TIMES DURING CONSTRUCTION... 2) TEMPORARY EROSION AND SEDIMENTATION CONTROL... A. PROVIDE TEMPORARY EROSION- AND SEDIMENTATION-CONTROL MEASURES TO PREVENT SOIL EROSION AND DISCHARGE OF SOIL-BEARING WATER RUNOFF... B. VERIFY THAT FLOWS OF WATER REDIRECTED FROM CONSTRUCTION AREAS OR GENERATED BY CONSTRUCTION ACTIVITY DO NOT ENTER OR CROSS PROTECTION ZONES... 3) TREE AND PLANT PROTECTION... A. REPAIR OR REPLACE TREES, SHRUBS, AND OTHER VEGETATION INDICATED TO REMAIN OR BE RELOCATED... 4) EXISTING UTILITIES... A. LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP UTILITIES INDICATED TO BE REMOVED OR ABANDONED IN PLACE... B. INTERRUPTING EXISTING UTILITIES: DO NOT INTERRUPT UTILITIES SERVING FACILITIES OCCUPIED BY OWNER... 5) CLEARING AND GRUBBING... A. REMOVE OBSTRUCTIONS, CONCRETE, ASPHALT, TREES, SHRUBS, AND OTHER VEGETATION TO PERMIT INSTALLATION OF NEW CONSTRUCTION... B. DO NOT REMOVE TREES, SHRUBS, AND OTHER VEGETATION INDICATED TO REMAIN OR TO BE RELOCATED... C. POTHOLE EXISTING WATER LINES, UNDERGROUND ELECTRICAL LINES, GAS LINES, UNDERGROUND TELEPHONE LINES, FIBER OPTIC, AND ANY OTHER EXISTING UTILITY LINES... D. STOCKPILE TOPSOIL AWAY FROM EDGE OF EXCAVATIONS WITHOUT INTERMIXING WITH SUBSOIL... E. DISPOSE OF SURPLUS TOPSOIL...

SITE WATER DISTRIBUTION

- 1) GENERAL... A. REGULATORY REQUIREMENTS... 1. COMPLY WITH REQUIREMENTS OF UTILITY COMPANY SUPPLYING WATER... 2. COMPLY WITH STANDARDS OF AUTHORITIES HAVING JURISDICTION FOR POTABLE WATER-SERVICE PIPING... B. PIPING MATERIALS SHALL BEAR LABEL, STAMP, OR OTHER MARKINGS OF SPECIFIED TESTING AGENCY... C. TEMPORARY WATER-DISTRIBUTION SERVICE: NOTIFY OWNER AT LEAST 2 DAYS PRIOR TO INTERRUPTION OF EXISTING WATER SERVICES... D. COOPER TUBE AND FITTINGS... 1. SOFT COPPER TUBE: ASTM B 88, TYPE K, WATER TUBE, ANNEALED TEMPER... 2. NPS 2-1/2 TO NPS 4: BRONZE FITTINGS WITH STAINLESS-STEEL GRIP RING AND EPDM O-RING SEAL... C. BRONZE FLANGES: ASME B16.24, CLASS 150, WITH SOLDER-JOINT END... D. COPPER UNIONS: MSS SP-123, CAST-COPPER-ALLOY, HEXAGONAL-STOCK BODY WITH BALL-LAND-SOCKET, METAL-TO-METAL SEATING SURFACES... E. DUCTILE-IRON PIPE AND FITTINGS... A. MECHANICAL-JOINT, DUCTILE-IRON PIPE: AWWA C151, WITH MECHANICAL-JOINT BELL AND FLANGE... 1. MECHANICAL-JOINT, DUCTILE-IRON FITTINGS: AWWA C110, DUCTILE-OR GRAY-IRON STANDARD PATTERN OR AWWA C153, DUCTILE-IRON COMPACT PATTERN... 2. GLANDS, GASKETS, AND BOLTS: AWWA C111, DUCTILE-OR GRAY-IRON GLANDS, RUBBER GASKETS, AND STEEL BOLTS... B. PUSH-ON-JOINT, DUCTILE-IRON PIPE: AWWA C151, WITH PUSH-ON-JOINT BELL AND FLANGE... C. FLANGES: ASME 16.1, CLASS 125, CAST IRON... D. PVC SCHEDULE 40 PIPE: ASTM D 1785, PVC, SCHEDULE 40 SOCKET FITTINGS: ASTM D 2466... E. MECHANICAL-JOINT, DUCTILE-IRON FITTINGS: AWWA C110, DUCTILE-OR GRAY-IRON STANDARD PATTERN OR AWWA C153, DUCTILE-IRON COMPACT PATTERN... 5) GATE VALVES... A. AWWA, CAST-IRON GATE VALVES: NONRISING-STEM, RESILIENT-SEATED GATE VALVES... B. VALVE BOXES: COMPLY WITH AWWA M44 FOR CAST-IRON VALVE BOXES... 7) BACKFLOW PREVENTERS... A. DOUBLE-CHECK, DETECTOR-ASSEMBLY BACKFLOW PREVENTERS... 1. STANDARDS: ASSE 1048 AND UL LISTED OR FMG APPROVED... 2. OPERATION: CONTINUOUS PRESSURE APPLICATIONS... 3. PRESSURE LOSS: 5 PSIG MAXIMUM, THROUGH MIDDLE 1/3 OF FLOW RANGE... 4. BODY: CAST IRON WITH INTERIOR LINING COMPLYING WITH AWWA C550 OR THAT IS FDA APPROVED... 8) WATER METER BOXES... A. DESCRIPTION: CAST-IRON BODY AND COVER FOR DISC-TYPE WATER METER... 9) CONCRETE VAULTS... A. DESCRIPTION: PRECAST, REINFORCED-CONCRETE VAULT, DESIGNED FOR A-16 LOAD DESIGNATION... 10) FIRE HYDRANTS... A. DRY-BARRREL FIRE HYDRANTS: FREESTANDING, WITH ONE NPS 4-1/2 AND TWO NPS 2-1/2 OUTLETS... 11) FIRE DEPARTMENT CONNECTIONS... A. FIRE DEPARTMENT CONNECTIONS: FREESTANDING, WITH CAST-BRONZE BODY, THREAD INLETS... 12) VALVE APPLICATIONS... A. DRAWINGS INDICATE VALVE TYPES TO BE USED... 13) FIELD QUALITY CONTROL... A. PIPING TESTS: CONDUCT PIPING TESTS BEFORE JOINTS ARE COVERED... B. HYDROSTATIC TESTS: TEST AT NOT LESS THAN ONE-AND-ONE-HALF TIMES WORKING PRESSURE... C. DISINFECTION: CLEAN AND DISINFECT POTABLE WATER MAINS AS DIRECTED BY THE LOCAL AUTHORITY... 14) IDENTIFICATION... A. INSTALL CONTINUOUS UNDERGROUND DETECTABLE WARNING TAPE DURING BACKFILLING OF TRENCH FOR UNDERGROUND WATER-DISTRIBUTION PIPING...

SITE SANITARY SEWERS

- 1) PROJECT CONDITIONS... A. INTERRUPTING EXISTING SANITARY SEWERAGE SERVICE: COORDINATE AS REQUIRED WITH THE LOCAL SANITARY SEWER AUTHORITY... B. UTILITY LOCATOR SERVICE: NOTIFY UTILITY LOCATOR SERVICE FOR AREA WHERE PROJECT IS LOCATED... 2) DUCTILE-IRON, GRAVITY SEWER PIPE AND FITTINGS... A. PIPE: ASTM A 746, FOR PUSH-ON JOINTS... B. COMPACT FITTINGS: AWWA C153, DUCTILE IRON, FOR PUSH-ON JOINTS... C. GASKETS: AWWA C111, RUBBER... 3) PVC GRAVITY SEWER PIPING: ASTM F 679, T-1 WALL THICKNESS... 4) CLEANOUTS... A. CAST-IRON CLEANOUTS: 1. DESCRIPTION: ASME A112.36.2M, ROUND, GRAY-IRON HOUSING... B. BALLAST: INCREASE THICKNESS OF PRECAST CONCRETE SECTIONS OR ADD CONCRETE TO BASE SECTION... 5) MANHOLES... A. STANDARD PRECAST CONCRETE MANHOLES: 1. DESCRIPTION: ASTM C 478, PRECAST, REINFORCED CONCRETE... 2. DIAMETER: 48 INCHES MINIMUM UNLESS OTHERWISE INDICATED... B. MANHOLE FRAMES AND COVERS: 1. DESCRIPTION: FERROUS, 24-INCH ID BY 7- TO 9-INCH RISER... 7) FIELD QUALITY CONTROL... A. INSPECT INTERIOR OF PIPING TO DETERMINE WHETHER LINE DISPLACEMENT OR OTHER DAMAGE HAS OCCURRED... 3. SCHEDULE TESTS AND INSPECTIONS BY AUTHORITIES HAVING JURISDICTION WITH AT LEAST 24 HOURS ADVANCE NOTICE... 4. SUBMIT A SEPARATE REPORT FOR EACH TEST TO THE ENGINEER FOR APPROVAL... 5. AIR TESTS: TEST SANITARY SEWERAGE ACCORDING TO REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION... 6. LEAKS AND LOSS IN TEST PRESSURE CONSTITUTE DEFECTS THAT MUST BE REPAIRED... 7. CLEAN INTERIOR OF PIPING OF DIRT AND SUPERFLUOUS MATERIALS.

SITE STORM UTILITY DRAINAGE PIPING

- 1) PIPE AND FITTINGS- GENERAL... A. ALL STORM WATER PIPE, INLETS, HEADWALLS, AND RELATED APPURTENANCES SHALL MEET LOCAL D.O.T. STANDARDS... B. ALL STORMWATER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURERS INSTRUCTIONS... 2) STEEL PIPE AND FITTINGS... A. CORRUGATED-STEEL PIPE AND FITTINGS: ASTM A 760/A 760M, TYPE I WITH FITTINGS OF SIMILAR FORM AND CONSTRUCTION AS PIPE... 3) PE PIPE AND FITTINGS... A. CORRUGATED PE DRAINAGE PIPE AND FITTINGS NPS 3 TO NPS 10... 4) CORRUGATED PVC DRAINAGE PIPE AND FITTINGS NPS 4 TO NPS 36... 5) REINFORCED-CONCRETE SEWER PIPE AND FITTINGS... A. STANDARD PRECAST CONCRETE MANHOLES: 1. DESCRIPTION: ASTM C 478, PRECAST, REINFORCED CONCRETE... 2. DIAMETER: 48 INCHES MINIMUM UNLESS OTHERWISE INDICATED... B. MANHOLE FRAMES AND COVERS: 1. DESCRIPTION: FERROUS, 24-INCH ID BY 7- TO 9-INCH RISER... 7) CLEANING... A. CLEAN INTERIOR OF PIPING OF DIRT AND SUPERFLUOUS MATERIALS.

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LICENSED PROFESSIONAL ENGINEER

Table with 2 columns: REVISIONS, DATE. Includes rows for COUNTY COMMENTS, MUD / DRAINAGE DISTRICT COMMENTS, MUD COMMENTS.

PROJECT MANAGER: DN
DRAWING BY: PA
JURISDICTION: FORT BEND COUNTY
DATE: 01/03/2017
AS SHOWN
GENERAL NOTES SHEET NUMBER: G-2
COMMENTS: NOT RELEASED FOR CONSTRUCTION
JOB/FILE NUMBER: 693.011

Mud Development Coordinator 10/31/17

**EARTH MOVING**

- 1.) **PROJECT CONDITIONS**
- A. UTILITY LOCATOR SERVICE: NOTIFY UTILITY LOCATOR SERVICE FOR AREA WHERE PROJECT IS LOCATED BEFORE BEGINNING EARTH MOVING OPERATIONS.
- B. DO NOT COMMENCE EARTH MOVING OPERATIONS UNTIL TEMPORARY EROSION- AND SEDIMENTATION-CONTROL MEASURES, ARE IN PLACE.
- C. DO NOT COMMENCE EARTH MOVING OPERATIONS UNTIL PLANT-PROTECTION MEASURES ARE IN PLACE.
- D. DO NOT COMMENCE EARTH MOVING OPERATIONS WITHOUT REVIEWING AND MAKING PROVISIONS FOR ALL GEOTECHNICAL RECOMMENDATIONS MADE IN THE PROJECT GEOTECHNICAL REPORT.
- E. RETAIN A COPY OF THE PROJECT GEOTECHNICAL REPORT AT THE WORK SITE AT ALL TIMES. ANY DISCREPANCIES BETWEEN THESE SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT SHALL BE RESOLVED IN FAVOR OF THE PROJECT GEOTECHNICAL REPORT (GETECH REPORT H162093 BY ALPHATESTING INC. DATED OCTOBER 08, 2016).
- F. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT, AND OTHER HAZARDS CREATED BY EARTH MOVING OPERATIONS.
- G. PROTECT AND MAINTAIN EROSION AND SEDIMENTATION CONTROLS DURING EARTH MOVING OPERATIONS.
- 2.) **DEWATERING**
- A. PREVENT SURFACE WATER AND GROUND WATER FROM ENTERING EXCAVATIONS, FROM PONDING ON PREPARED SUBGRADES, AND FROM FLOODING PROJECT SITE AND SURROUNDING AREA.
- B. PROTECT SUBGRADES FROM SOFTENING, UNDERMINING, WASHOUT, AND DAMAGE BY RAIN OR WATER ACCUMULATION.
- C. DESIGN AND PROVIDE DEWATERING SYSTEM USING ACCEPTED AND PROFESSIONAL METHODS CONSISTENT WITH CURRENT INDUSTRY PRACTICE. PROVIDE DEWATERING SYSTEM OF SUFFICIENT SIZE AND CAPACITY TO CONTROL GROUNDWATER IN A MANNER THAT PRESERVES STRENGTH OF FOUNDATION SOILS, DOES NOT CAUSE INSTABILITY OR RAVELING OF EXCAVATION SLOPES, AND DOES NOT RESULT IN DAMAGE TO EXISTING STRUCTURES. LOWER WATER LEVEL IN ADVANCE OF EXCAVATION BY UTILIZING WELLS, WELLPOINTS, OR SIMILAR POSITIVE CONTROL METHODS. MAINTAIN THE GROUNDWATER LEVEL TO A MINIMUM OF TWO (2) FEET BELOW EXCAVATIONS. PROVIDE PIEZOMETERS AS DIRECTED BY THE ENGINEER TO DOCUMENT THAT THE GROUNDWATER LEVEL IS BEING MAINTAINED.
- D. BY ACCEPTABLE MEANS, CONTRACTOR SHALL CONTROL ALL WATER REGARDLESS OF SOURCE AND IS RESPONSIBLE FOR PROPER DISPOSAL OF THE WATER. NO ADDITIONAL PAYMENT WILL BE MADE FOR ANY SUPPLEMENTAL MEASURES TO CONTROL SEEPAGE, GROUNDWATER, OR ARTESIAN HEAD.
- E. OPEN PUMPING WITH PUMPS AND DITCHES SHALL BE ALLOWED, PROVIDED IT DOES NOT RESULT IN SOILS, LOSS OF FINES, SOFTENING OF THE GROUND, OR INSTABILITY OF SLOPES. PUMPS SHALL BE LOCATED OUTSIDE OF LOAD BEARING AREAS SO THE BEARING SURFACES WILL NOT BE DISTURBED. WATER CONTAINING SILT IN SUSPENSION SHALL NOT BE PUMPED INTO SEWER LINES OR ADJACENT WATER BODIES. DURING NORMAL PUMPING AND UPON DEVELOPMENT OF WELLS, LEVELS OF FINE SAND OR SILT IN THE DISCHARGE OF WATER SHALL NOT EXCEED FIVE (5) PPM.
- F. CONTINUOUSLY MAINTAIN EXCAVATIONS IN A DRY CONDITION WITH POSITIVE DEWATERING METHODS DURING PREPARATION OF SUBGRADE, INSTALLATION OF PIPE, AND CONSTRUCTION OF STRUCTURES UNTIL THE CRITICAL PERIOD OF CONSTRUCTION AND/OR BACKFILL IS COMPLETED TO PREVENT DAMAGE OF SUBGRADE SUPPORT, PIPING, STRUCTURE, SIDE SLOPES, OR ADJACENT FACILITIES FOR FLOTATION OR OTHER HYDROSTATIC PRESSURE IMBALANCE.
- G. WHEN CONSTRUCTION IS COMPLETE, PROPERLY REMOVE ALL DEWATERING EQUIPMENT FROM THE SITE, INCLUDING WELLS AND RELATED TEMPORARY ELECTRICAL SERVICE.
- 3.) **SUBGRADE**
- A. NOTIFY PROJECT GEOTECHNICAL ENGINEER WHEN EXCAVATIONS HAVE REACHED REQUIRED SUBGRADE.
- B. IF PROJECT GEOTECHNICAL ENGINEER DETERMINES THAT UNSATISFACTORY SOIL IS PRESENT, CONTINUE EXCAVATION AND REPLACE WITH COMPACTED BACKFILL OR FILL MATERIAL AS DIRECTED.
- C. PROOF-ROLL SUBGRADE BELOW THE BUILDING SLABS AND PAVEMENTS WITH A PNEUMATIC-TIRED AND LOADED 10-WHEEL, TANDEM-AXLE DUMP TRUCK WEIGHING NOT LESS THAN 15 TONS TO IDENTIFY SOFT POCKETS AND AREAS OF EXCESS YIELDING. DO NOT PROOF-ROLL WET OR SATURATED SUBGRADES. EXCAVATE SOFT SPOTS, UNSATISFACTORY SOILS, AND AREAS OF EXCESSIVE PUMPING OR RUTTING, AS DETERMINED BY PROJECT GEOTECHNICAL ENGINEER, AND REPLACE WITH COMPACTED BACKFILL OR FILL AS DIRECTED.
- D. IN HEAVY DUTY PAVEMENT AREAS, THE GRAVEL AGGREGATE BASE SHALL BE EXTENDED UNDER THE CURB AND GUTTER SECTION TO PROVIDE ADDITIONAL STABILITY FOR TRUCK TRAVEL.
- 4.) **UTILITY TRENCH BEDDING AND BACKFILL**
- A. PLACE AND COMPACT BEDDING COURSE ON TRENCH BOTTOMS AND WHERE INDICATED SHAPE BEDDING COURSE TO PROVIDE CONTINUOUS SUPPORT FOR BELLS, JOINTS, AND BARRELS OF PIPES AND FOR JOINTS, FITTINGS, AND BODIES OF CONDUITS.
- B. USE CLASS B BEDDING UNDER ALL PVC PIPING.
- C. CAREFULLY COMPACT INITIAL BACKFILL UNDER PIPE HAUNCHES AND COMPACT EVENLY UP ON BOTH SIDES AND ALONG THE FULL LENGTH OF PIPING OR CONDUIT TO AVOID DAMAGE OR DISPLACEMENT OF PIPING OR CONDUIT.
- D. BACKFILL ALL UTILITIES UNDER ROADWAYS AND TRAFFIC AREAS WITH CRUSHED STONE.
- 5.) **COMPACTION OF SOIL BACKFILLS AND FILLS**
- A. PLACE BACKFILL AND FILL SOIL MATERIALS IN LAYERS NOT MORE THAN 8 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS.
- B. PLACE BACKFILL AND FILL SOIL MATERIALS EVENLY ON ALL SIDES OF STRUCTURES TO REQUIRED ELEVATIONS, AND UNIFORMLY ALONG THE FULL LENGTH OF EACH STRUCTURE. COMPACT SOIL MATERIALS AS INDICATED ON DRAWINGS OR AS INDICATED IN THE PROJECT GEOTECHNICAL REPORT.
- C. PROVIDE CONSTRUCTION PHASE MONITORING AND TESTING AS RECOMMENDED IN THE PROJECT GEOTECHNICAL REPORT. PROVIDE TEST REPORTS TO THE ENGINEER FOR REVIEW AND APPROVAL.
- 6.) **GRADING**
- A. GENERAL: UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE, FREE OF IRREGULAR SURFACE CHANGES, COMPLY WITH COMPACTION REQUIREMENTS AND GRADE TO CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED.
1. PROVIDE A SMOOTH TRANSITION BETWEEN ADJACENT EXISTING GRADES AND NEW GRADES.
2. CUT OUT SOFT SPOTS, FILL LOW SPOTS, AND TRIM HIGH SPOTS TO COMPLY WITH REQUIRED SURFACE TOLERANCES.
- B. LANDSCAPE ISLANDS: FILL ALL CURBED ISLANDS TO TOP OF CURB WITH TOPSOIL AND APPLY SEED AND MULCH UNLESS DRAWINGS INDICATE OTHERWISE.
- C. SLOPES: DO NOT CREATE CUT OR FILL SLOPES STEEPER THAN 2H:1V WITHOUT OBTAINING SPECIAL WRITTEN PERMISSION FROM THE ENGINEER OF RECORD AND PROJECT GEOTECHNICAL ENGINEER.
- 7.) **PROTECTION**
- A. PROTECTING GRADED AREAS: PROTECT NEWLY GRADED AREAS FROM TRAFFIC, FREEZING, AND EROSION. KEEP FREE OF TRASH AND DEBRIS. SEE EROSION AND SEDIMENT CONTROL PLAN AND NOTES FOR FURTHER INFORMATION.

**ASPHALT PAVING**

- 1.) **FIELD CONDITIONS**
- A. ENVIRONMENTAL LIMITATIONS: DO NOT APPLY ASPHALT MATERIALS IF SUBGRADE IS WET OR EXCESSIVELY DAMP. IF RAIN IS IMMINENT OR EXPECTED BEFORE TIME REQUIRED FOR ADEQUATE CURE, OR IF THE FOLLOWING CONDITIONS ARE NOT MET:
  1. PRIME COAT: MINIMUM SURFACE TEMPERATURE OF 40 DEG F.
  2. TACK COAT: MINIMUM SURFACE TEMPERATURE OF 60 DEG F.
  3. SLURRY COAT: COMPLY WITH WEATHER LIMITATIONS IN ASTM D 3910.
  4. ASPHALT BASE COURSE: MINIMUM SURFACE TEMPERATURE OF 40 DEG F AND RISING AT TIME OF PLACEMENT.
  5. ASPHALT SURFACE COURSE: MINIMUM SURFACE TEMPERATURE OF 60 DEG F AT TIME OF PLACEMENT.
- 2.) **ASPHALT MATERIALS**
- A. REFER TO PROJECT GEOTECHNICAL REPORT AND PROJECT DRAWINGS FOR REQUIRED ASPHALT MATERIAL DESIGN.
- B. AGGREGATES SHALL MEET THE REQUIREMENTS OF THE LOCAL DEPARTMENT OF TRANSPORTATION.
- C. RECLAIMED ASPHALT PAVEMENT (RAP) SHALL NOT BE USED IN THE MIX DESIGN.
- 3.) **PATCHING**
- A. ASPHALT PAVEMENT: SAW CUT PERIMETER OF PATCH AND EXCAVATE EXISTING PAVEMENT SECTION TO SOUND BASE. EXCAVATE RECTANGULAR OR TRAPEZOIDAL PATCHES, EXTENDING 12 INCHES INTO PERIMETER OF ADJACENT SOUND PAVEMENT, UNLESS OTHERWISE INDICATED. CUT EXCAVATION FACES VERTICALLY. REMOVE EXCAVATED MATERIAL. RECOMPACT EXISTING UNBOUND-AGGREGATE BASE COURSE TO FORM NEW SUBGRADE.
- B. TACK COAT: BEFORE PLACING PATCH MATERIAL, APPLY TACK COAT UNIFORMLY TO VERTICAL ASPHALT SURFACES ABUTTING THE PATCH. APPLY AT A RATE OF 0.05 TO 0.15 GAL./SQ. YD.
2. AVOID SMEARING OR STAINING ADJOINING SURFACES, APPURTENANCES, AND SURROUNDINGS. REMOVE SPILLAGES AND CLEAN AFFECTED SURFACES.
- C. PLACING PATCH MATERIAL: FILL EXCAVATED PAVEMENT AREAS WITH HOT-MIX ASPHALT MIX FOR FULL THICKNESS OF PATCH AND, WHILE STILL HOT, COMPACT FLUSH WITH ADJACENT SURFACE.
- 4.) **SURFACE PREPARATION**
- A. GENERAL: IMMEDIATELY BEFORE PLACING ASPHALT MATERIALS, REMOVE LOOSE AND DELETERIOUS MATERIAL FROM SUBSTRATE SURFACES. ENSURE THAT PREPARED SUBGRADE IS READY TO RECEIVE PAVING. SAW CUT EXISTING PAVEMENT TO THE JOINED TO PROVIDE VERTICAL FACES BETWEEN NEW AND EXISTING SURFACES.
- B. EMULSIFIED ASPHALT PRIME COAT: APPLY UNIFORMLY OVER SURFACE OF COMPACTED UNBOUND-AGGREGATE BASE COURSE AT A RATE OF 0.10 TO 0.30 GAL./SQ. YD. PER INCH DEPTH. APPLY ENOUGH MATERIAL TO PENETRATE AND SEAL, BUT NOT FLOOD, SURFACE. ALLOW PRIME COAT TO CURE.
1. IF PRIME COAT IS NOT ENTIRELY ABSORBED WITHIN 24 HOURS AFTER APPLICATION, SPREAD SAND OVER SURFACE TO BLOT EXCESS ASPHALT. USE ENOUGH SAND TO PREVENT PICKUP UNDER TIRE TREADS. REMOVE LOOSE SAND BY SWEEPING BEFORE PAVEMENT IS PLACED AND AFTER VOLATILES HAVE EVAPORATED.
2. PROTECT PRIMED SUBSTRATE FROM DAMAGE UNTIL READY TO RECEIVE PAVING.
- C. TACK COAT: APPLY UNIFORMLY TO SURFACES OF EXISTING PAVEMENT AT A RATE OF 0.02 TO 0.08 GAL./SQ. YD.
1. ALLOW TACK COAT TO CURE UNDISTURBED BEFORE APPLYING HOT-MIX ASPHALT PAVING.
2. AVOID SMEARING OR STAINING ADJOINING SURFACES, APPURTENANCES, AND SURROUNDINGS. REMOVE SPILLAGES AND CLEAN AFFECTED SURFACES.
- 5.) **PLACING HOT-MIX ASPHALT**
- A. MACHINE PLACE HOT-MIX ASPHALT ON PREPARED SURFACE. SPREAD UNIFORMLY, AND STRIKE OFF. PLACE ASPHALT MIX BY HAND IN AREAS INACCESSIBLE TO EQUIPMENT IN A MANNER THAT PREVENTS SEGREGATION OF MIX. PLACE EACH COURSE TO REQUIRED GRADE, CROSS SECTION, AND THICKNESS WHEN COMPACTED.
1. PLACE HOT-MIX ASPHALT BASE COURSE IN NUMBER OF LIFTS AND THICKNESSES INDICATED.
2. PLACE HOT-MIX ASPHALT SURFACE COURSE IN SINGLE LIFT.
3. SPREAD MIX AT A MINIMUM TEMPERATURE OF 250 DEG F.
4. BEGIN APPLYING MIX ALONG CENTERLINE OF CROWN FOR CROWNED SECTIONS AND ON HIGH SIDE OF ONE-WAY SLOPES UNLESS OTHERWISE INDICATED.
5. REGULATE PAVEMENT MACHINE SPEED TO OBTAIN SMOOTH, CONTINUOUS SURFACE FREE OF PULLS AND TEARS IN ASPHALT-PAVING MAT.
- B. PLACE PAVING IN CONSECUTIVE STRIPS NOT LESS THAN 10 FEET WIDE UNLESS INFILL EDGE STRIPS OF A LESSER WIDTH ARE REQUIRED.
- 6.) **JOINTS**
- A. CONSTRUCT JOINTS TO ENSURE A CONTINUOUS BOND BETWEEN ADJOINING PAVING SECTIONS.
- B. CONSTRUCT JOINTS FREE OF DEPRESSIONS, WITH SAME TEXTURE AND SMOOTHNESS AS OTHER SECTIONS OF HOT-MIX ASPHALT COURSE.
- C. CONSTRUCT SMOOTH TRANSITIONS BETWEEN NEW AND EXISTING PAVING SECTIONS.
- 7.) **COMPACTION**
- A. GENERAL: BEGIN COMPACTION AS SOON AS PLACED HOT-MIX PAVING WILL BEAR ROLLER WEIGHT WITHOUT EXCESSIVE DISPLACEMENT. COMPACT HOT-MIX PAVING WITH HOT, HAND TAMPERS OR WITH VIBRATORY-PLATE COMPACTORS IN AREAS INACCESSIBLE TO ROLLERS. COMPLETE COMPACTION BEFORE MIX TEMPERATURE COOLS TO 185 DEG F.
1. INITIAL LIFT: AVERAGE OF 92% OF MAXIMUM THEORETICAL DENSITY.
2. TOP SURFACE LIFT: AVERAGE OF 93% OF MAXIMUM THEORETICAL DENSITY.
3. TOLERANCE: +2.0%, -1.0% OF ANY INDIVIDUAL TEST.
- B. FINISH ROLLING: FINISH ROLL PAVED SURFACES TO REMOVE ROLLER MARKS WHILE HOT-MIX ASPHALT IS STILL WARM.
- C. ERECT BARRICADES TO PROTECT PAVING FROM TRAFFIC FOR AT LEAST 24 HOURS AFTER PLACEMENT FOR THE BINDER COURSE, AND AT LEAST 72 HOURS AFTER PLACEMENT FOR THE FINAL WEARING SURFACE.
- D. IF THE AMBIENT AIR TEMPERATURE IS IN EXCESS OF 90 DEGREES FAHRENHEIT DURING THE 72 HOUR PROTECTION PERIOD, THE PAVEMENT SURFACE SHALL BE FLOODED WITH WATER TO RAPIDLY COOL THE PAVEMENT AT LEAST ONCE PER DAY.
- 8.) **FIELD QUALITY CONTROL**
- A. TESTING AGENCY: ENGAGE A QUALIFIED TESTING AGENCY TO PERFORM TESTS AND INSPECTIONS.
- B. CONDUCT TESTS AND REPORTS SPECIFIED IN THE PROJECT GEOTECHNICAL REPORT.
- C. TESTING AGENCY MUST INSPECT AND APPROVE THE SUBGRADE, EACH FILL LAYER, AND THE SUBBASE AND BASE COURSES.
- D. PROMPTLY SEND TEST REPORTS TO THE ENGINEER FOR REVIEW AND APPROVAL.
- E. REMOVE AND REPLACE OR INSTALL ADDITIONAL HOT-MIX ASPHALT WHERE TEST RESULTS OR MEASUREMENTS INDICATE THAT IT DOES NOT COMPLY WITH SPECIFIED REQUIREMENTS.

**CONCRETE PAVING**

- 1.) **PROJECT CONDITIONS**
- A. TRAFFIC CONTROL: MAINTAIN ACCESS FOR VEHICULAR AND PEDESTRIAN TRAFFIC AS REQUIRED FOR OTHER CONSTRUCTION ACTIVITIES.
- 2.) **STEEL REINFORCEMENT**
- A. PLAIN-STEEL WELDED WIRE REINFORCEMENT: ASTM A 185/A 185M, FABRICATED FROM AS-DRAWN STEEL WIRE INTO FLAT SHEETS.
- B. REINFORCING BARS: ASTM A 615/A 615M, GRADE 60, DEFORMED.
- C. JOINT DOWEL BARS: ASTM A 615/A 615M, GRADE 60 PLAIN-STEEL BARS. CUT BARS TRUE TO LENGTH WITH ENDS SQUARE AND FREE OF BURRS.
- D. BAR SUPPORTS: BOLSTERS, CHAIRS, SPACERS, AND OTHER DEVICES FOR SPACING, SUPPORTING, AND FASTENING REINFORCING BARS, WELDED WIRE REINFORCEMENT, AND DOWELS IN PLACE. MANUFACTURE BAR SUPPORTS ACCORDING TO CRSIS "MANUAL OF STANDARD PRACTICE" FROM STEEL WIRE, PLASTIC, OR PRECAST CONCRETE OF GREATER COMPRESSIVE STRENGTH THAN CONCRETE SPECIFIED, AND AS FOLLOWS:
- 3.) **CONCRETE MATERIALS**
- A. CEMENTITIOUS MATERIAL: USE CEMENTITIOUS MATERIALS, OF SAME TYPE, BRAND, AND SOURCE THROUGHOUT PROJECT.
- B. NORMAL-WEIGHT AGGREGATES: ASTM C 33,, UNIFORMLY GRADED. PROVIDE AGGREGATES FROM A SINGLE SOURCE.
  1. MAXIMUM COARSE-AGGREGATE SIZE: 1 INCH NOMINAL.
  2. FINE AGGREGATE: TYPE OF MATERIALS WITH DELETERIOUS REACTIVITY TO ALKALI IN CEMENT.
- 4.) **RELATED MATERIALS**
- A. JOINT FILLERS: ASTM D 1751, ASPHALT-SATURATED CELLULOSIC FIBER IN PREFORMED STRIPS.
- 5.) **WHEEL STOPS**
- A. WHEEL STOPS: PRECAST, AIR-ENTRAINED CONCRETE, 2500-PSI MINIMUM COMPRESSIVE STRENGTH. PROVIDE CHAMFERED CORNERS AND DRAINAGE SLOTS ON UNDERSIDE AND HOLES FOR ANCHORING TO SUBSTRATE.
- 6.) **SIDEWALKS**
- A. SIDEWALKS: SLOPE SIDEWALKS AWAY FROM BUILDING WITH A 1.5% CROSS-SLOPE UNLESS DRAWINGS INDICATE OTHERWISE.
- 7.) **PREPARATION**
- A. REMOVE LOOSE MATERIAL FROM COMPACTED SUBBASE SURFACE IMMEDIATELY BEFORE PLACING CONCRETE.
- B. STEEL REINFORCEMENT
  1. COMPLY WITH CRSIS "MANUAL OF STANDARD PRACTICE" FOR FABRICATING, PLACING, AND SUPPORTING REINFORCEMENT.
  2. CLEAN REINFORCEMENT OF LOOSE RUST AND MILL SCALE, EARTH, ICE, OR OTHER DEBRIS.
  3. ARRANGE, SPACE, AND SECURELY LAY THE BARS AND BAR SUPPORTS TO HOLD REINFORCEMENT IN POSITION DURING CONCRETE PLACEMENT. MAINTAIN MINIMUM COVER TO REINFORCEMENT.
  4. INSTALL WELDED WIRE REINFORCEMENT IN LENGTHS AS LONG AS PRACTICABLE. LAP ADJOINING PIECES AT LEAST ONE FULL MESH, AND LACE SPLICES WITH WIRE. OFFSET LAPS OF ADJOINING WIDTHS TO PREVENT CONTINUOUS LAPS IN EITHER DIRECTION.
  5. ZINC-COATED REINFORCEMENT: USE GALVANIZED ZINC WIRE TIES TO FASTEN ZINC-COATED BOND-REINFORCEMENT. REPAIR CUT AND DAMAGED ZINC COATINGS WITH ZINC REPAIR MATERIAL.
- 9.) **JOINTS**
- A. GENERAL: FORM CONSTRUCTION, ISOLATION, AND CONTRACTION JOINTS AND TOOL EDGES TRUE TO LINE, WITH FACES PERPENDICULAR TO SURFACE PLANE OF CONCRETE. CONSTRUCT CONTRACTION JOINTS AT RIGHT ANGLES TO CENTERLINE UNLESS OTHERWISE INDICATED.
  1. WHEN JOINING EXISTING PAVING, PLACE TRANSVERSE JOINTS TO ALIGN WITH PREVIOUSLY PLACED JOINTS UNLESS OTHERWISE INDICATED.
  2. ENSURE FORMS PROVIDE CORRECT HORIZONTAL AND VERTICAL ALIGNMENT BETWEEN NEW AND EXISTING PAVEMENTS, SIDEWALKS, CURB AND GUTTER, ETC.
- B. CONSTRUCTION JOINTS: SET CONSTRUCTION JOINTS AT SIDE AND END TERMINATIONS OF PAVING AND AT LOCATIONS WHERE PAVING OPERATIONS ARE STOPPED FOR MORE THAN ONE-HALF HOUR UNLESS PAVING TERMINATES AT ISOLATION JOINTS.
  1. CONTINUE STEEL REINFORCEMENT ACROSS CONSTRUCTION JOINTS UNLESS OTHERWISE INDICATED. DO NOT CONTINUE REINFORCEMENT THROUGH SIDES OF PAVING STRIPS UNLESS OTHERWISE INDICATED.
  2. PROVIDE THE BARS AT SIDES OF PAVING STRIPS WHERE INDICATED.
  3. KEYED JOINTS: PROVIDE PREFORMED KEYWAY-SECTION FORMS OR BULKHEAD FORMS WITH KEYS UNLESS OTHERWISE INDICATED. EMBED KEYS AT LEAST 1-1/2 INCHES INTO CONCRETE.
  4. DOWELED JOINTS: INSTALL DOWEL BARS AND SUPPORT ASSEMBLIES AT JOINTS WHERE INDICATED. LUBRICATE OR COAT WITH ASPHALT ONE-HALF OF DOWEL LENGTH TO PREVENT CONCRETE BONDING TO ONE SIDE OF JOINT.
- C. ISOLATION JOINTS: FORM ISOLATION JOINTS OF PREFORMED JOINT-FILLER STRIPS ABUTTING CONCRETE CURBS, CATCH BASINS, MANHOLES, INLETS, STRUCTURES, OTHER FIXED OBJECTS, AND WHERE INDICATED.
  1. LOCATE EXPANSION JOINTS AT INTERVALS OF 30 FEET UNLESS OTHERWISE INDICATED.
  2. EXTEND JOINT FILLER FULL WIDTH AND DEPTH OF JOINT.
  3. TERMINATE JOINT FILLER NOT LESS THAN 1/2 INCH OR MORE THAN 1 INCH BELOW FINISHED SURFACE IF JOINT SEALANT IS INDICATED.
  4. PLACE TOP OF JOINT FILLER FLUSH WITH FINISHED CONCRETE SURFACE IF JOINT SEALANT IS NOT INDICATED.
- D. FINISH JOINT FILLERS IN ONE-PIECE LENGTHS, WHERE MORE THAN ONE LENGTH IS REQUIRED. LACE OR CLIP JOINT-FILLER SECTIONS TOGETHER.
5. DURING CONCRETE PLACEMENT, PROTECT TOP EDGE OF JOINT FILLER WITH METAL, PLASTIC, OR OTHER TEMPORARY PREFORMED CAP. REMOVE PROTECTIVE CAP AFTER CONCRETE HAS BEEN PLACED ON BOTH SIDES OF JOINT.
6. CONTRACTION JOINTS: FORM WEAKENED-HORIZONAL CONTRACTION JOINTS, SECTIONING CONCRETE INTO AREAS AS INDICATED. CONSTRUCT CONTRACTION JOINTS FOR A DEPTH EQUAL TO AT LEAST ONE-FOURTH OF THE CONCRETE THICKNESS, AS FOLLOWS:
  1. GROOVED JOINTS: FORM CONTRACTION JOINTS AFTER INITIAL FLOATING BY GROOVING AND FINISHING EACH EDGE OF JOINT WITH GROOVING TOOL TO A 1/4-INCH RADIUS. REPEAT GROOVING OF CONTRACTION JOINTS AFTER APPLYING SURFACE FINISHES. ELIMINATE GROOVING-TOOL MARKS ON CONCRETE SURFACES.
  2. SAWED JOINTS: FORM CONTRACTION JOINTS WITH POWER SAWS EQUIPPED WITH SHATTERPROOF ABRASIVE OR DIAMOND-RIMMED BLADES. CUT 1/8-INCH-WIDE JOINTS INTO CONCRETE WHEN CUTTING ACTION WILL NOT TEAR, ABRADE, OR OTHERWISE DAMAGE SURFACE AND BEFORE DEVELOPING RANDOM CONTRACTION CRACKS.
  3. DOWELED CONTRACTION JOINTS: INSTALL DOWEL BARS AND SUPPORT ASSEMBLIES AT JOINTS WHERE INDICATED. LUBRICATE OR COAT WITH ASPHALT ONE-HALF OF DOWEL LENGTH TO PREVENT CONCRETE BONDING TO ONE SIDE OF JOINT.
- E. EDGING: AFTER INITIAL FLOATING, TOOL EDGES OF PAVING, GUTTERS, CURBS, AND JOINTS IN CONCRETE WITH AN EDGING TOOL TO A 1/4-INCH RADIUS. REPEAT TOOLING OF EDGES AFTER APPLYING SURFACE FINISHES. ELIMINATE EDGING-TOOL MARKS ON CONCRETE SURFACES.

**10.) FIELD QUALITY CONTROL**

- A. TESTING AGENCY: ENGAGE A QUALIFIED TESTING AGENCY TO PERFORM TESTS AND INSPECTIONS.
- B. PROMPTLY SEND TEST REPORTS TO THE ENGINEER FOR REVIEW AND APPROVAL.
- C. TESTING SERVICES: TESTING OF COMPOSITE SAMPLES OF FRESH CONCRETE OBTAINED ACCORDING TO ASTM C 172 SHALL BE PERFORMED BY THE GENERAL CONTRACTOR'S TESTING AGENCY ACCORDING TO THE FOLLOWING REQUIREMENTS:
  1. TESTING FREQUENCY: OBTAIN AT LEAST ONE COMPOSITE SAMPLE FOR EACH 100 CU. YD. OR FRACTION THEREOF OF EACH CONCRETE MIXTURE PLACED EACH DAY. WHEN FREQUENCY OF TESTING WILL PROVIDE FEWER THAN FIVE COMPRESSIVE-STRENGTH TESTS FOR EACH CONCRETE MIXTURE, TESTING SHALL BE CONDUCTED FROM AT LEAST FIVE RANDOMLY SELECTED BATCHES OR FROM EACH BATCH IF FEWER THAN FIVE ARE USED.
  2. SLUMP: ASTM C 1430 143M: ONE TEST AT POINT OF PLACEMENT FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MIXTURE. PERFORMANCE ADJUSTMENT TESTS WHEN CONCRETE CONSISTENCY APPEARS TO CHANGE.
  3. AIR CONTENT: ASTM C 231, PRESSURE METHOD; ONE TEST FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MIXTURE.
  4. CONCRETE TEMPERATURE: ASTM C 1064/1064M: ONE TEST HOURLY WHEN AIR TEMPERATURE IS 40 DEG F AND BELOW AND WHEN IT IS 80 DEG F AND ABOVE, AND ONE TEST FOR EACH COMPOSITE SAMPLE.
  5. COMPRESSION TEST SPECIMENS: ASTM C 31C 31M: CAST AND LABORATORY CURE ONE SET OF THREE STANDARD CYLINDER SPECIMENS FOR EACH COMPOSITE SAMPLE.
  6. COMPRESSIVE-STRENGTH TESTS: ASTM C 39C 39M: TEST ONE SPECIMEN AT SEVEN DAYS AND TWO SPECIMENS AT 28 DAYS. A COMPRESSIVE-STRENGTH TEST SHALL BE THE AVERAGE COMPRESSIVE STRENGTH FROM TWO SPECIMENS OBTAINED FROM SAME COMPOSITE SAMPLE AND TESTED AT 28 DAYS.
- D. STEEL STOP TESTS: CONCRETE MIXTURE WILL BE SATISFACTORY IF AVERAGE OF ANY THREE CONSECUTIVE COMPRESSIVE-STRENGTH TESTS EQUALS OR EXCEEDS SPECIFIED COMPRESSIVE STRENGTH AND NO COMPRESSIVE-STRENGTH TEST VALUE FALLS BELOW SPECIFIED COMPRESSIVE STRENGTH BY MORE THAN 500 PSI.
- E. TEST RESULTS SHALL BE REPORTED IN WRITING TO ENGINEER, CONCRETE MANUFACTURER, AND CONTRACTOR WITHIN 48 HOURS OF TESTING. REPORTS OF COMPRESSIVE-STRENGTH TESTS SHALL CONTAIN PROJECT IDENTIFICATION NAME AND NUMBER, DATE OF CONCRETE PLACEMENT, NAME OF CONCRETE TESTING AND INSPECTING AGENCY, LOCATION OF CONCRETE BATCH IN WORK, DESIGN COMPRESSIVE STRENGTH AT 28 DAYS, CONCRETE MIXTURE PROPORTIONS AND MATERIALS, COMPRESSIVE BREAKING STRENGTH, AND TYPE OF BREAK FOR BOTH 7- AND 28-DAY TESTS.
- F. ADDITIONAL TESTS: TESTING AND INSPECTING AGENCY SHALL MAKE ADDITIONAL TESTS OF CONCRETE WHEN TEST RESULTS INDICATE THAT SLUMP, AIR ENTRAINMENT, COMPRESSIVE STRENGTHS, OR OTHER REQUIREMENTS HAVE NOT BEEN MET, AS DIRECTED BY ENGINEER.
- G. CONCRETE PAVING WILL BE CONSIDERED DEFECTIVE IF IT DOES NOT PASS TESTS AND INSPECTIONS.
- H. ADDITIONAL TESTING AND INSPECTING, AT CONTRACTOR'S EXPENSE, WILL BE PERFORMED TO DETERMINE COMPLIANCE OF REPLACED OR ADDITIONAL WORK WITH SPECIFIED REQUIREMENTS.
- 1.) **REPAIRS AND PROTECTION**
- A. REMOVE AND REPLACE CONCRETE PAVING THAT IS BROKEN, DAMAGED, OR DEFECTIVE OR THAT DOES NOT COMPLY WITH REQUIREMENTS IN THIS SECTION. REMOVE WORK IN COMPLETE SECTIONS FROM JOINT TO JOINT UNLESS OTHERWISE APPROVED BY ENGINEER.
- B. DRILL TEST CORES, WHERE DIRECTED BY ENGINEER, WHEN NECESSARY TO DETERMINE MAGNITUDE OF CRACKS OR DEFECTIVE AREAS. FILL DRILLED CORE HOLES IN SATISFACTORY PAVING AREAS WITH PORTLAND CEMENT CONCRETE BONDED TO PAVING WITH EPOXY ADHESIVE.
- C. PROTECT CONCRETE PAVING FROM DAMAGE. EXCLUDE TRAFFIC FROM PAVING FOR AT LEAST 14 DAYS AFTER PLACEMENT. WHEN CONSTRUCTION TRAFFIC IS PERMITTED, MAINTAIN PAVING AS CLEAN AS POSSIBLE BY REMOVING SURFACE STAINS AND SPILLAGE OF MATERIALS AS THEY OCCUR.
- D. MAINTAIN CONCRETE PAVING FREE OF STAINS, DISCOLORATION, DIRT, AND OTHER FOREIGN MATERIAL. SWEEP PAVING NOT MORE THAN TWO DAYS BEFORE DATE SCHEDULED FOR SUBSTANTIAL COMPLETION INSPECTIONS.

**PAVEMENT MARKINGS**

- 1.) **QUALITY ASSURANCE**
- A. REGULATORY REQUIREMENTS: COMPLY WITH MATERIALS, WORKMANSHIP, AND OTHER APPLICABLE REQUIREMENTS OF STATE DOT OR LOCAL MUNICIPALITY FOR PAVEMENT-MARKING WORK.
- 2.) **FIELD CONDITIONS**
- A. ENVIRONMENTAL LIMITATIONS: PROCEED WITH PAVEMENT MARKING ONLY ON CLEAN, DRY SURFACES AND AT A MINIMUM AMBIENT OR SURFACE TEMPERATURE OF 40 DEG F FOR ALKYL MATERIALS, 55 DEG F FOR WATER-BASED MATERIALS, AND NOT EXCEEDING 95 DEG F.
- 3.) **PAVEMENT-MARKING PAINT**
- A. PAVEMENT-MARKING PAINT: ALKYL-RESIN TYPE. LEAD AND CHROMATE FREE. READY MIXED, COMPLYING WITH AASHTO M 248. COLORS COMPLYING WITH FT-TP-1952, COLOR; AS INDICATED.
- B. ALL PAVEMENT MARKING WITHIN D.O.T. RIGHT-OF-WAY SHALL BE THERMOPLASTIC AND IN ACCORDANCE WITH D.O.T. SPECIFICATIONS.
- 4.) **PAVEMENT MARKING**
- A. APPLY TEMPORARY PAVEMENT MARKING BEFORE TRAFFIC IS ALLOWED ON ANY NEWLY PAVED AREA OR AS SITE CONDITIONS DICTATE. ALLOW FINAL WEARING SURFACE TO AGE FOR A MINIMUM OF 30 DAYS BEFORE APPLYING FINAL PERMANENT PAVEMENT MARKING.
- 5.) **PROTECTING AND CLEANING**
- A. PROTECT PAVEMENT MARKINGS FROM DAMAGE AND WEAR DURING REMAINDER OF CONSTRUCTION PERIOD.
- B. CLEAN SPILLAGE AND SOILING FROM ADJACENT CONSTRUCTION USING CLEANING AGENTS AND PROCEDURES RECOMMENDED BY MANUFACTURER OF AFFECTED CONSTRUCTION.

**CHAIN LINK FENCES AND GATES**

- 1.) **PROJECT CONDITIONS**
- A. FIELD MEASUREMENTS: VERIFY LAYOUT INFORMATION FOR CHAIN-LINK FENCES AND GATES SHOWN ON DRAWINGS IN RELATION TO PROPERTY SURVEY AND EXISTING STRUCTURES. VERIFY DIMENSIONS BY FIELD MEASUREMENTS.
- 2.) **WARRANTY**
- A. SPECIAL WARRANTY: MANUFACTURER'S STANDARD FORM IN WHICH INSTALLER AGREES TO REPAIR OR REPLACE COMPONENTS OF CHAIN-LINK FENCES AND GATES THAT FAIL IN MATERIALS OR WORKMANSHIP WITHIN SPECIFIED WARRANTY PERIOD.
- 3.) **CHAIN-LINK FENCE FABRIC**
- A. GENERAL: PROVIDE FABRIC IN ONE-PIECE HEIGHTS MEASURED BETWEEN TOP AND BOTTOM OF OUTER EDGE OF SELVAGE KNUCKLE OR TWIST. COMPLY WITH CLFM PRODUCT MANUAL AND WITH REQUIREMENTS INDICATED BELOW:
  1. FABRIC HEIGHT: AS INDICATED ON DRAWINGS.
  2. STEEL WIRE FABRIC: WIRE WITH A DIAMETER OF 0.148 INCH.
    - a. MESH SIZE: 2 INCHES.
    - b. POLYMER-COATED FABRIC: ASTM F 668, OVER ZINC-COATED STEEL WIRE. COLOR: BLACK. COMPLYING WITH ASTM F 934.
  3. SELVAGE: TWISTED TOP AND KNUCKLED BOTTOM.
- 4.) **FRAME FRAMING**
- A. POSTS AND RAILS: COMPLY WITH ASTM F 1043 FOR FRAMING, INCLUDING RAILS, BRACES, AND LINE, TERMINAL, AND CORNER POSTS. PROVIDE MEMBERS WITH MINIMUM DIMENSIONS AND WALL THICKNESS ACCORDING TO ASTM F 1043 BASED ON THE FOLLOWING:
  1. FENCE HEIGHT: AS INDICATED ON DRAWINGS.
  2. MATERIAL
    - a. LINE POST: 1.8 INCHES IN DIAMETER.
    - b. END CORNER AND PULL POST: 2.375 INCHES.
  3. HORIZONTAL FRAMEWORK MEMBERS: TOP RAILS COMPLYING WITH ASTM F 1043. TOP RAIL: 1.65 INCHES IN DIAMETER.
  4. ALGAE RAILS: COMPLY WITH ASTM F 1043.
  5. METALLIC COATING FOR STEEL FRAMING: TYPE A, CONSISTING OF NOT LESS THAN MINIMUM 2.0-OZ./SQ. FT. AVERAGE ZINC COATING PER ASTM A 123/A 123M OR 4.0-OZ./SQ. FT. ZINC COATING PER ASTM A 653/A 653M.
- 5.) **TENSION WIRE**
- A. METALLIC-COATED STEEL WIRE: 0.177-INCH DIAMETER, MARCELLED TENSION WIRE COMPLYING WITH ASTM A 817 AND ASTM A 824, WITH THE FOLLOWING METALLIC COATING: TYPE II, ZINC COATED (GALVANIZED) BY HOT-DIP PROCESS, WITH THE FOLLOWING MINIMUM COATING WEIGHT:
  1. MATCHING CHAIN-LINK FABRIC COATING WEIGHT.
- 6.) **SWING GATES**
- A. GENERAL: COMPLY WITH ASTM F 900 FOR GATE POSTS AND SINGLE OR DOUBLE SWING GATE TYPES:
  1. GATE LEAF WIDTH: AS INDICATED.
  2. GATE FABRIC HEIGHT: AS INDICATED.
- B. BRACE RAILS: COMPLY WITH ASTM F 1043 AND ASTM F 1083; PROTECTIVE COATING AND FINISH TO MATCH FENCE FRAMING.
- C. GATE FRAMES AND BRACING: ROUND TUBULAR STEEL.
- C. FRAME CORNER CONSTRUCTION: ASSEMBLED WITH CORNER FITTINGS.
- D. HARDWARE:
  1. HUBS: 360-DEGREE INWARD AND OUTWARD SWING.
  2. LATCHES PERMITTING OPERATION FROM BOTH SIDES OF GATE WITH PROVISION FOR PADLOCKING ACCESSIBLE FROM BOTH SIDES OF GATE.
- 7.) **FITTINGS**
- A. GENERAL: COMPLY WITH ASTM F 626.
- B. POST CAPS: PROVIDE FOR EACH POST. PROVIDE LINE POST CAPS WITH LOOP TO RECEIVE PIPE AND BRACE ENLIG. PROVIDE CURB, PULLER, AND END POST.
- C. END BRACE ENLIG: PROVIDE FOR EACH GATE, CORNER, PULLER, AND END POST.
- D. RAIL FITTINGS: PROVIDE THE FOLLOWING:
  1. TOP RAIL SLEEVES: PRESSED-STEEL OR ROUND-STEEL TUBING NOT LESS THAN 6 INCHES LONG.
  2. RAIL CLAMPS: LINE AND CORNER BOULEVARD CLAMPS FOR CONNECTING RAILS IN THE FENCE LINE-TO-LINE POSTS.
- E. TENSION AND BRACE BARS: PRESSED STEEL.
- F. TENSION BARS: STEEL LENGTH NOT LESS THAN 2 INCHES SHORTER THAN FULL HEIGHT OF CHAIN-LINK FABRIC. PROVIDE ONE BAR FOR EACH GATE AND END POST, AND TWO FOR EACH CORNER AND PULL POST, UNLESS FABRIC IS INTEGRALLY WOVEN INTO POST.
- G. BRACE RAILS: HOT-DIP GALVANIZED AFTER THREADING ROD AND TURNBUCKLE OR OTHER MEANS OF ADJUSTMENT.
- H. THE WIRES, CLIPS, AND FASTENERS: ACCORDING TO ASTM F 626. STANDARD ROLL WIRE TIES: FOR ATTACHING CHAIN-LINK FABRIC TO POSTS, RAILS, AND FRAMES, COMPLYING WITH THE FOLLOWING:
  1. HOT-DIP GALVANIZED AFTER THREADING ROD AND TURNBUCKLE OR OTHER MEANS OF ADJUSTMENT.
  2. THICKNESS MATCHING COATING THICKNESS OF CHAIN-LINK FENCE FABRIC.
- 8.) **GROUT AND ANCHORING CEMENT**
- A. NONSHRINK, NONMETALLIC GROUT: PREMIXED, FACTORY-PACKAGED, NONSTAINING, NONCORROSIVE, NONGASEOUS GROUT COMPLYING WITH ASTM C 1107. PROVIDE GROUT, RECOMMENDED IN WRITING BY MANUFACTURER, FOR EXTERIOR APPLICATION.
- B. EROSION-RESISTANT ANCHORING CEMENT: FACTORY-PACKAGED, NONSHRINK, NONSTAINING, NONCORROSIVE GROUT FOR EXTERIOR APPLICATION. PROVIDE GROUT FORMATION WITH POTABLE WATER AT PROJECT SITE TO CREATE POURABLE ANCHORING, PATCHING, AND GROUTING COMPOUND. PROVIDE FORMULATION THAT IS RESISTANT TO EROSION FROM WATER EXPOSURE WITHOUT NEEDING PROTECTIVE COATING OR WATERPROOF COATING AND THAT IS RECOMMENDED IN WRITING BY MANUFACTURER, FOR EXTERIOR APPLICATIONS.
- 9.) **ADJUSTING**
- A. GATES: ADJUST GATES TO OPERATE SMOOTHLY, EASILY, AND QUIETLY. FREE OF BINDING, WARP, EXCESSIVE DEFLECTION, DISTORTION, NONALIGNMENT, MISPLACEMENT, DISRUPTION OR MALFUNCTION, THROUGHOUT ENTIRE OPERATIONAL RANGE. CONFIRM THAT LATCHES AND LOCKS ENGAGE ACCURATELY AND SECURELY WITHOUT FORCING OR BINDING.

**FORT BEND COUNTY GENERAL NOTES**

1. FORT BEND COUNTY MUST BE INVITED TO THE PRE-CONSTRUCTION MEETING.
2. CONTRACTOR SHALL NOTIFY FORT BEND COUNTY ENGINEERING DEPARTMENT 48 HOURS PRIOR TO COMMENCING CONSTRUCTION AND 48 HOUR NOTICE TO ANY CONSTRUCTION ACTIVITY WITHIN THE LIMITS OF THE PAVING AT CONSTRUCTION@FORTBENDCOUNTYTX.GOV.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FROM FORT BEND COUNTY PRIOR TO COMMENCING CONSTRUCTION OF ANY IMPROVEMENTS WITHIN COUNTY ROAD RIGHT OF WAY.
4. ALL PAVING IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FORT BEND COUNTY RULES, REGULATIONS AND REQUIREMENTS RELATING TO THE APPROVAL AND ACCEPTANCE OF IMPROVEMENTS IN SUBDIVISIONS AS CURRENTLY AMENDED.
5. ALL ROAD WIDTHS, CURB RADI AND CURB ALIGNMENT SHOWN INDICATES BACK OF CURB.
6. A CONTINUOUS LONGITUDINAL REINFORCING BAR SHALL BE USED IN THE CURBS.
7. ALL CONCRETE PAVEMENT SHALL BE 5-1/2 SACK CEMENT WITH A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. TRAVERSE EXPANSION JOINTS SHALL BE INSTALLED AT EACH CURB RETURN AND AT A MAXIMUM SPACING OF 50 FEET.
8. ALL WEATHER ACCESS TO ALL EXISTING STREETS AND DRIVEWAYS SHALL BE MAINTAINED AT ALL TIMES.
9. 4"x12" REINFORCED CONCRETE CURB SHALL BE PLACED IN FRONT OF SINGLE FAMILY LOTS ONLY. ALL OTHER AREAS SHALL BE 6" REINFORCED CONCRETE CURB.
10. AT ALL INTERSECTIONS, TYPE 7 RAMPS SHALL BE PLACED IN ACCORDANCE WITH TxDOT PED-12A STANDARD DETAIL SHEET. A.D.A. HANDICAP RAMPS SHALL BE INSTALLED WITH STREET PAVING AT ALL INTERSECTIONS AND COMPLY WITH CURRENT A.D.A. REGULATIONS. CURB HEADERS ARE REQUIRED AT CURB CONNECTIONS TO HANDICAP RAMPS, WITH NO CONSTRUCTION JOINT WITHIN 5' OF RAMPS.
11. ALL INTERSECTIONS UTILIZING TRAFFIC CONTROL MEASURES SHALL HAVE A.D.A. WHEEL CHAIR RAMPS INSTALLED.
12. GUIDELINES ARE SET FORTH IN THE TEXAS "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AS CURRENTLY AMENDED. SHALL BE OBSERVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE FLAGMEN, SIGNING, STRIPING AND WARNING DEVICES, ETC., DURING CONSTRUCTION - BOTH DAY AND NIGHT.
14. ALL R1-1 STOP SIGNS SHALL BE 30"x30" WITH DIAMOND GRADE SHEETING PER TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
15. STREET NAME SIGNAGE SHALL BE ON A 9" HIGH SIGN FLAT BLADE W/ REFLECTIVE GREEN BACKGROUND. STREET NAMES SHALL BE UPPER AND LOWERCASE LETTERING WITH UPPER CASE LETTERS OF 6" MINIMUM AND LOWERCASE LETTERS OF 4.5" MINIMUM. THE LETTERS SHALL BE REFLECTIVE WHITE. STREET NAME SIGNS SHALL BE MOUNTED ON STOP SIGN POST.
16. A BLUE DOUBLE REFLECTORIZED BUTTON SHALL BE PLACED AT ALL FIRE HYDRANT LOCATIONS. THE BUTTON SHALL BE PLACED 12 INCHES OFF OF THE CENTERLINE OF THE STREET ON THE SAME SIDE AS THE HYDRANT.

NOTE: FORT BEND COUNTY NOTES SUPERSEDE ANY CONFLICTING NOTES.

INSPECTION. THE PROJECT AND ALL PARTS THEREOF SHALL BE SUBJECT TO INSPECTION FROM TIME TO TIME BY INSPECTORS DESIGNATED BY FORT BEND COUNTY. NO SUCH INSPECTIONS SHALL RELIEVE THE CONTRACTOR OF ANY OF ITS OBLIGATIONS HEREUNDER. NEITHER FAILURE TO INSPECT NOR FAILURE TO DISCOVER OR RECTIFY ANY OF THE WORK AS NOT IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, REQUIREMENTS AND SPECIFICATIONS OF FORT BEND COUNTY OR ANY PROVISION OF THIS PROJECT SHALL BE CONSTRUED TO IMPLY AN ACCEPTANCE OF SUCH WORK OR TO RELIEVE THE CONTRACTOR OF ANY OF ITS OBLIGATIONS HEREUNDER.

**ENGINEER:**

**FORESITE**  
group

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D/B/A Foresite Consulting Group of Texas, Inc.

**OWNER:**

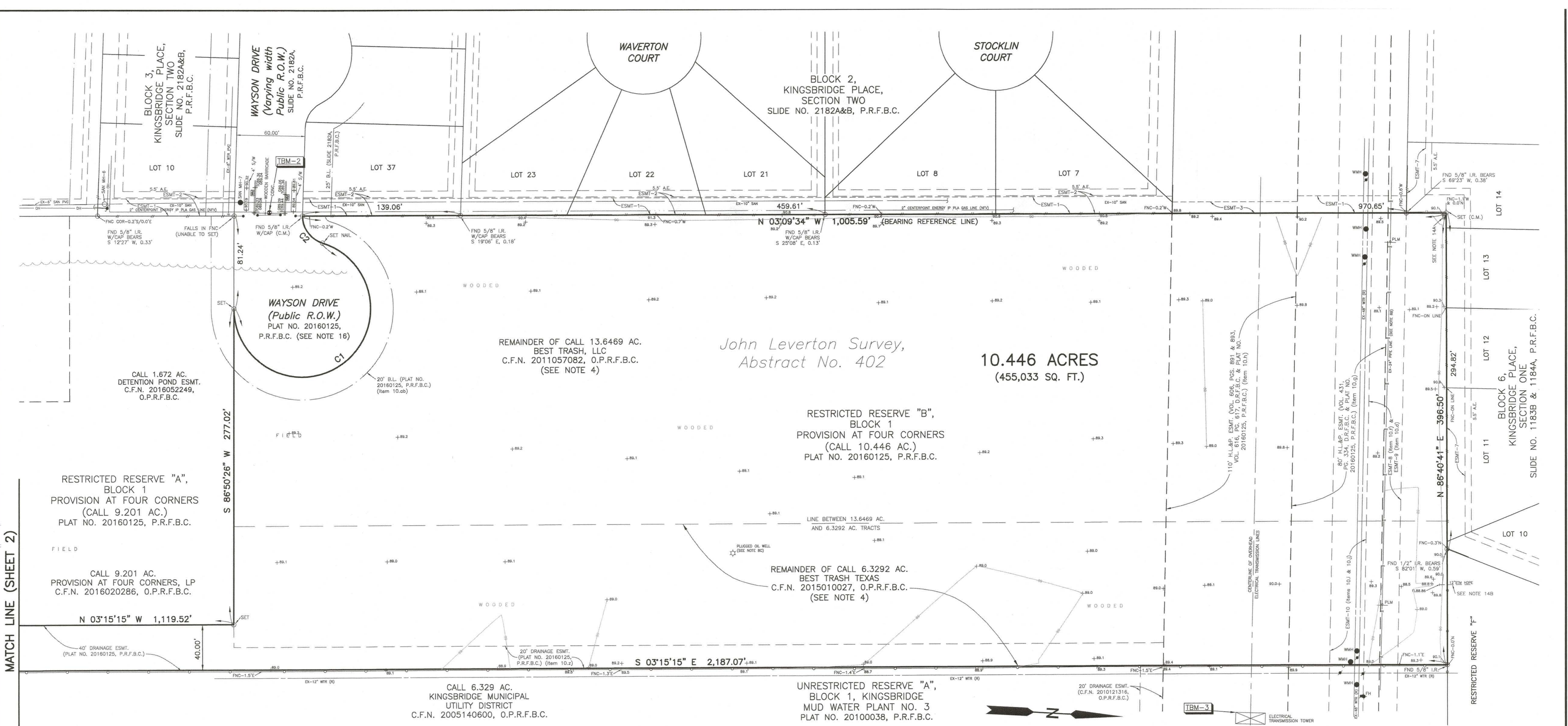
**GARDNER CAPITAL**

2501 N. HARWOOD ST, SUITE 1501  
DALLAS, TX 75201  
(417) 447-5538

CONTACT: MR. RUBEN ESCOBEDA

**GALA AT FOUR CORNERS**

15010 OLD RICHMOND ROAD  
SUGAR LAND, FORT BEND COUNTY,



REMAINDER OF CALL 13.6469 AC. BEST TRASH, LLC C.F.N. 2011057082, O.P.R.F.B.C. (SEE NOTE 4)

*John Leverton Survey, Abstract No. 402*

**10.446 ACRES**  
(455,033 SQ. FT.)

RESTRICTED RESERVE "B", BLOCK 1 PROVISION AT FOUR CORNERS (CALL 10.446 AC.) PLAT NO. 20160125, P.R.F.B.C.

MATCH LINE (SHEET 2)

RESTRICTED RESERVE "F"

**BENCHMARK INFORMATION**

All elevations shown hereon are NAVD 88, 2001 Adjustment, elevations based on the U.S. Survey Foot, as determined from differential GPS observations collected on TSARP Reference Marks 040445, 040450, and 040455.

- TBM-1** Elevation=90.18' (Sheet 2 of 2)  
Railroad spike set in the south face of utility pole, located in the north right-of-way line of Old Richmond Road, approximately 105 feet west of the centerline of the driveway entering a water plant; also being 43 feet west of the southeast corner of the subject property.
- TBM-2** Elevation=89.47' (Sheet 1 of 2)  
Square chiseled in the centerline of the pavement header of Wayson Drive, which butts into the west line of the subject property; also being approximately 31 feet north of the northwest corner of the subject property.
- TBM-3** Elevation=90.08' (Sheet 1 of 2)  
Square chiseled in the centerline of the southwest concrete footing of an electrical transmission tower located 186 feet south and 42 feet east of the northeast corner of the subject property.

**MANHOLE INFORMATION**

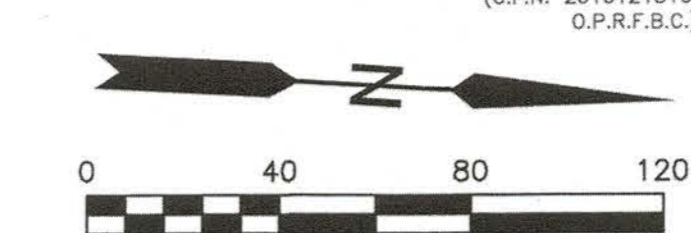
- SAN MH-6:** RECORD LOCATION OF MH; UNABLE TO FIND
- SAN MH-7:** RIM=90.57  
FL-N=81.55  
FL-S=81.70

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING
C1	60.00'	264.80'	252°52'06"	N 39°35'36" W
C2	25.00'	31.81'	72°54'51"	S 50°24'10" W

**EASEMENT INFORMATION**

- ESMT-1** 15' SAN. SEWER ESMT. (PARCEL "A"), VOL. 2286, PG. 873, O.P.R.F.B.C.
- ESMT-2** 16' U.E. W/ADJ. 5.5' A.E., STARTING 16' ABOVE GND, SLIDE 2182A, P.R.F.B.C.
- ESMT-3** 10' SAN. SEWER ESMT., VOL. 1972, PG. 1917, D.R.F.B.C.
- ESMT-7** 16' U.E. W/ADJ. 5.5' A.E., STARTING 16' ABOVE GND, SLIDE 1183B, P.R.F.B.C.
- ESMT-8** 30' SHELL RANCHO PIPELINE ESMT., VOL. 301, PG. 291, D.R.F.B.C. & PLAT NO. 20161025, P.R.F.B.C. (Item 10.f)
- ESMT-9** 30' SHELL PIPELINE ESMT., VOL. 293, PGS. 500 & 503; AMENDED IN VOL. 411, PG. 607, D.R.F.B.C.; ASSIGNED TO TEPPCO CRUDE PIPELINE LP IN C.F.N. 2003101891, O.P.R.F.B.C. & PLAT NO. 20161025, P.R.F.B.C. (Item 10.d)
- ESMT-10** 30' W.L.E., C.F.N. 2009106060, 2009106061 & 2010080006, O.P.R.F.B.C., & PLAT NO. 20160125, P.R.F.B.C. (Items 10.j & 10.i)

- LEGEND**
- MANHOLE
  - BENCHMARK
  - GUY ANCHOR
  - UTILITY POLE
  - WATER VALVE
  - OVERHEAD UTILITY LINE
  - PUBLIC WATER LINE
  - CENTERPOINT ENERGY GAS LINE
  - PUBLIC SANITARY SEWER
  - HOUSTON PIPE LINE COMPANY GAS LINE
  - EDGE OF ASPHALT
  - TOP BANK OF DITCH
  - EDGE OF WOODS
  - WOOD FENCE
  - CHAIN-LINK FENCE
  - BARB-WIRE FENCE
- ABBREVIATIONS**
- ABAND. Abandoned
  - AC. Acres
  - ADJ. Adjoining
  - A.E. Aerial easement
  - ASPH. Asphalt pavement
  - B.L. Building setback line
  - C.F.N. Clerk's File Number
  - CONC. Controlling monument
  - CONC. Concrete pavement
  - COR. Corner
  - D.R.F.B.C. Deed Records of Fort Bend County
  - ESMT. Easement
  - EX. Existing
  - FL. Fire hydrant
  - FL. Flow line (elevation)
  - FNC. Fence
  - FND. Found
  - G. Gutter (elevation)
  - IP. Intermediate pressure
  - GND. Ground
  - H.L.&P. Houston Lighting & Power Company
  - IP. Intermediate pressure
  - LP. Lamp on utility pole
  - MB. Manhole
  - MH. Manhole
  - NFV. Not field-verified
  - NO. Number
  - O.P.R.F.B.C. Official Public Records of Fort Bend County
  - PG. Page
  - PLA. Plastic
  - PLM. Pipeline marker
  - P.R.F.B.C. Plot Records of Fort Bend County
  - PVC. Plastic pipe
  - RCP. Reinforced concrete pipe
  - R.O.W. Right-of-way
  - SAN. Sanitary sewer
  - SET. Set 5/8-inch iron rod with plastic cap, stamped "TERRA SURVEYING", unless otherwise indicated
  - SQ. FT. Square feet
  - S/T. Safety end treatment (concrete)
  - STL. Steel
  - STM. Storm sewer
  - S/W. Sidewalk (concrete)
  - TBM. Temporary (project) benchmark
  - TC. Top of curb (elevation)
  - TFP. Transformer on utility pole
  - U.E. Utility easement
  - VOL. Volume
  - W. Water
  - W.L.E. Waterline easement
  - WM. Water meter
  - WMH. Water manhole
  - WTR. Waterline



ADDRESS: 15010 OLD RICHMOND ROAD, SUGAR LAND TX 77498

REV. NO.	REVISE ADDRESS	DESCRIPTION	SM	DATE	APP.
1				4/12/17	GC

AN ALTA/NSPS LAND TITLE SURVEY OF 10.446 ACRES (455,033 SQ. FT.) BEING ALL OF RESTRICTED RESERVE "B", BLOCK 1, PROVISION AT FOUR CORNERS JOHN LEVERTON SURVEY, ABSTRACT NO. 402 FORT BEND COUNTY, TEXAS

**TERRA** SURVEYING CO., INC. 3000 WILCREST DR. - SUITE 210 HOUSTON, TEXAS 77042 (713) 993-0327 - FAX (713) 993-9231

DRAWN BY: SDM	SCALE: 1"=40'	KEY MAP: 527-V
CREW CHIEF: MIKESKA	FIELD DATE: 09/01/16	PROJECT: 1851-1515-S
APPROVED BY: GC	FIELD BK: 16-32	SHEET 1 OF 2



*George Collison* 10/13/17

BLOCK 1, SUGAR GROVE, SEC. 1  
(SLIDE NO. 2314A, P.R.F.B.C.)

CALL 9.201 AC.  
PROVISION AT FOUR CORNERS, LP  
C.F.N. 2016020286, O.P.R.F.B.C.

RESTRICTED RESERVE "A", BLOCK 1  
PROVISION AT FOUR CORNERS  
(CALL 9.201 AC.)  
PLAT NO. 20160125, P.R.F.B.C.

John Leverton Survey,  
Abstract No. 402

10.446 ACRES  
(455,033 SQ. FT.)

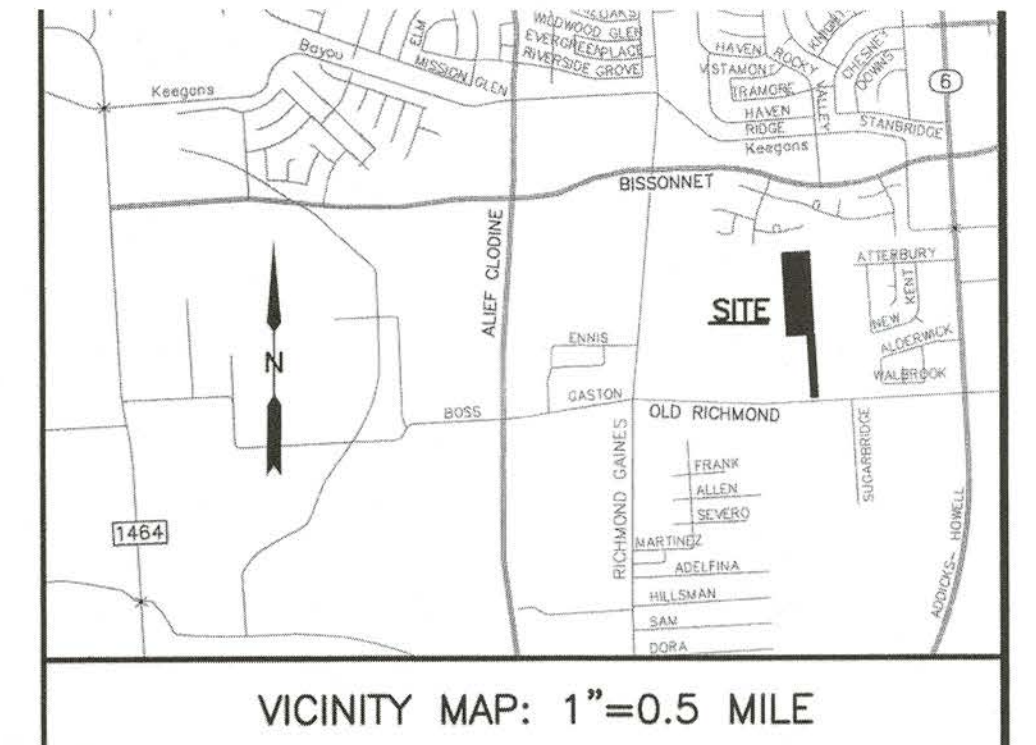
RESTRICTED RESERVE "B", BLOCK 1  
PROVISION AT FOUR CORNERS  
(CALL 10.446 AC.)  
PLAT NO. 20160125, P.R.F.B.C.

REMAINDER OF CALL 6.3292 AC.  
BEST TRASH TEXAS  
C.F.N. 2015010027, O.P.R.F.B.C.  
(SEE NOTE 4)

CALL 6.329 AC.  
KINGSBRIDGE MUNICIPAL  
UTILITY DISTRICT  
C.F.N. 2005140600, O.P.R.F.B.C.

UNRESTRICTED RESERVE "A",  
BLOCK 1, KINGSBRIDGE  
MUD WATER PLANT NO. 3  
PLAT NO. 20100038, P.R.F.B.C.

OLD RICHMOND ROAD  
(Varying Width Public R.O.W.)  
DEDICATED IN VOL. 35, PG. 232, D.R.F.B.C.;  
WIDENED IN SLIDE NO. 2314A, P.R.F.B.C.  
(SEE NOTE 5)



CALL 1.672 AC.  
DETENTION POND ESMT.  
C.F.N. 2016052249,  
O.P.R.F.B.C.

MATCH LINE (SHEET 1)

LEGAL DESCRIPTION OF THE LAND PER SCHEDULE A OF THE TITLE COMMITMENT LISTED UNDER GENERAL NOTE 1.  
Restricted Reserve "B", in Block One (1), of Provision At Four Corners, a subdivision in Fort Bend County, Texas, according to the map or plat thereof recorded in/under Plat No. 20160125 of the Map/Plat Records of Fort Bend County, Texas.

EXCEPTIONS LISTED IN SCHEDULE B OF THE TITLE COMMITMENT REFERENCED UNDER GENERAL NOTE 1

- 1.a Restrictive covenants recorded in/under in Plat No. 20160125 of the Plat Records of Fort Bend County, Texas, and in Volume 657, Page 614 of the Deed Records of Fort Bend County, Texas, but omitting any covenants, condition, or restriction, if any, based on race, color, religion, sex, handicap, familial status or national origin unless and to the extent that the covenant, condition or restriction (c) is exempt under Title 42 of the United States Code or (d) relates to handicap, but does not discriminate against handicapped persons. [Surveyor's remarks: These documents affect the subject property; plottable elements are shown hereon.]
- 2-9 Standard exceptions. [Surveyor's remarks: These are not survey items.]
- 10.a Rights of parties in possession. (Owner Title Policy only) [Surveyor's remarks: This is not a survey item.]
- 10.b Intentionally Deleted
- 10.c Pipeline right-of-way easement in favor of Houston Pipe Line Company, located along the Southerly property line, as set forth in instrument recorded in/under Volume 275, Page 578 of the Deed Records of Fort Bend County, Texas and modified and amended by instrument recorded under Clerk's File No. 2016031461 and 2016137854 of the Official Public Records of Fort Bend County, Texas and as shown on the recorded plat under Plat No. 20160125 of the Plat Records of Fort Bend County, Texas. Building setback line, Fifteen (15) feet in width, located adjacent to both sides of said pipeline easement, as recorded in/under Plat No. 20160125 of the Plat Records of Fort Bend County, Texas. [Surveyor's remarks: This easement affects the subject property, and is plotted and shown hereon; C.F.N. 2016031461 does not affect the subject property.]
- 10.d Pipeline right-of-way easement in favor of Shell Pipe Line Corporation as set forth in instrument recorded in/under Volume 293, Page 500, Volume 293, Page 503 and of the Deed Records of Fort Bend County, Texas. Amended and defined as Thirty (30) feet, located along the North property line, as reflected by instrument recorded in Volume 411, Page 607 of the Deed Records of Fort Bend County, Texas and assigned to TEPSCO Crude Pipeline, L.P., by instrument recorded under Clerk's File No. 2003101891 of the Official Public Records of Fort Bend County, Texas and as shown on the recorded plat under Plat No. 20160125 of the Plat Records of Fort Bend County, Texas. [Surveyor's remarks: This easement affects the subject property, and is plotted and shown hereon.]
- 10.e Intentionally Deleted
- 10.f Pipeline right-of-way easement in favor of Shell Rancho, located along the North property line, as set forth in instrument recorded in/under Volume 301, Page 291 of the Deed Records of County, Texas and as shown on the recorded plat under Plat No. 20160125 of the Plat Records of Fort Bend County, Texas. [Surveyor's remarks: This easement affects the subject property, and is plotted and shown hereon.]
- 10.g An easement Eighty (80) feet wide, granted to Houston Lighting & Power Company, located along the North property line, the location of which is reflected by instrument recorded in Volume 431, Page 334 of the Deed Records of Fort Bend County, Texas and as shown on the recorded plat under Plat No. 20160125 of the Plat Records of Fort Bend County, Texas. [Surveyor's remarks: This easement affects the subject property, and is plotted and shown hereon.]
- 10.h An easement granted to Houston Lighting & Power Company, the location of which is reflected by instrument recorded in Volume 606, Page 891, Volume 606, Page 893 and Volume 616, Page 617 of the Deed Records of Fort Bend County, Texas and as shown on the recorded plat under Plat No. 20160125 of the Plat Records of Fort Bend County, Texas. [Surveyor's remarks: This easement affects the subject property, and is plotted and shown hereon.]
- 10.i A water line easement Thirty (30) feet wide, the location of which is reflected by instrument recorded under Clerk's File No. 2009106060 and 2009106061 of the Official Public Records of Fort Bend County, Texas and as shown on the recorded plat under Plat No. 20160125 of the Plat Records of Fort Bend County, Texas. [Surveyor's remarks: This easement affects the subject property, and is plotted and shown hereon.]
- 10.j A water line easement Thirty (30) feet wide, the location of which is reflected by instrument recorded under Clerk's File No. 2010080006 of the Official Public Records of Fort Bend County, Texas and as shown on the recorded plat under Plat No. 20160125 of the Plat Records of Fort Bend County, Texas. [Surveyor's remarks: This easement affects the subject property, and is plotted and shown hereon.]
- 10.k Oil, gas and mineral lease dated August 28, 1956, recorded in/under Volume 354, Page 348 of the Deed Records of Fort Bend County, Texas in favor of T. S. Mabry. (Title to said lease not checked subsequent to its date of execution.) [Surveyor's remarks: This lease affects the subject property, but is blanket in nature and not plottable.]
- 10.l All the oil, gas and other minerals, the royalties, bonuses, rentals and all other rights in connection with same all of which are expressly excepted herefrom and not insured hereunder, as same are set forth in instrument recorded in/under Volume 657, Page 614 of the Deed Records of Fort Bend County, Texas. Surface rights not waived therein. The Company makes no representation as to the present ownership of any that are not listed. [Surveyor's remarks: These rights affect the subject property, but are blanket in nature and not plottable.]

- 10.m All the oil, gas and other minerals, the royalties, bonuses, rentals and all other rights in connection with same all of which are expressly excepted herefrom and not insured hereunder, as same are set forth in instrument recorded in/under Volume 1918, Page 1369 (8707936) of the Official Records of Fort Bend County, Texas. The Company makes no representation as to the present ownership of any such interests. There may be leases, grants, exceptions or reservations of interests that are not listed. [Surveyor's remarks: These rights affect the subject property, but are blanket in nature and not plottable.]
- 10.n All the oil, gas and other minerals, the royalties, bonuses, rentals and all other rights in connection with same all of which are expressly excepted herefrom and not insured hereunder, as same are set forth in instrument recorded in/under Volume 1918, Page 1393 (8707937) of the Official Records of Fort Bend County, Texas. The Company makes no representation as to the present ownership of any such interests. There may be leases, grants, exceptions or reservations of interests that are not listed. [Surveyor's remarks: These rights affect the subject property, but are blanket in nature and not plottable.]
- 10.o Intentionally Deleted
- 10.p Intentionally Deleted
- 10.q Intentionally Deleted
- 10.r Intentionally Deleted
- 10.s Intentionally Deleted
- 10.t Building setback line, Twenty five (25) feet in width, along the South property line, as shown on the survey dated January 28, 2016, by Fred W. Lawton, RPLS#2321. [Surveyor's remarks: This item is not applicable to the subject property.]
- 10.u All leases, grants, exceptions or reservations of coal, lignite, oil, gas and other minerals, together with all rights, privileges, and immunities relating thereto, appearing in the Public Records whether listed in Schedule B or not. There may be leases, grants, exceptions or reservations of mineral interests that are not listed. [Surveyor's remarks: This is not a survey item.]
- 10.v Rights of tenants, and assigns, as tenants only, under currently effective lease agreements. [Surveyor's remarks: This is not a survey item.]
- 10.w Intentionally Deleted
- 10.x Intentionally Deleted
- 10.y Sanitary sewer easement Twenty (20) feet wide, located along the South property line, as shown on the recorded plat under Plat No. 20160125 of the Plat Records of Fort Bend County, Texas. [Surveyor's remarks: This easement affects the subject property, and is plotted and shown hereon.]
- 10.z Drainage easement Twenty (20) feet wide, located along the East property line, as shown on the recorded plat under Plat No. 20160125 of the Plat Records of Fort Bend County, Texas. [Surveyor's remarks: This easement affects the subject property, and is plotted and shown hereon.]
- 10.aa Building setback line, Twenty (20) feet in width, along the South property line, as recorded in/under Plat No. 20160125 of the Plat Records of Fort Bend County, Texas. [Surveyor's remarks: This setback affects the subject property, and is plotted and shown hereon.]
- 10.ab Building setback line, Twenty (20) feet in width, located adjacent to Wayson Drive cul de sac, as recorded in/under Plat No. 20160125 of the Plat Records of Fort Bend County, Texas. [Surveyor's remarks: This setback affects the subject property, and is plotted and shown hereon.]
- 10.ac An easement for drainage purposes extending a distance of Twenty (20) feet on each side of the centerline of all natural drainage courses, as reflected by the plat recorded in/under Plat No. 20160125 of the Plat Records of Fort Bend County, Texas. [Owner Title Policy Only] [Surveyor's remarks: This easement applies to the subject property, but there are no natural drainage courses located on the property.]

LEGEND

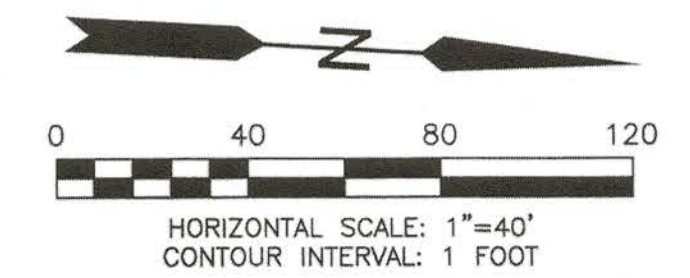
●	MANHOLE
⊕	BENCHMARK
—○—	GLY ANCHOR
—	UTILITY POLE
—	WATER VALVE
—	OVERHEAD UTILITY LINE
—	PUBLIC WATER LINE
—	CENTERPOINT ENERGY GAS LINE
—	PUBLIC SANITARY SEWER
—	HOUSTON PIPE LINE COMPANY GAS LINE
—	EDGE OF ASPHALT
—	TOP BANK OF DITCH
—	EDGE OF WOODS
—	WOOD FENCE
—	CHAIN-LINK FENCE
—	BARB-WIRE FENCE

ABBREVIATIONS

ABAND.	Abandoned
AC.	Acres
ADJ.	Adjoining
A.E.	Aerial easement
ASPH.	Asphalt pavement
B.L.	Building setback line
C.F.N.	Clerk's File Number
C.M.	Controlling monument
CONC.	Concrete pavement
COR.	Corner
D.R.F.B.C.	Deed Records of Fort Bend County
ESMT.	Easement
EX.	Existing
FH	Fire hydrant
FL	Flow line (elevation)
FNC	Fence
FND	Found
G	Gutter (elevation)
GKP	Gate keypad
GND	Ground
H.L.&P.	Houston Lighting & Power Company
IP	Intermediate pressure iron rod
LP	Lamp on utility pole
MB	Mailbox
MH	Manhole
NFV	Not field-verified
NO.	Number
O.P.R.F.B.C.	Official Public Records of Fort Bend County
PG.	Page
PLA	Plastic
PLM	Pipeline marker
P.R.F.B.C.	Plat Records of Fort Bend County
PVC	Plastic pipe
RCP	Reinforced concrete pipe
R.O.W.	Right-of-way
SAN	Sanitary sewer
SET	Set 5/8-inch iron rod with plastic cap, stamped "TERRA SURVEYING", unless otherwise indicated
SQ. FT.	Square feet
S/T	Safety and treatment (concrete)

MANHOLE INFORMATION

SAN MH-2:	RIM=91.29
U.E.	FL-N=74.60
U.E.	FL-E=72.15
SAN MH-3:	RIM=91.76
U.E.	FL-N=76.70
U.E.	FL-S=75.55



BENCHMARK INFORMATION

- TBM-1 Elevation=90.18' (Sheet 2 of 2) Railroad spike set in the south face of utility pole, located in the north right-of-way line of Old Richmond Road, approximately 105 feet west of the centerline of the driveway entering a water plant; also being 43 feet west of the southeast corner of the subject property.
- TBM-2 Elevation=89.47' (Sheet 1 of 2) Square chiseled in the centerline of the pavement header of Wayson Drive, which butts into the west line of the subject property; also being approximately 31 feet north of the northwest corner of the subject property.
- TBM-3 Elevation=90.08' (Sheet 1 of 2) Square chiseled on the southwest concrete footing of an electrical transmission tower located 186 feet south and 42 feet east of the northeast corner of the subject property.

SURVEYOR'S CERTIFICATE

To Gala at Four Corners, LP, and Stewart Title Guaranty Company: This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 7(c), 8, 9, 11, 13, 14, 16, 17, 19, and 20 of Table A thereof. Field work was completed on September 1, 2016.

Date signed: 4-12-17  
George Collison  
Registered Professional Land Surveyor  
Texas Registration Number 4461



ADDRESS: 15010 OLD RICHMOND ROAD, SUGAR LAND TX 77498

REV. NO.	DESCRIPTION	BY	DATE	APP.
1	REVISE ADDRESS	SM	4/12/17	

AN ALTA/NSPS LAND TITLE SURVEY OF  
10.446 ACRES (455,033 SQ. FT.)  
BEING ALL OF RESTRICTED RESERVE "B",  
BLOCK 1, PROVISION AT FOUR CORNERS  
JOHN LEVERTON SURVEY, ABSTRACT NO. 402  
FORT BEND COUNTY, TEXAS

TERRA SURVEYING CO., INC. 3000 WILCREST DR. - SUITE 210  
HOUSTON, TEXAS 77042  
(713) 993-0327 - FAX (713) 993-9231

DRAWN BY: SDM	SCALE: 1"=40'	KEY MAP: 527-V
CREW CHIEF: MIKESKA	FIELD DATE: 09/01/16	PROJECT: 1851-1515-S
APPROVED BY: [Signature]	FIELD BK: 16-32	SHEET 2 OF 2

STATE OF TEXAS  
COUNTY OF FORT BEND

We, BEST TRASH, LLC, acting by and through Richard May, Member; BEST TRASH TEXAS, acting by and through Matthew May, Member; and PROVISION AT FOUR CORNERS, LP, acting by and through Provision at Four Corners GP, LLC, its general partner, by Provision at Four Corners MM, LLC, its managing member, Jervon Harris, Manager, owners, hereinafter referred to as Owners of the 19.956 acre tract described in the above and foregoing map of PROVISION AT FOUR CORNERS, do hereby make and establish said subdivision and development plat of said property according to all lines, dedications, restrictions and notations on said maps or plat and hereby dedicate to the use of the public forever, all streets (except those streets designated as private streets), alleys, parks, water courses, drains, easements and public places shown thereon for the purposes and considerations therein expressed; and do hereby bind ourselves, our heirs and assigns to warrant and forever defend the title on the land so dedicated.

FURTHER, We have dedicated and by these presents do dedicate to the use of the public for public utility purposes forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional eleven feet, six inches (11' 6") for ten feet (10' 0") perimeter ground easements or seven feet, six inches (7' 6") for fourteen feet (14' 0") perimeter ground easements or five feet, six inches (5' 6") for sixteen feet (16' 0") perimeter ground easements, from a plane sixteen feet (16' 0") above the ground level upward, located adjacent to and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals twenty one feet, six inches (21' 6") in width.

FURTHER, We have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional ten feet (10' 0") for ten feet (10' 0") back-to-back ground easements, or eight feet (8' 0") for fourteen feet (14' 0") back-to-back ground easements or seven feet (7' 0") for sixteen feet (16' 0") back-to-back ground easements, from a plane sixteen feet (16' 0") above the ground level upward, located adjacent to both sides and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals thirty feet (30' 0") in width.

FURTHER, We do hereby covenant and agree that all of the property within the boundaries of this plat is hereby restricted to prevent the drainage of any septic tanks into any public or private street, road or alley or any drainage ditch, either directly or indirectly.

FURTHER, We do hereby dedicate to the public a strip of land twenty (20) feet wide on each side of the center line of any and all bayous, creeks, gullies, ravines, draws and drainage ditches located in said subdivision, as easements for drainage purposes, Fort Bend County or any other governmental agency shall have the right to enter upon said easement at any and all times for the purposes of construction and maintenance of drainage facilities and structures.

FURTHER, We do hereby covenant and agree that all of the property within the boundaries of this plat and adjacent to any drainage easement, ditch, gully, creek or natural drainage way shall hereby be restricted to keep such drainage ways and easements clear of fences, buildings, planting and other obstructions to the operations and maintenance of the drainage facility and that such abutting property shall not be permitted to drain directly into this easement except by means of an approved drainage structure.

FURTHER, Owners hereby certify that this replat does not attempt to alter, amend, or remove any covenants or restrictions; we further certify that no portion of the preceding plat was limited by deed restriction to residential use for more than two (2) residential units per lot.

FURTHER, We do hereby acknowledge the receipt of the "Orders for Regulation of Outdoor Lighting in the Unincorporated Areas of Fort Bend County, Texas", and do hereby covenant and agree and shall comply with this order as adopted by Fort Bend County Commissioners Court on March 23, 2004 and any subsequent amendments.

IN TESTIMONY WHEREOF, the BEST TRASH, LLC, has caused these presents to be signed by Richard May, Member, this 4<sup>th</sup> day of April, 2016.

BEST TRASH, LLC

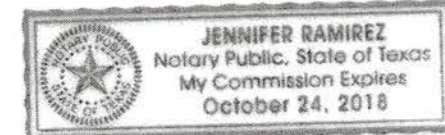
By: Richard May, Member

STATE OF TEXAS  
COUNTY OF FORT BEND

BEFORE ME, the undersigned authority, on this day personally appeared Richard May, Member of BEST TRASH, LLC, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 4<sup>th</sup> day of April, 2016.

Jennifer Ramirez  
Notary Public in and for the State of Texas  
Print name  
My Commission expires: Oct. 24, 2018



IN TESTIMONY WHEREOF, the BEST TRASH TEXAS, has caused these presents to be signed by Matthew May, Member, this 4<sup>th</sup> day of April, 2016.

BEST TRASH TEXAS

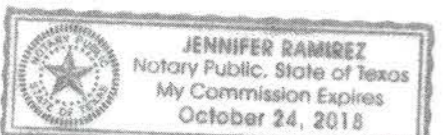
By: Matthew May, Member

STATE OF TEXAS  
COUNTY OF FORT BEND

BEFORE ME, the undersigned authority, on this day personally appeared Matthew May, Member of BEST TRASH TEXAS, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 4<sup>th</sup> day of April, 2016.

Jennifer Ramirez  
Notary Public in and for the State of Texas  
Print name  
My Commission expires: Oct. 24, 2018



IN TESTIMONY WHEREOF, the PROVISION AT FOUR CORNERS, LP, has caused these presents to be signed by Provision at Four Corners GP, LLC, its general partner, by Provision at Four Corners MM, LLC, its managing member, Jervon Harris, Manager, this 4<sup>th</sup> day of April, 2016.

PROVISION AT FOUR CORNERS, LP  
By: Provision at Four Corners GP, LLC, its general partner  
By: Provision at Four Corners MM, LLC, its managing member

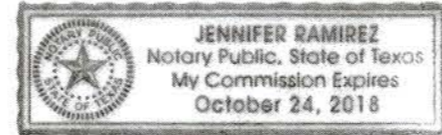
By: Jervon Harris, Manager

STATE OF TEXAS  
COUNTY OF FORT BEND

BEFORE ME, the undersigned authority, on this day personally appeared Jervon Harris, Manager of Provision at Four Corners MM, LLC, managing member of Provision at Four Corners GP, LLC, general partner of PROVISION AT FOUR CORNERS, LP, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 4<sup>th</sup> day of April, 2016.

Jennifer Ramirez  
Notary Public in and for the State of Texas  
Print name  
My Commission expires: Oct. 24, 2018



I, George Collison, am registered under the laws of the State of Texas to practice the profession of surveying and hereby certify that the above subdivision is true and accurate; was prepared from an actual survey of the property made under my supervision on the ground; that, except as shown all boundary corners, angle points, points of curvature and other points of reference have been marked with iron (or other objects of a permanent nature) pipes or rods having an outside diameter of not less than five eighths (5/8) inch and a length of not less than three (3) feet; and that the plat boundary corners have been tied to the Texas Coordinate System of 1983, south central zone.

George Collison  
Registered Professional Land Surveyor  
Texas Registration No. 4461



I, Sean Faulkner, a Professional Engineer registered in the State of Texas, do hereby certify that this plat meets all requirements of Fort Bend County to the best of my knowledge.

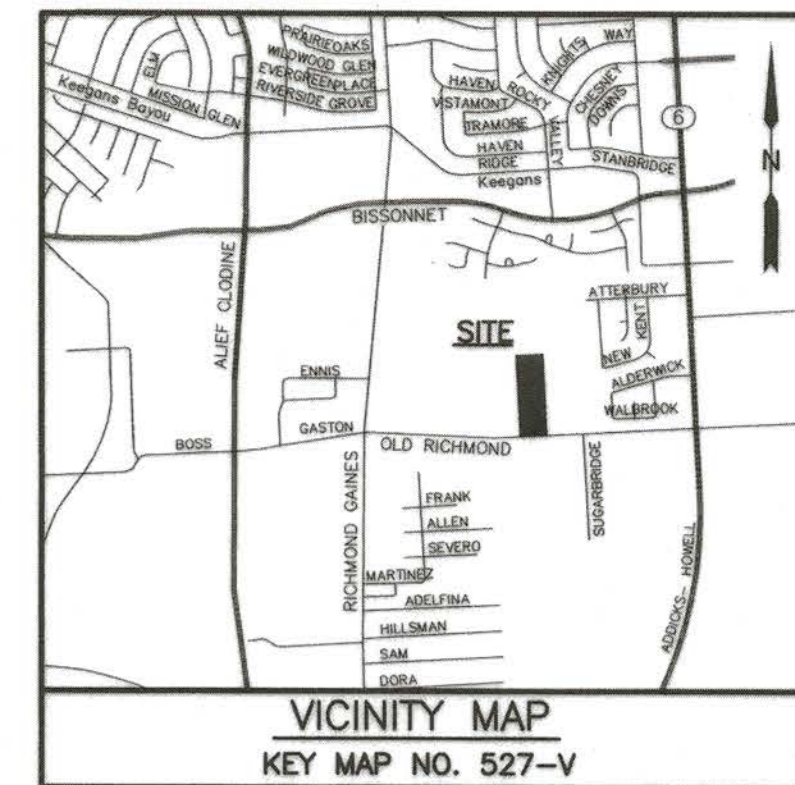
Sean Faulkner  
Registered Professional Engineer, No. 92581  
Firm Number: TBPE F-12878



This is to certify that the Planning Commission of the City of Houston, Texas, has approved this plat (or instrument when appropriate) and subdivision of PROVISION AT FOUR CORNERS in conformance with the laws of the State of Texas and the ordinances of the City of Houston, as shown hereon, and authorized the recording of this plat (or instrument when appropriate) this 4<sup>th</sup> day of April, 2016.

Mark A. Kilgenny (or) M. Sonny Garza  
Chair or Vice Chairman

Patrick Walsh, P.E.  
Secretary



I, Richard W. Stolleis, P.E., Fort Bend County Engineer, do hereby certify that the plat of this subdivision complies with all of the existing rules and regulations of this office as adopted by the Fort Bend County Commissioners' Court. However, no certification is hereby given as to the effect of drainage from this subdivision on the intercepting drainage artery or parent stream or on any other area or subdivision within the watershed.

Richard W. Stolleis, P.E.  
Fort Bend County Engineer

APPROVED by Commissioners' Court of Fort Bend County, Texas, this 24<sup>th</sup> day of May, 2016.

Richard Morrison, Precinct 1, County Commissioner  
Grady Prestage, Precinct 2, County Commissioner

Robert E. Hubert, County Judge

W.A. "Andy" Meyer, Precinct 3, County Commissioner  
James Patterson, Precinct 4, County Commissioner

I, Laura Richard, County Clerk in and for Fort Bend County, hereby certify that the foregoing instrument with its certificate of authentication was filed for recordation in my office on May 25, 2016, at 8:07 o'clock A.M., in Plat Number 20160125 of the Plat Records of Fort Bend County, Texas.

Witness my hand and seal of office, at Richmond, Texas. The day and date last above written.

Laura Richard, County Clerk  
Fort Bend County, Texas

San Juanita Renteria, Deputy



25 PGS 2016053855  
PLAT ATTACH

FILED AND RECORDED  
OFFICIAL PUBLIC RECORDS

Laura Richard, County Clerk  
Fort Bend County, Texas

Ray 25, 2016 08:07:19 AM  
FEE: \$304.00 SR1 20160125  
PLAT

# PROVISION AT FOUR CORNERS

A SUBDIVISION OF 19.956 ACRES OF LAND  
BEING A PARTIAL REPLAT OUT OF THE EAST HALF OF LOT 17 OF  
BROWN BROTHER'S SUBDIVISION (VOL. 35, PG. 232, F.B.C.D.R.)  
LOCATED IN THE  
JOHN LEVERTON SURVEY, A-402  
FORT BEND COUNTY, TEXAS

1 BLOCK 2 RESERVES

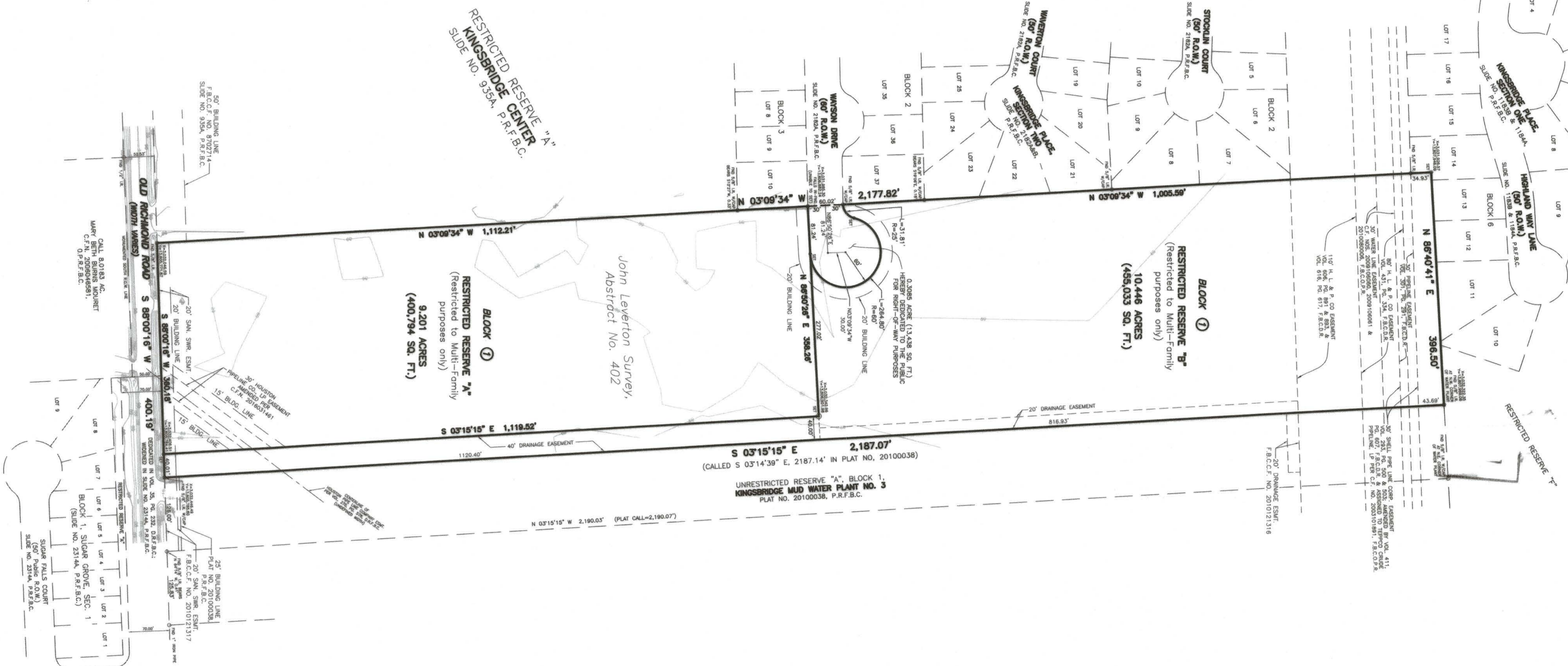
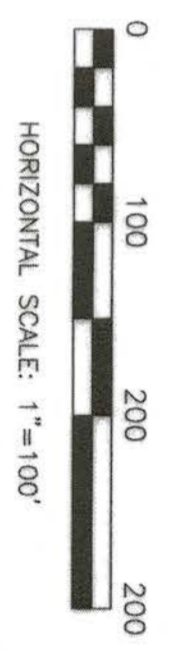
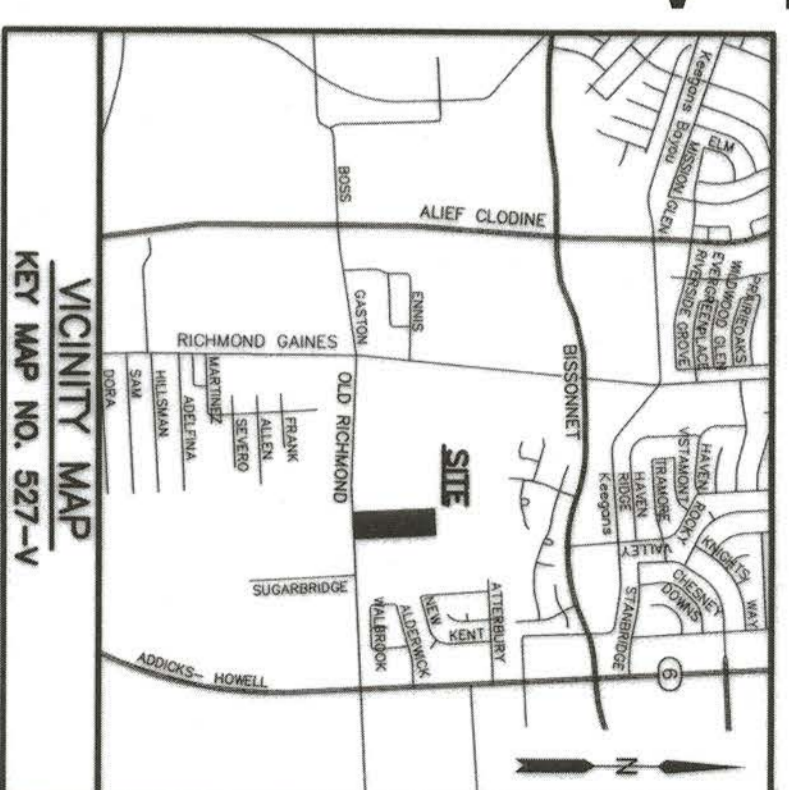
REASON FOR REPLAT: TO CREATE TWO (2) RESTRICTED RESERVES

<b>OWNERS:</b> BEST TRASH, LLC & BEST TRASH TEXAS 17820 MADDEN ROAD RICHMOND, TEXAS 77407 (281) 734-2271	<b>OWNER:</b> PROVISION AT FOUR CORNERS, LP 4803 SOUTH NATIONAL AVENUE, SUITE 200 SPRINGFIELD, MISSOURI 65810 (417) 447-1800	<b>ENGINEER:</b> FORESITE GROUP, INC. 1999 BRYAN STREET, SUITE 890 DALLAS, TEXAS 75201 (214) 939-7123	<b>SURVEYOR:</b> TERRA SURVEYING COMPANY, INC. 3000 WILCREST DRIVE, SUITE 210 HOUSTON, TEXAS 77042 (713) 993-0327
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DATE: MARCH 24, 2016 SCALE: 1"= 100' PROJECT NO.: 1851-1515-P

Mass 10/31/17

V-3



- NOTES:
- The coordinates shown hereon are Texas South Central Zone No. 4204 State Plane Grid Coordinates (NAD83) and may be brought to surface by applying the following combined scale: 1.00013 (0.999870017).
  - All bearings based on the Texas State Plane Coordinate System, South Central Zone (NAD 83).
  - Unless otherwise indicated, the building line [B.L.], whether one or more, shown on this subdivision plat are established to evidence compliance with the applicable provisions of Chapter 42, Code of Ordinances, City of Houston, Texas, in effect at the time this plat was approved, which may be amended from time to time.
  - All non-perimeter easements on property lines are centered unless otherwise noted.
  - This tract lies in Zone "X" (unsubdivided), designated as "Areas determined to be outside the 0.2% annual chance floodplain", as per the National Flood Insurance Program FEMA Panel Number 48157C0149 L, published map revised date April 2, 2014.
  - All property to drain into the drainage easement only through an approved drainage structure.
  - This property lies within Fort Bend County, West Keopana Bayou Improvement District, Kingsbridge Municipal Utility District and Fort Bend Independent School District.
  - This property lies within Houston Extraterritorial Jurisdiction.
  - All known pipeline easements within the plot boundary are shown hereon.
  - Sidewalks shall be built or caused to be built not less than 5 feet in width on both sides of all dedicated right-of-way within said plot and on the contiguous right-of-way of all perimeter roads surrounding said plot, in accordance with ADA requirements.
  - The top of all floor slabs constructed hereafter shall be a minimum of 90.5 feet above mean sea level. In addition, the top of slab elevation at any point of the perimeter of the slab shall not be less than eighteen (18) inches above natural ground.
  - The drainage system for this subdivision is designed in accordance with the "Fort Bend County Drainage Criteria Manual" which shows street ponding with intense rainfall events.
  - The Lighting Zone is LZ3.
  - This subdivision is subject to Restrictive Covenants, as recorded in Volume 657, Page 614 (Use of Land, pages 620 and 621) of the Deed Records of Fort Bend County, Texas.
  - All drainage easements to be kept clear of fences, buildings, vegetation and other obstructions for the purpose of the operation and maintenance of the drainage facility.
  - The contours shown hereon are per conditions prior to the addition of fill.
  - The detention pond will be owned and maintained by the Owners, or subsequent Owners.
  - This plot is subject to the terms, conditions and regulations as set out by the "Regulations of Fort Bend County for the Placement of Signs Visible from the Main-Traveled Way of a Toll Road", as adopted by the President of Signs Visible from the Main-Traveled Way of a Toll Road, as adopted by Commissioner Court on January 24, 2006, and as amended on August 27, 2013.
  - Absent written authorization by the affected utilities, all utility and aerial easements must be established and maintained by the property owner. Any unauthorized improvements or obstructions to utility or aerial easements may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be on construction. Public utilities may put solid wooden posts and paneled wooden fences back up, but generally will not replace with new fencing.

A SUBDIVISION OF 19.956 ACRES OF LAND  
BEING A PARTIAL REPLAT OUT OF THE EAST HALF OF LOT 17 OF  
BROWN BROTHER'S SUBDIVISION (VOL. 35, PG. 232, F.B.C.D.R.)  
LOCATED IN THE  
JOHN LEVERTON SURVEY, A-402  
FORT BEND COUNTY, TEXAS

# PROVISION AT FOUR CORNERS

1 BLOCK 2 RESERVES

REASON FOR REPLAT: TO CREATE TWO (2) RESTRICTED RESERVES

**OWNERS:** BEST TRASH, LLC & BEST TRASH TEXAS 17820 MADDEN ROAD RICHMOND, TEXAS 77407 (281) 734-2271

**OWNER:** PROVISION AT FOUR CORNERS, LP 4803 SOUTH NATIONAL AVENUE, SUITE 200 SPRINGFIELD, MISSOURI 65810 (417) 447-1800

**ENGINEER:** FORESITE GROUP, INC. 1999 BRYAN STREET, SUITE 890 DALLAS, TEXAS 75201 (214) 938-7123

**SURVEYOR:** TERRA SURVEYING COMPANY, INC. 3000 WILCREST DRIVE, SUITE 210 HOUSTON, TEXAS 77042 (713) 993-0327

25 PGS 20180630355  
PLAT ATTACH

**FILED AND RECORDED**  
OFFICIAL PUBLIC RECORDS  
*Laura Richard, County Clerk*  
Laura Richard, County Clerk  
Fort Bend County, Texas  
May 23, 2018 08:07:18 AM  
FBI: 5381, 69 981 20180125

**ABBREVIATIONS**

AC	Acres
AD	As Deed
ALC	As Laid Out
B.L.	Building setback line
D.P.A.B.C.	Deed Public Act Book
E.A.C.C.	Deed Band County Clerk's File Number
F.N.D.	Found
H.L.P.	Houston Lighting & Power
NR	Not a road
O.P.A.F.B.C.	Official Public Records of Fort Bend County
P.F.B.C.	Plat Records of Fort Bend County
SAN, SMR	Sanitary Sewer
SET	Set 5/8-inch iron rod with plastic cap
SQ. FT.	Square Feet
VDL	Volume
W/C	With
WTR	Water

*Max J. 10/31/17*

**GENERAL NOTES:**

- 1) CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE DEVELOPMENT PERMIT FROM FORT BEND COUNTY PRIOR TO DEMOLITION OF THE SITE.
- 2) ALL INITIAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY WORK INCLUDING DEMOLITION.
- 3) ALL CONSTRUCTION RELATED PERMITS DURING THE CONSTRUCTION PHASE OF THIS PROJECT ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- 4) THE CONTRACTOR SHALL REMOVE SHRUBS AND TREES AS NOTED. GRUB OUT ROOTS AND STUMPS AND LEGALLY DISPOSE OF DEBRIS.
- 5) ALL EXISTING INFORMATION SHOWN FOR THE PROVISION AT FOUR CORNERS DEVELOPMENT IS DEPICTED FROM THE PREVIOUS DESIGN PLANS BY FORESITE GROUP, INC. DATED 01/04/2017. CONTRACTOR SHOULD FIELD VERIFY THE LOCATION AND EXISTENCE OF ALL EXISTING UTILITIES AND PERTINENT ITEMS ON THE PROVISION AT FOUR CORNERS PROPERTY.

**DEMOLITION NOTES:**

- 1) ALL NEW WORK SHOWN IN THESE SHEETS SHALL COMPLY WITH APPLICABLE STATE, FEDERAL, AND LOCAL BUILDING AND UTILITY INSTALLATION CODES.
- 2) ALL MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH TXDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES EXCEPT IN CASES WHERE WITHIN FORT BEND COUNTY JURISDICTION, THE COUNTY STANDARD SPECIFICATIONS ARE MORE STRINGENT.
- 3) THERE MAY BE ADDITIONAL UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR LOCATIONS SHOWN, AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF CONSTRUCTION AND TO NOTIFY THE OWNER IN CASE OF DISCREPANCIES THAT AFFECT THE CONSTRUCTION PROJECT.
- 4) THE CONTRACTOR IS RESPONSIBLE FOR NOTIFICATION OF AND LIAISON WITH UTILITY COMPANIES IN THE PROCESS OF LOCATION AND RELOCATION OF AND TIE-IN TO PUBLIC UTILITIES.
- 5) THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE THAT MAY OCCUR TO ANY ADJACENT STRUCTURES OR PROPERTY, OR ANY EXISTING STRUCTURES WITHIN LIMITS OF CONSTRUCTION THAT ARE DESIGNATED ON THE PLANS TO REMAIN, AND SHALL REPAIR OR REPLACE SUCH DAMAGED PROPERTY TO THE PROPERTY OWNER'S SATISFACTION AT NO COST TO THE OWNER.
- 6) THE CONTRACTOR SHALL NOT DEVIATE FROM THESE PLANS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN CONSENT OF THE ENGINEER.
- 7) THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING FORT BEND COUNTY AND ALL EXISTING UTILITY PROVIDERS BEFORE REMOVING ANY UTILITIES FROM THEIR EXISTING LOCATION ON THE SITE. THE CONTRACTOR SHALL PERFORM ALL UTILITY DEMOLITION OR RELOCATION ACTIVITIES IN ACCORDANCE WITH THE EXISTING UTILITIES SPECIFICATIONS, MATERIALS, AND REQUIREMENTS.
- 8) THE CONTRACTOR SHALL SEQUENCE THE WORK AND PROVIDE TEMPORARY MEASURES AS NECESSARY TO MAINTAIN ACCESS TO THE SITE THROUGH ALL ENTRANCES AT ALL TIMES DURING CONSTRUCTION. TEMPORARY PROVISIONS MAY INCLUDE, BUT ARE NOT LIMITED TO, BARRICADES, FLASHING LIGHTS, FLAGMAN, TEMPORARY PAVEMENT, AND DIRECTIONAL SIGNAGE AS NECESSARY TO ACCOMPLISH THE WORK.
- 9) THE CONTRACTOR SHALL CONSIDER COORDINATION ASPECTS OF CRANES AND CONSTRUCTION EQUIPMENT OPERATIONS DURING DEMOLITION ACTIVITY.
- 10) THE CONTRACTOR EQUIPMENT SHALL NOT BE PARKED IN COUNTY, CITY OR STATE RIGHT-OF-WAY, AND MUST BE STORED WITHIN SITE.
- 11) THE CONTRACTOR SHALL COORDINATE WITH FORT BEND COUNTY AS REQUIRED DURING ALL DEMOLITION AND NEW CONSTRUCTION ACTIVITIES.
- 12) APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY FORT BEND COUNTY OF ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE.
- 13) ALL BUFFERS AND SAVE AREAS SHALL BE CLEARLY IDENTIFIED BY FLAGGING AND/OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.
- 14) THE CONTRACTOR SHALL DISPOSE OF ANY HAZARDOUS MATERIALS IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL LAWS.
- 15) ALL ITEMS DESIGNATED FOR REMOVAL SHALL BE LEGALLY DISPOSED OF, OFF SITE.
- 16) THE CONTRACTOR SHALL CONTACT UTILITIES PROTECTION CENTER PRIOR TO ANY EXCAVATION.
- 17) THE CONTRACTOR SHALL POT HOLE EXISTING WATER LINE, UNDERGROUND ELECTRICAL LINES, GAS LINE, UNDERGROUND TELEPHONE, FIBER OPTIC, AND ANY OTHER UTILITY LINES WITHIN THE RIGHT OF WAY DURING DEMOLITION ACTIVITIES AND COORDINATE FIELD LOCATIONS AND DEPTHS OF THESE UTILITIES WITH ENGINEER FOR PROPOSED UTILITY CROSSINGS AND PROPOSED PAVEMENT OVER EXISTING LINES. THESE LINES MAY REQUIRE RELOCATION.

**EROSION CONTROL NOTES**

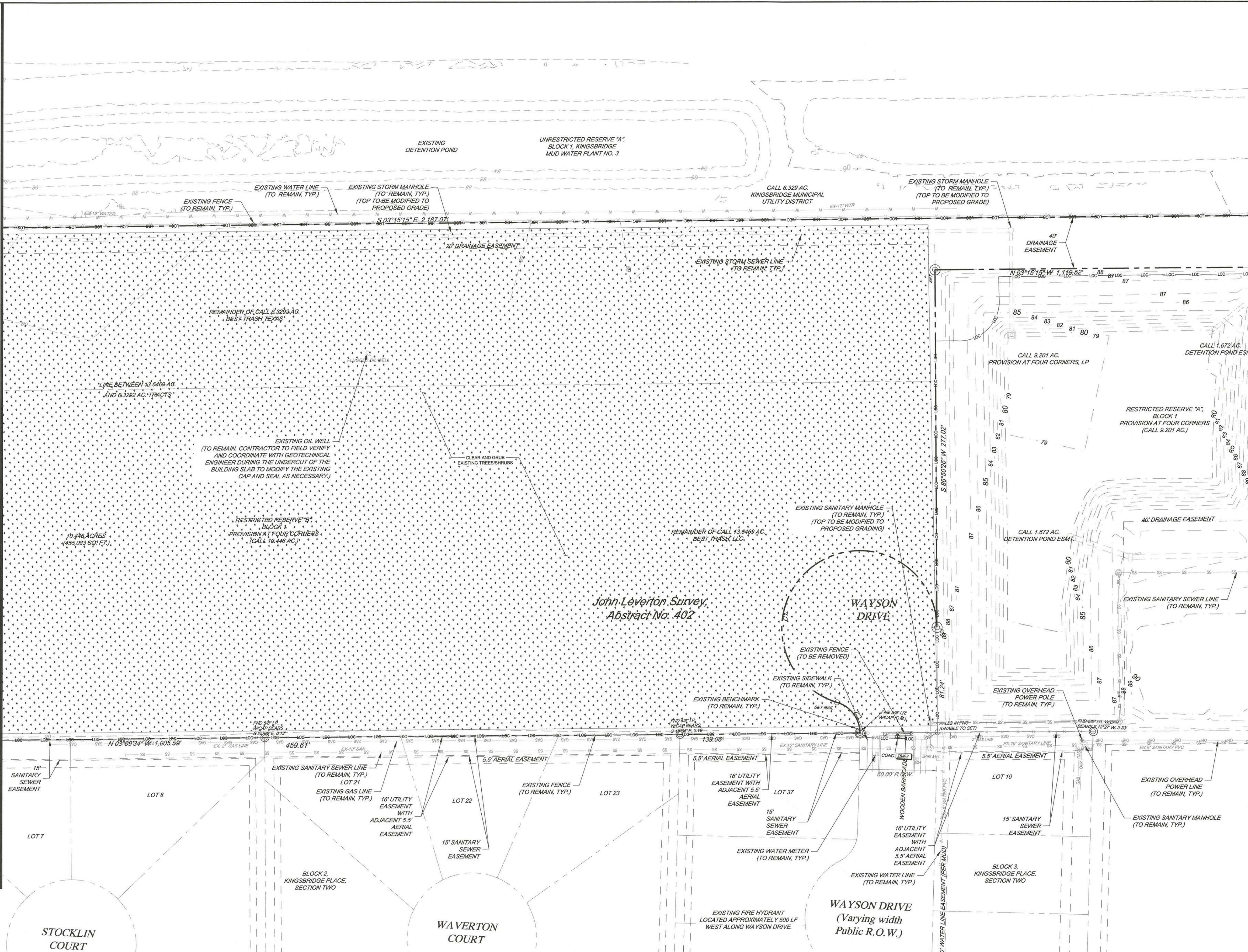
- (SEE ALSO EROSION CONTROL PLAN)
- 1) EROSION CONTROL DEVICES ARE TO BE INSTALLED PRIOR TO ANY CLEARING OR EARTHWORK OPERATIONS AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND UNTIL PERMANENT GROUND COVER IS ESTABLISHED IN ALL DISTURBED AREAS.
  - 2) THE CONTRACTOR SHALL PROVIDE DUST CONTROL AND SHALL PROTECT ADJACENT PAVEMENTS FROM SOIL ACCUMULATION DURING CONSTRUCTION.
  - 3) ADDITIONAL EROSION CONTROL DEVICES MAY BE REQUIRED BY THE ENGINEER OR OTHER INSPECTORS AS DETERMINED BY FIELD CONDITIONS.
  - 4) THE CONTRACTOR SHALL BE FAMILIAR WITH AND FOLLOW ALL RECOMMENDATIONS GIVEN BY GEOTECHNICAL REPORT BY ALPHA TESTING INC. DATED 10/06/2016 AND BY PHASE I REPORT BY AEI CONSULTANTS DATED 02/09/2016 DURING DEMOLITION AND SITE CONSTRUCTION.

LEGEND	
	UTILITIES, FENCE, AND/OR WALL TO BE REMOVED AND/OR RELOCATED. SEE NOTE FOR DETAIL.
	BUILDING/CONCRETE TO BE REMOVED
	ASPHALT, GRAVEL, AND/OR CURB & GUTTER TO BE REMOVED
	TREES AND BRUSH TO BE REMOVED
	EXISTING FENCE
	PROPERTY LINE
	LIMITS OF CONSTRUCTION

EXISTING SITE DATA	
TOTAL SITE AREA =	10.45 AC.
EXISTING PERVIOUS AREA =	10.45 AC.
EXISTING IMPERVIOUS AREA =	0.00 AC.



MATCH LINE A (SEE SHEET C-0.1)



PROJECT BENCHMARK	
ALL ELEVATIONS SHOWN HEREON ARE NAVD 88, 2001 ADJUSTMENT. ELEVATIONS BASED ON THE U.S. SURVEY FOOT, AS DETERMINED FROM DIFFERENTIAL GPS OBSERVATIONS COLLECTED ON TSARP REFERENCE MARKS 040445, 040450, AND 040455.	
TBM-1 ELEVATION = 90.18 FEET (SHEET 2 OF 2)	RAILROAD SPIKE SET IN THE SOUTH FACE OF UTILITY POLE, LOCATED IN THE NORTH RIGHT-OF-WAY LINE OF OLD RICHMOND ROAD, APPROXIMATELY 105 FEET WEST OF THE CENTERLINE OF THE DRIVEWAY ENTERING A WATER PLANT; ALSO BEING 43 FEET WEST OF THE SOUTHEAST CORNER OF THE SUBJECT PROPERTY.
TBM-2 ELEVATIONS = 89.47 FEET (SHEET 1 OF 2)	SQUARE CHISELED IN THE CENTERLINE OF THE PAVEMENT HEADER OF WAYSON DRIVE, WHICH BUTTS INTO THE WEST LINE OF THE SUBJECT PROPERTY; ALSO BEING APPROXIMATELY 31 FEET NORTH OF THE NORTHWEST CORNER OF THE SUBJECT PROPERTY.
TBM-3 ELEVATION = 90.08 FEET (SHEET 1 OF 2)	SQUARE CHISELED ON THE SOUTHWEST CONCRETE FOOTING OF AN ELECTRICAL TRANSMISSION TOWER LOCATED 188 FEET SOUTH AND 42 FEET EAST OF THE NORTHEAST CORNER OF THE SUBJECT PROPERTY.

MATCH LINE B (SEE SHEET C-0.1)

ENGINEER:  
**FORESITE** group  
 TBPE Firm No. F-12878  
 Foresite Group, Inc.  
 1999 Bryan St. Suite 890  
 Dallas, TX 75201  
 o | 214.939.7123  
 f | 888.765.8135  
 w | www.fg-inc.net  
 D/B/A Foresite Consulting Group of Texas, Inc.

OWNER:  
**GARDNER CAPITAL**  
 2501 N. HARWOOD ST. SUITE 1501  
 DALLAS, TX 75201  
 (417) 447-5538  
 CONTACT: MR. RUBEN ESQUEDA

PROJECT:  
**GALA AT FOUR CORNERS**  
 15010 OLD RICHMOND ROAD  
 SUGAR LAND, FORT BEND COUNTY, TX 77498

SEAL:  

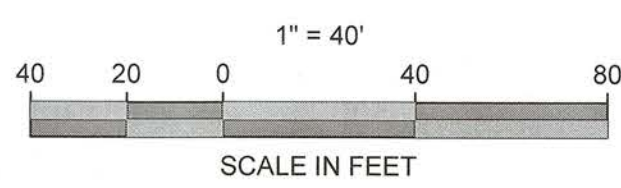
 JOHN B. RHODES, JR.  
 112311  
 LICENSED PROFESSIONAL ENGINEER  
 02/10/17

REVISIONS	DATE
COUNTY COMMENTS	04/10/2017
MUD / DRAINAGE DISTRICT COMMENTS	07/21/2017
MUD COMMENTS	09/19/2017

PROJECT MANAGER:	DN
DRAWING BY:	PA
JURISDICTION:	FORT BEND COUNTY
DATE:	01/03/2017
TITLE:	1" = 40'

**DEMOLITION PLAN**  
 SHEET NUMBER: **C-0**  
 COMMENTS: NOT RELEASED FOR CONSTRUCTION  
 JOB/FILE NUMBER: 693.011

*Masid*  
 FBC DEVELOPMENT COORDINATOR  
 10/31/17  
 DATE





**GENERAL NOTES:**

- 1) ALL PROPOSED DIMENSIONS USED TO SHOW THE GEOMETRIC LAYOUT OF THE PROPOSED PARKING LOT ARE SHOWN AT THE FACE OF CURB. ALL PROPOSED DIMENSIONS USED TO SHOW THE GEOMETRIC LAYOUT OF THE PROPOSED BUILDING LOCATION ARE GIVEN AT THE OUTSIDE FACE OF THE BUILDING CORNERS. ALL CURB RADII ARE GIVEN AT THE FACE OF CURB.
- 2) THE CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS IN THE FIELD AND THE SURVEY SHOWN ON THE PLANS BEFORE PROCEEDING WITH ANY NEW CONSTRUCTION.
- 3) THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECT HORIZONTAL AND VERTICAL ALIGNMENT OF ALL TIES BETWEEN PROPOSED AND EXISTING PAVEMENTS, CURB AND GUTTER, SIDEWALKS, WALLS, AND UTILITIES.
- 4) ALL EXISTING INFORMATION SHOWN FOR THE DESIGN AT FOUR CORNERS DEVELOPMENT IS DEPICTED FROM THE PREVIOUS DESIGN PLANS BY FORESITE GROUP, INC. DATED 01/04/2017. CONTRACTOR SHOULD FIELD VERIFY THE LOCATION AND EXISTENCE OF ALL EXISTING UTILITIES AND PERTINENT ITEMS ON THE PROVISION AT FOUR CORNERS PROPERTY.

**SITE NOTES:**

- 1) TRACT IS ZONED: NOT ZONED (FORT BEND COUNTY DOES NOT MAINTAIN A ZONING ORDINANCE)
- 2) SEE ARCHITECTURAL PLANS FOR BUILDING FLOOR PLAN DIMENSIONS, DOOR LOCATIONS, SITE LIGHTING PLAN, AND OTHER ARCHITECTURAL DETAILS.
- 3) NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL SITE IMPROVEMENTS HAVE BEEN COMPLETED ON THE SITE.
- 4) HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM THE PUBLIC VIEW AND DOES NOT INTERFERE WITH TRAFFIC. (SEE PHOTOMETRICS PLAN IN ARCHITECTURAL PLANS).
- 5) ALL BUFFERS, TREE SAVE AREAS, AND UNDISTURBED AREAS SHALL BE CLEARLY IDENTIFIED BY FLAGGING AND/OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.
- 6) NO OUTSIDE STORAGE IS PROPOSED. THIS INCLUDES SUPPLIES, VEHICLE, EQUIPMENT, PRODUCTS, ETC.
- 7) SIGNS (LOCATION, NUMBER, AND SIZE) ARE NOT APPROVED UNDER THIS DEVELOPMENT PERMIT. A SEPARATE PERMIT IS REQUIRED FOR ON-SITE SIGNAGE.
- 8) ALL PAVEMENT MARKING WITHIN FORT BEND COUNTY RIGHT-OF-WAY SHALL BE THERMOPLASTIC AND ACCORDING TO TxDOT SPECIFICATIONS.
- 9) ALL CONSTRUCTION RELATED PERMITS DURING THE CONSTRUCTION PHASE OF THIS PROJECT ARE THE RESPONSIBILITY OF THE OWNER, HOWEVER A CONTRACTOR/DEVELOPER CAN DO PERMITTING WITH AGENT AUTHORIZATION.
- 10) CONSTRUCTION TRAILERS ARE TO BE PERMITTED THROUGH THE PERMITS DIVISION OF FORT BEND COUNTY ENGINEERING.
- 11) ALL EROSION, SEDIMENT CONTROL AND TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO ANY GRADING.
- 12) MAXIMUM CUT OR FILL SLOPE=2H:1V
- 13) FORT BEND COUNTY ACCEPTS NO RESPONSIBILITY FOR THE AMERICANS WITH DISABILITIES ACT (ADA), EXCEPT FOR NOTIFICATION REQUIREMENT. THE OWNER/DEVELOPER IS SOLELY RESPONSIBLE FOR COMPLIANCE FOR SAID ACT.
- 14) 24 HOUR CONTACT: MR. JOHN B. RHODES, JR., PE, (214) 939-7123
- 15) THE CONTRACTOR SHALL COORDINATE WITH THE CITY/COUNTY JURISDICTION, WATER AND SEWER JURISDICTION, AND DEPARTMENT OF TRANSPORTATION INSPECTORS REGARDING ALL CERTIFICATE OF OCCUPANCY REQUIREMENTS AND COORDINATE WITH THE ENGINEER APPROXIMATELY 8 WEEKS PRIOR TO ANTICIPATED CERTIFICATE OF OCCUPANCY DATE REGARDING ANY ITEMS REQUIRING APPROVAL OR CERTIFICATIONS BY THE ENGINEER.

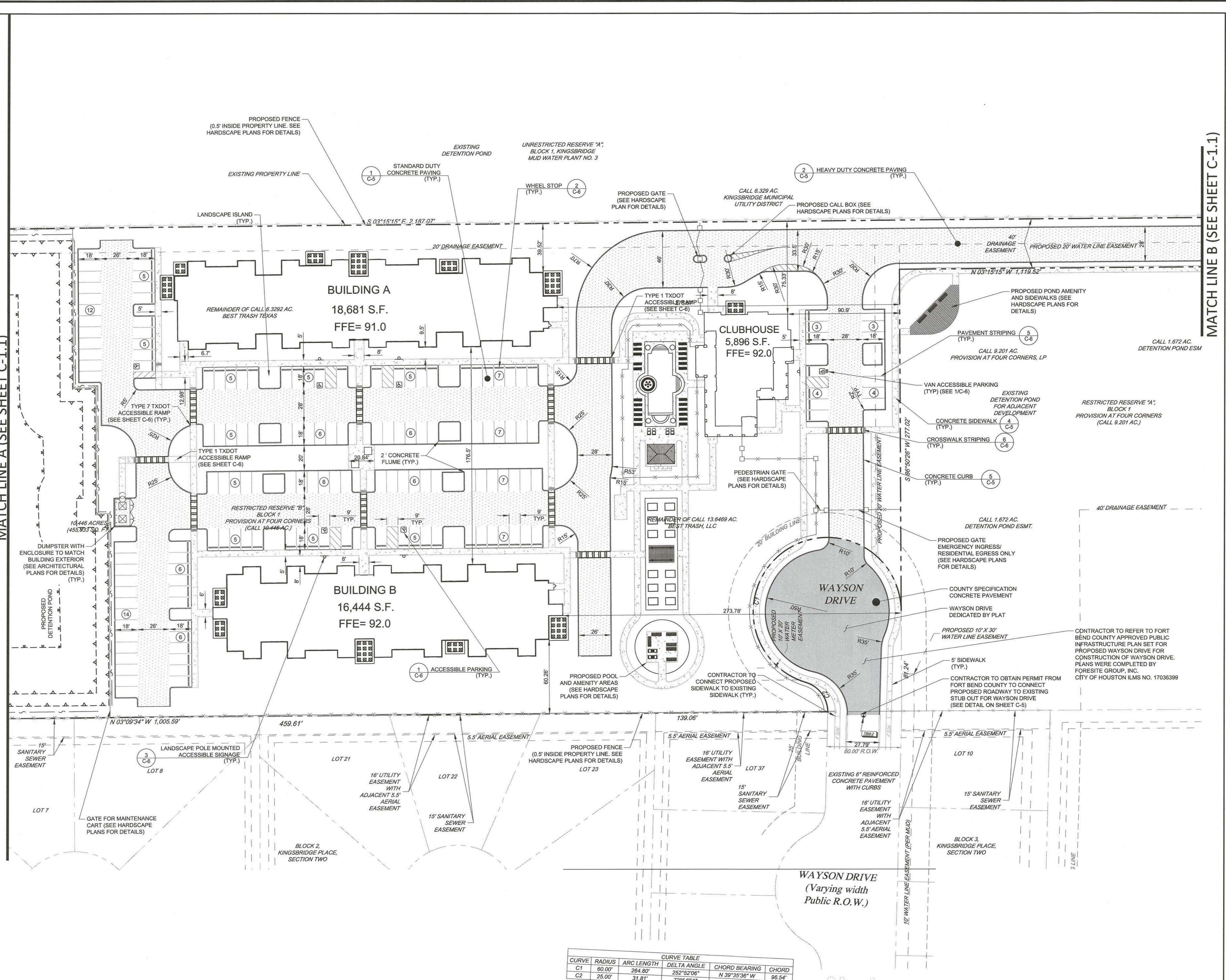
**LEGEND**

- STANDARD DUTY CONCRETE PAVING
- 5" THICK PORTLAND CEMENT WITH SUBGRADE COMPACTED TO 95% ASTM D698, 3,500 PSI WITH #3 REBAR 18" O.C.E.W.
- HEAVY DUTY CONCRETE PAVING
- 6" THICK PORTLAND CEMENT WITH SUBGRADE COMPACTED TO 95% ASTM D698, 3,500 PSI WITH #3 REBAR 18" O.C.E.W.
- DUMPSTER AREA CONCRETE PAVING
- 7" THICK PORTLAND CEMENT WITH SUBGRADE COMPACTED TO 95% ASTM D698, 3,500 PSI WITH #3 REBAR 18" O.C.E.W.
- COUNTY SPECIFICATION CONCRETE PAVING
- CONCRETE SIDEWALK PAVING
- PROPERTY LINE
- PARKING COUNT
- TRAFFIC SIGN
- PAINTED TRAFFIC ARROWS
- TRAFFIC FLOW LANE DESIGNATION

**SITE DATA**

ZONING: NOT ZONED (FORT BEND COUNTY DOES NOT MAINTAIN A ZONING ORDINANCE)

TOTAL SITE AREA:	10.45 AC.
PROJECT SITE AREA:	10.45 AC.
DISTURBED AREA:	6.43 AC.
PERVIOUS SURFACE AREA:	6.46 AC.
IMPERVIOUS SURFACE AREA:	3.99 AC.
PARKING RATIO REQUIRED:	NOT SPECIFIED
PARKING REQUIRED:	NOT SPECIFIED
PARKING PROVIDED:	154 SPACES
ACCESSIBLE PARKING REQUIRED:	6 SPACES
ACCESSIBLE PARKING PROVIDED:	6 SPACES

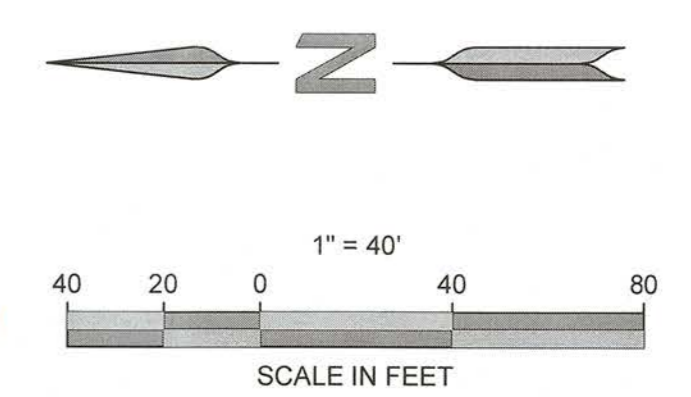


**CURVE TABLE**

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD
C1	60.00'	264.80'	252°52'06"	N 39°35'36" W	96.54'
C2	25.00'	31.81'	72°54'31"	S 90°24'10" W	29.71'



Max J. [Signature]  
FBC DEVELOPMENT COORDINATOR  
DATE: 10/31/17



ENGINEER:  
**FORESITE group**  
TBPE Firm No. F-12878  
Foresite Group, Inc.  
1999 Bryan St. Suite 890  
Dallas, TX 75201  
o | 214.939.7123  
f | 888.765.8135  
w | www.fg-inc.net  
D/B/A Foresite Consulting Group of Texas, Inc.

OWNER:  
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2501 N. HARWOOD ST. SUITE 1501  
DALLAS, TX 75201  
(417) 447-5538  
CONTACT: MR. RUBEN ESQUEDA

PROJECT:  
**GALA AT FOUR CORNERS**  
15010 OLD RICHMOND ROAD  
SUGAR LAND, FORT BEND COUNTY, TX 77498

SEAL:  
STATE OF TEXAS  
JOHN B. RHODES, JR.  
112311  
LICENSED PROFESSIONAL ENGINEER  
09/19/17

REVISIONS

REVISIONS	DATE
COUNTY COMMENTS	04/10/2017
MUD / DRAINAGE DISTRICT COMMENTS	07/21/2017
MUD COMMENTS	09/19/2017

PROJECT MANAGER: DN  
DRAWING BY: PA  
JURISDICTION: FORT BEND COUNTY  
DATE: 01/03/2017  
TITLE: 1" = 40'

**SITE & PAVING PLAN**  
SHEET NUMBER: **C-1**  
COMMENTS: NOT RELEASED FOR CONSTRUCTION  
JOB/FILE NUMBER: 693.011

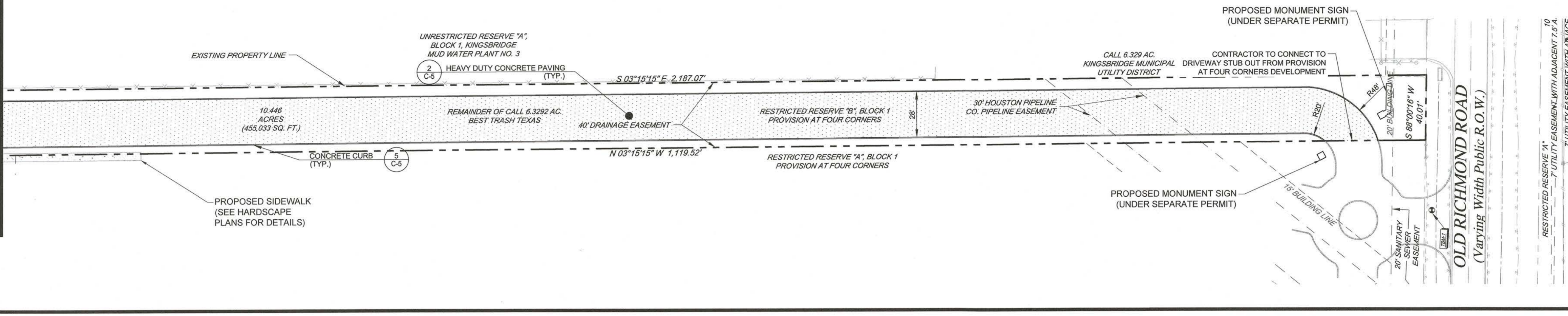
**GENERAL NOTES:**

- 1) ALL PROPOSED DIMENSIONS USED TO SHOW THE GEOMETRIC LAYOUT OF THE PROPOSED PARKING LOT ARE SHOWN AT THE FACE OF CURB. ALL PROPOSED DIMENSIONS USED TO SHOW THE GEOMETRIC LAYOUT OF THE PROPOSED BUILDING LOCATION ARE GIVEN AT THE OUTSIDE FACE OF THE BUILDING CORNERS. ALL CURB RADII ARE GIVEN AT THE FACE OF CURB.
  - 2) THE CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS IN THE FIELD AND THE SURVEY SHOWN ON THE PLANS BEFORE PROCEEDING WITH ANY NEW CONSTRUCTION.
  - 3) THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECT HORIZONTAL AND VERTICAL ALIGNMENT OF ALL TIES BETWEEN PROPOSED AND EXISTING PAVEMENTS, CURB AND GUTTER, SIDEWALKS, WALLS, AND UTILITIES.
  - 4) ALL EXISTING INFORMATION SHOWN FOR THE PROVISION AT FOUR CORNERS DEVELOPMENT IS DEPICTED FROM THE PREVIOUS DESIGN PLANS BY FORESITE GROUP, INC. DATED 01/04/2017. CONTRACTOR SHOULD FIELD VERIFY THE LOCATION AND EXISTENCE OF ALL EXISTING UTILITIES AND PERTINENT ITEMS ON THE PROVISION AT FOUR CORNERS PROPERTY.
- SITE NOTES:**
- 1) TRACT IS ZONED: NOT ZONED (FORT BEND COUNTY DOES NOT MAINTAIN A ZONING ORDINANCE)
  - 2) SEE ARCHITECTURAL PLANS FOR BUILDING FLOOR PLAN DIMENSIONS, DOOR LOCATIONS, SITE LIGHTING PLAN, AND OTHER ARCHITECTURAL DETAILS.
  - 3) NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL SITE IMPROVEMENTS HAVE BEEN COMPLETED ON THE SITE.
  - 4) HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM THE PUBLIC VIEW AND DOES NOT INTERFERE WITH TRAFFIC (SEE PHOTOMETRICS PLAN IN ARCHITECTURAL PLANS).
  - 5) ALL BUFFERS, TREE SAVE AREAS, AND UNDISTURBED AREAS SHALL BE CLEARLY IDENTIFIED BY FLAGGING AND/OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.
  - 6) NO OUTSIDE STORAGE IS PROPOSED. THIS INCLUDES SUPPLIES, VEHICLE, EQUIPMENT, PRODUCTS, ETC.
  - 7) SIGNS (LOCATION, NUMBER, AND SIZE) ARE NOT APPROVED UNDER THIS DEVELOPMENT PERMIT. A SEPARATE PERMIT IS REQUIRED FOR ON-SITE SIGNAGE.
  - 8) ALL PAVEMENT MARKING WITHIN FORT BEND COUNTY RIGHT-OF-WAY SHALL BE THERMOPLASTIC AND ACCORDING TO TxDOT SPECIFICATIONS.
  - 9) ALL CONSTRUCTION RELATED PERMITS DURING THE CONSTRUCTION PHASE OF THIS PROJECT ARE THE RESPONSIBILITY OF THE OWNER, HOWEVER A CONTRACTOR/DEVELOPER CAN DO PERMITTING WITH AGENT AUTHORIZATION.
  - 10) CONSTRUCTION TRAILERS ARE TO BE PERMITTED THROUGH THE PERMITS DIVISION OF FORT BEND COUNTY ENGINEERING.
  - 11) ALL EROSION, SEDIMENT CONTROL AND TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO ANY GRADING.
  - 12) MAXIMUM CUT OR FILL SLOPE=2H:1V
  - 13) FORT BEND COUNTY ACCEPTS NO RESPONSIBILITY FOR THE AMERICANS WITH DISABILITIES ACT (ADA), EXCEPT FOR NOTIFICATION REQUIREMENT. THE OWNER/DEVELOPER IS SOLELY RESPONSIBLE FOR COMPLIANCE FOR SAID ACT.
  - 14) 24 HOUR CONTACT: MR. JOHN B. RHODES, JR., PE, (214) 939-7123
  - 15) THE CONTRACTOR SHALL COORDINATE WITH THE CITY/COUNTY JURISDICTION, WATER AND SEWER JURISDICTION, AND DEPARTMENT OF TRANSPORTATION INSPECTORS REGARDING ALL CERTIFICATE OF OCCUPANCY REQUIREMENTS AND COORDINATE WITH THE ENGINEER APPROXIMATELY 8 WEEKS PRIOR TO ANTICIPATED CERTIFICATE OF OCCUPANCY DATE REGARDING ANY ITEMS REQUIRING APPROVAL OR CERTIFICATIONS BY THE ENGINEER.

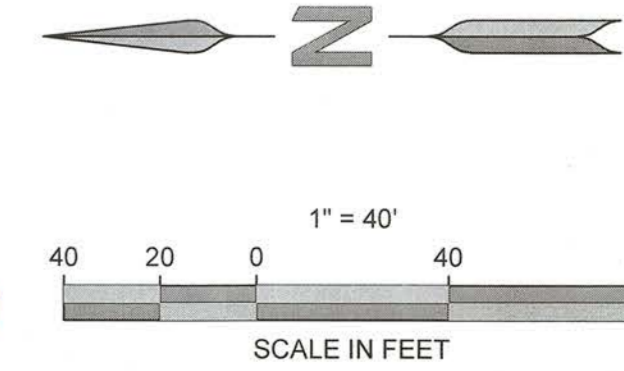
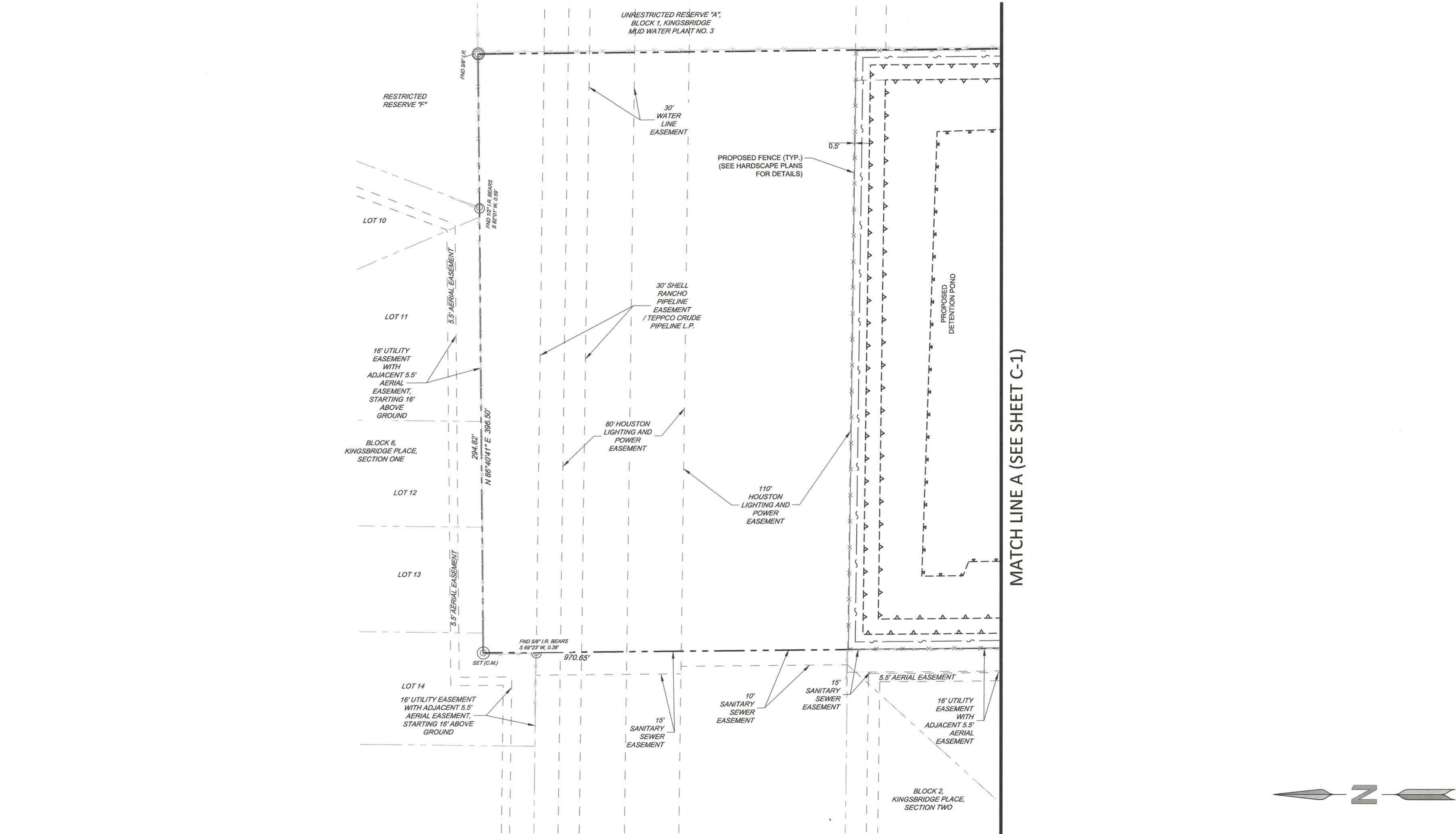
LEGEND	
	STANDARD DUTY CONCRETE PAVING
	5" THICK PORTLAND CEMENT WITH SUBGRADE COMPACTED TO 95% ASTM D698. 3,500 PSI WITH #3 REBAR 18" O.C.E.W.
	HEAVY DUTY CONCRETE PAVING
	6" THICK PORTLAND CEMENT WITH SUBGRADE COMPACTED TO 95% ASTM D698. 3,500 PSI WITH #3 REBAR 18" O.C.E.W.
	DUMPSTER AREA CONCRETE PAVING
	7" THICK PORTLAND CEMENT WITH SUBGRADE COMPACTED TO 95% ASTM D698. 3,500 PSI WITH #3 REBAR 18" O.C.E.W.
	COUNTY SPECIFICATION CONCRETE PAVING
	CONCRETE SIDEWALK PAVING
	PROPERTY LINE
	PARKING COUNT
	TRAFFIC SIGN
	PAINTED TRAFFIC ARROWS
	TRAFFIC FLOW LANE DESIGNATION

SITE DATA	
ZONING:	NOT ZONED (FORT BEND COUNTY DOES NOT MAINTAIN A ZONING ORDINANCE)
TOTAL SITE AREA:	10.45 AC.
PROJECT SITE AREA:	10.45 AC.
DISTURBED AREA:	8.43 AC.
PERVIOUS SURFACE AREA:	6.46 AC.
IMPERVIOUS SURFACE AREA:	3.99 AC.
PARKING RATIO REQUIRED:	NOT SPECIFIED
PARKING PROVIDED:	NOT SPECIFIED
ACCESSIBLE PARKING PROVIDED:	6 SPACES
ACCESSIBLE PARKING PROVIDED:	6 SPACES

MATCH LINE B (SEE SHEET C-1)



MATCH LINE A (SEE SHEET C-1)



ENGINEER:

**FORESITE group**

TBPE Firm No. F-12878  
 Foresite Group, Inc.  
 1999 Bryan St. Suite 890  
 Dallas, TX 75201

o | 214.939.7123  
 f | 888.765.8135  
 w | www.fg-inc.net  
 D/B/A Foresite Consulting Group of Texas, Inc.

OWNER:

**GARDNER CAPITAL**

2501 N. HARWOOD ST, SUITE 1501  
 DALLAS, TX 75201  
 (417) 447-5538

CONTACT: MR. RUBEN ESQUEDA

PROJECT:

**GALA AT FOUR CORNERS**

15010 OLD RICHMOND ROAD  
 SUGAR LAND, FORT BEND COUNTY, TX 77498

SEAL:

REVISIONS	DATE
COUNTY COMMENTS	04/10/2017
MUD / DRAINAGE DISTRICT COMMENTS	07/21/2017
MUD COMMENTS	09/19/2017
PROJECT MANAGER:	DN
DRAWING BY:	PA
JURISDICTION:	FORT BEND COUNTY
DATE:	01/03/2017
	1" = 40'
TITLE:	

**SITE & PAVING PLAN**

SHEET NUMBER:

**C-1.1**

COMMENTS: NOT RELEASED FOR CONSTRUCTION

JOB/FILE NUMBER: 693.011



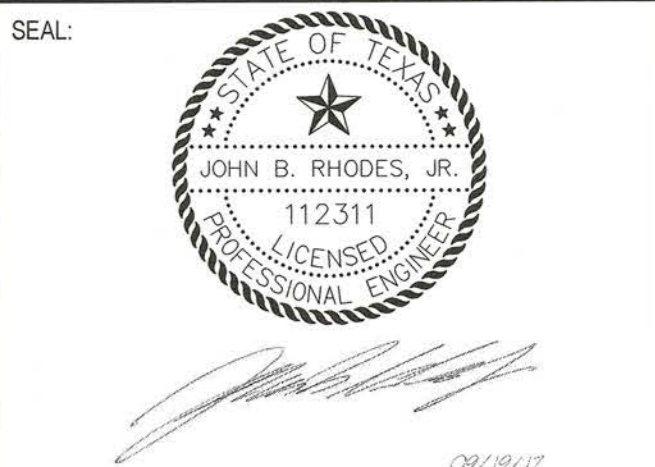
Maxi D  
 FBC DEVELOPMENT COORDINATOR  
 10/31/17  
 DATE

— — — — —	PROPERTY LINE
⊙	PARKING COUNT

ENGINEER:  
**FORESITE**  
 group  
 TBPE Firm No. F-12878  
 Foresite Group, Inc.  
 1999 Bryan St. Suite 890  
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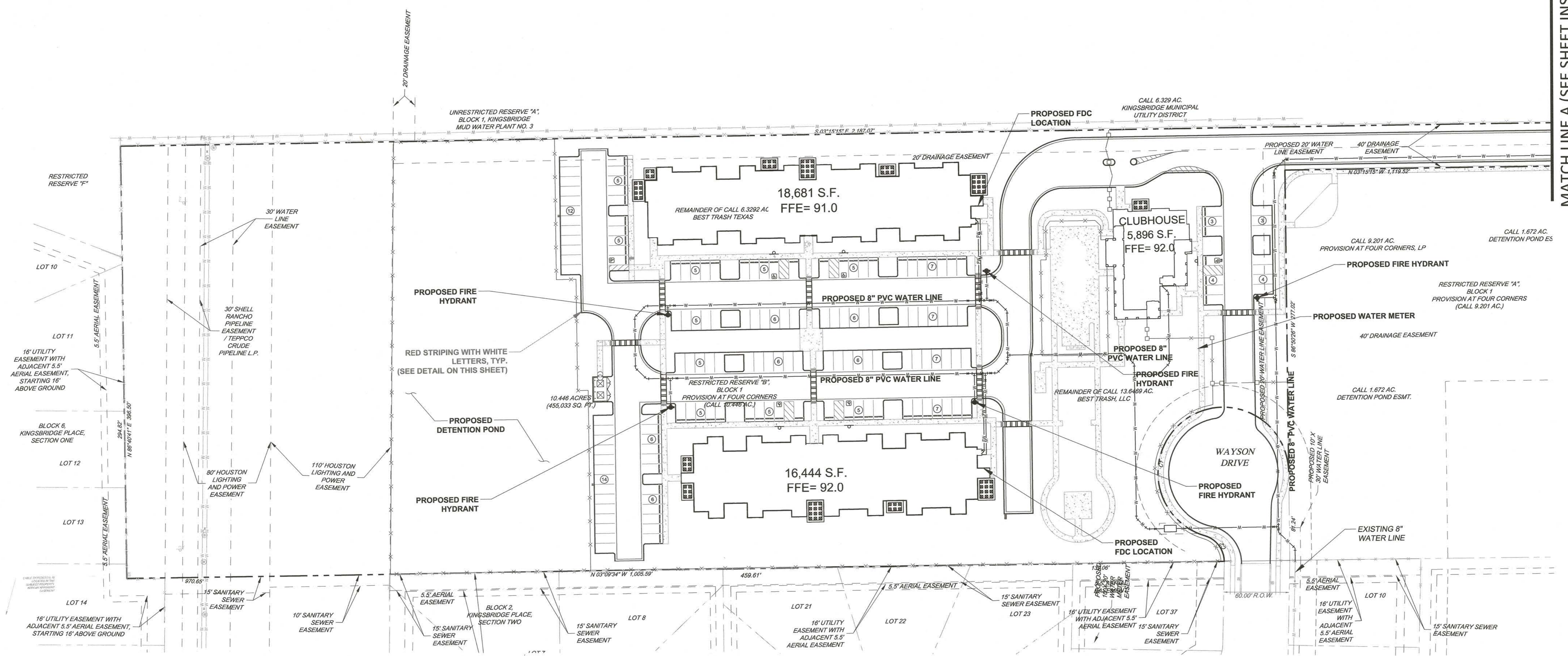
PROJECT:  
**GALA AT FOUR CORNERS**  
 15010 OLD RICHMOND ROAD  
 SUGAR LAND, FORT BEND COUNTY, TX 77498



REVISIONS	DATE
COUNTY COMMENTS	04/10/2017
MUD / DRAINAGE DISTRICT COMMENTS	07/21/2017
MUD COMMENTS	09/19/2017

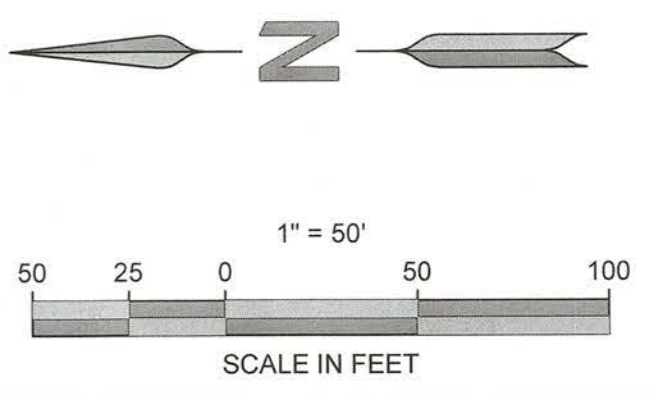
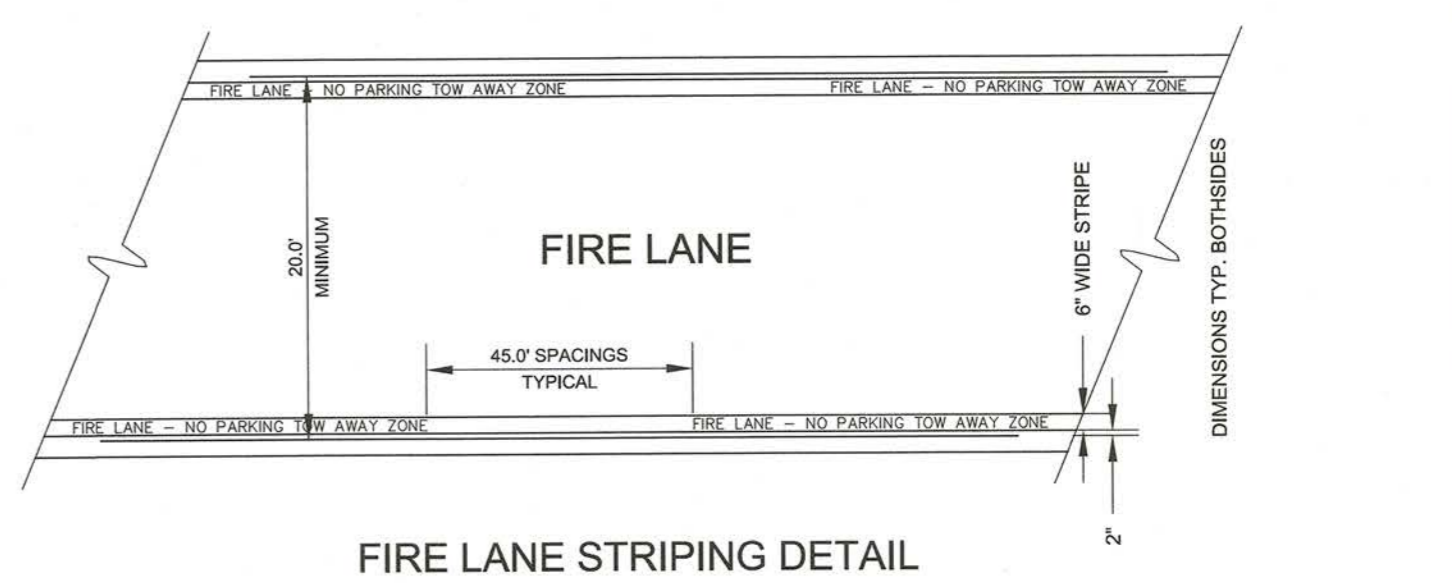
PROJECT MANAGER: DN  
 DRAWING BY: PA  
 JURISDICTION: FORT BEND COUNTY  
 DATE: 01/03/2017  
 TITLE: AS SHOWN

**FIRE LANE SITE PLAN**  
 SHEET NUMBER:  
**C-1.2**  
 COMMENTS: NOT RELEASED FOR CONSTRUCTION  
 JOB/FILE NUMBER: 693.011



MATCH LINE A (SEE SHEET INSERT)

MATCH LINE A (SEE SHEET PLAN VIEW)



Mary D. [Signature]  
 FBC DEVELOPMENT COORDINATOR  
 10/31/17  
 DATE



**GENERAL NOTES:**

- 1) ALL SPOT ELEVATIONS SHOWN ARE AT THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- 2) ALL PROPOSED SIDEWALKS SHALL BE BUILT WITH A 1.5% CROSS-SLOPE AWAY FROM THE BUILDING.
- 3) ALL HEAD WALL SECTIONS SHALL BE CONSTRUCTED TO BE FLUSH WITH THE EXISTING DITCH BANK AND PROPOSED EMBANKMENT SLOPES.
- 4) ALL EXISTING INFORMATION SHOWN FOR THE PROVISION AT FOUR CORNERS DEVELOPMENT IS DEPICTED FROM THE PREVIOUS DESIGN PLANS BY FORESITE GROUP, INC. DATED 01/04/2017. CONTRACTOR SHOULD FIELD VERIFY THE LOCATION AND EXISTENCE OF ALL EXISTING UTILITIES AND PERTINENT ITEMS ON THE PROVISION AT FOUR CORNERS PROPERTY.

**SITE NOTES:**

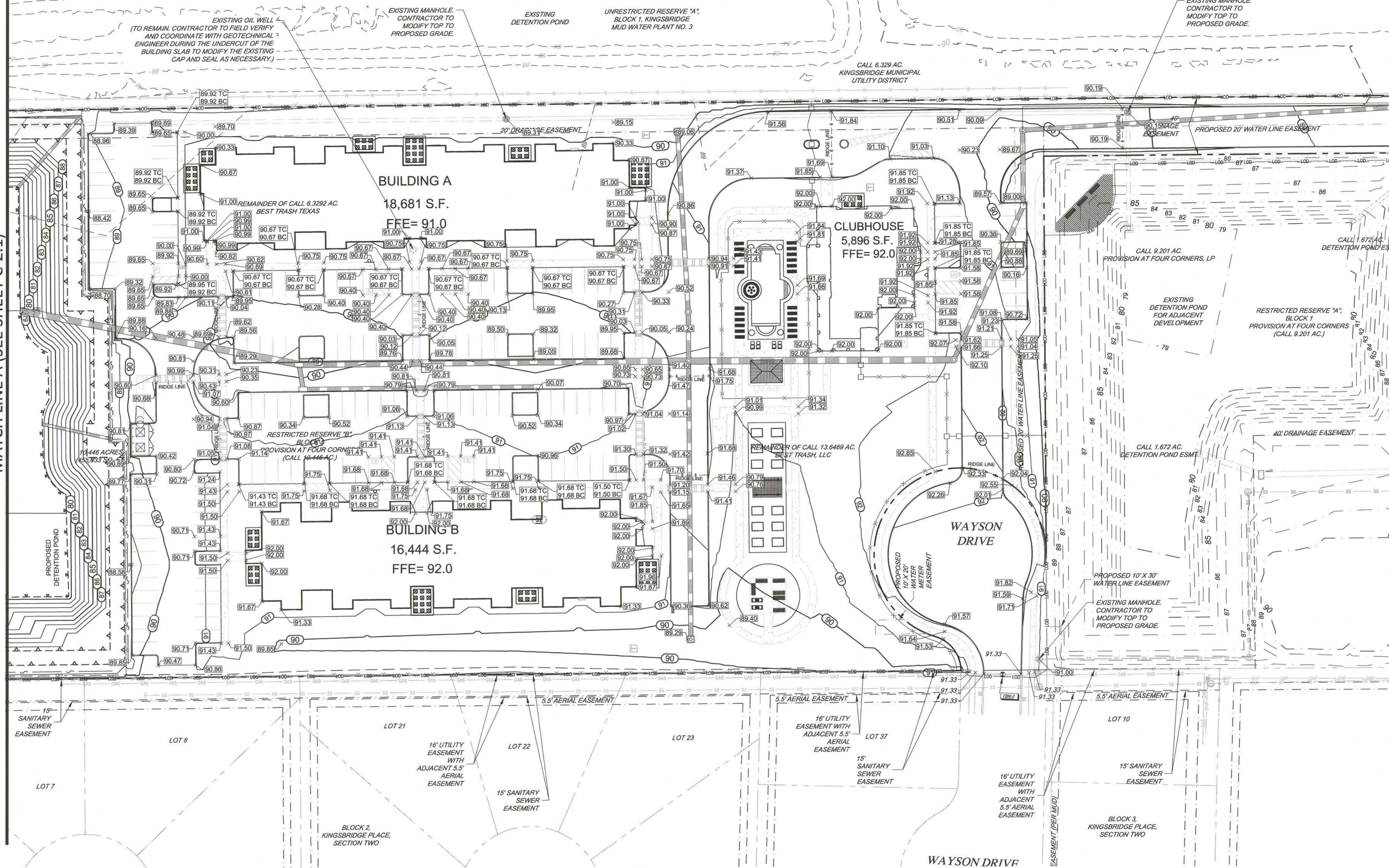
- 1) THE CONTRACTOR SHALL CLEAN OUT ACCUMULATED SILT IN STORM WATER CONVEYANCE CHANNELS AND PIPES AT END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
- 2) THE CONTRACTOR SHALL COORDINATE WITH FORT BEND COUNTY INSPECTIONS DURING CONSTRUCTION.
- 3) NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL SITE IMPROVEMENTS HAVE BEEN COMPLETED.
- 4) THE CONTRACTOR SHALL CONSTRUCT EROSION CONTROL BARRIERS PER FORT BEND COUNTY INSPECTOR AND MAINTAIN UNTIL PERMANENT VEGETATION IS ESTABLISHED.
- 5) THE CONTRACTOR SHALL RE-ESTABLISH ALL RIGHT OF WAY AREA WHICH IS DAMAGED OR DISTURBED TO ORIGINAL CONDITIONS OR BETTER DURING AUTHORIZED WORK. ALL WORK IN FORT BEND COUNTY RIGHT OF WAY SHALL COMPLY WITH DOT SPECIFICATIONS.
- 6) ALL CURBED LANDSCAPE ISLANDS SHALL BE FILLED TO TOP OF CURB WITH TOPSOIL AND SEEDED.
- 7) MAXIMUM CUT OR FILL SLOPES IS 2H:1V
- 8) TREE PROTECTION FENCE SHALL BE INSTALLED PRIOR TO ANY CLEARING OR GRADING ACTIVITIES.
- 9) ALL STORM PIPE SHOWN ON THIS PLAN SHALL BE WRAPPED WITH LOCATION WIRE AND TAPE.
- 10) ALL HDPE SHALL BE AASHTO TYPE "S" AND SHALL BE INSTALLED IN ACCORDANCE TO ASTM D2321 OR AASHTO SECTION 30 STANDARD PRACTICES AND AS RECOMMENDED BY THE MANUFACTURER. ALL RCP STORM PIPE SHALL BE CLASS III. ALL PVC PIPE SHALL BE SDR 35 PVC OR CONTECH A-2000 PVC PIPE WITH WATER TIGHT JOINTS.
- 11) IN ALL AREAS OF FILL OR OTHERWISE DISTURBANCE OF EXISTING CONDITIONS, UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL FULLY AND COMPLETELY REMOVE AND LEGALLY DISPOSE OFF-SITE. ALL PLANT MATERIALS INCLUDING BUT NOT LIMITED TO ROOT SYSTEMS, CONCRETE, REINFORCED CONCRETE, ASPHALT DEBRIS, UNDERBRUSH, TOPSOIL, AND OTHER DELETERIOUS MATERIAL. THE SUBGRADE TO REMAIN SHALL BE COMPACTED TO 95% STANDARD PROCTOR MAXIMUM DRY DENSITY FOLLOWING FULL REMOVAL OF THESE MATERIALS.
- 12) THE CONTRACTOR SHALL REFER TO SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING EVALUATION REPORTS AS PROVIDED BY OWNER FOR RECOMMENDATIONS ASSOCIATED WITH: GENERAL SITE PREPARATION, BUILDING PAD PREPARATION, SUBGRADE PREP. AREAS TO RECEIVE FILL, AREAS TO BE OVER-EXCAVATED, PAVEMENT SECTIONS, FILL SLOPES AND EXCAVATION. CONTRACTOR SHALL HAVE THIS REPORT ON THE JOB SITE FOR REFERENCE AT ALL TIMES. CONTRACTOR SHALL PROVIDE EARTHWORK OPERATIONS AND CONSTRUCTION PHASE MONITORING TO ENSURE THAT ALL COMPACTION IS COMPLETED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. CONTRACTOR SHALL PROVIDE TESTING REPORTS TO THE OWNER REGARDING COMPACTION TESTING PER THE TESTING PROTOCOL IN THE GEOTECHNICAL REPORT.
- 13) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN QUALIFIED PROFESSIONAL ADVICE WHEN QUESTIONS ARISE CONCERNING DESIGN AND EFFECTIVENESS OF EROSION CONTROL DEVICES. 24 HR. CONTACT: MR. JOHN B. RHODES, JR., PE (214) 938-7123
- 14) NO PORTION OF THIS PROPERTY LIES WITHIN A SPECIAL FLOOD HAZARD AREA PER PANEL 48157C0145L DATED 04/02/2014
- 15) DETENTION FACILITIES AND EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- 16) EXTREME CAUTION SHALL BE USED WHEN WORKING WITHIN THE VICINITY OF THE EXISTING OVERHEAD POWER LINES. CONTRACTORS SHALL NOTIFY/COORDINATE WITH ELECTRIC PROVIDER PRIOR TO CONSTRUCTION.
- 17) STORM WATER MANAGEMENT SHALL BE IN ACCORDANCE WITH COUNTY, STATE, AND OTHER APPROPRIATE ORDINANCES AND REGULATIONS IN EFFECT AT TIME OF CONSTRUCTION PLAN APPROVAL.
- 18) THE CONTRACTOR SHALL INSTALL DOWNSTREAM STORM PIPE CONNECTION IN THE RIGHT-OF-WAY PRIOR TO INSTALLATION OF ON-SITE STORM PIPING AND/OR STORM WATER DETENTION FACILITY. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES SHOWN ON THE PLANS BY POT HOLEING THE LINES. THE CONTRACTOR SHALL HAVE THE LINES SURVEYED, INCLUDING HORIZONTAL AND VERTICAL LOCATION, AND THE SURVEYED POINTS SENT TO THE PROJECT ENGINEER TO DETERMINE IF ANY UTILITY CONFLICTS WILL AFFECT THE CURRENT STORM DRAINAGE DESIGN.

**LEGEND**

- EXISTING CONTOURS
- EXISTING CONTOURS (PROVISION AT FOUR CORNERS)
- PROPOSED CONTOURS
- EXISTING STORM PIPE
- EXISTING STORM PIPE (PROVISION AT FOUR CORNERS)
- PROPOSED STORM PIPE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED SPOT ELEVATION FOR TOP OF CURB / BOTTOM OF CURB AT FINISHED SURFACE GRADE

MATCH LINE A (SEE SHEET C-2.1)

MATCH LINE B (SEE SHEET C-2.1)



**PROJECT BENCHMARK**

ALL ELEVATIONS SHOWN HEREON ARE NAVD 88, 2001 ADJUSTMENT, ELEVATIONS BASED ON THE U.S. SURVEY FOOT, AS DETERMINED FROM DIFFERENTIAL GPS OBSERVATIONS COLLECTED ON TSARP REFERENCE MARKS 040445, 040450, AND 040455.

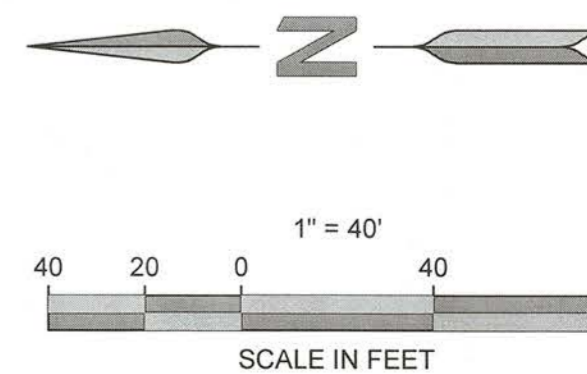
TBM-1 ELEVATION = 90.18 FEET (SHEET 2 OF 2)  
RAILROAD SPIKE SET IN THE SOUTH FACE OF UTILITY POLE, LOCATED IN THE NORTH RIGHT-OF-WAY LINE OF OLD RICHMOND ROAD, APPROXIMATELY 105 FEET WEST OF THE CENTERLINE OF THE DRIVEWAY ENTERING A WATER PLAN; ALSO BEING 43 FEET WEST OF THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY.

TBM-2 ELEVATIONS = 89.47 FEET (SHEET 1 OF 2)  
SQUARE CHISELED IN THE CENTERLINE OF THE PAVEMENT HEADER OF WAYSON DRIVE, WHICH BUTTS INTO THE WEST LINE OF THE SUBJECT PROPERTY; ALSO BEING APPROXIMATELY 31 FEET NORTH OF THE NORTHWEST CORNER OF THE SUBJECT PROPERTY.

TBM-3 ELEVATION = 90.08 FEET (SHEET 1 OF 2)  
SQUARE CHISELED ON THE SOUTHWEST CONCRETE FOOTING OF AN ELECTRICAL TRANSMISSION TOWER LOCATED 186 FEET SOUTH AND 42 FEET EAST OF THE NORTHEAST CORNER OF THE SUBJECT PROPERTY.



*Max*  
FBC DEVELOPMENT COORDINATOR  
DATE 10/3/17



ENGINEER:

**FORESITE group**  
 TBPE Firm No. F-12878  
 Foresite Group, Inc.  
 1999 Bryan St. Suite 890  
 Dallas, TX 75201  
 D/B/A Foresite Consulting Group of Texas, Inc.  
 | 214.939.7123  
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 | www.fg-inc.net

OWNER:

**GARDNER CAPITAL**  
 2501 N. HARWOOD ST, SUITE 1501  
 DALLAS, TX 75201  
 (417) 447-5538  
 CONTACT: MR. RUBEN ESCUEDA

**GALA AT FOUR CORNERS**  
 15010 OLD RICHMOND ROAD  
 SUGAR LAND, FORT BEND COUNTY, TX 77498  
 PROJECT:

SEAL:  
  
 JOHN B. RHODES, JR.  
 112311  
 LICENSED PROFESSIONAL ENGINEER

REVISIONS	DATE
COUNTY COMMENTS	04/10/2017
MUD / DRAINAGE DISTRICT COMMENTS	07/21/2017
MUD COMMENTS	09/19/2017

PROJECT MANAGER: DN  
 DRAWING BY: PA  
 JURISDICTION: FORT BEND COUNTY  
 DATE: 01/03/2017  
 TITLE: 1" = 40'

**GRADING PLAN**

SHEET NUMBER:  
**C-2**  
 COMMENTS: NOT RELEASED FOR CONSTRUCTION  
 JOB/FILE NUMBER: 693.011

**GENERAL NOTES:**

- 1) ALL SPOT ELEVATIONS SHOWN ARE AT THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- 2) ALL PROPOSED SIDEWALKS SHALL BE BUILT WITH A 1.5% CROSS-SLOPE AWAY FROM THE BUILDING.
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- 4) ALL EXISTING INFORMATION SHOWN FOR THE PROVISION AT FOUR CORNERS DEVELOPMENT IS DEPICTED FROM THE PREVIOUS DESIGN PLANS BY FORESITE GROUP, INC. DATED 01/04/2017. CONTRACTOR SHOULD FIELD VERIFY THE LOCATION AND EXISTENCE OF ALL EXISTING UTILITIES AND PERTINENT ITEMS ON THE PROVISION AT FOUR CORNERS PROPERTY.

**SITE NOTES:**

- 1) THE CONTRACTOR SHALL CLEAN OUT ACCUMULATED SILT IN STORM WATER CONVEYANCE CHANNELS AND PIPES AT END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
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- 7) MAXIMUM CUT OR FILL SLOPES IS 2H:1V
- 8) TREE PROTECTION FENCE SHALL BE INSTALLED PRIOR TO ANY CLEARING OR GRADING ACTIVITIES.
- 9) ALL STORM PIPE SHOWN ON THIS PLAN SHALL BE WRAPPED WITH LOCATION WIRE AND TAPE.
- 10) ALL HDPE SHALL BE AASHTO TYPE "S" AND SHALL BE INSTALLED IN ACCORDANCE TO ASTM D2321 OR AASHTO SECTION 30 STANDARD PRACTICES AND AS RECOMMENDED BY THE MANUFACTURER. ALL RCP STORM PIPE SHALL BE CLASS III. ALL PVC PIPE SHALL BE SDR 35 PVC OR CONTECH A-2000 PVC PIPE WITH WATERTIGHT JOINTS.
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- 14) NO PORTION OF THIS PROPERTY LIES WITHIN A SPECIAL FLOOD HAZARD AREA PER PANEL 48157C0145L DATED 04/02/2014
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- 17) STORM WATER MANAGEMENT SHALL BE IN ACCORDANCE WITH COUNTY, STATE, AND OTHER APPROPRIATE ORDINANCES AND REGULATIONS IN EFFECT AT TIME OF CONSTRUCTION PLAN APPROVAL.
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**LEGEND**

	EXISTING CONTOURS
	EXISTING CONTOURS (PROVISION AT FOUR CORNERS)
	PROPOSED CONTOURS
	EXISTING STORM PIPE
	EXISTING STORM PIPE (PROVISION AT FOUR CORNERS)
	PROPOSED STORM PIPE
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	PROPOSED SPOT ELEVATION FOR TOP OF CURB / BOTTOM OF CURB AT FINISHED SURFACE GRADE

**PROJECT BENCHMARK**

ALL ELEVATIONS SHOWN HEREON ARE NAVD 88, 2001 ADJUSTMENT. ELEVATIONS BASED ON THE U.S. SURVEY FOOT, AS DETERMINED FROM DIFFERENTIAL GPS OBSERVATIONS COLLECTED ON TSARP REFERENCE MARKS 040445, 040450, AND 040455.

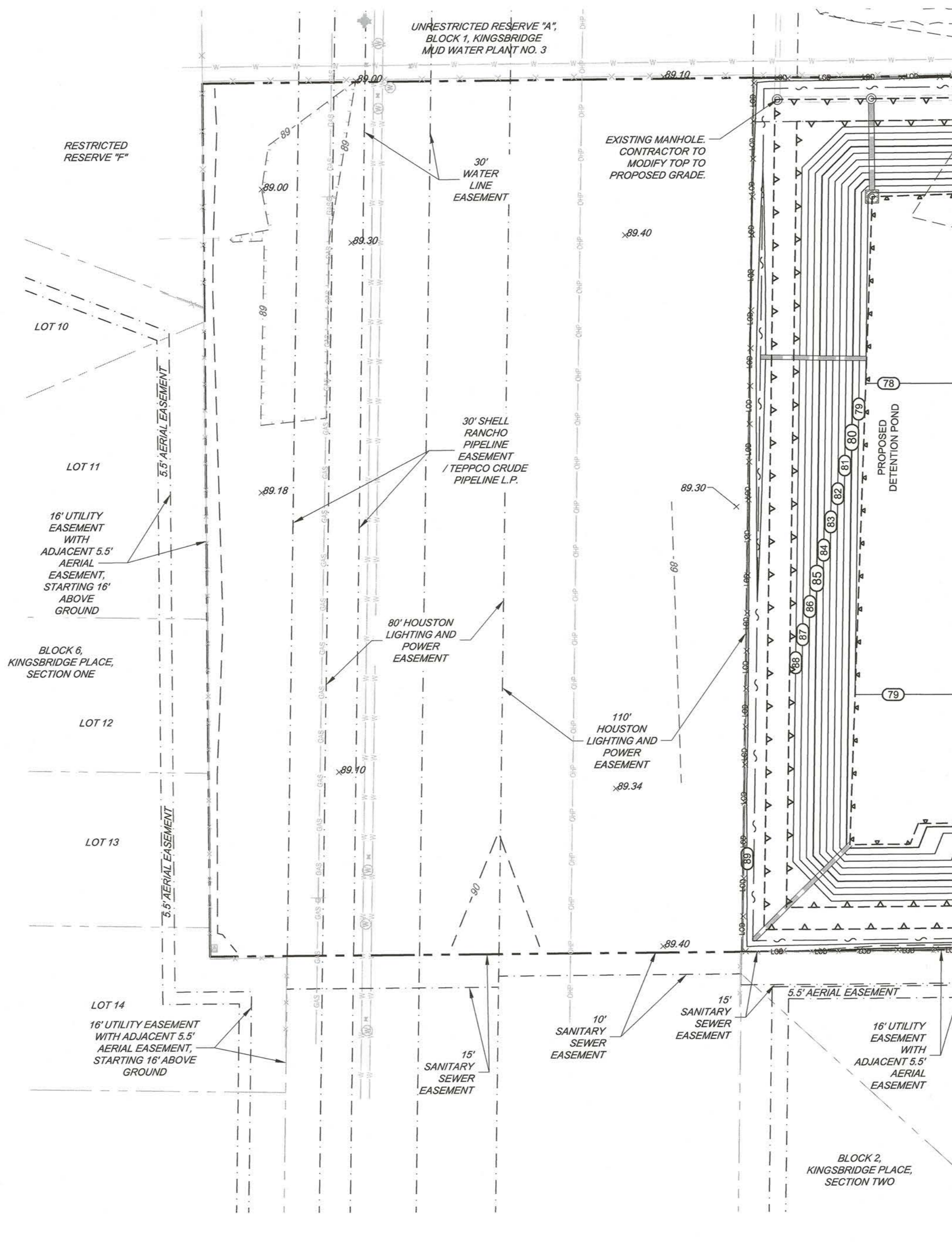
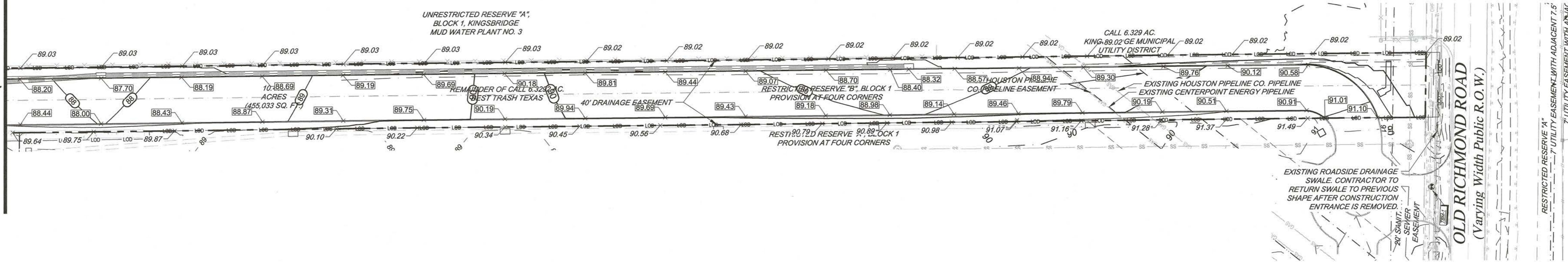
TBM-1 ELEVATION = 90.18 FEET (SHEET 2 OF 2)  
RAILROAD SPIKE SET IN THE SOUTH FACE OF UTILITY POLE, LOCATED IN THE NORTH RIGHT-OF-WAY LINE OF OLD RICHMOND ROAD, APPROXIMATELY 105 FEET WEST OF THE CENTERLINE OF THE DRIVEWAY ENTERING A WATER PLAN, ALSO BEING 43 FEET WEST OF THE SOUTHEAST CORNER OF THE SUBJECT PROPERTY.

TBM-2 ELEVATIONS = 89.47 FEET (SHEET 1 OF 2)  
SQUARE CHISELED IN THE CENTERLINE OF THE PAVEMENT HEADER OF WAYSON DRIVE, WHICH BUTTS INTO THE WEST LINE OF THE SUBJECT PROPERTY, ALSO BEING APPROXIMATELY 31 FEET NORTH OF THE NORTHWEST CORNER OF THE SUBJECT PROPERTY.

TBM-3 ELEVATION = 90.08 FEET (SHEET 1 OF 2)  
SQUARE CHISELED ON THE SOUTHWEST CONCRETE FOOTING OF AN ELECTRICAL TRANSMISSION TOWER LOCATED 186 FEET SOUTH AND 42 FEET EAST OF THE NORTHEAST CORNER OF THE SUBJECT PROPERTY.



MATCH LINE B (SEE SHEET C-2)



MATCH LINE A (SEE SHEET C-2)

ENGINEER:  
**FORESITE group**  
 TBPE Firm No. F-12878  
 Foresite Group, Inc.  
 1999 Bryan St. Suite 890  
 Dallas, TX 75201  
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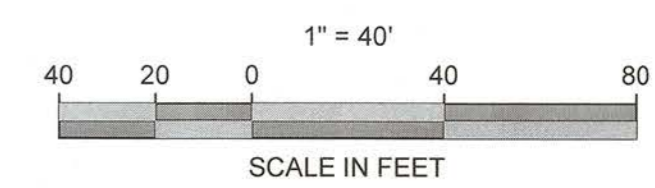
SEAL:

REVISIONS	DATE
COUNTY COMMENTS	04/10/2017
MUD / DRAINAGE DISTRICT COMMENTS	07/21/2017
MUD COMMENTS	09/19/2017

PROJECT MANAGER:	DN
DRAWING BY:	PA
JURISDICTION:	FORT BEND COUNTY
DATE:	01/03/2017
TITLE:	1" = 40'

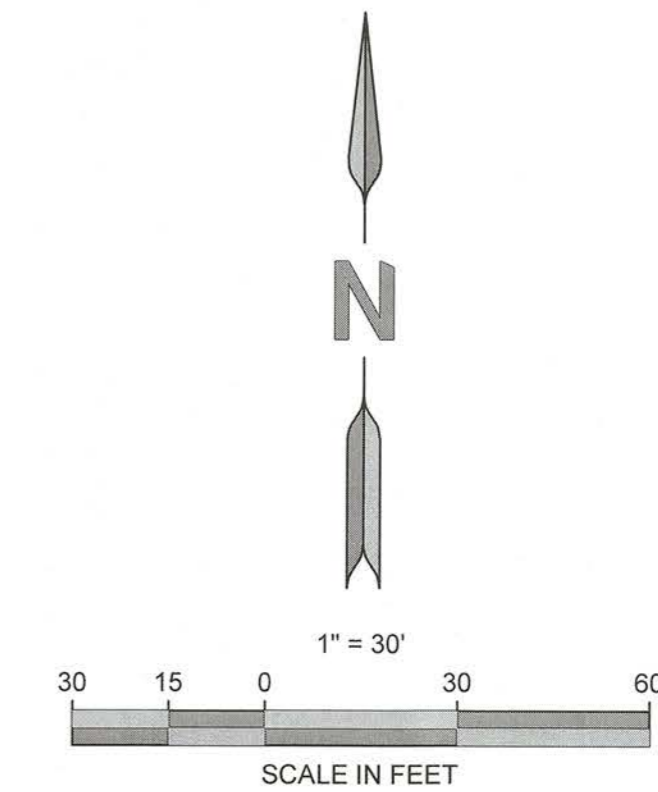
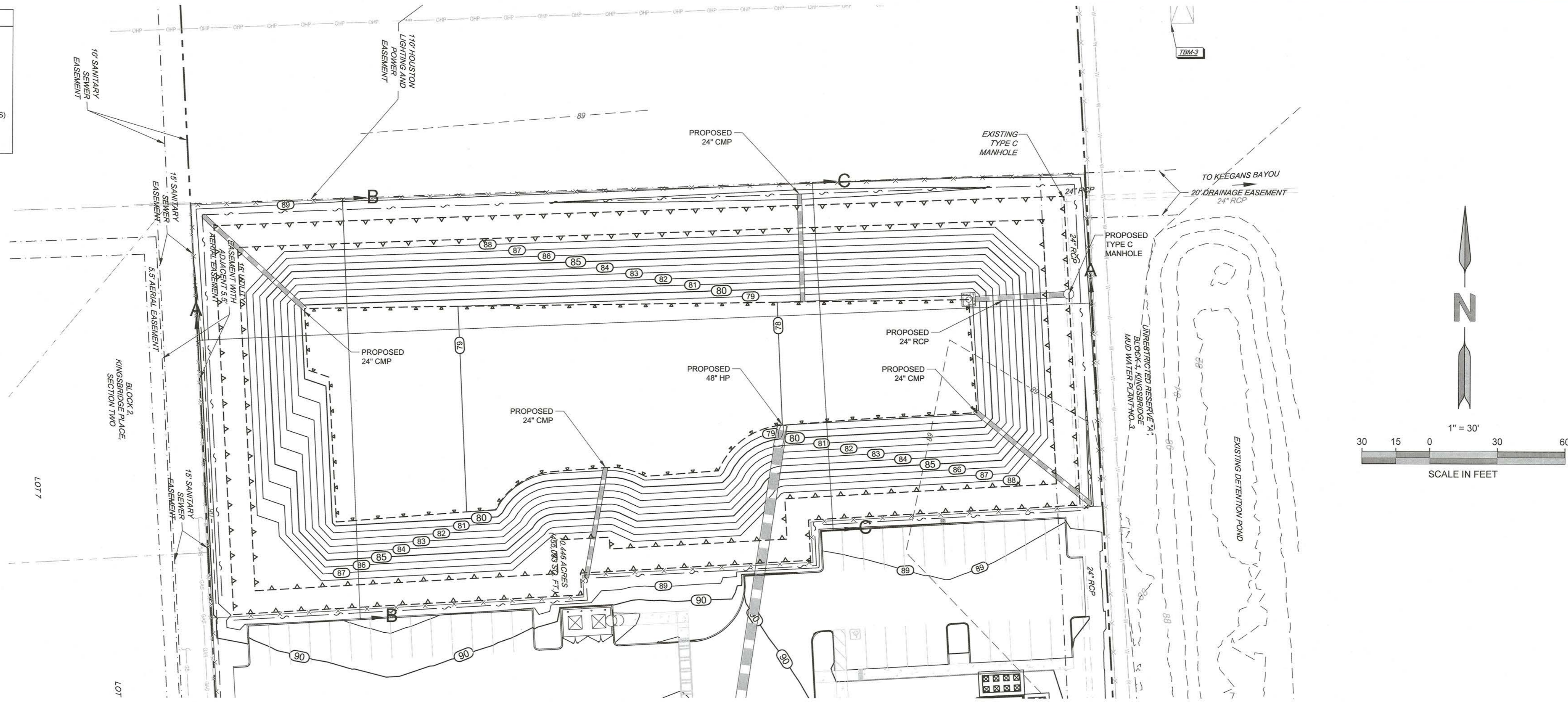
GRADING PLAN  
 SHEET NUMBER:  
**C-2.1**  
 COMMENTS: NOT RELEASED FOR CONSTRUCTION  
 JOB/FILE NUMBER: 693.011

*Max*  
 FBC DEVELOPMENT COORDINATOR  
 DATE: 10/3/17



LEGEND	
	EXISTING CONTOURS
	PROPOSED CONTOURS
	EXISTING STORM PIPE
	EXISTING STORM PIPE (PROVISION AT FOUR CORNERS)
	PROPOSED STORM PIPE

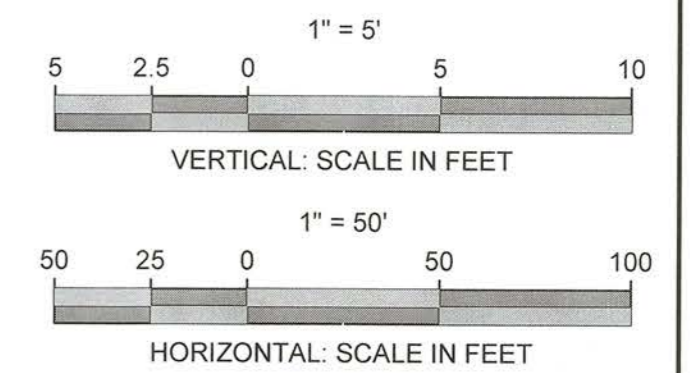
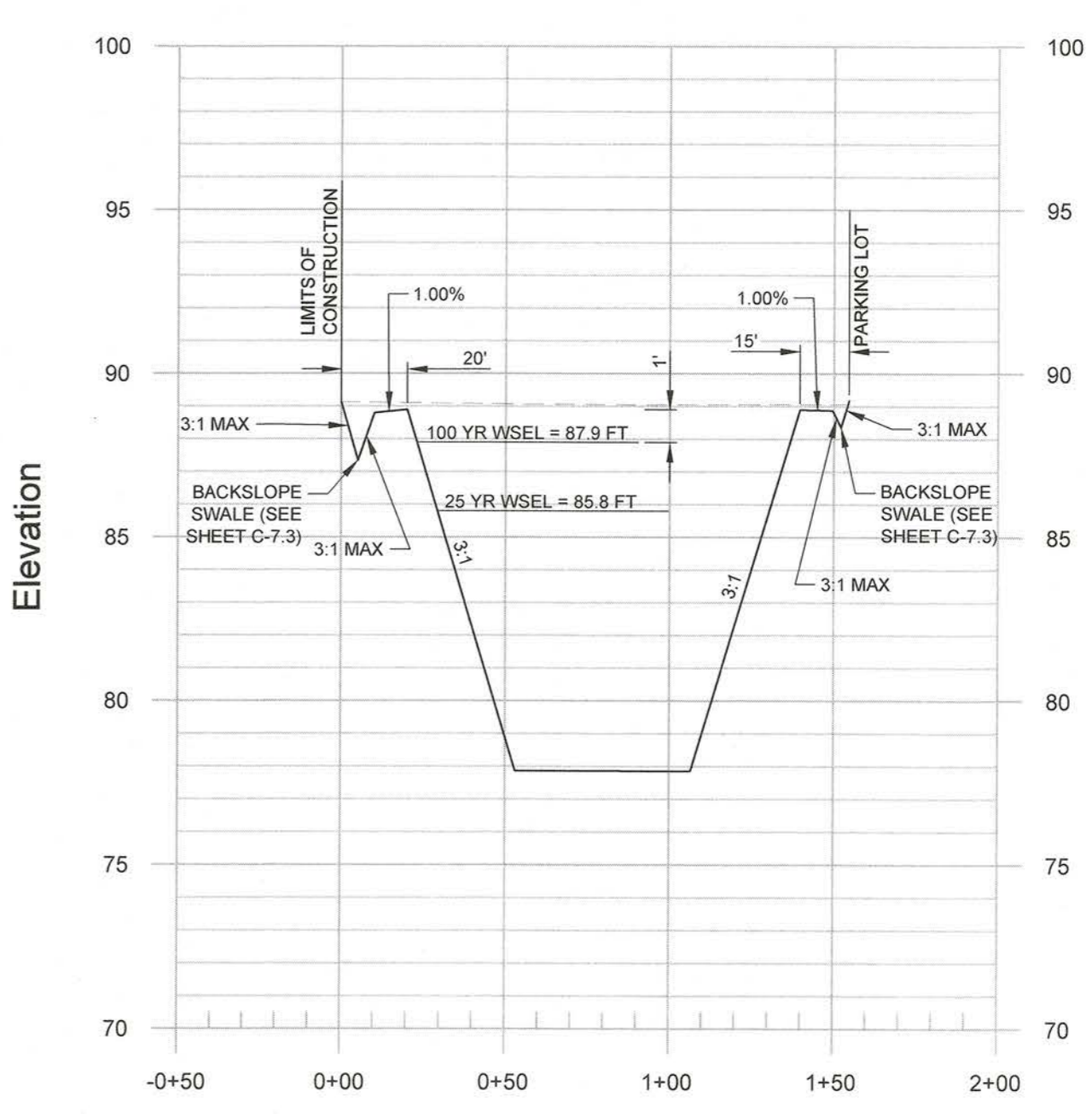
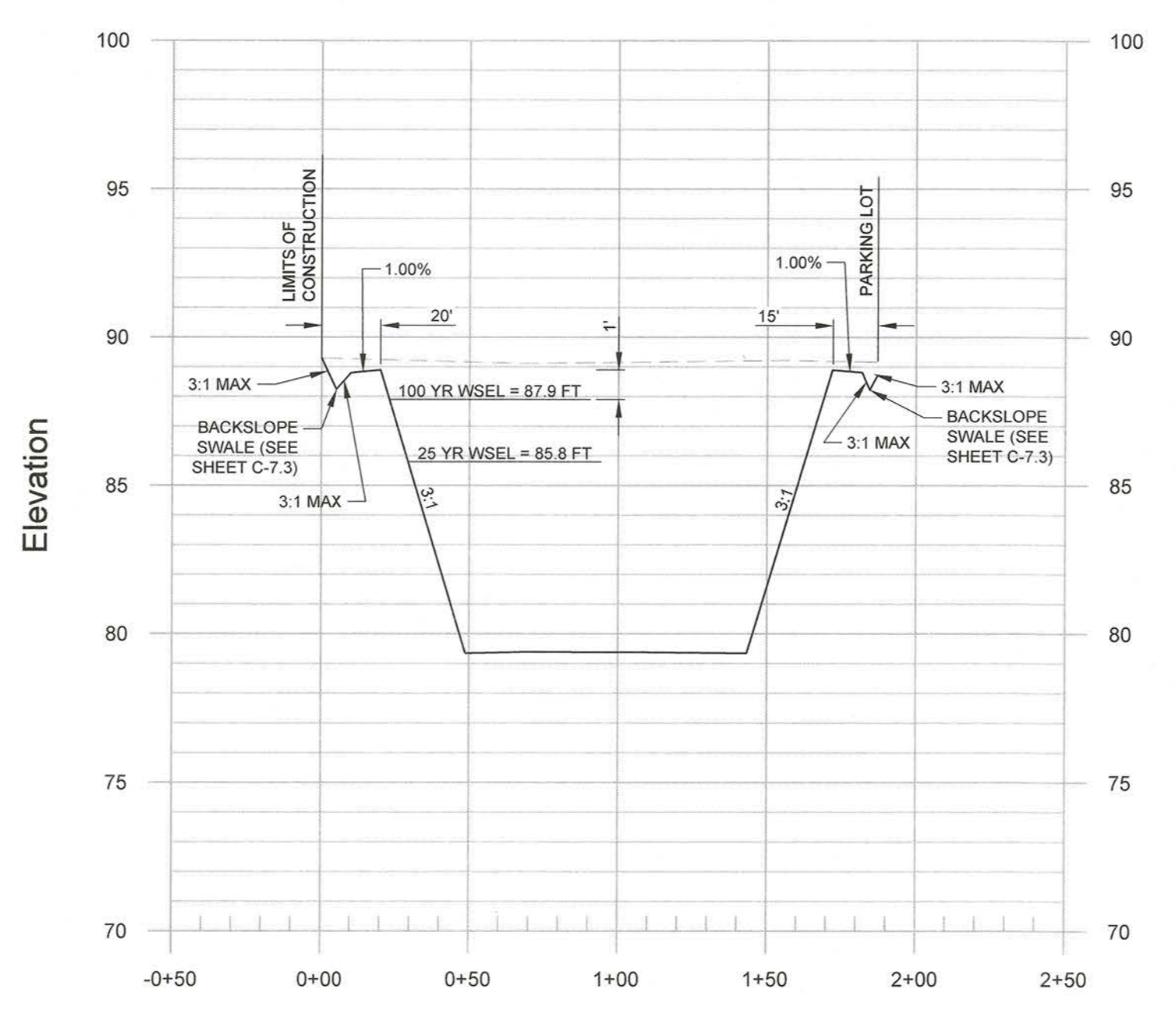
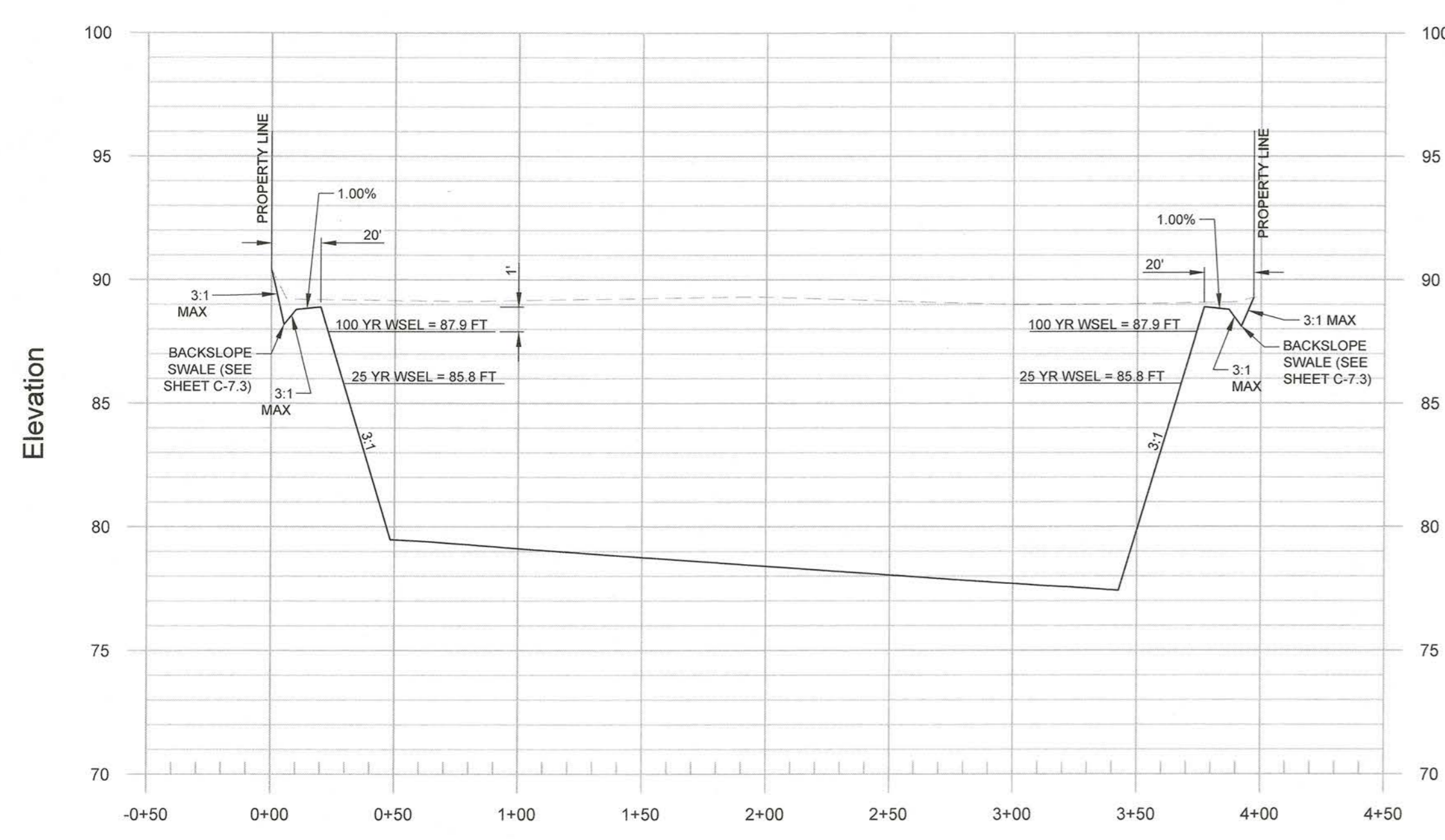
**GENERAL NOTES:**  
 1) ALL EXISTING INFORMATION SHOWN FOR THE PROVISION AT FOUR CORNERS DEVELOPMENT IS DEPICTED FROM THE PREVIOUS DESIGN PLANS BY FORESITE GROUP, INC. DATED 01/04/2017. CONTRACTOR SHOULD FIELD VERIFY THE LOCATION AND EXISTENCE OF ALL EXISTING UTILITIES AND PERTINENT ITEMS ON THE PROVISION AT FOUR CORNERS PROPERTY.



**SECTION A-A**  
1" = 50'H, 1" = 5'V

**SECTION B-B**  
1" = 50'H, 1" = 5'V

**SECTION C-C**  
1" = 50'H, 1" = 5'V

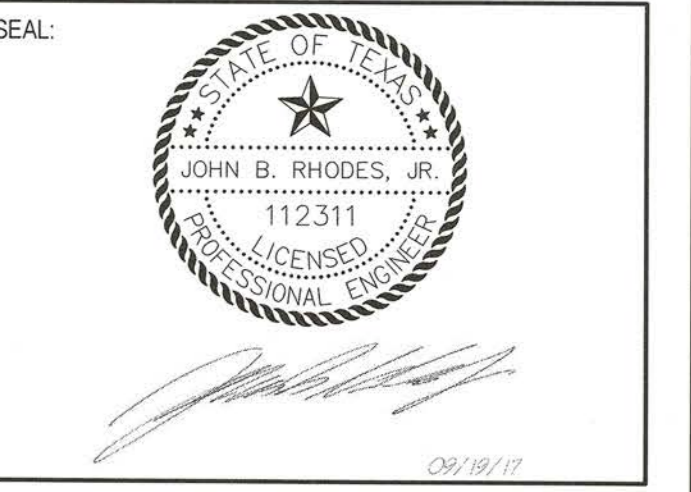


*Max*  
 FBC DEVELOPMENT COORDINATOR  
 DATE: 10/3/17

ENGINEER:  
**FORESITE** group  
 TBPE Firm No. F-12878  
 Foresite Group, Inc.  
 1999 Bryan St. Suite 890  
 Dallas, TX 75201  
 D/B/A Foresite Consulting Group of Texas, Inc.  
 214.939.7123  
 888.765.8135  
 www.fg-inc.net

OWNER:  
**GARDNER CAPITAL**  
 2501 N. HARWOOD ST, SUITE 1501  
 DALLAS, TX 75201  
 (417) 447-5538  
 CONTACT: MR. RUBEN ESQUEDA

PROJECT:  
**GALA AT FOUR CORNERS**  
 15010 OLD RICHMOND ROAD  
 SUGAR LAND, FORT BEND COUNTY, TX 77498



REVISIONS	DATE
COUNTY COMMENTS	04/10/2017
MUD / DRAINAGE DISTRICT COMMENTS	07/21/2017
MUD COMMENTS	09/19/2017

PROJECT MANAGER: DN  
 DRAWING BY: PA  
 JURISDICTION: FORT BEND COUNTY  
 DATE: 01/03/2017  
 AS SHOWN

**DETENTION POND CROSS SECTIONS**

SHEET NUMBER:  
**C-2.2**  
 COMMENTS: NOT RELEASED FOR CONSTRUCTION  
 JOB/FILE NUMBER: 693.011

**NOTES:**

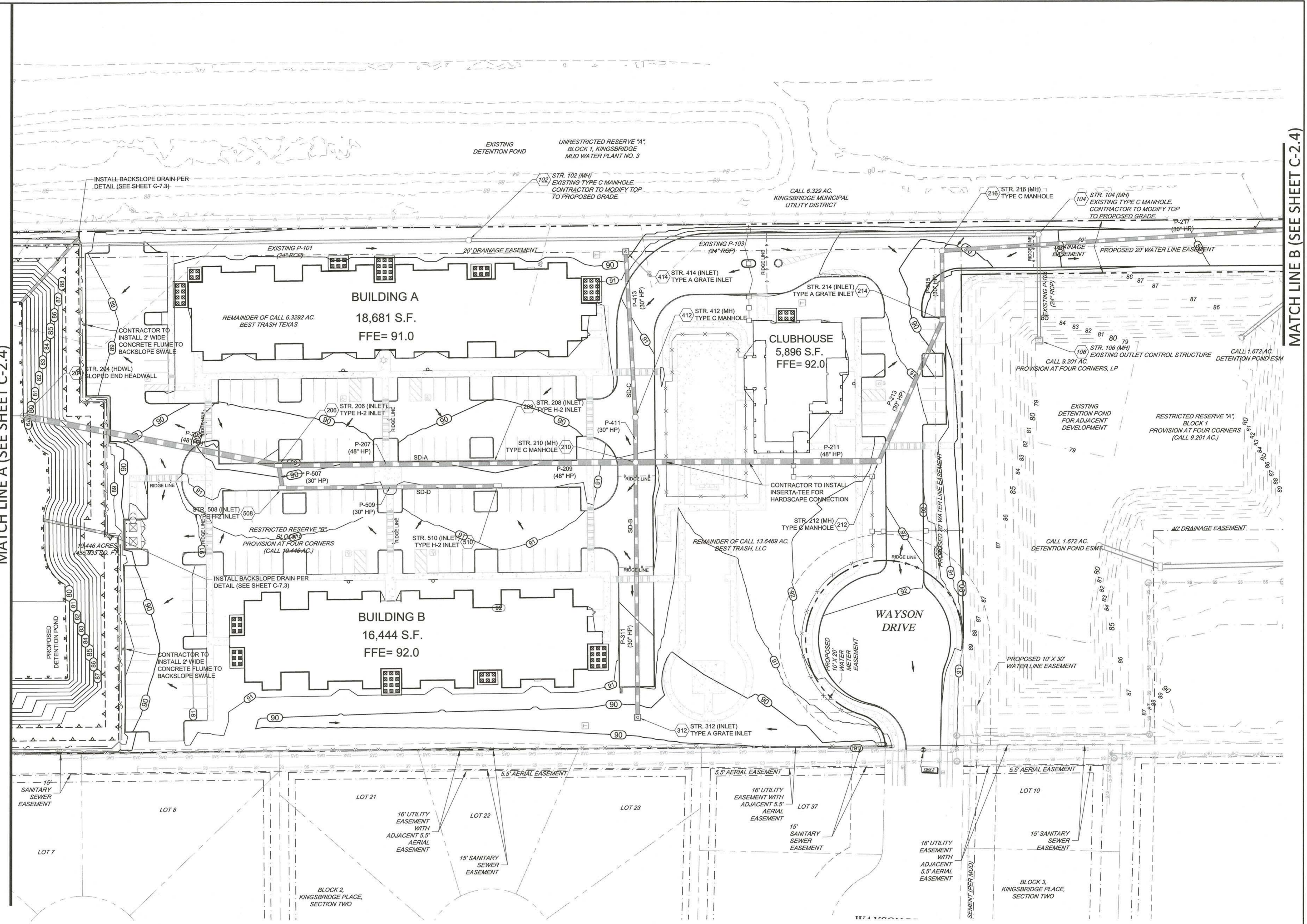
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- 2) THE CONTRACTOR SHALL CLEAN OUT ACCUMULATED SILT IN STORM WATER CONVEYANCE CHANNELS AND PIPES AT END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
- 3) THE CONTRACTOR SHALL COORDINATE WITH FORT BEND COUNTY INSPECTIONS DURING CONSTRUCTION.
- 4) NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL SITE IMPROVEMENTS HAVE BEEN COMPLETED.
- 5) THE CONTRACTOR SHALL CONSTRUCT EROSION CONTROL BARRIERS PER THE APPROVED EROSION CONTROL PLAN, SWPPP, AND THE FORT BEND COUNTY INSPECTOR(S) AND MAINTAIN UNTIL PERMANENT VEGETATION IS ESTABLISHED.
- 6) THE CONTRACTOR SHALL RE-ESTABLISH ALL RIGHT OF WAY AREA WHICH IS DAMAGED OR DISTURBED TO ORIGINAL CONDITIONS OR BETTER DURING AUTHORIZED WORK. ALL WORK IN FORT BEND COUNTY RIGHT OF WAY SHALL COMPLY WITH CITY OF EULESS SPECIFICATIONS. ALL WORK IN THE TxDOT RIGHT OF WAY SHALL COMPLY WITH TxDOT SPECIFICATIONS.
- 7) ALL PLASTIC STORM PIPE SHOWN ON THIS PLAN SHALL BE WRAPPED WITH LOCATION WIRE AND TAPE.
- 8) ALL HDPE SHALL BE AASHTO TYPE "S" AND SHALL BE INSTALLED IN ACCORDANCE TO ASTM D2321 OR AASHTO SECTION 30 STANDARD PRACTICES AND AS RECOMMENDED BY THE MANUFACTURER. ALL RCP STORM PIPE SHALL BE CLASS III. ALL PVC PIPE SHALL BE SDR 35 PVC OR CONTECH A-2000 PVC PIPE WITH WATERTIGHT JOINTS.
- 9) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN QUALIFIED PROFESSIONAL ADVICE WHEN QUESTIONS ARISE CONCERNING DESIGN AND EFFECTIVENESS OF EROSION CONTROL DEVICES. 24 HR. CONTACT: MR. JOHN B. RHODES, JR., PE (214) 939-7123
- 10) EROSION CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- 11) EXTREME CAUTION SHALL BE USED WHEN WORKING WITHIN THE VICINITY OF THE EXISTING OVERHEAD POWER LINES. CONTRACTORS SHALL NOTIFY/COORDINATE WITH ELECTRIC PROVIDER PRIOR TO CONSTRUCTION.
- 12) STORM WATER MANAGEMENT SHALL BE IN ACCORDANCE WITH COUNTY, STATE, AND OTHER APPROPRIATE ORDINANCES AND REGULATIONS IN EFFECT AT TIME OF CONSTRUCTION PLAN APPROVAL.
- 13) CONTRACTOR SHALL INSTALL DOWNSTREAM STORM PIPE CONNECTION IN THE RIGHT-OF-WAY PRIOR TO INSTALLATION OF ON-SITE STORM PIPING. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES SHOWN ON THE PLANS BY POT-HOLING THE LINES. THE CONTRACTOR SHALL HAVE THE LINES SURVEYED, INCLUDING HORIZONTAL AND VERTICAL LOCATION, AND THE SURVEYED POINTS SENT TO THE PROJECT ENGINEER TO DETERMINE IF ANY UTILITY CONFLICTS WILL AFFECT THE CURRENT STORM DRAINAGE DESIGN.

**LEGEND**

- EXISTING CONTOURS
- EXISTING CONTOURS (PROVISION AT FOUR CORNERS)
- PROPOSED CONTOURS
- EXISTING STORM PIPE
- EXISTING STORM PIPE (PROVISION AT FOUR CORNERS)
- PROPOSED STORM PIPE
- STORM STRUCTURE NUMBER
- FLOW ARROW

MATCH LINE A (SEE SHEET C-2.4)

MATCH LINE B (SEE SHEET C-2.4)



**PROJECT BENCHMARK**

ALL ELEVATIONS SHOWN HEREON ARE NAVD 88, 2001 ADJUSTMENT, ELEVATIONS BASED ON THE U.S. SURVEY FOOT, AS DETERMINED FROM DIFFERENTIAL GPS OBSERVATIONS COLLECTED ON TSARP REFERENCE MARKS 040445, 040450, AND 040455.

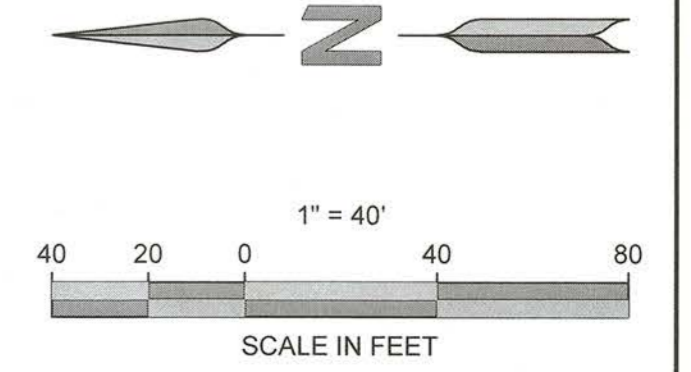
TBM-1 ELEVATION = 90.18 FEET (SHEET 2 OF 2)  
RAILROAD SPIKE SET IN THE SOUTH FACE OF UTILITY POLE, LOCATED IN THE NORTH RIGHT-OF-WAY LINE OF OLD RICHMOND ROAD, APPROXIMATELY 105 FEET WEST OF THE CENTERLINE OF THE DRIVEWAY ENTERING A WATER PLAN; ALSO BEING 43 FEET WEST OF THE SOUTHEAST CORNER OF THE SUBJECT PROPERTY.

TBM-2 ELEVATIONS = 89.47 FEET (SHEET 1 OF 2)  
SQUARE CHISELED IN THE CENTERLINE OF THE PAVEMENT HEADER OF WAYSON DRIVE, WHICH BUTTS INTO THE WEST LINE OF THE SUBJECT PROPERTY; ALSO BEING APPROXIMATELY 31 FEET NORTH OF THE NORTHWEST CORNER OF THE SUBJECT PROPERTY.

TBM-3 ELEVATION = 90.08 FEET (SHEET 1 OF 2)  
SQUARE CHISELED ON THE SOUTHWEST CONCRETE FOOTING OF AN ELECTRICAL TRANSMISSION TOWER LOCATED 186 FEET SOUTH AND 42 FEET EAST OF THE NORTHEAST CORNER OF THE SUBJECT PROPERTY.



*M. J. Rhodes*  
FBC DEVELOPMENT COORDINATOR  
DATE: 10/3/17



ENGINEER:  
**FORESITE group**  
TBPE Firm No. F-12878  
Foresite Group, Inc.  
1999 Bryan St. Suite 890 Dallas, TX 75201  
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OWNER:  
**GARDNER CAPITAL**  
2501 N. HARWOOD ST, SUITE 1501 DALLAS, TX 75201 (417) 447-5538  
CONTACT: MR. RUBEN ESQUEDA

PROJECT:  
**GALA AT FOUR CORNERS**  
15010 OLD RICHMOND ROAD SUGAR LAND, FORT BEND COUNTY, TX 77498

SEAL:  
  
JOHN B. RHODES, JR.  
112311  
LICENSED PROFESSIONAL ENGINEER  
09/19/17

REVISIONS	DATE
COUNTY COMMENTS	04/10/2017
MUD / DRAINAGE DISTRICT COMMENTS	07/21/2017
MUD COMMENTS	09/19/2017

PROJECT MANAGER: DN  
DRAWING BY: PA  
JURISDICTION: FORT BEND COUNTY  
DATE: 01/03/2017  
SCALE: 1" = 40'

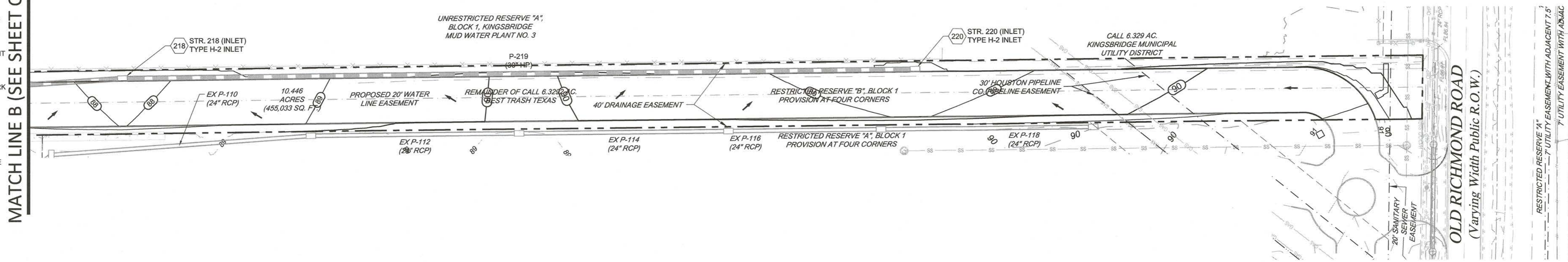
TITLE:  
**DRAINAGE PLAN**  
SHEET NUMBER:  
**C-2.3**  
COMMENTS: NOT RELEASED FOR CONSTRUCTION  
JOB/FILE NUMBER: 693.011

**NOTES:**

- 1) ALL EXISTING INFORMATION SHOWN FOR THE PROVISION AT FOUR CORNERS DEVELOPMENT IS DEPICTED FROM THE PREVIOUS DESIGN PLANS BY FORESITE GROUP, INC. DATED 01/04/2017. CONTRACTOR SHOULD FIELD VERIFY THE LOCATION AND EXISTENCE OF ALL EXISTING UTILITIES AND PERTINENT ITEMS ON THE PROVISION AT FOUR CORNERS PROPERTY.
- 2) THE CONTRACTOR SHALL CLEAN OUT ACCUMULATED SILT IN STORM WATER CONVEYANCE CHANNELS AND PIPES AT END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
- 3) COORDINATE WITH FORT BEND COUNTY INSPECTIONS DURING CONSTRUCTION.
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LEGEND	
	EXISTING CONTOURS
	EXISTING CONTOURS (PROVISION AT FOUR CORNERS)
	PROPOSED CONTOURS
	EXISTING STORM PIPE
	EXISTING STORM PIPE (PROVISION AT FOUR CORNERS)
	PROPOSED STORM PIPE
	STORM STRUCTURE NUMBER
	FLOW ARROW

MATCH LINE B (SEE SHEET C-2.3)



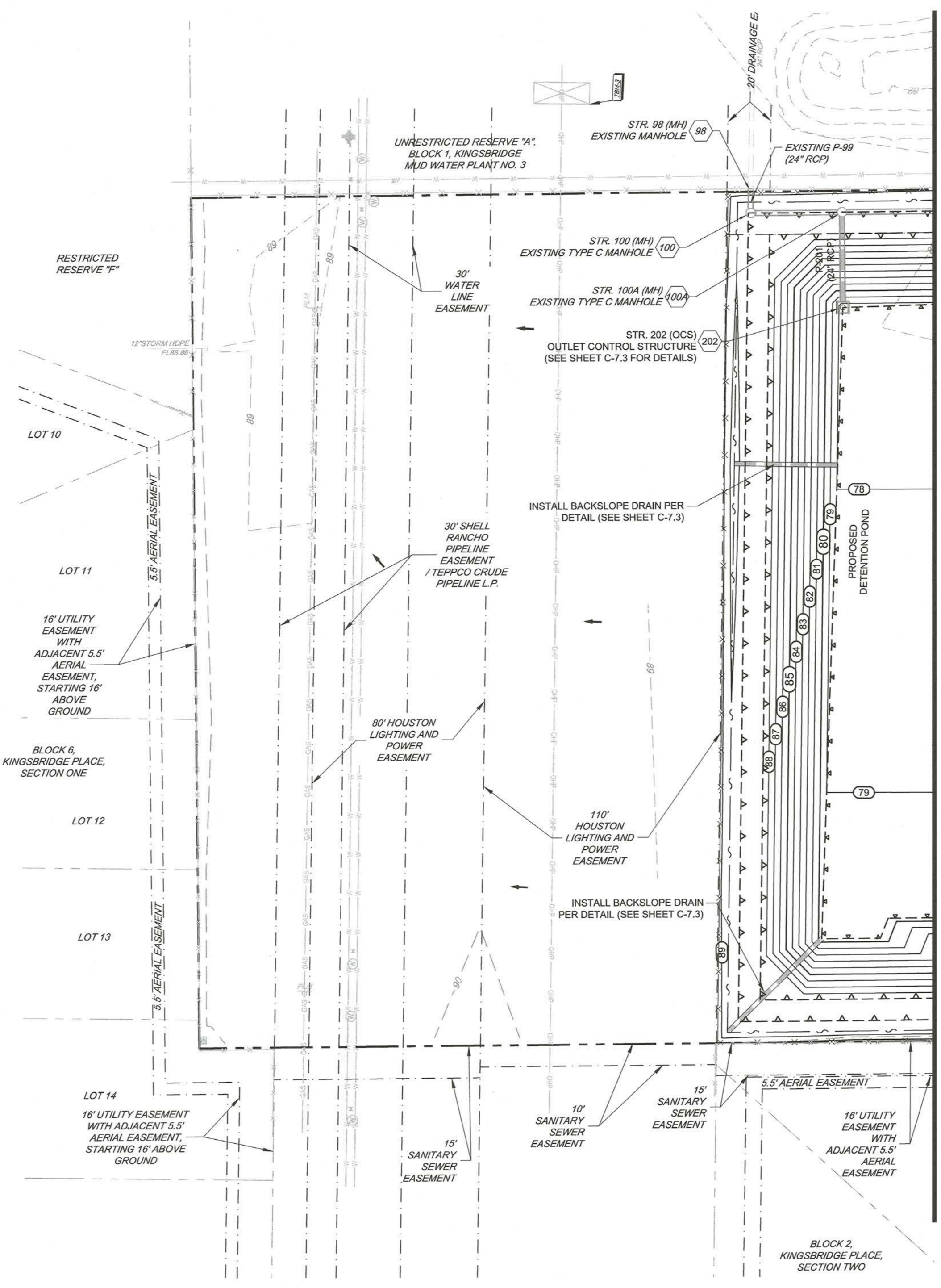
**PROJECT BENCHMARK**

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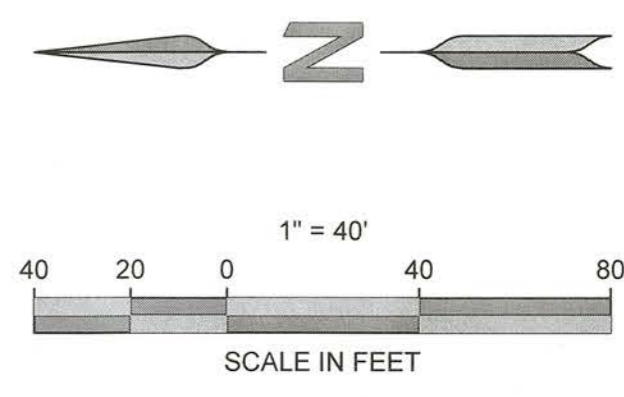
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SQUARE CHISELED IN THE CENTERLINE OF THE PAVEMENT HEADER OF WAYSON DRIVE, WHICH BUTTS INTO THE WEST LINE OF THE SUBJECT PROPERTY, ALSO BEING APPROXIMATELY 31 FEET NORTH OF THE NORTHWEST CORNER OF THE SUBJECT PROPERTY.

TBM-3 ELEVATION = 90.08 FEET (SHEET 1 OF 2)  
SQUARE CHISELED ON THE SOUTHWEST CONCRETE FOOTING OF AN ELECTRICAL TRANSMISSION TOWER LOCATED 186 FEET SOUTH AND 42 FEET EAST OF THE NORTHEAST CORNER OF THE SUBJECT PROPERTY.



MATCH LINE A (SEE SHEET C-2.3)

*Max*  
FBC DEVELOPMENT COORDINATOR  
10/18/17  
DATE



ENGINEER:

**FORESITE**  
group

TBPE Firm No. F-12878  
Foresite Group, Inc.  
1999 Bryan St. Suite 890  
Dallas, TX 75201

o | 214.939.7123  
f | 888.765.8135  
w | www.fg-inc.net  
D/B/A Foresite Consulting Group of Texas, Inc.

OWNER:

**GARDNER CAPITAL**

2501 N. HARWOOD ST, SUITE 1501  
DALLAS, TX 75201  
(417) 447-5538

CONTACT: MR. RUBEN ESQUEDA

PROJECT:

**GALA AT FOUR CORNERS**

15010 OLD RICHMOND ROAD  
SUGAR LAND, FORT BEND COUNTY, TX 77498

SEAL:

REVISIONS	DATE
COUNTY COMMENTS	04/10/2017
MUD / DRAINAGE DISTRICT COMMENTS	07/21/2017
MUD COMMENTS	09/19/2017

PROJECT MANAGER: DN  
DRAWING BY: PA  
JURISDICTION: FORT BEND COUNTY  
DATE: 01/03/2017  
1" = 40'

**DRAINAGE PLAN**

SHEET NUMBER: **C-2.4**

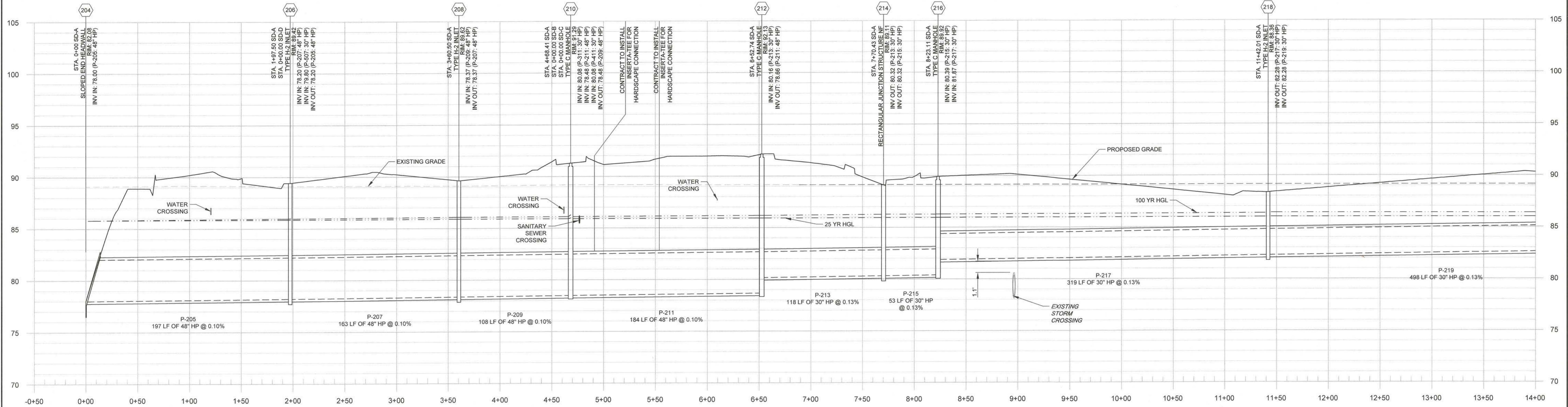
COMMENTS: NOT RELEASED FOR CONSTRUCTION

JOBFILE NUMBER: 693.011

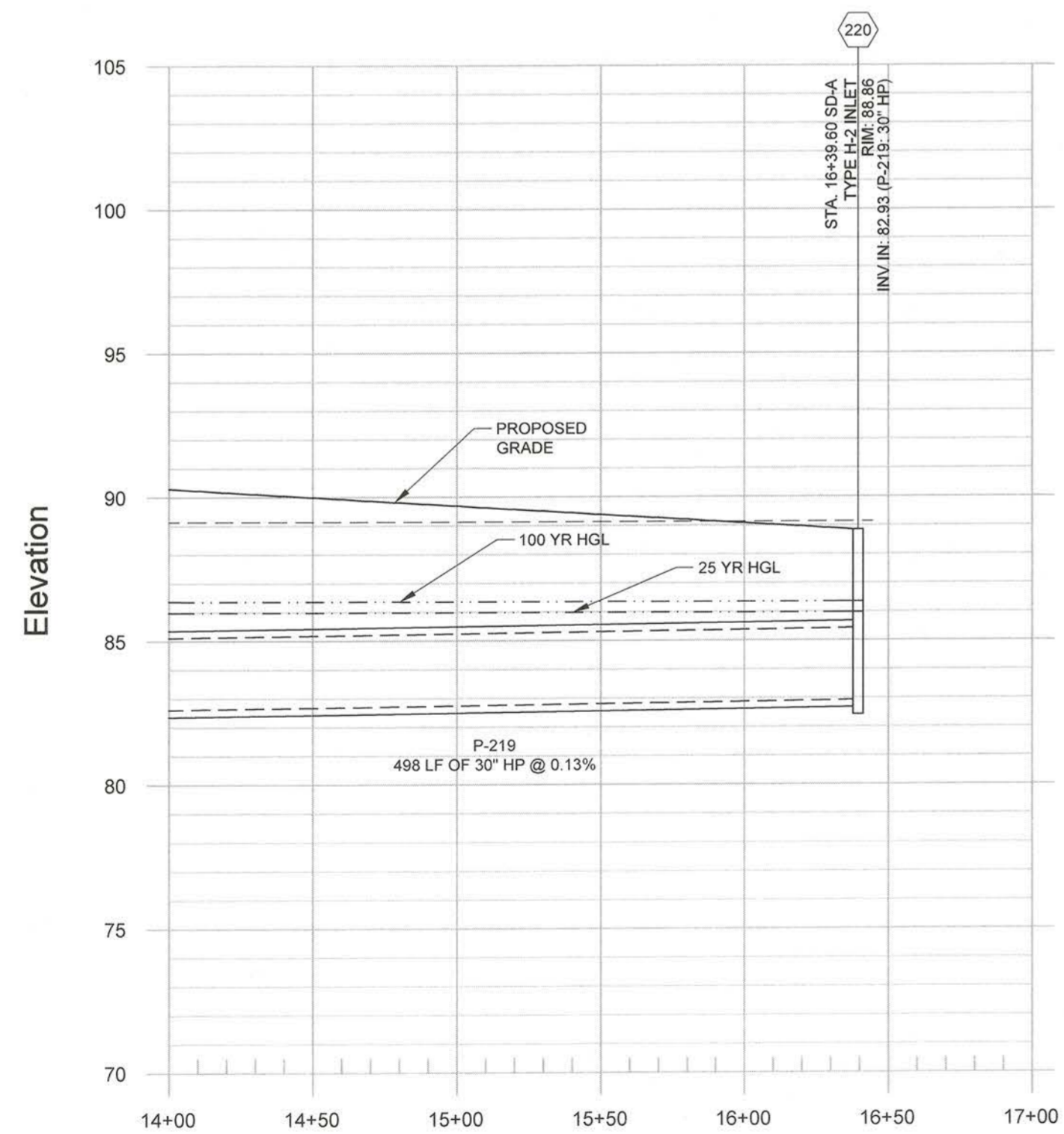
**GENERAL NOTES:**

- 1) PIPE LENGTHS REFLECT THE PIPES LINEAR LENGTH AND ARE SHOWN FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- 2) EXISTING UTILITY DEPTHS ARE APPROXIMATED BASED ON 4 FT COVER FROM THE EXISTING GROUND SURFACE. PROPOSED UTILITY DEPTHS ARE BASED ON 4 FT OF COVER FROM THE PROPOSED GROUND SURFACE UNLESS SHOWN OTHERWISE. CONTRACTOR SHALL FIELD VERIFY ALL UTILITY DEPTHS AT CROSSING AND CONTACT ENGINEER IMMEDIATELY IF CONFLICTS ARE ENCOUNTERED.
- 3) CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS OF UTILITIES IN RIGHT OF WAY TO AVOID CONFLICTS. CONTACT ENGINEER IMMEDIATELY IF FIELD ELEVATIONS DIFFER FROM THE DESIGN DRAWINGS.
- 4) ALL EXISTING INFORMATION SHOWN FOR THE PROVISION AT FOUR CORNERS DEVELOPMENT IS DEPICTED FROM THE PREVIOUS DESIGN PLANS BY FORESITE GROUP, INC. DATED 01/04/2017. CONTRACTOR SHOULD FIELD VERIFY THE LOCATION AND EXISTENCE OF ALL EXISTING UTILITIES AND PERTINENT ITEMS ON THE PROVISION AT FOUR CORNERS PROPERTY.

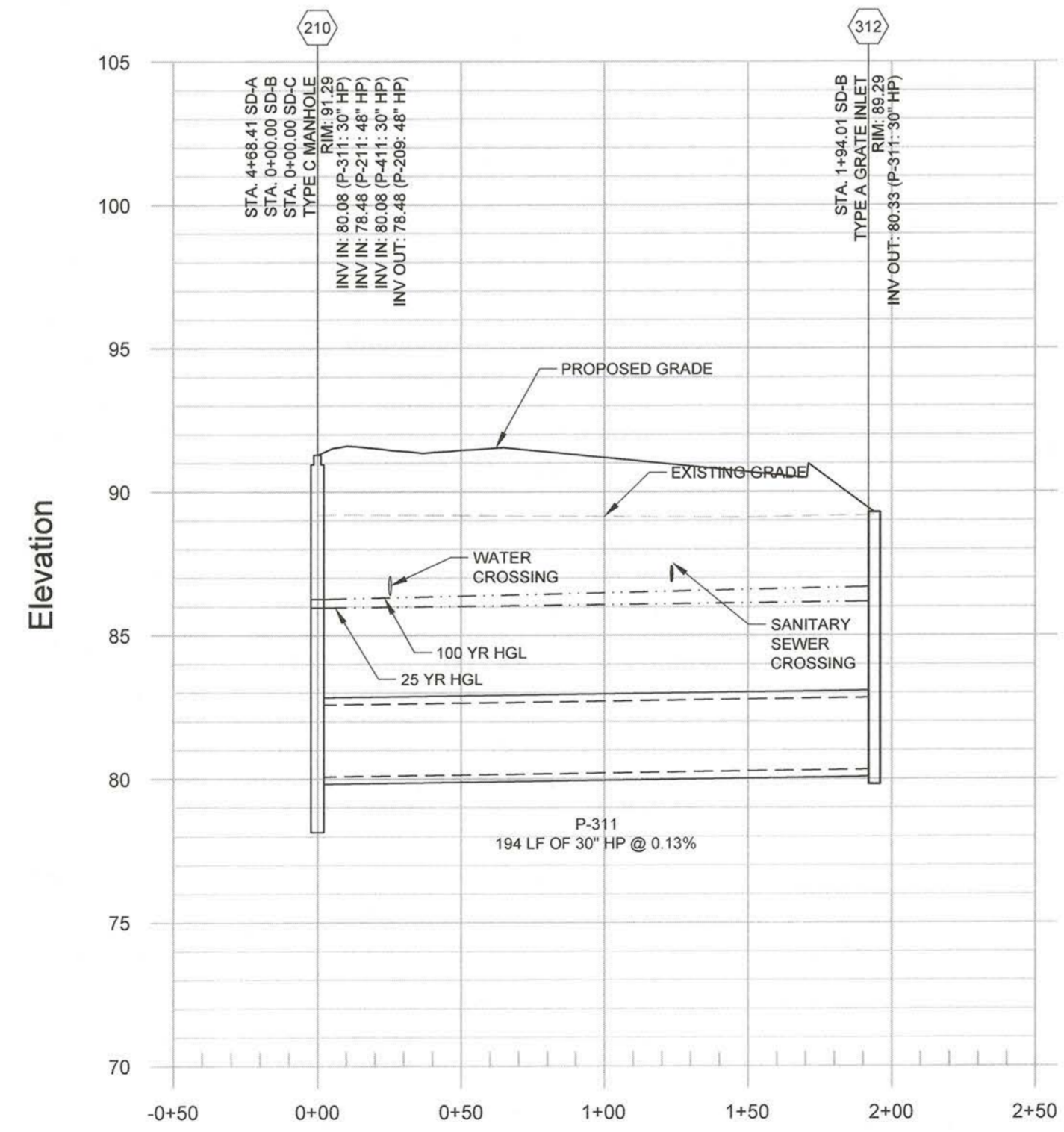
**SD-A (1 OF 2)**  
1" = 50'H, 1"=5'V



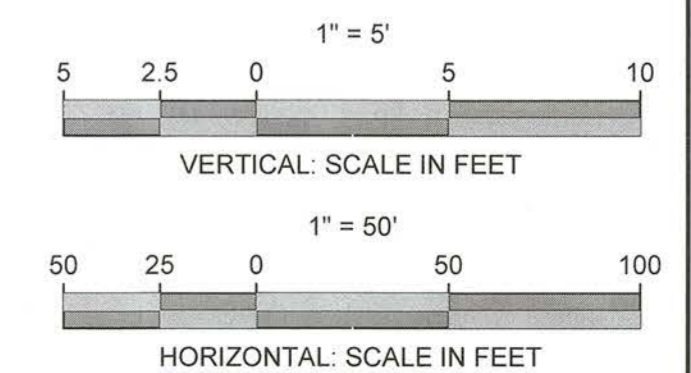
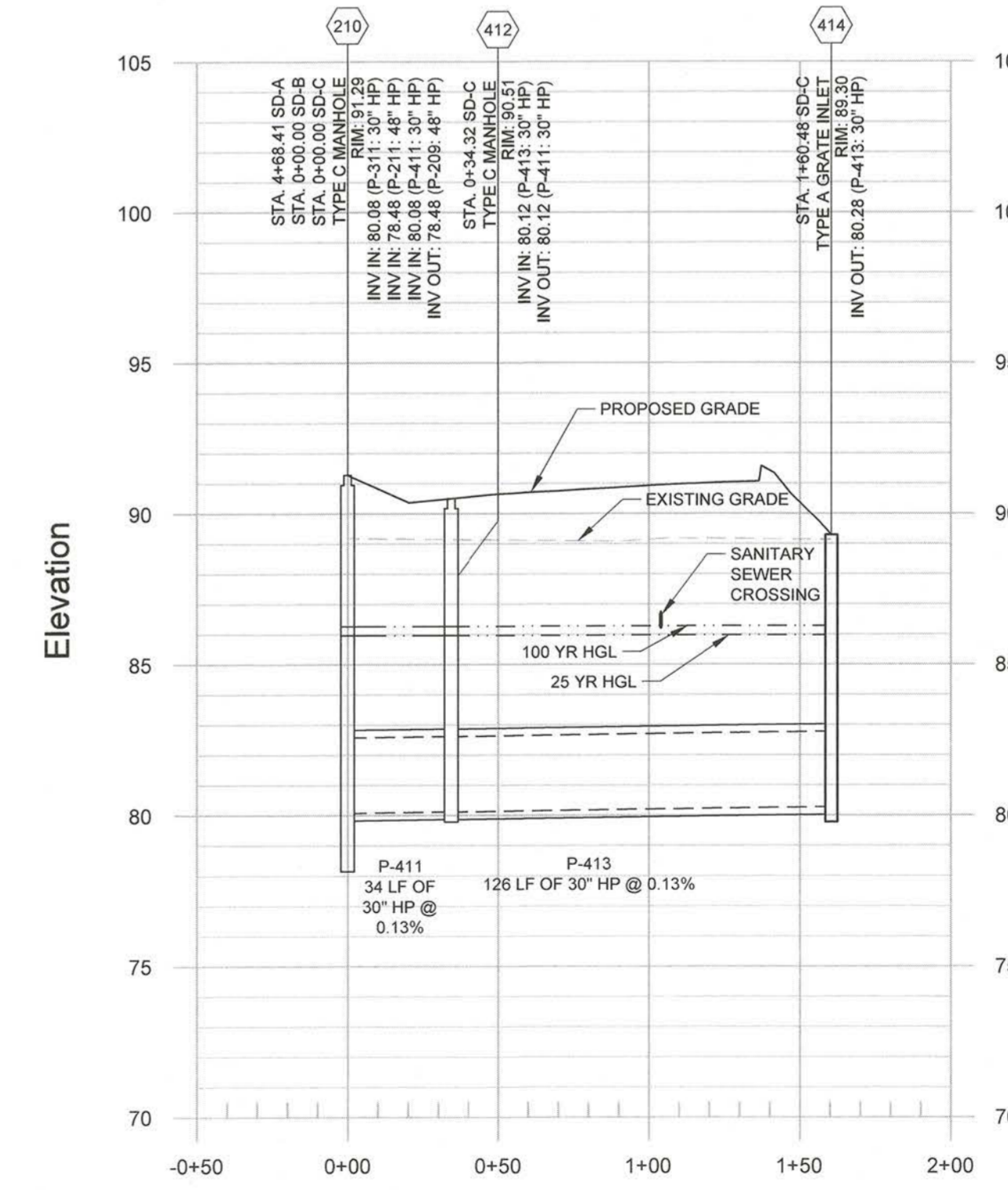
**SD-A (2 OF 2)**  
1" = 50'H, 1"=5'V



**SD-B**  
1" = 50'H, 1"=5'V



**SD-C**  
1" = 50'H, 1"=5'V



*Max D.*  
FBC DEVELOPMENT COORDINATOR  
10/31/17  
DATE

ENGINEER:  
**FORESITE**  
group  
TBPE Firm No. F-12878  
Foresite Group, Inc.  
1999 Bryan St. Suite 890  
Dallas, TX 75201  
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DALLAS, TX 75201  
(417) 447-5538  
CONTACT: MR. RUBEN ESQUEDA

PROJECT:  
**GALA AT FOUR CORNERS**  
15010 OLD RICHMOND ROAD  
SUGAR LAND, FORT BEND COUNTY, TX 77498

SEAL:  
STATE OF TEXAS  
JOHN B. RHODES, JR.  
112311  
LICENSED PROFESSIONAL ENGINEER  
09/19/17

REVISIONS	DATE
COUNTY COMMENTS	04/10/2017
MUD / DRAINAGE DISTRICT COMMENTS	07/21/2017
MUD COMMENTS	09/19/2017
PROJECT MANAGER:	DN
DRAWING BY:	PA
JURISDICTION:	FORT BEND COUNTY
DATE:	01/03/2017
	AS SHOWN
TITLE:	

**STORM DRAINAGE PROFILES**  
SHEET NUMBER:  
**C-2.5**  
COMMENTS: NOT RELEASED FOR CONSTRUCTION  
JOB/FILE NUMBER: 693.011

**GENERAL NOTES:**

- 1) PIPE LENGTHS REFLECT THE PIPES LINEAR LENGTH AND ARE SHOWN FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- 2) EXISTING UTILITY DEPTHS ARE APPROXIMATED BASED ON 4 FT COVER FROM THE EXISTING GROUND SURFACE. PROPOSED UTILITY DEPTHS ARE BASED ON 4 FT OF COVER FROM THE PROPOSED GROUND SURFACE UNLESS SHOWN OTHERWISE. CONTRACTOR SHALL FIELD VERIFY ALL UTILITY DEPTHS AT CROSSING AND CONTACT ENGINEER IMMEDIATELY IF CONFLICTS ARE ENCOUNTERED.
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ENGINEER:

**FORESITE**  
group

TBPE Firm No. F-12878  
Foresite Group, Inc.  
1999 Bryan St. Suite 890  
Dallas, TX 75201  
D/B/A Foresite Consulting Group of Texas, Inc.

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DALLAS, TX 75201  
(417) 447-5538

CONTACT: MR. RUBEN ESQUEDA

**GALA AT FOUR CORNERS**

15010 OLD RICHMOND ROAD  
SUGAR LAND, FORT BEND COUNTY, TX 77498



REVISIONS	DATE
COUNTY COMMENTS	04/10/2017
MUD / DRAINAGE DISTRICT COMMENTS	07/21/2017
MUD COMMENTS	09/19/2017

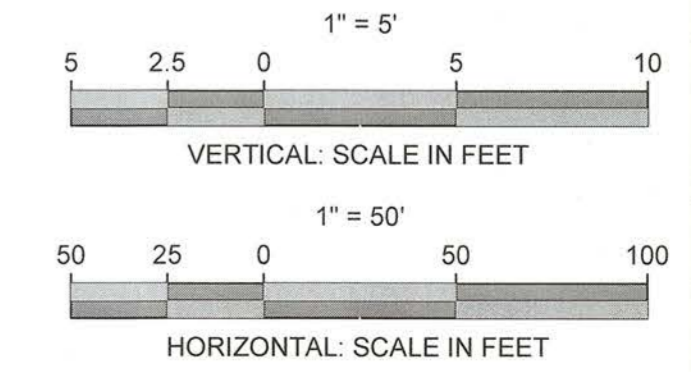
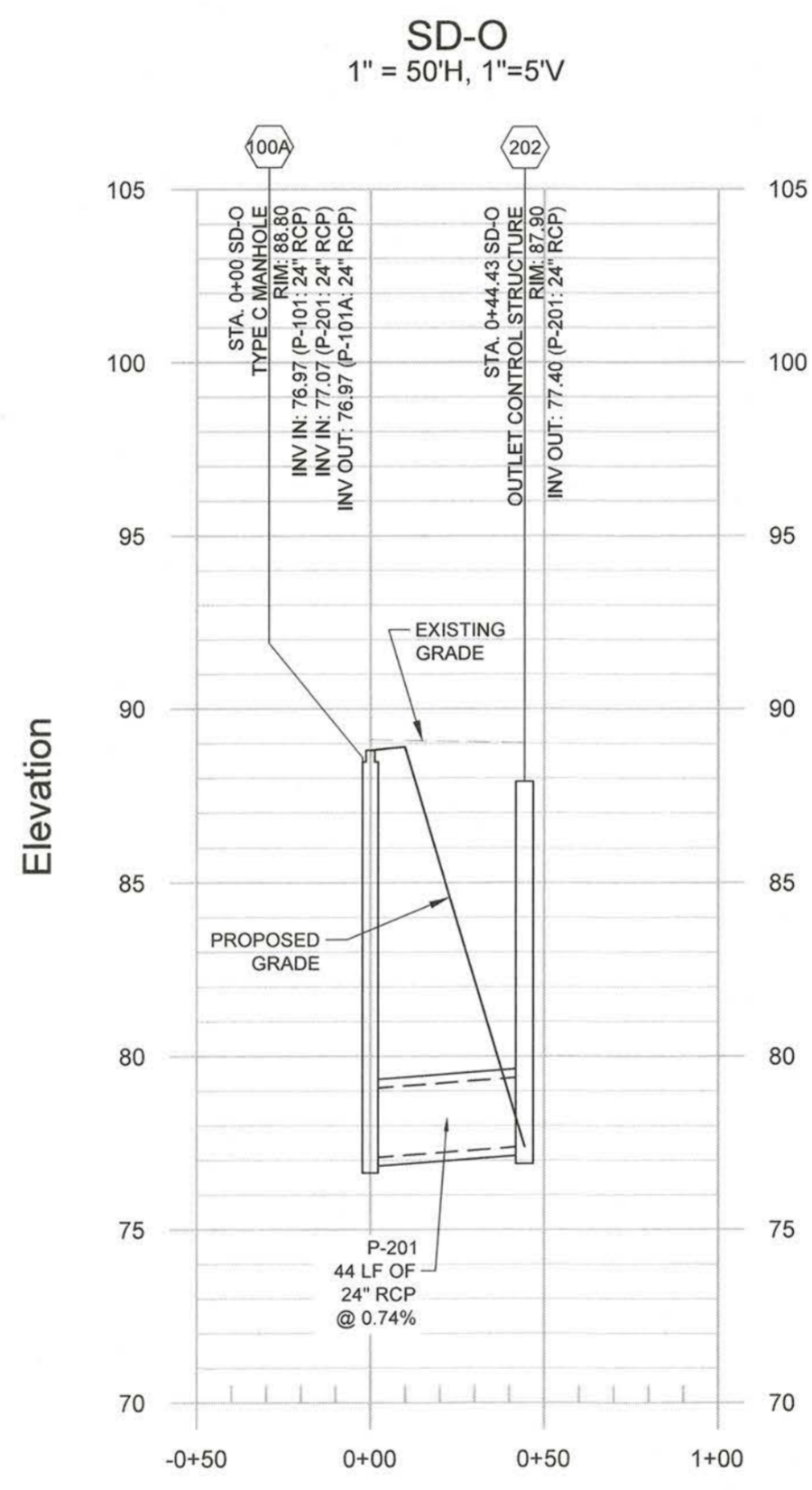
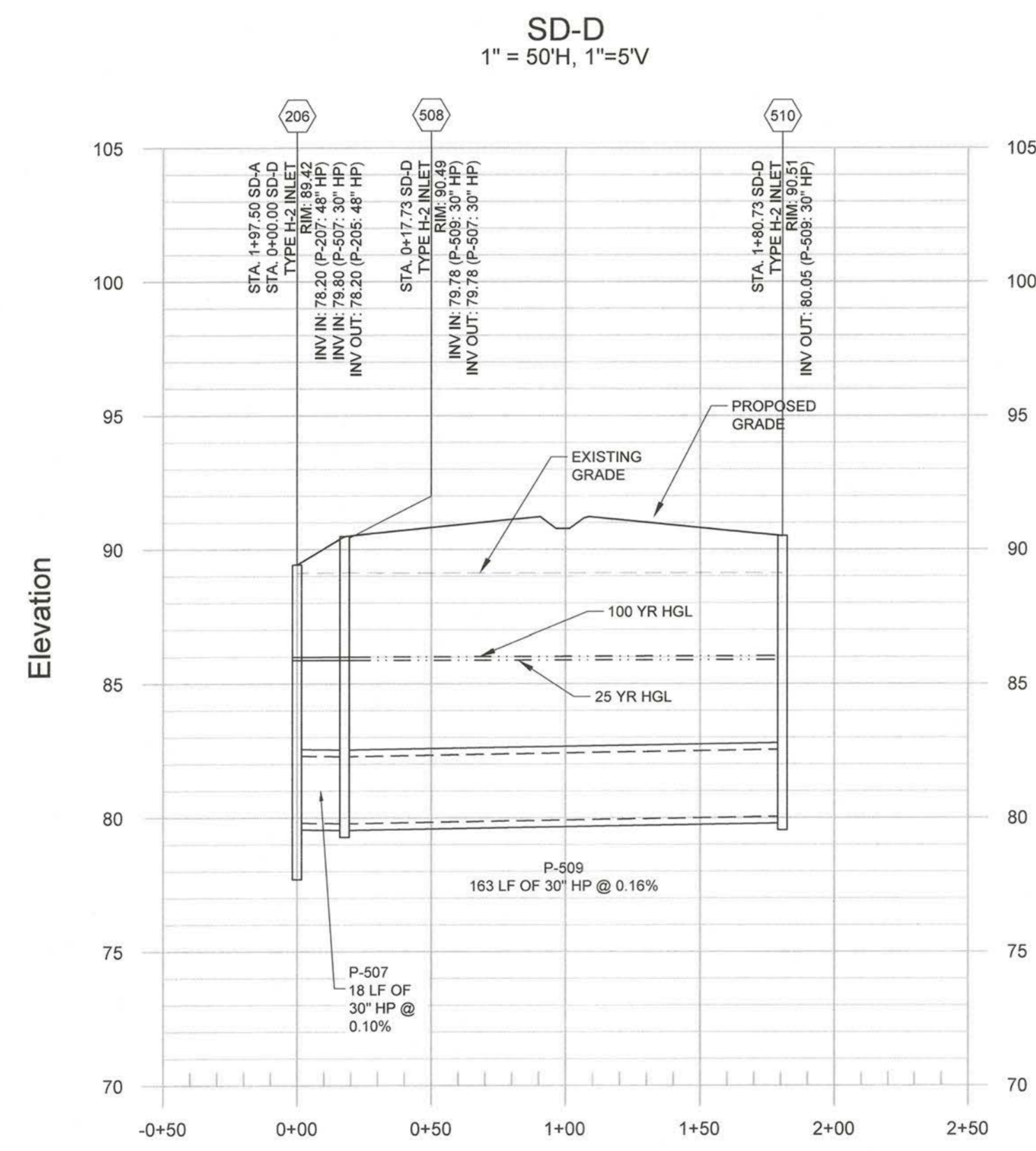
PROJECT MANAGER: DN  
DRAWING BY: PA  
JURISDICTION: FORT BEND COUNTY  
DATE: 01/03/2017  
AS SHOWN

**STORM DRAINAGE PROFILES**

SHEET NUMBER: **C-2.6**

COMMENTS: NOT RELEASED FOR CONSTRUCTION

JOB/FILE NUMBER: 693.011



*M. J. [Signature]*  
FBC DEVELOPMENT COORDINATOR  
DATE: 10/3/17

ENGINEER:  
**FORESITE**  
 group  
 TBPE Firm No. F-12878  
 Foresite Group, Inc.  
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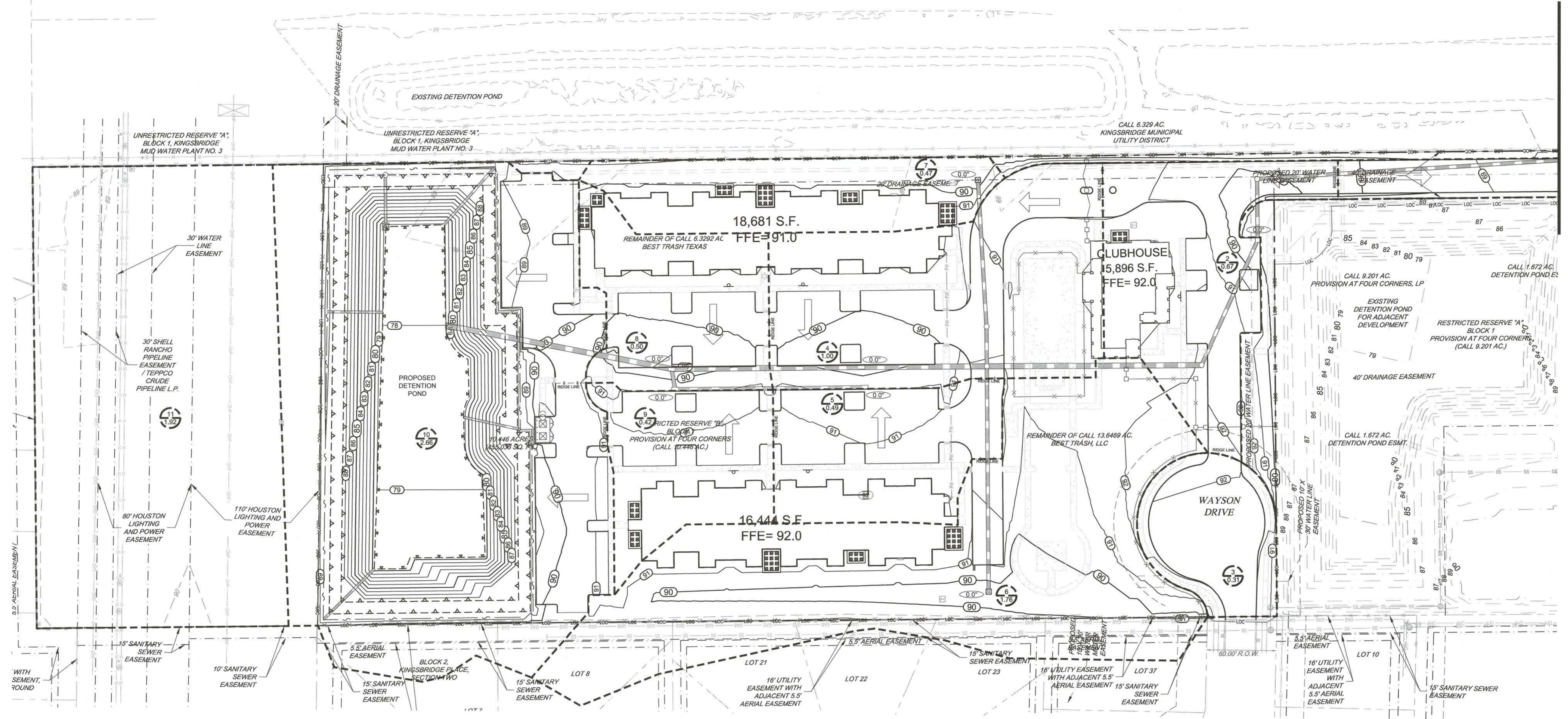
PROJECT:  
**GALA AT FOUR CORNERS**  
 15010 OLD RICHMOND ROAD  
 SUGAR LAND, FORT BEND COUNTY, TX 77498

SEAL:  
  
 JOHN B. RHODES, JR.  
 112311  
 LICENSED PROFESSIONAL ENGINEER  
 09/19/17

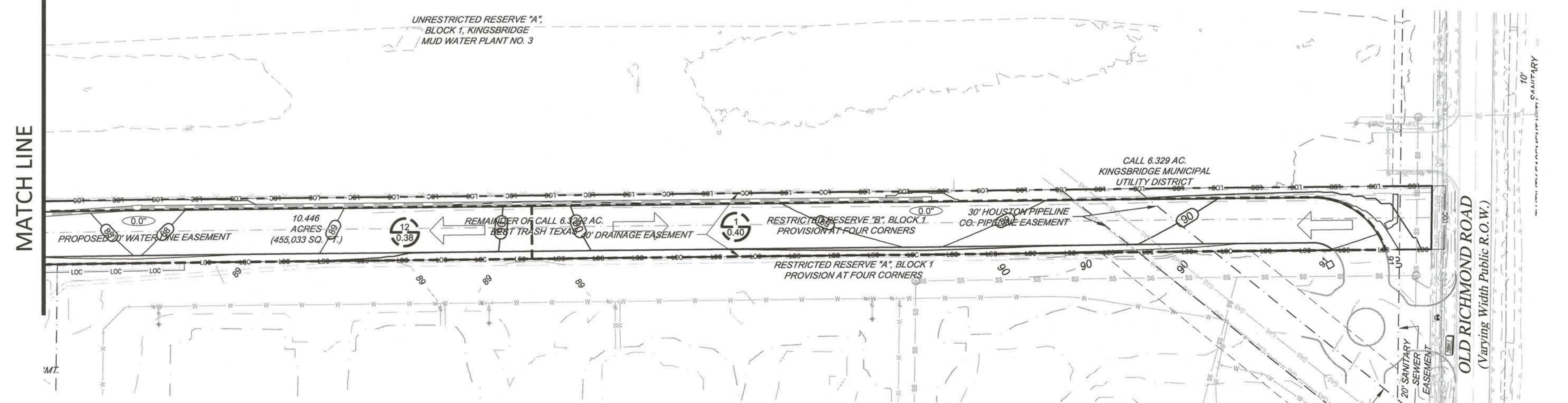
REVISIONS DATE  
 COUNTY COMMENTS 04/10/2017  
 MUD / DRAINAGE DISTRICT COMMENTS 07/21/2017  
 MUD COMMENTS 09/19/2017

PROJECT MANAGER: DN  
 DRAWING BY: PA  
 JURISDICTION: FORT BEND COUNTY  
 DATE: 01/03/2017  
 TITLE: 1" = 50'

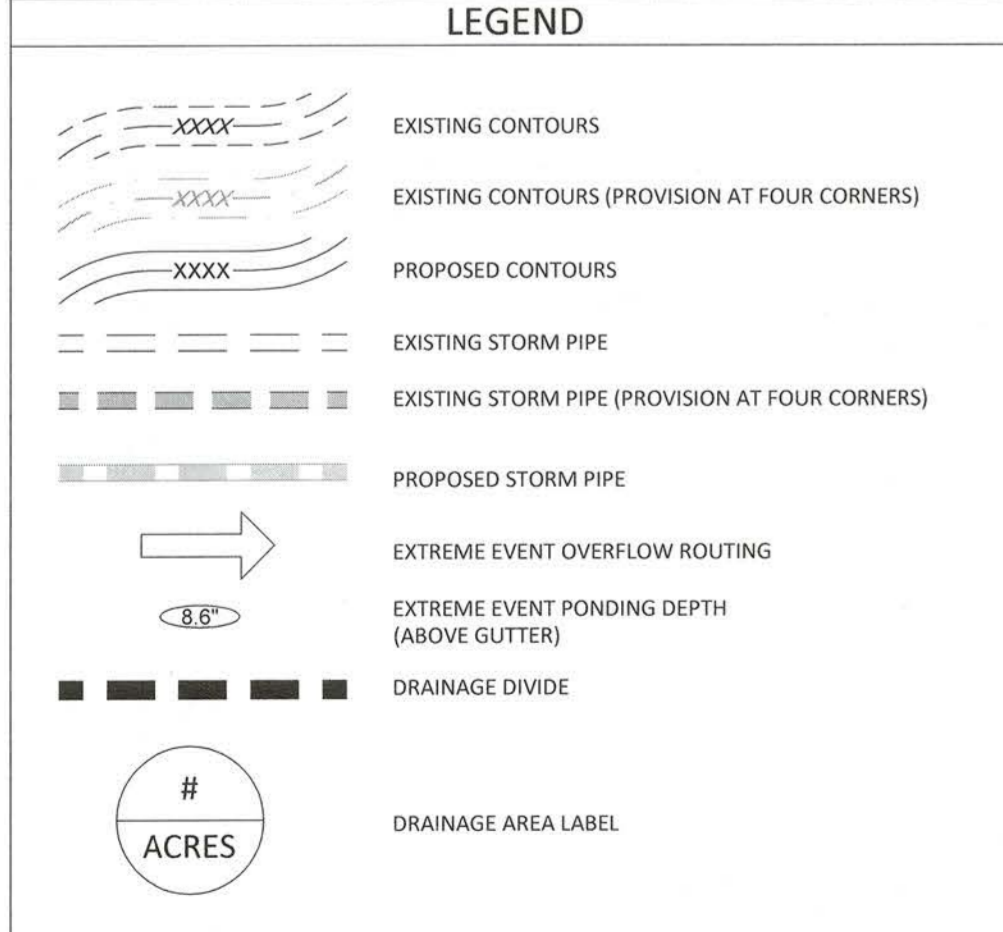
**DRAINAGE AREA MAP**  
 SHEET NUMBER:  
**C-2.7**  
 COMMENTS: NOT RELEASED FOR CONSTRUCTION  
 JOB FILE NUMBER: 693.011



MATCH LINE



MATCH LINE

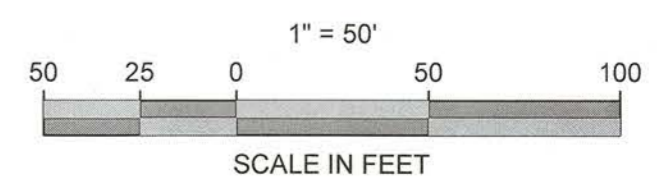


**PROPOSED FLOW SUMMARY**

Area	Area (ac.)	Conc. (min.)	C 25 Year	C 100 Year	I25 (in/hr)	I100 (in/hr)	Q25 (cfs)	Q100 (cfs)	Comments
1	0.4	10	0.72	0.81	8.00	9.13	2.29	2.97	
2	0.67	10	0.72	0.81	8.00	9.13	3.83	4.97	
3	0.31	10	0.72	0.81	8.00	9.13	1.77	2.30	Drains to Wayson Drive ROW
4	1.00	10	0.72	0.81	8.00	9.13	5.72	7.42	
5	0.49	10	0.72	0.81	8.00	9.13	2.80	3.63	
6	1.76	10	0.72	0.81	8.00	9.13	10.07	13.06	
7	0.47	10	0.72	0.81	8.00	9.13	2.69	3.49	
8	0.50	10	0.72	0.81	8.00	9.13	2.86	3.71	
9	0.42	10	0.72	0.81	8.00	9.13	2.40	3.12	
10	2.66	10	0.72	0.81	8.00	9.13	15.22	19.73	
11	1.92	10	0.72	0.81	8.00	9.13	11.06	14.20	Drains per existing contours away from pond
12	0.38	10	0.72	0.81	8.00	9.13	2.19	2.81	
Total	8.75	10	0.72	0.81	8.00	9.13	50.05	64.91	Does not contain Area 3 or Area 11

**GENERAL NOTES:**  
 1) ALL EXISTING INFORMATION SHOWN FOR THE PROVISION AT FOUR CORNERS DEVELOPMENT IS DEPICTED FROM THE PREVIOUS DESIGN PLANS BY FORESITE GROUP, INC. DATED 01/04/2017. CONTRACTOR SHOULD FIELD VERIFY THE LOCATION AND EXISTENCE OF ALL EXISTING UTILITIES AND PERTINENT ITEMS ON THE PROVISION AT FOUR CORNERS PROPERTY.

M. J. [Signature]  
 FBC DEVELOPMENT COORDINATOR  
 10/31/17 DATE



ENGINEER:



TBPE Firm No. F-12878
Foresite Group, Inc.
1999 Bryan St.
Suite 890
Dallas, TX 75201
D/R/A Foresite Consulting Group of Texas, Inc.

OWNER:



2501 N. HARWOOD ST, SUITE 1501
DALLAS, TX 75201
(417) 447-5538

CONTACT: MR. RUBEN ESQUEDA

GALA AT FOUR CORNERS
15010 OLD RICHMOND ROAD
SUGAR LAND, FORT BEND COUNTY, TX 77488

PROJECT:



REVISIONS DATE

COUNTY COMMENTS 04/10/2017

MUD / DRAINAGE DISTRICT COMMENTS 07/21/2017

MUD COMMENTS 09/19/2017

PROJECT MANAGER: DN

DRAWING BY: PA

JURISDICTION: FORT BEND COUNTY

DATE: 01/03/2017

TITLE: N/A

DRAINAGE CALCULATIONS

SHEET NUMBER:

C-2.8

COMMENTS: NOT RELEASED FOR CONSTRUCTION

JOB/FILE NUMBER: 693.011

25 YEAR HYDRAULIC CALCULATIONS

Table with columns for US STR., DS STR., US STA., DS STA., AREA, AREA (AC), TOTAL AREA (AC), RUNOFF COEFF. C, INCREMENTAL CA, DESIGN STORM (YEAR), INTENSITY I (IN/HR), Tc (MIN), Q TOTAL (CFS), REACH (FT), LINE (SIZE (IN), MANN. CONST., SLOPE (FT/FT), Q CAPACITY (CFS)), FLOWLINE (UP-STREAM (FT), DOWN-STREAM (FT)), V (FPS), HGL SLOPE (FT/FT), K, V1 (FPS), V2 (FPS), HEAD LOSS HL (FT), UPSTREAM HGL (FT), DOWNSTREAM HGL (FT), INLET TC ELEV., PONDING DEPTH (IN), PONDING COMMENT.

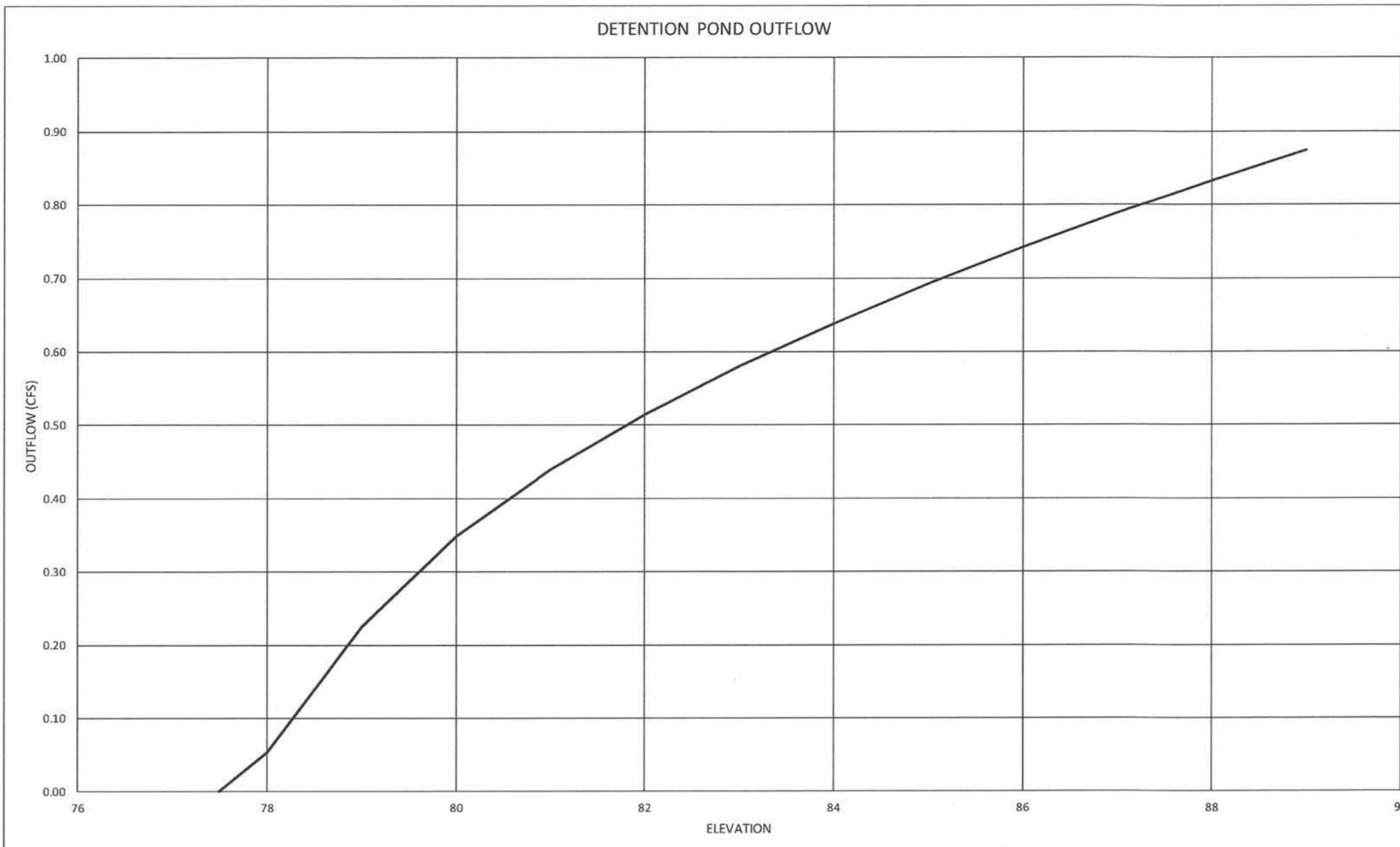
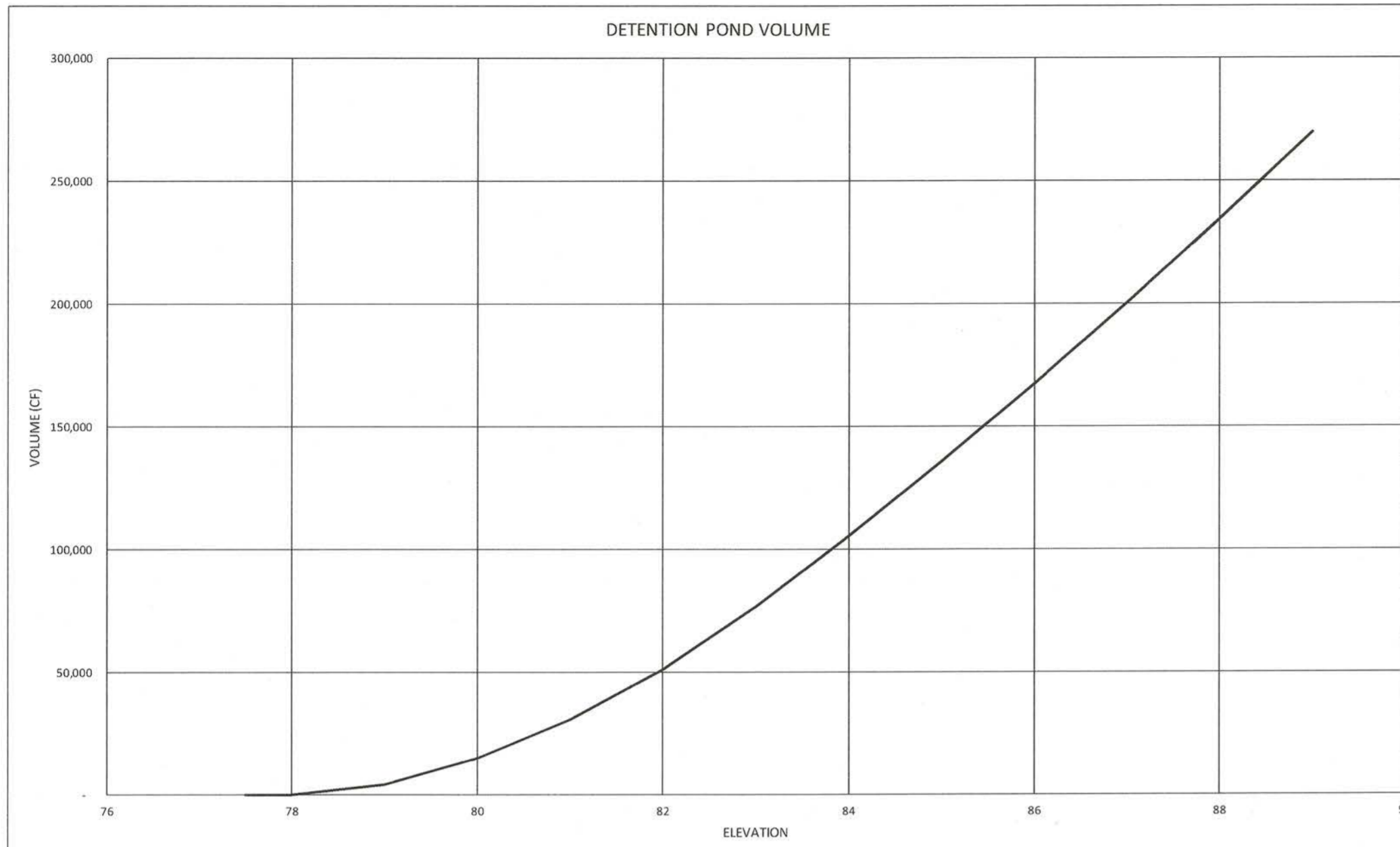
100 YEAR HYDRAULIC CALCULATIONS

Table with columns for US STR., DS STR., US STA., DS STA., AREA, AREA (AC), TOTAL AREA (AC), RUNOFF COEFF. C, INCREMENTAL CA, DESIGN STORM (YEAR), INTENSITY I (IN/HR), Tc (MIN), Q TOTAL (CFS), REACH (FT), LINE (SIZE (IN), MANN. CONST., SLOPE (FT/FT), Q CAPACITY (CFS)), FLOWLINE (UP-STREAM (FT), DOWN-STREAM (FT)), V (FPS), HGL SLOPE (FT/FT), K, V1 (FPS), V2 (FPS), HEAD LOSS HL (FT), UPSTREAM HGL (FT), DOWNSTREAM HGL (FT), INLET TC ELEV., PONDING DEPTH (IN), PONDING COMMENT.

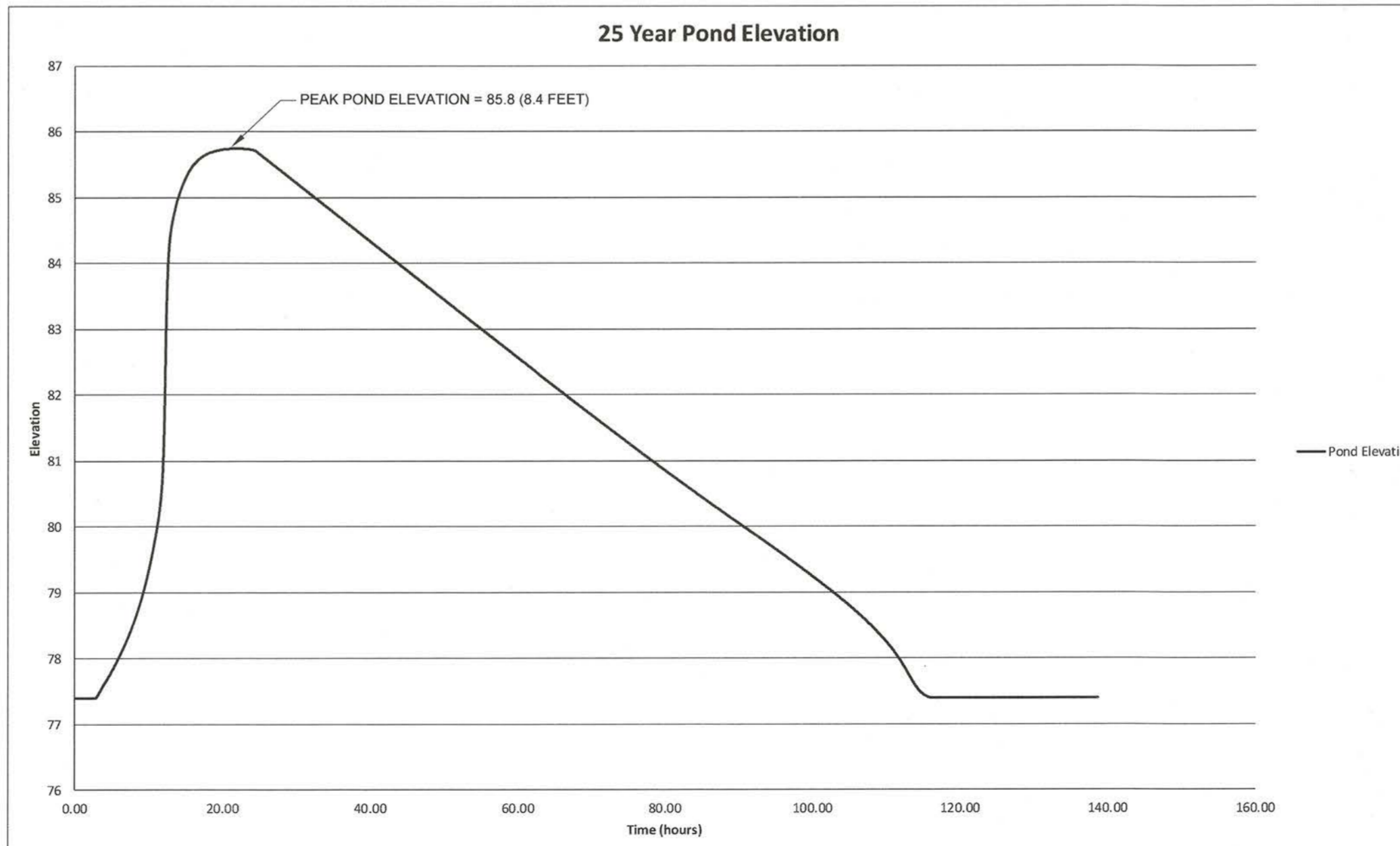
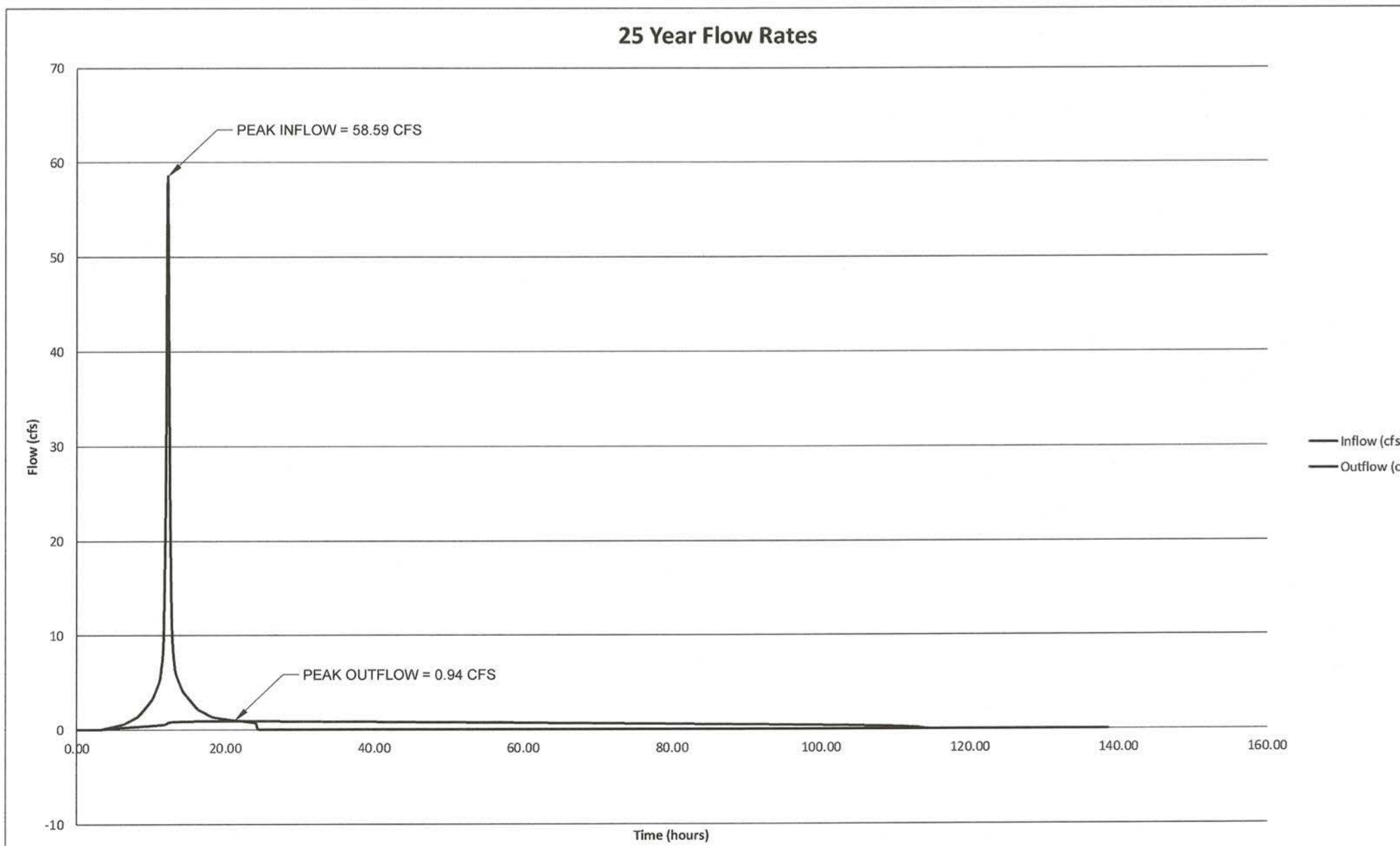
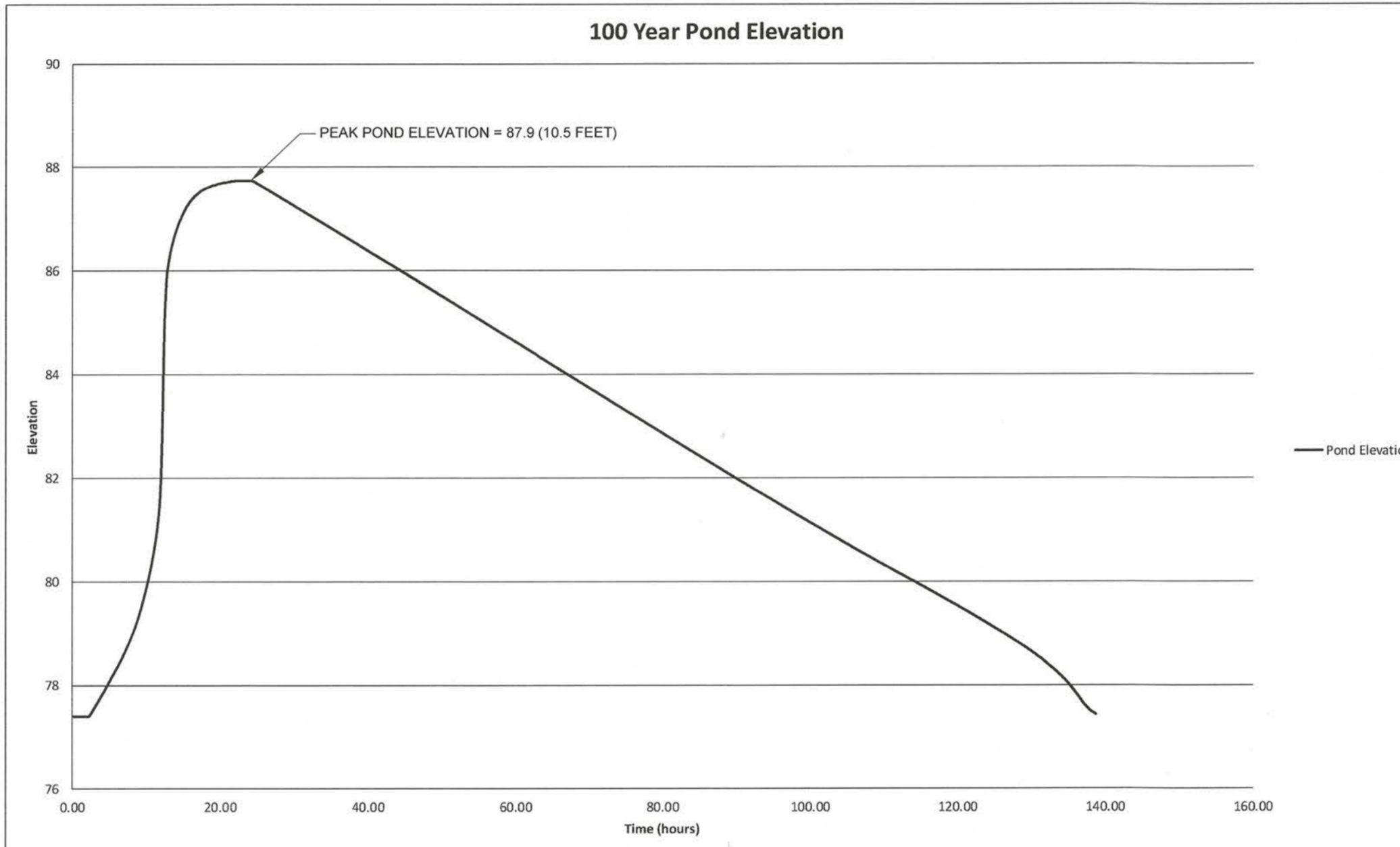
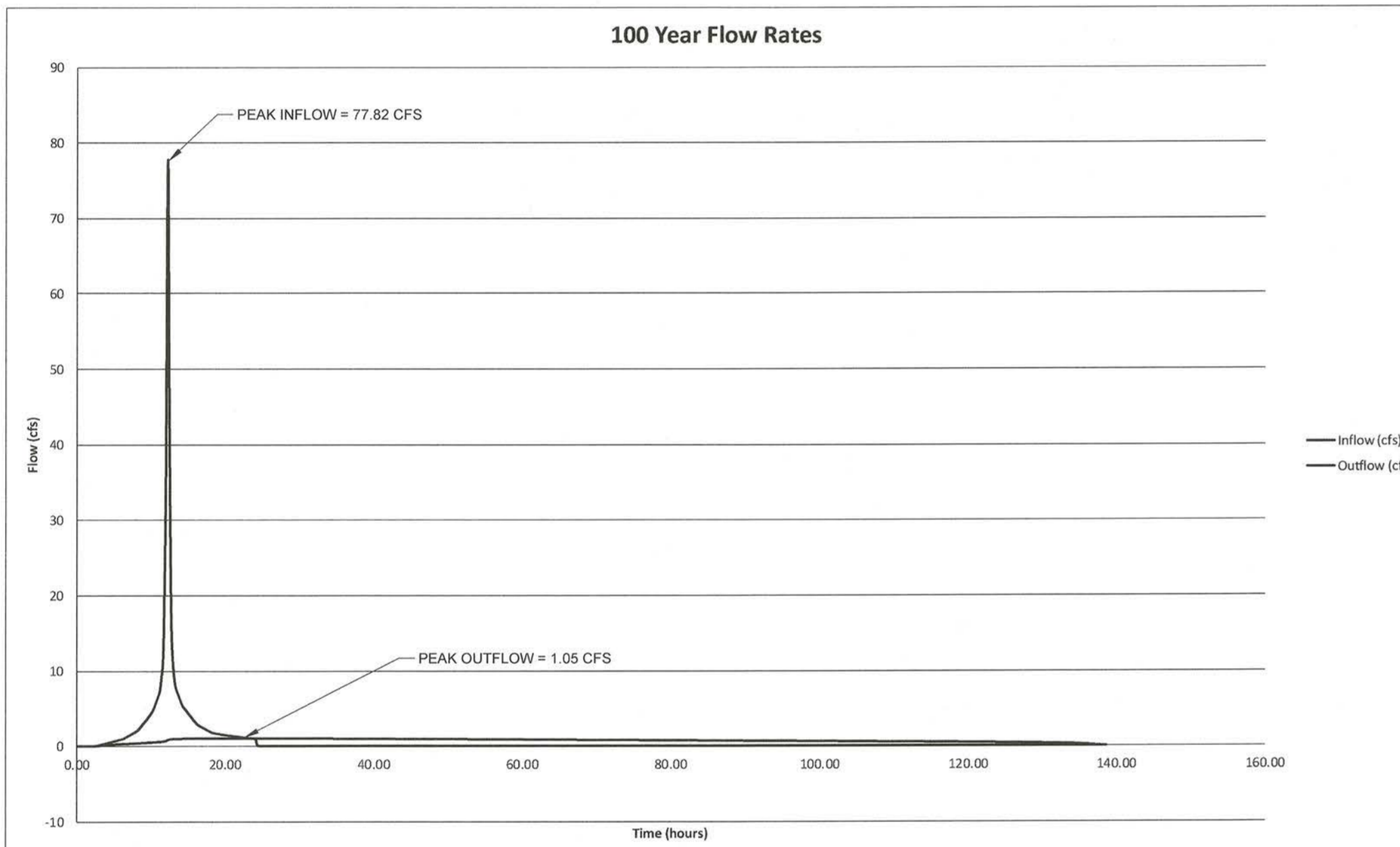
NOTES:

- 1. FLOW RATES BASED ON RATIONAL METHOD (C=CA)
2. Tc VALUES FOR 25 YEAR STORM BASED ON 'C' VALUE IN FORT BEND COUNTY DRAINAGE MANUAL TABLE 2-3 (MULTIFAMILY 1-3.5%) WITH A 25 YEAR CORRECTION FACTOR OF 1.1.
3. 'C' VALUES FOR 100 YEAR STORM BASED ON 'C' VALUE IN FORT BEND COUNTY DRAINAGE MANUAL TABLE 2-3 (MULTIFAMILY 1-3.5%) WITH A 100 YEAR CORRECTION FACTOR OF 1.25.
4. RAINFALL INTENSITY VALUES BASED ON HYDRO-35 AS SHOWN IN FORT BEND COUNTY DRAINAGE MANUAL FIGURE 2-7.

Signature: Max... 10/3/17
FBC DEVELOPMENT COORDINATOR DATE



Elevation	Contour Area (sf)	Volume (cf)	Outflow (cfs)
77.40	-	-	0.00
78.00	4,670	778	0.26
79.00	16,256	11,241.33	0.39
80.00	24,061	31,399.83	0.51
81.00	26,460	56,660.33	0.61
82.00	28,915	84,347.83	0.69
83.00	31,426	114,518.33	0.77
84.00	33,993	147,227.83	0.84
85.00	36,616	182,532.33	0.90
86.00	39,295	220,487.83	0.96
87.00	42,030	261,150.33	1.01
87.90	44,542	300,462.00	1.06



MINIMUM DETENTION REQUIREMENT CALCULATIONS:

TOTAL SITE DRAINAGE AREA: 381,156 SF (8.76 ACRES)  
 IMPERVIOUS AREA (BUILDINGS, PAVEMENT, ETC.): 179,213 SF (4.11 ACRES)  
 POND SURFACE AREA: 48,749 SF (1.12 ACRES)  
 TOTAL IMPERVIOUS AREA: 227,962 SF (5.23 ACRES)  
 % IMPERVIOUS COVERAGE: 59.7%

MINIMUM DETENTION STORAGE: 0.8188 ACRE-FT/ACRE -> 7.173 ACRE-FT (312,442 CF)

TOTAL STORAGE AT 100 YR WSEL: 7.23 ACRE-FT (315,010 CF)  
 STORAGE AT TOP OF POND (ELEV 87.9): 6.90 ACRE-FT (300,462 CF)  
 STORAGE IN PIPES: 0.33 AC-FT (14,548 CF)

DETENTION CALCULATIONS BASED ON 24 HOUR TYPE III SCS STORM.

- CN VALUE OF 93 FOR TYPE D SOIL AND 60% IMPERVIOUS COVERAGE
- 100 YEAR RAINFALL OF 12.5 INCHES PER FORT BEND COUNTY DRAINAGE MANUAL
- 25 YEAR RAINFALL OF 9.6 INCHES PER FORT BEND COUNTY DRAINAGE MANUAL

MAXIMUM ALLOWABLE RELEASE RATE

AREA DRAINAGE TO DETENTION POND: 8.76 ACRES

0.125 CFS/ACRE \* 8.76 ACRES = 1.09 CFS

ENGINEER:

**FORESITE**  
group

FBPE Firm No. F-12878  
 Foresite Group, Inc.  
 1999 Bryan St. Suite 890  
 Dallas, TX 75201  
 D/B/A Foresite Consulting Group of Texas, Inc.

o | 214.939.7123  
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OWNER:

**GARDNER CAPITAL**

2501 N. HARWOOD ST, SUITE 1501  
 DALLAS, TX 75201  
 (417) 447-5538

CONTACT: MR. RUBEN ESQUEDA

PROJECT: GALA AT FOUR CORNERS  
 15010 OLD RICHMOND ROAD  
 SUGAR LAND, FORT BEND COUNTY, TX 77488

SEAL:



REVISIONS	DATE
COUNTY COMMENTS	04/10/2017
MUD / DRAINAGE DISTRICT COMMENTS	07/21/2017
MUD COMMENTS	09/19/2017

PROJECT MANAGER: DN  
 DRAWING BY: PA  
 JURISDICTION: FORT BEND COUNTY  
 DATE: 01/03/2017  
 TITLE: N/A

DETENTION CALCULATIONS

SHEET NUMBER:

**C-2.9**

COMMENTS: NOT RELEASED FOR CONSTRUCTION

JOBFILE NUMBER: 693.011

*Max*  
 FBC DEVELOPMENT COORDINATOR  
 DATE: 10/3/17

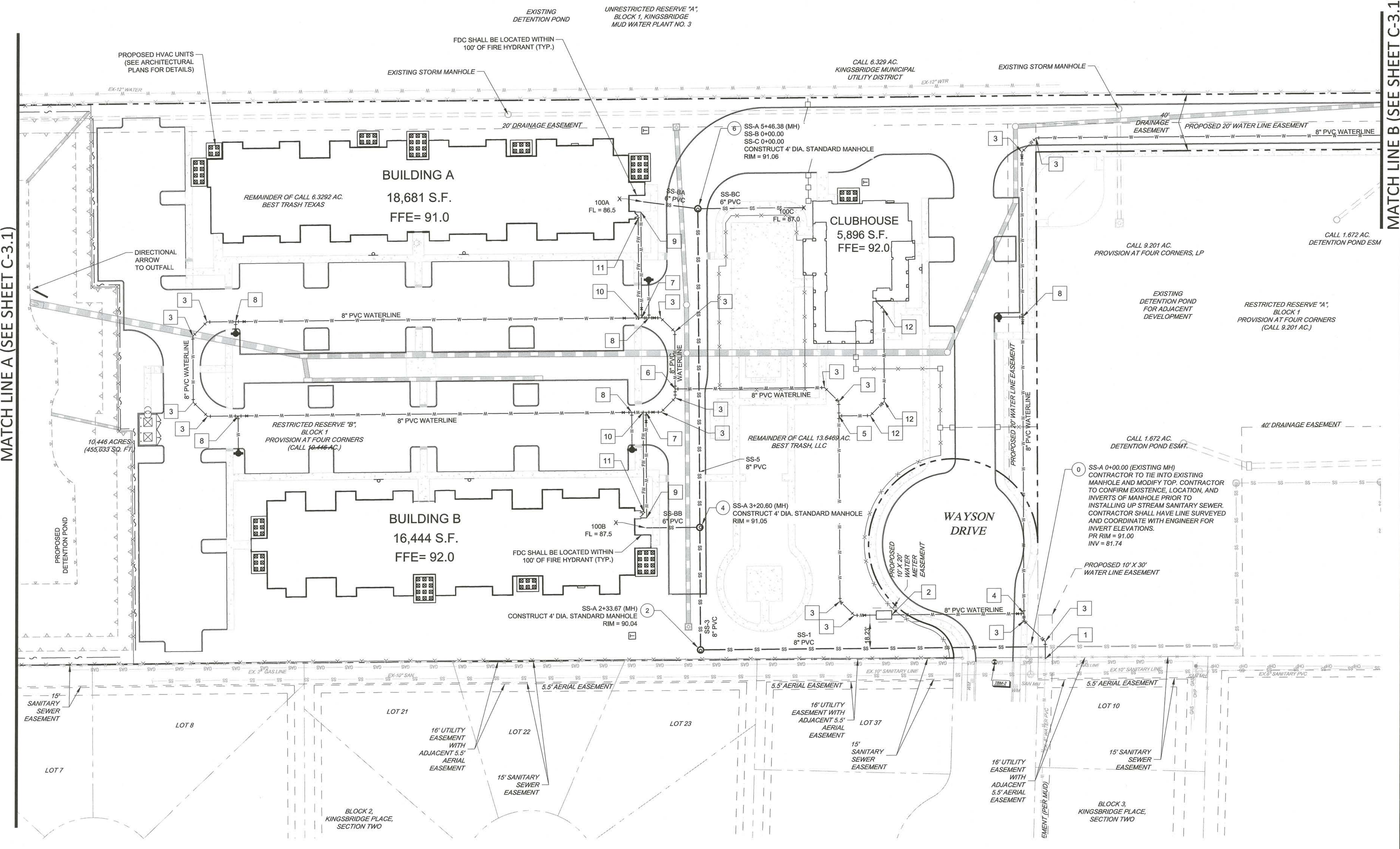
**UTILITY NOTES:**

- 1) ALL EXISTING INFORMATION SHOWN FOR THE PROVISION AT FOUR CORNERS DEVELOPMENT IS DEPICTED FROM THE PREVIOUS DESIGN PLANS BY FORESITE GROUP, INC. DATED 01/04/2017. CONTRACTOR SHOULD FIELD VERIFY THE LOCATION AND EXISTENCE OF ALL EXISTING UTILITIES AND PERTINENT ITEMS ON THE PROVISION AT FOUR CORNERS PROPERTY.
- 2) KINGSBRIDGE MUD WILL FURNISH THE DOMESTIC WATER METER AND TAP THE EXISTING WATER LINE. THE CONTRACTOR MUST INSTALL ALL ON-SITE WATER AND SEWER INFRASTRUCTURE.
- 3) THE CONTRACTOR SHALL COORDINATE AS REQUIRED WITH FORT BEND COUNTY AND KINGSBRIDGE MUD DURING CONSTRUCTION FOR REQUIRED INSPECTIONS.
- 4) THIS SITE INDICATES POTABLE WATER SERVICE AND SANITARY SEWER LATERALS. THIS WORK TO BE INSTALLED BY A LICENSED PLUMBER IF STATE LAW REQUIRES. ALL WORK MUST BE INSPECTED BY SI ENVIRONMENTAL FOR KINGSBRIDGE MUD.
- 5) ALL CONDUIT, PIPE, AND CHASE PIPE SHALL BE WRAPPED WITH THE APPROPRIATE LOCATION WIRE AND TAPE.
- 6) NO PRESSURE REDUCING VALVES ARE TO BE INSTALLED ON FIRE LINES. ALL FIRE LINES ARE TO BE INSPECTED BY FORT BEND COUNTY FIRE SERVICE PRIOR TO COVERING.
- 7) THE CONTRACTOR SHALL NOTIFY WATER AND SEWER INSPECTOR PRIOR TO START OF CONSTRUCTION.
- 8) THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF AS-BUILT DRAWINGS INCLUDING ALL RIM ELEVATIONS, INVERT ELEVATIONS, PIPE SIZES, AND PIPE MATERIAL FOR ALL PUBLIC MAINS TO THE ENGINEER AS SOON AS INSTALLATION IS COMPLETE.
- 9) CONTRACTOR SHALL INSTALL THE DOWNSTREAM SANITARY SEWER CONNECTIONS PRIOR TO THE INSTALLATION OF THE ON-SITE INFRASTRUCTURE. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES SHOWN ON THE PLANS BY POT HOLEING THE LINES. THE CONTRACTOR SHALL HAVE THE LINES SURVEYED, INCLUDING HORIZONTAL AND VERTICAL LOCATION, AND THE SURVEYED POINTS SENT TO THE PROJECT ENGINEER TO DETERMINE IF ANY UTILITY CONFLICTS WILL AFFECT THE CURRENT SANITARY SEWER DESIGN.
- 10) PVC WATER LINES LESS THAN 3" SHALL BE ASTM D 2241, SDR 21 WITH INTEGRALLY MOLDED BELL ENDS, ASTM D 2872. PVC WATER LINES 3" AND LARGER SHALL BE AWWA C900, RATED DR 18 (CLASS 150) WITH INTEGRALLY MOLDED BELL ENDS, ASTM D3139. DIP WATER LINES SHALL BE AWWA C151, THICKNESS CLASS 50.
- 11) PVC SANITARY SEWER LINES SHALL BE ASTM D 3034, RATED SDR 35 WITH INTEGRALLY MOLDED BELL ENDS, ASTM D 3034, TABLE 2, WITH FACTORY SUPPLIED ELASTOMERIC GASKETS AND LUBRICANT. DIP SANITARY SEWER LINES SHALL BE ASTM A746, CLASS 50 WITH AWWA C111, RUBBER GASKET JOINT DEVICES.
- 12) DEMOLISHED UTILITIES NOT DEPICTED ON THIS SHEET. REFER TO THE DEMOLITION PLAN.
- 13) ALL SANITARY SEWER MANHOLES WITHIN PAVEMENT SHALL HAVE A HDPE INFILTRATION DOME INSTALLED.

LEGEND	
---	EXISTING FENCE LINE
---	PROPERTY LINE
---	EXISTING CABLE TELEVISION LINE
---	EXISTING FIBER OPTIC LINE
---	EXISTING OVERHEAD POWER LINE
---	EXISTING UNDERGROUND POWER LINE
---	EXISTING UNDERGROUND TELEPHONE LINE
---	EXISTING GAS LINE
---	EXISTING SANITARY SEWER LINE
---	EXISTING WATER LINE
---	EXISTING STORM LINE
---	PROPOSED CABLE TELEVISION LINE
---	PROPOSED FIBER OPTIC LINE
---	PROPOSED OVERHEAD POWER LINE
---	PROPOSED UNDERGROUND POWER LINE
---	PROPOSED UNDERGROUND TELEPHONE LINE
---	PROPOSED GAS LINE
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED WATER LINE
---	PROPOSED FIRE WATER LINE
---	PROPOSED STORM LINE

WATER CALLOUTS	
1	1 - 8"x8" TAPPING SLEEVE 1 - 8" GATE VALVE
2	1 - 8"x4" REDUCER 1 - 4" WATER METER 1 - 4"x8" REDUCER
3	1 - 8" GATE VALVE 1 - 8" 45° BEND WITH THRUST BLOCK
4	1 - 8"x8" TEE 1 - 8" GATE VALVE
5	1 - 8"x1" TAPPING SADDLE 1" WATER SERVICE 1 - 8" GATE VALVE 1 - 1" GATE VALVE
6	1 - 8"x8" TEE 1 - 8"x2-1/2" TAPPING SADDLE 1 - 8" GATE VALVE
7	1 - 2-1/2" GATE VALVE 2-1/2" WATER SERVICE
8	1 - 8"x8" TEE 1 - FIRE HYDRANT ASSEMBLY 1 - 8" GATE VALVE
9	1 - 2-1/2" 90° BEND WITH THRUST BLOCK 4" FIRE WATER SERVICE
10	1 - 8"x4" TEE WITH THRUST BLOCK
11	1 - 2-1/2" 90° BEND WITH THRUST BLOCK
12	1 - 1" 45° BEND WITH THRUST BLOCK

FIRE WATER FLOW TEST	
TEST 1: MUELLER #1/ AMERICAN DARLIN	DECEMBER 16, 2016
DATE OF FLOW TEST:	65 PSI
STATIC PRESSURE:	1,140 GPM WITH 46 PSI
RECORDED FLOW:	RESIDUAL PRESSURE:
SIZE OF WATER MAIN AT PROJECT CONNECTION POINT:	8 INCHES
TEST 2: MUELLER #2/ MUELLER #3	DECEMBER 16, 2016
DATE OF FLOW TEST:	60 PSI
STATIC PRESSURE:	1,250 GPM WITH 56 PSI
RECORDED FLOW:	RESIDUAL PRESSURE:
SIZE OF WATER MAIN AT PROJECT CONNECTION POINT:	12 INCHES



MATCH LINE A (SEE SHEET C-3.1)

MATCH LINE B (SEE SHEET C-3.1)

ENGINEER:  
**FORESITE**  
 group  
 TBPE Firm No. F-12878  
 Foresite Group, Inc.  
 1999 Bryan St. Suite 890  
 Dallas, TX 75201  
 D/B/A Foresite Consulting Group of Texas, Inc.  
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 DALLAS, TX 75201  
 (417) 447-5638  
 CONTACT: MR. RUBEN ESQUEDA

PROJECT:  
**GALA AT FOUR CORNERS**  
 15010 OLD RICHMOND ROAD  
 SUGAR LAND, FORT BEND COUNTY, TX 77498

SEAL:  
  
 JOHN B. RHODES, JR.  
 112311  
 LICENSED PROFESSIONAL ENGINEER  
 STATE OF TEXAS

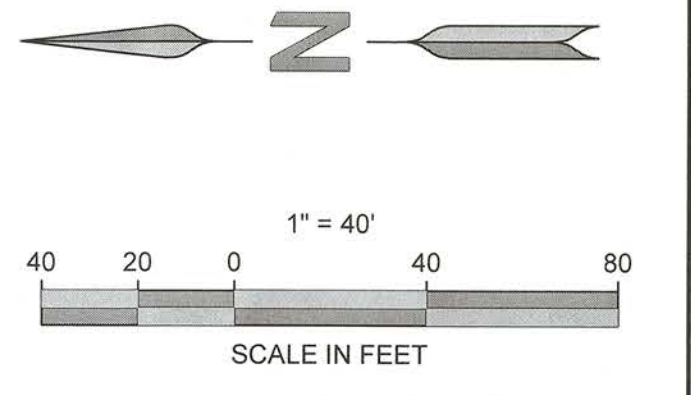
REVISIONS	DATE
COUNTY COMMENTS	04/10/2017
MUD / DRAINAGE DISTRICT COMMENTS	07/21/2017
MUD COMMENTS	09/19/2017

PROJECT MANAGER:	DN
DRAWING BY:	PA
JURISDICTION:	FORT BEND COUNTY
DATE:	01/03/2017
TITLE:	1" = 40'

UTILITIES PLAN  
 SHEET NUMBER:  
**C-3**  
 COMMENTS: NOT RELEASED FOR CONSTRUCTION  
 JOBFILE NUMBER: 693.011



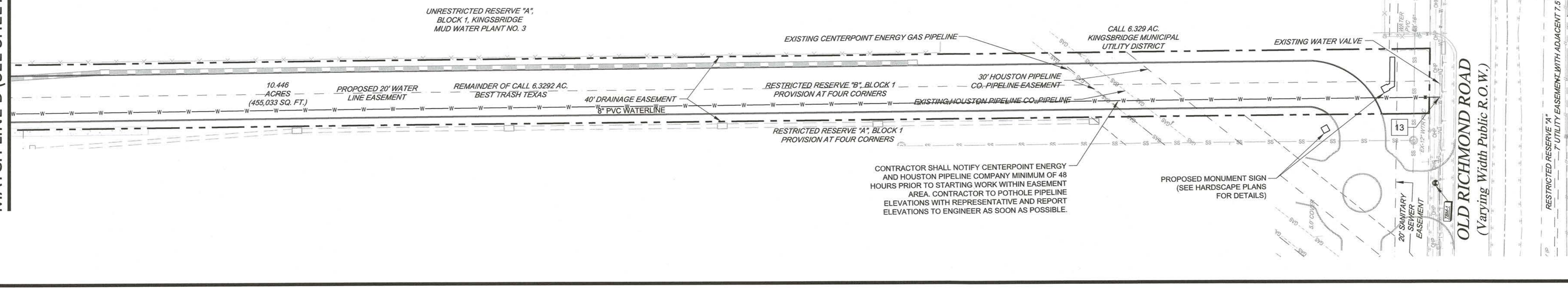
Max J. [Signature]  
 FBC DEVELOPMENT COORDINATOR  
 10/31/17  
 DATE



**UTILITY NOTES:**

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- 11) PVC SANITARY SEWER LINES SHALL BE ASTM D 3034, RATED SDR 35 WITH INTEGRALLY MOLDED BELL ENDS, ASTM D 3034, TABLE 2, WITH FACTORY SUPPLIED ELASTOMERIC GASKETS AND LUBRICANT. DIP SANITARY SEWER LINES SHALL BE ASTM A745, CLASS 50 WITH AWWA C111, RUBBER GASKET JOINT DEVICES.
- 12) DEMOLISHED UTILITIES NOT DEPICTED ON THIS SHEET. REFER TO THE DEMOLITION PLAN.
- 13) ALL SANITARY SEWER MANHOLES WITHIN PAVEMENT SHALL HAVE A HDPE INFILTRATION DOME INSTALLED.

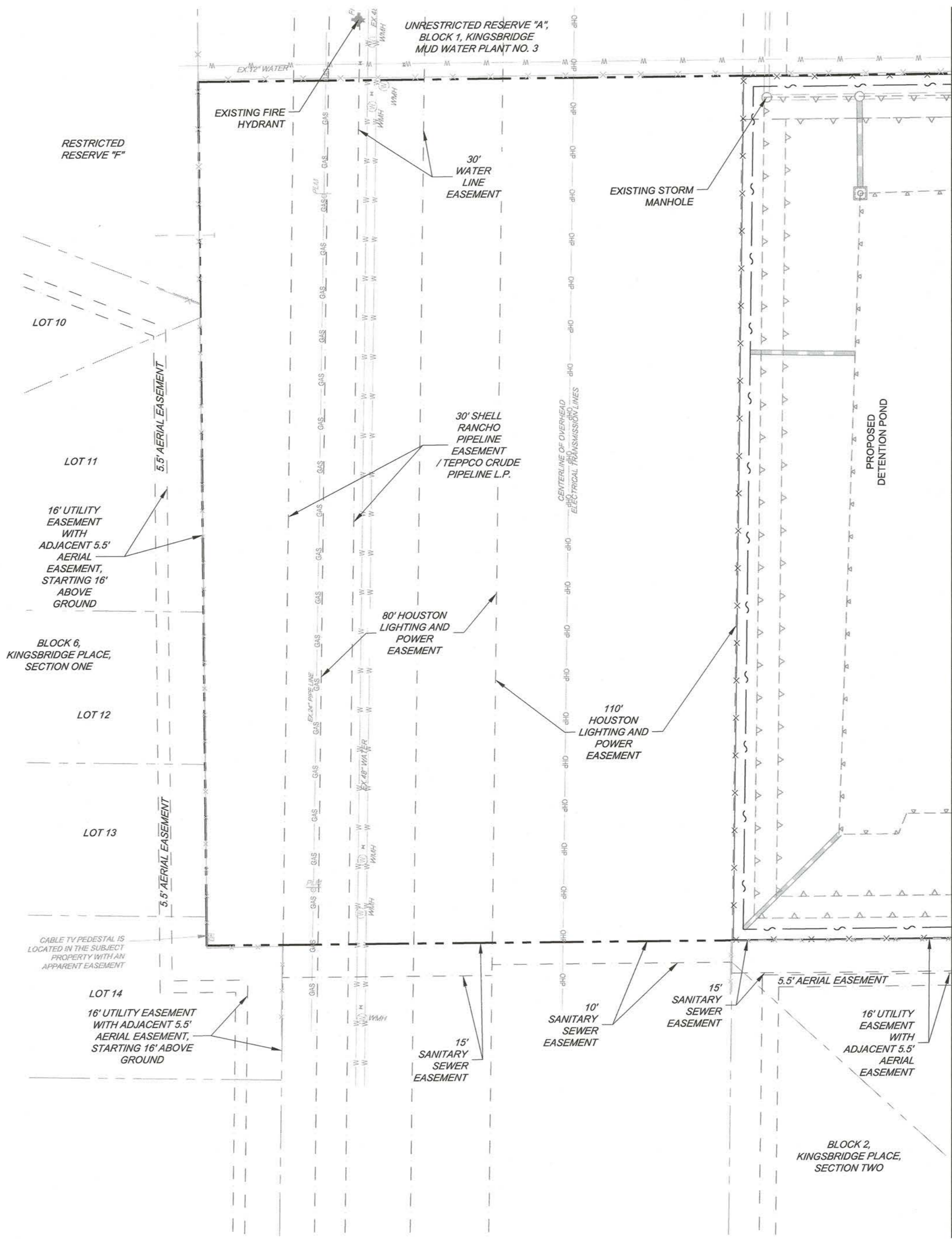
MATCH LINE B (SEE SHEET C-3)



LEGEND	
	EXISTING FENCE LINE
	PROPERTY LINE
	EXISTING CABLE TELEVISION LINE
	EXISTING FIBER OPTIC LINE
	EXISTING OVERHEAD POWER LINE
	EXISTING UNDERGROUND POWER LINE
	EXISTING UNDERGROUND TELEPHONE LINE
	EXISTING GAS LINE
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM LINE
	PROPOSED CABLE TELEVISION LINE
	PROPOSED FIBER OPTIC LINE
	PROPOSED OVERHEAD POWER LINE
	PROPOSED UNDERGROUND POWER LINE
	PROPOSED UNDERGROUND TELEPHONE LINE
	PROPOSED GAS LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER LINE
	PROPOSED FIRE WATER LINE
	PROPOSED STORM LINE

WATER CALLOUTS	
13	1 - 16"x8" TAPPING SLEEVE 1 - 8" GATE VALVE

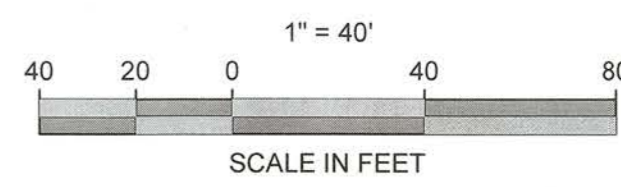
FIRE WATER FLOW TEST	
TEST 1: MUELLER #1/ AMERICAN DARLIN	
DATE OF FLOW TEST:	DECEMBER 16, 2016
STATIC PRESSURE:	65 PSI
RECORDED FLOW:	1,140 GPM WITH 46 PSI RESIDUAL PRESSURE
SIZE OF WATER MAIN AT PROJECT CONNECTION POINT:	8 INCHES
TEST 2: MUELLER #2/ MUELLER #3	
DATE OF FLOW TEST:	DECEMBER 16, 2016
STATIC PRESSURE:	60 PSI
RECORDED FLOW:	1,250 GPM WITH 56 PSI RESIDUAL PRESSURE
SIZE OF WATER MAIN AT PROJECT CONNECTION POINT:	12 INCHES



MATCH LINE A (SEE SHEET C-3)



*Max J. ...*  
FBC DEVELOPMENT COORDINATOR DATE 10/3/17



ENGINEER:  
**FORESITE group**  
TBPE Firm No. F-12878  
Foresite Group, Inc.  
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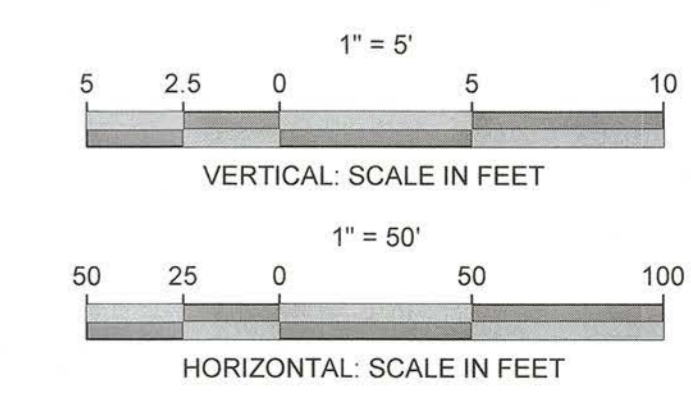
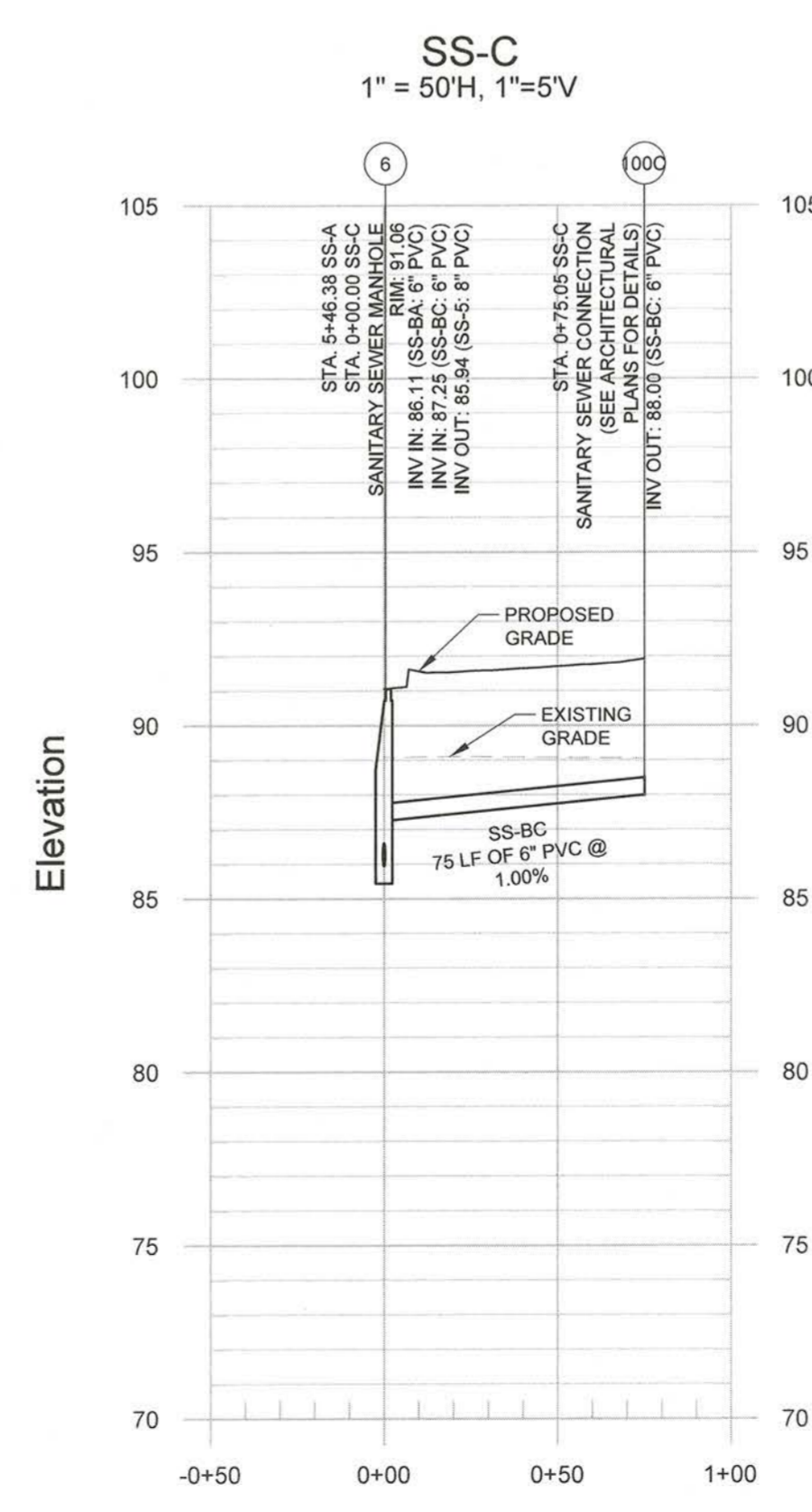
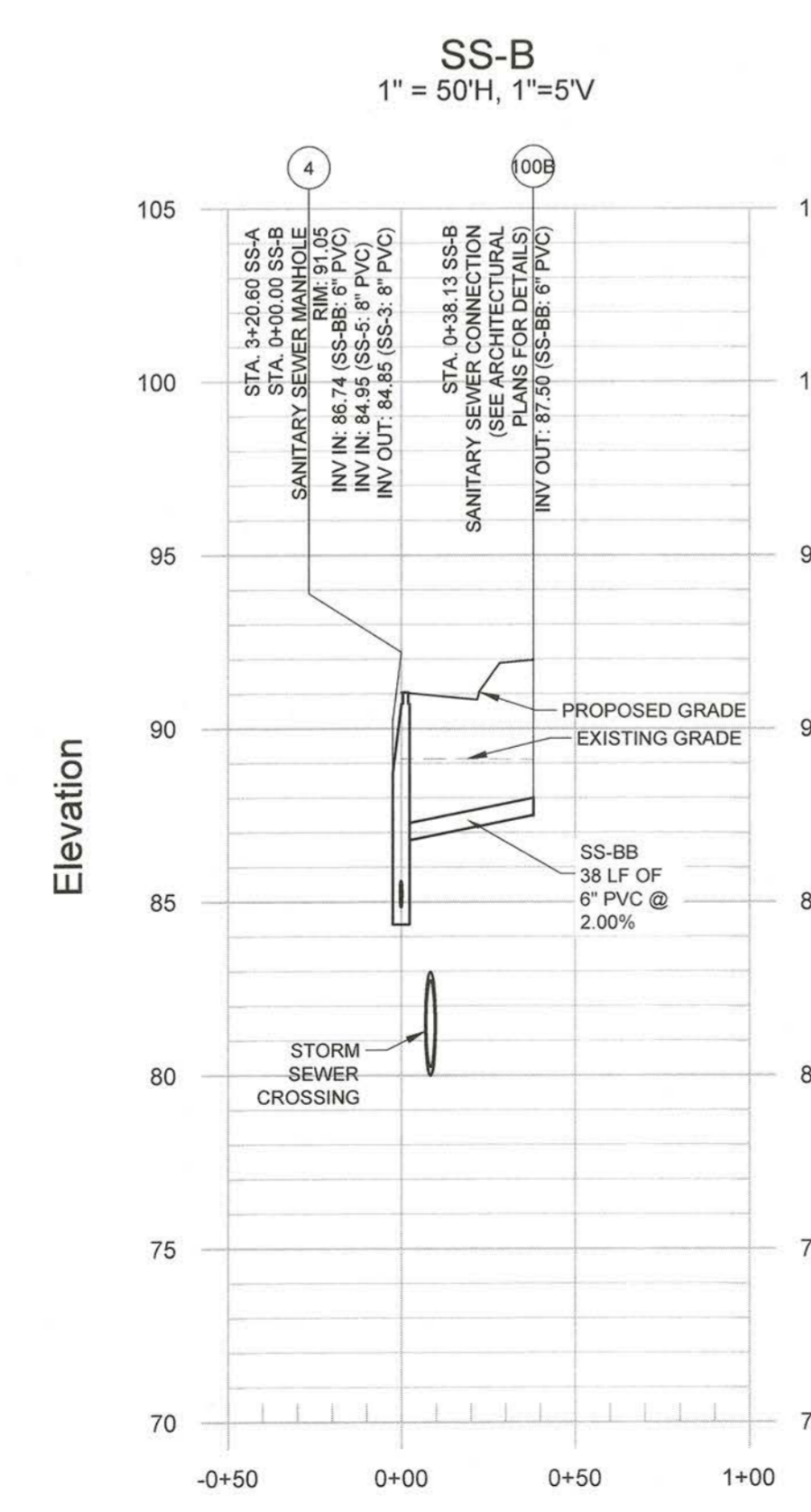
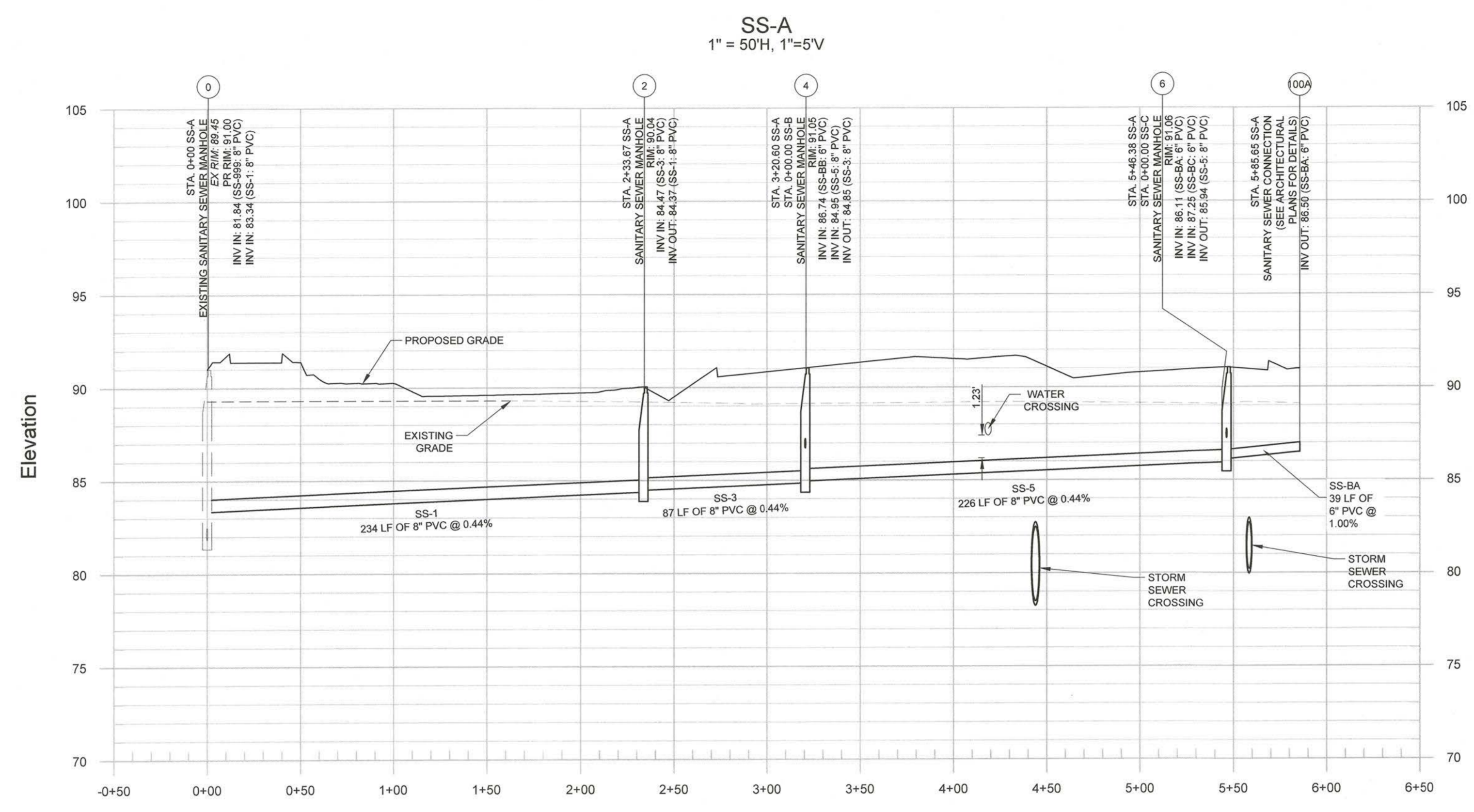
REVISIONS	DATE
COUNTY COMMENTS	04/10/2017
MUD / DRAINAGE DISTRICT COMMENTS	07/21/2017
MUD COMMENTS	09/19/2017

PROJECT MANAGER:	DN
DRAWING BY:	PA
JURISDICTION:	FORT BEND COUNTY
DATE:	01/03/2017
TITLE:	1" = 40'

UTILITIES PLAN  
SHEET NUMBER:  
**C-3.1**  
COMMENTS: NOT RELEASED FOR CONSTRUCTION  
JOB/FILE NUMBER: 693.011

**GENERAL NOTES:**

- 1) PIPE LENGTHS REFLECT THE PIPES LINEAR LENGTH AND ARE SHOWN FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- 2) EXISTING UTILITY DEPTHS ARE APPROXIMATED BASED ON 4 FT COVER FROM THE EXISTING GROUND SURFACE. PROPOSED UTILITY DEPTHS ARE BASED ON 4 FT OF COVER FROM THE PROPOSED GROUND SURFACE UNLESS SHOWN OTHERWISE. CONTRACTOR SHALL FIELD VERIFY ALL UTILITY DEPTHS AT CROSSING AND CONTACT ENGINEER IMMEDIATELY IF CONFLICTS ARE ENCOUNTERED.
- 3) CONTRACTOR TO FIELD VERIFY EXISTING ELEVATIONS OF UTILITIES IN RIGHT OF WAY TO AVOID CONFLICTS. CONTACT ENGINEER IMMEDIATELY IF FIELD ELEVATIONS DIFFER FROM THE DESIGN DRAWINGS.
- 4) ALL EXISTING INFORMATION SHOWN FOR THE PROVISION AT FOUR CORNERS DEVELOPMENT IS DERIVED FROM THE PREVIOUS DESIGN PLANS BY FORESITE GROUP, INC. DATED 01/04/2017. CONTRACTOR SHOULD FIELD VERIFY THE LOCATION AND EXISTENCE OF ALL EXISTING UTILITIES AND PERTINENT ITEMS ON THE PROVISION AT FOUR CORNERS PROPERTY.



*Max*  
FBC DEVELOPMENT COORDINATOR  
DATE: 10/31/17

ENGINEER:  
**FORESITE**  
group  
 TBPE Firm No. F-12878  
 Foresite Group, Inc.  
 1999 Bryan St. Suite 890  
 Dallas, TX 75201  
 D/B/A Foresite Consulting Group of Texas, Inc.  
 | 214.939.7123  
 | 888.765.8135  
 | www.fg-inc.net

OWNER:  
**GARDNER CAPITAL**  
 2501 N. HARWOOD ST, SUITE 1501  
 DALLAS, TX 75201  
 (417) 447-5538  
 CONTACT: MR. RUBEN ESQUEDA

PROJECT:  
**GALA AT FOUR CORNERS**  
 15010 OLD RICHMOND ROAD  
 SUGAR LAND, FORT BEND COUNTY, TX 77498



REVISIONS	DATE
COUNTY COMMENTS	04/10/2017
MUD / DRAINAGE DISTRICT COMMENTS	07/21/2017
MUD COMMENTS	08/19/2017

PROJECT MANAGER: DN  
 DRAWING BY: PA  
 JURISDICTION: FORT BEND COUNTY  
 DATE: 01/03/2017  
 AS SHOWN

**SANITARY SEWER PROFILES**

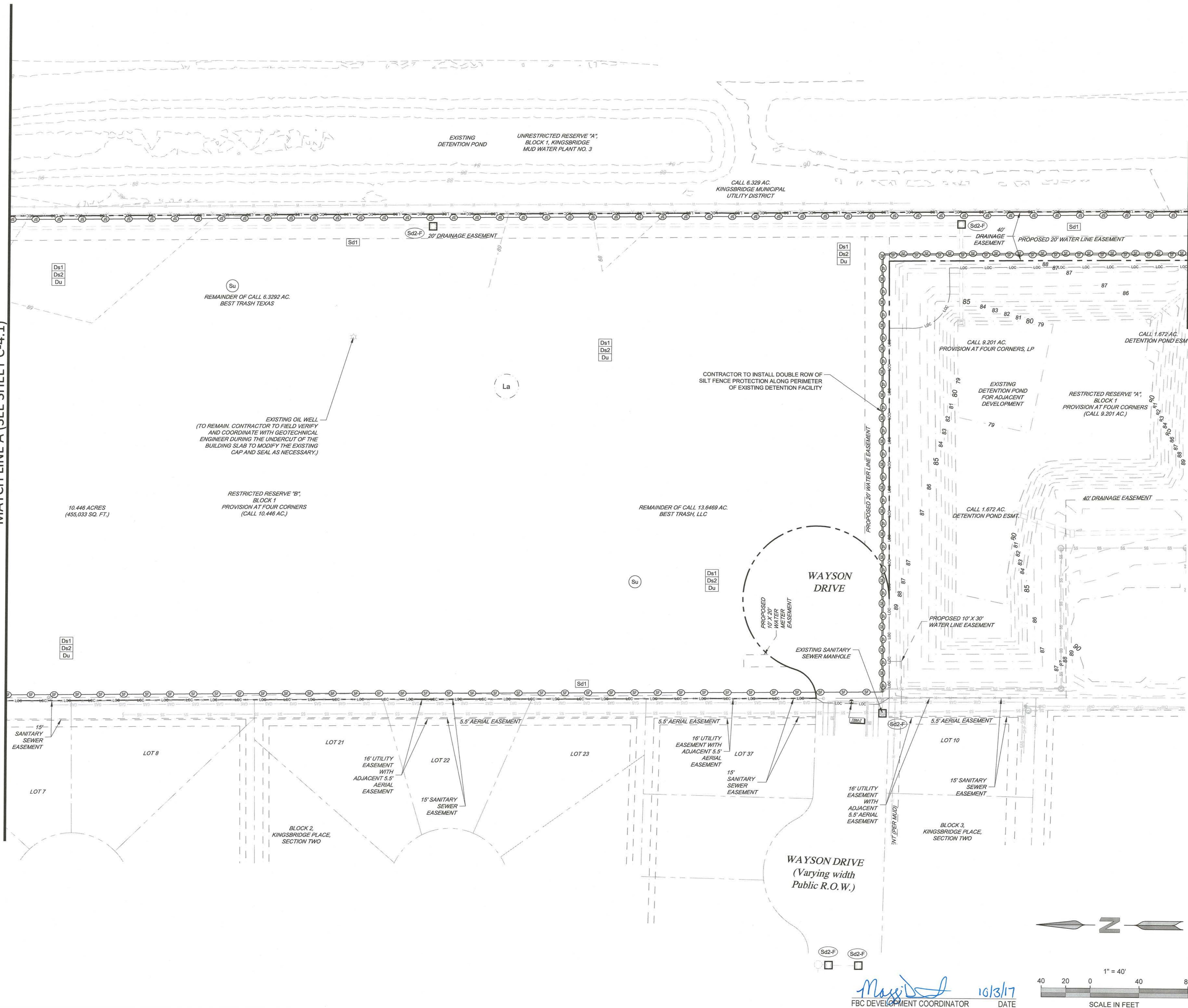
SHEET NUMBER: **C-3.2**  
 COMMENTS: NOT RELEASED FOR CONSTRUCTION  
 JOB/FILE NUMBER: 693.011

EROSION AND SEDIMENT CONTROL LEGEND			
CODE	PRACTICE	DETAIL	MAP SYMBOL
Cd	CHECKDAM		
Co	CONSTRUCTION ENTRANCE		
Sd1	SEDIMENT BARRIER		
Sd2-F	INLET SEDIMENT TRAP FILTER FABRIC WITH SUPPORTING FRAME		
Su	SURFACE ROUGHENING		
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)		
Ds2	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)		
Du	DUST CONTROL ON DISTURBED AREAS		
	LIMITS OF CONSTRUCTION	N/A	

SOIL TYPE	
	LAKE CHARLES CLAY, 0 TO 1 PERCENT SLOPES

- GENERAL NOTES:**
- CONTRACTOR SHALL PROVIDE A COPY OF THE TCEQ NOI & SWPPP TO MILLER & ASSOCIATES PRIOR TO START OF CONSTRUCTION.
  - ALL EXISTING INFORMATION SHOWN FOR THE PROVISION AT FOUR CORNERS DEVELOPMENT IS DEPICTED FROM THE PREVIOUS DESIGN PLANS BY FORESITE GROUP, INC. DATED 01/04/2017. CONTRACTOR SHOULD FIELD VERIFY THE LOCATION AND EXISTENCE OF ALL EXISTING UTILITIES AND PERTINENT ITEMS ON THE PROVISION AT FOUR CORNERS PROPERTY.

MATCH LINE A (SEE SHEET C-4.1)



MATCH LINE B (SEE SHEET C-4.1)

ENGINEER:  
**FORESITE**  
 group  
 TBPE Firm No. F-12878  
 Foresite Group, Inc.  
 1999 Bryan St. o | 214.939.7123  
 Suite 890 f | 888.765.8135  
 Dallas, TX 75201 w | www.fg-inc.net  
 D/B/A Foresite Consulting Group of Texas, Inc.

OWNER:  
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 2501 N. HARWOOD ST., SUITE 1501  
 DALLAS, TX 75201  
 (417) 447-5538  
 CONTACT: MR. RUBEN ESQUEDA

PROJECT:  
**GALA AT FOUR CORNERS**  
 15010 OLD RICHMOND ROAD  
 SUGAR LAND, FORT BEND COUNTY, TX 77498

SEAL:

REVISIONS	DATE
COUNTY COMMENTS	04/10/2017
MUD / DRAINAGE DISTRICT COMMENTS	07/21/2017
MUD COMMENTS	09/19/2017

PROJECT MANAGER:	DN
DRAWING BY:	PA
JURISDICTION:	FORT BEND COUNTY
DATE:	01/03/2017
TITLE:	1" = 40'

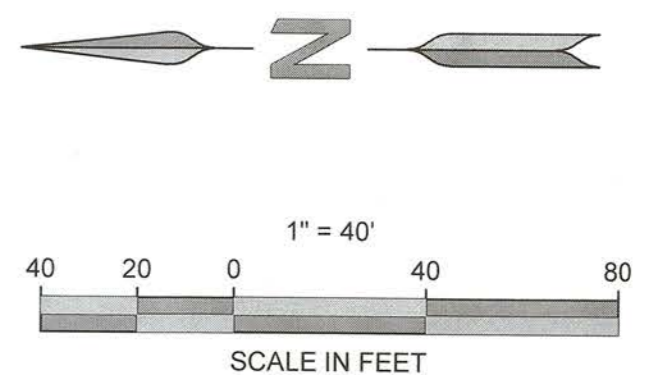
INITIAL EROSION & SEDIMENT CONTROL PLAN

SHEET NUMBER:  
**C-4**

COMMENTS: NOT RELEASED FOR CONSTRUCTION

JOB/FILE NUMBER:  
 693.011

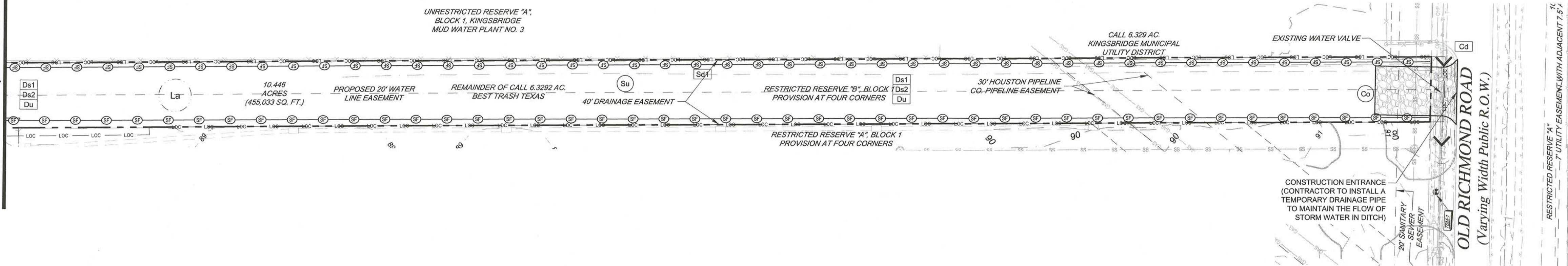
*Max*  
 FBC DEVELOPMENT COORDINATOR  
 10/3/17  
 DATE



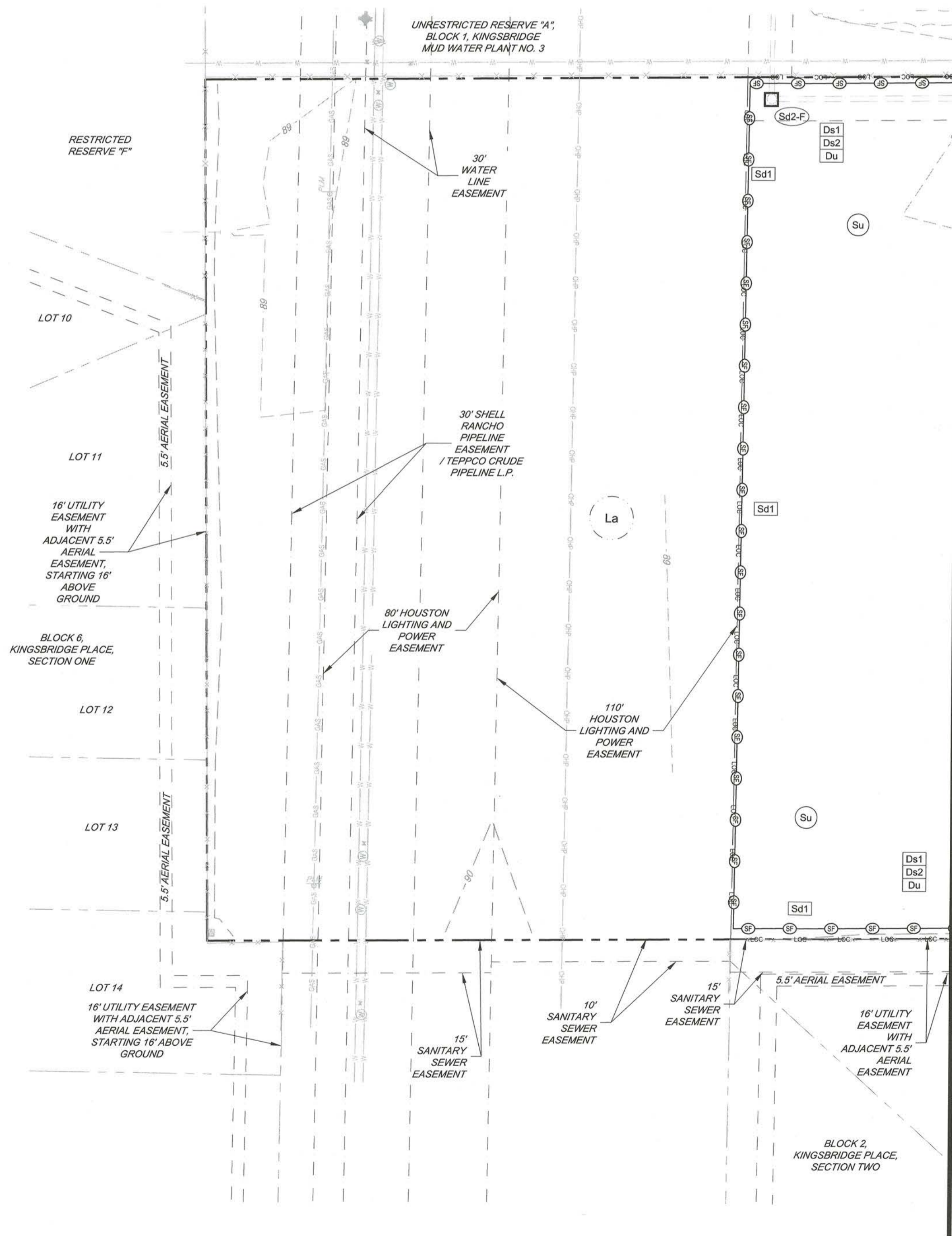
EROSION AND SEDIMENT CONTROL LEGEND			
CODE	PRACTICE	DETAIL	MAP SYMBOL
Cd	CHECKDAM		
Co	CONSTRUCTION ENTRANCE		
Sd1	SEDIMENT BARRIER		
Sd2-F	INLET SEDIMENT TRAP FILTER FABRIC WITH SUPPORTING FRAME		
Su	SURFACE ROUGHENING		
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)		
Ds2	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)		
Du	DUST CONTROL ON DISTURBED AREAS		
	LIMITS OF CONSTRUCTION	N/A	

SOIL TYPE  
 La LAKE CHARLES CLAY, 0 TO 1 PERCENT SLOPES

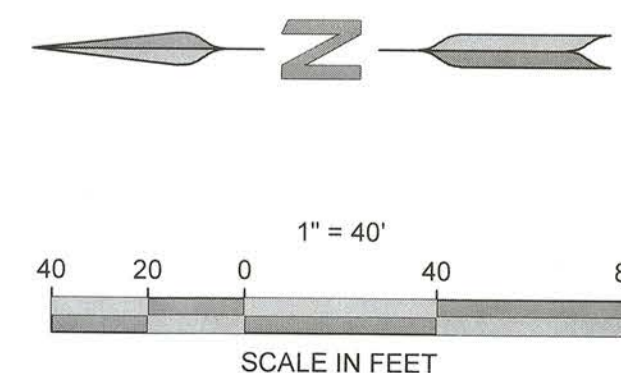
MATCH LINE B (SEE SHEET C-4)



- GENERAL NOTES:**
- CONTRACTOR SHALL PROVIDE A COPY OF THE TCEQ NOI & SWPPP TO MILLER & ASSOCIATES PRIOR TO START OF CONSTRUCTION.
  - ALL EXISTING INFORMATION SHOWN FOR THE PROVISION AT FOUR CORNERS DEVELOPMENT IS DEPICTED FROM THE PREVIOUS DESIGN PLANS BY FORESITE GROUP, INC. DATED 01/04/2017. CONTRACTOR SHOULD FIELD VERIFY THE LOCATION AND EXISTENCE OF ALL EXISTING UTILITIES AND PERTINENT ITEMS ON THE PROVISION AT FOUR CORNERS PROPERTY.



MATCH LINE A (SEE SHEET C-4)



*Maxi D.*  
 FBC DEVELOPMENT COORDINATOR  
 DATE 10/31/17

ENGINEER:  
**FORESITE group**  
 TBPE Firm No. F-12878  
 ForeSite Group, Inc.  
 1999 Bryan St. Suite 890  
 Dallas, TX 75201  
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 D/B/A ForeSite Consulting Group of Texas, Inc.

OWNER:  
**GARDNER CAPITAL**  
 2501 N. HARWOOD ST, SUITE 1501  
 DALLAS, TX 75201  
 (417) 447-5538  
 CONTACT: MR. RUBEN ESQUEDA

PROJECT:  
**GALA AT FOUR CORNERS**  
 15010 OLD RICHMOND ROAD  
 SUGAR LAND, FORT BEND COUNTY, TX 77498



REVISIONS	DATE
COUNTY COMMENTS	04/10/2017
MUD / DRAINAGE DISTRICT COMMENTS	07/21/2017
MUD COMMENTS	08/19/2017

PROJECT MANAGER: DN  
 DRAWING BY: PA  
 JURISDICTION: FORT BEND COUNTY  
 DATE: 01/03/2017  
 1" = 40'

INITIAL EROSION & SEDIMENT CONTROL PLAN  
 SHEET NUMBER: **C-4.1**  
 COMMENTS: NOT RELEASED FOR CONSTRUCTION  
 JOB/FILE NUMBER: 693.011

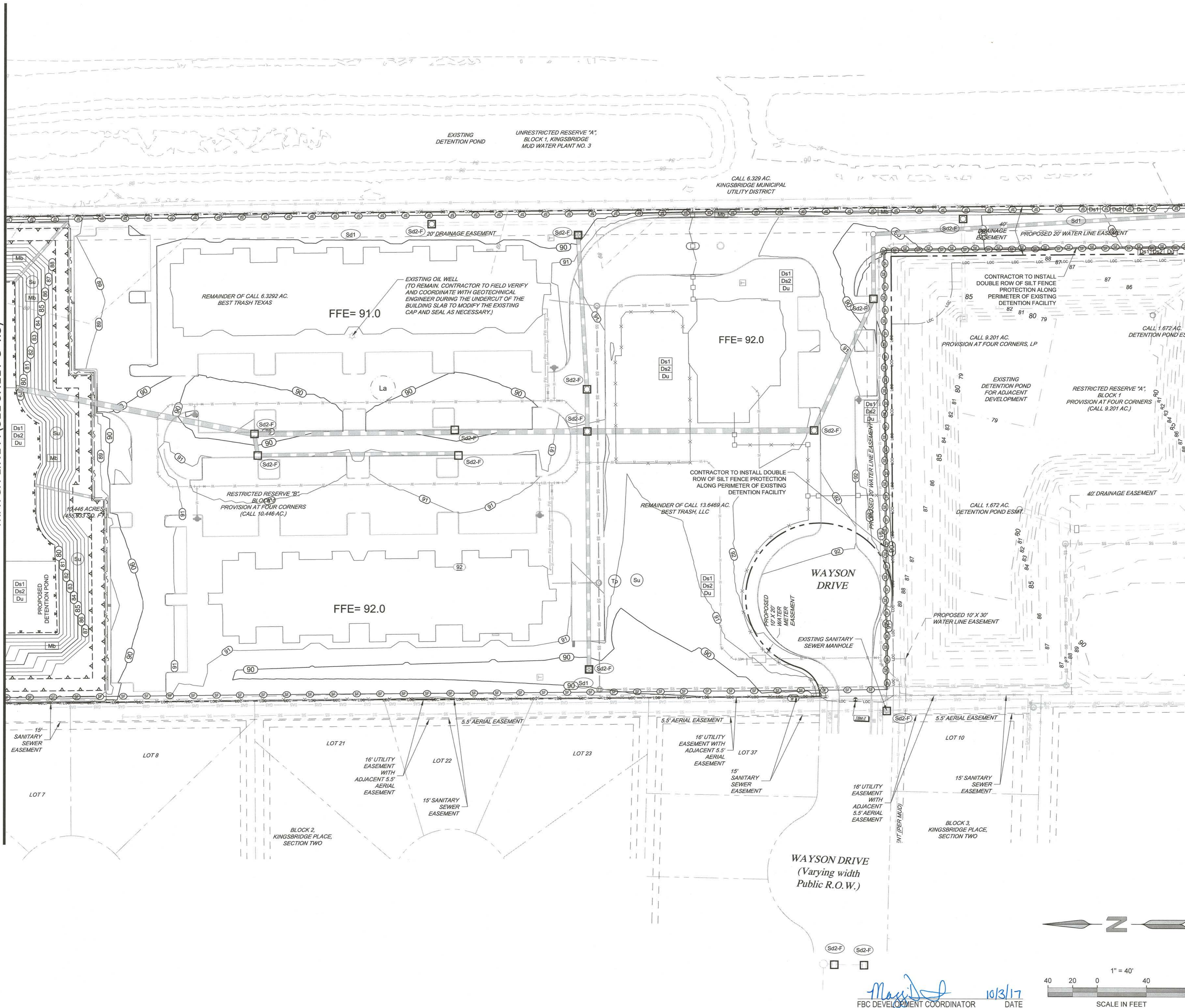
EROSION AND SEDIMENT CONTROL LEGEND			
CODE	PRACTICE	DETAIL	MAP SYMBOL
Cd	CHECKDAM		✓
Co	CONSTRUCTION ENTRANCE		Co
Cw	CONCRETE WASHOUT AREA		Cw
Fr	FILTER RING		Fr
Sd1	SEDIMENT BARRIER		⊕
Sd2-F	INLET SEDIMENT TRAP FILTER FABRIC WITH SUPPORTING FRAME		□
Su	SURFACE ROUGHENING		Su
Tp	TOPSOILING		Tp
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)		Ds1
Ds2	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)		Ds2
Du	DUST CONTROL ON DISTURBED AREAS		Du
Mb	MATTING AND BLANKETING		Mb
	LIMITS OF CONSTRUCTION	N/A	LOC

SOIL TYPE  
La LAKE CHARLES CLAY,  
0 TO 1 PERCENT SLOPES

**GENERAL NOTES:**

- CONTRACTOR SHALL PROVIDE A COPY OF THE TCEQ NOI & SWPPP TO MILLER & ASSOCIATES PRIOR TO START OF CONSTRUCTION.
- ALL EXISTING INFORMATION SHOWN FOR THE PROVISION AT FOUR CORNERS DEVELOPMENT IS DEPICTED FROM THE PREVIOUS DESIGN PLANS BY FORESITE GROUP, INC. DATED 01/04/2017. CONTRACTOR SHOULD FIELD VERIFY THE LOCATION AND EXISTENCE OF ALL EXISTING UTILITIES AND PERTINENT ITEMS ON THE PROVISION AT FOUR CORNERS PROPERTY.

MATCH LINE A (SEE SHEET C-4.3)



MATCH LINE B (SEE SHEET C-4.3)

ENGINEER:  
**FORESITE group**  
TBPE Firm No. F-12878  
Foresite Group, Inc.  
1999 Bryan St. Suite 890  
Dallas, TX 75201  
o | 214.939.7123  
f | 888.765.8135  
w | www.fg-inc.net  
D/B/A Foresite Consulting Group of Texas, Inc.

OWNER:  
**GARDNER CAPITAL**  
2501 N. HARWOOD ST, SUITE 1501  
DALLAS, TX 75201  
(417) 447-5538  
CONTACT: MR. RUBEN ESQUEDA

PROJECT:  
**GALA AT FOUR CORNERS**  
15010 OLD RICHMOND ROAD  
SUGAR LAND, FORT BEND COUNTY, TX 77498

SEAL:

REVISIONS	DATE
COUNTY COMMENTS	04/10/2017
MUD / DRAINAGE DISTRICT COMMENTS	07/21/2017
MUD COMMENTS	09/19/2017

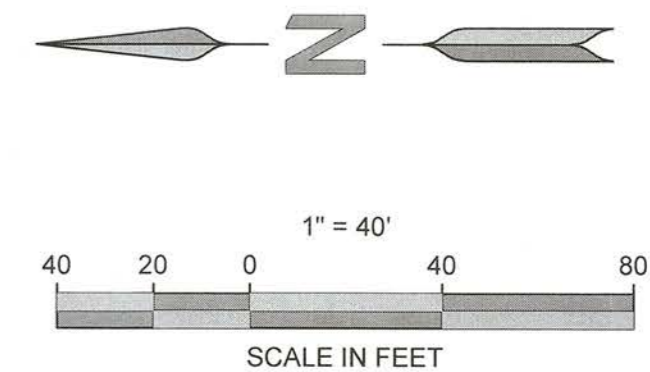
PROJECT MANAGER:	DN
DRAWING BY:	PA
JURISDICTION:	FORT BEND COUNTY
DATE:	01/03/2017
TITLE:	1" = 40'

**INTERMEDIATE EROSION & SEDIMENT CONTROL PLAN**

SHEET NUMBER:  
**C-4.2**  
COMMENTS: NOT RELEASED FOR CONSTRUCTION  
JOBFILE NUMBER: 693.011



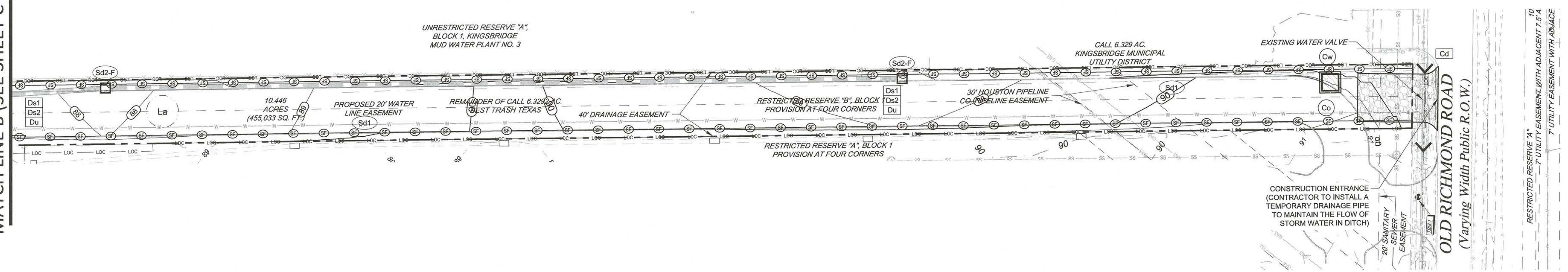
*Max J. ...*  
FBC DEVELOPMENT COORDINATOR  
DATE: 10/3/17



EROSION AND SEDIMENT CONTROL LEGEND			
CODE	PRACTICE	DETAIL	MAP SYMBOL
Cd	CHECKDAM		
Co	CONSTRUCTION ENTRANCE		
Cw	CONCRETE WASHOUT AREA		
Fr	FILTER RING		
Sd1	SEDIMENT BARRIER		TYPE "C" SILT FENCE
Sd2-F	INLET SEDIMENT TRAP FILTER FABRIC WITH SUPPORTING FRAME		
Su	SURFACE ROUGHENING		
Tp	TOPSOILING		
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)		
Ds2	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)		
Du	DUST CONTROL ON DISTURBED AREAS		
Mb	MATTING AND BLANKETING		
	LIMITS OF DISTURBANCE	N/A	

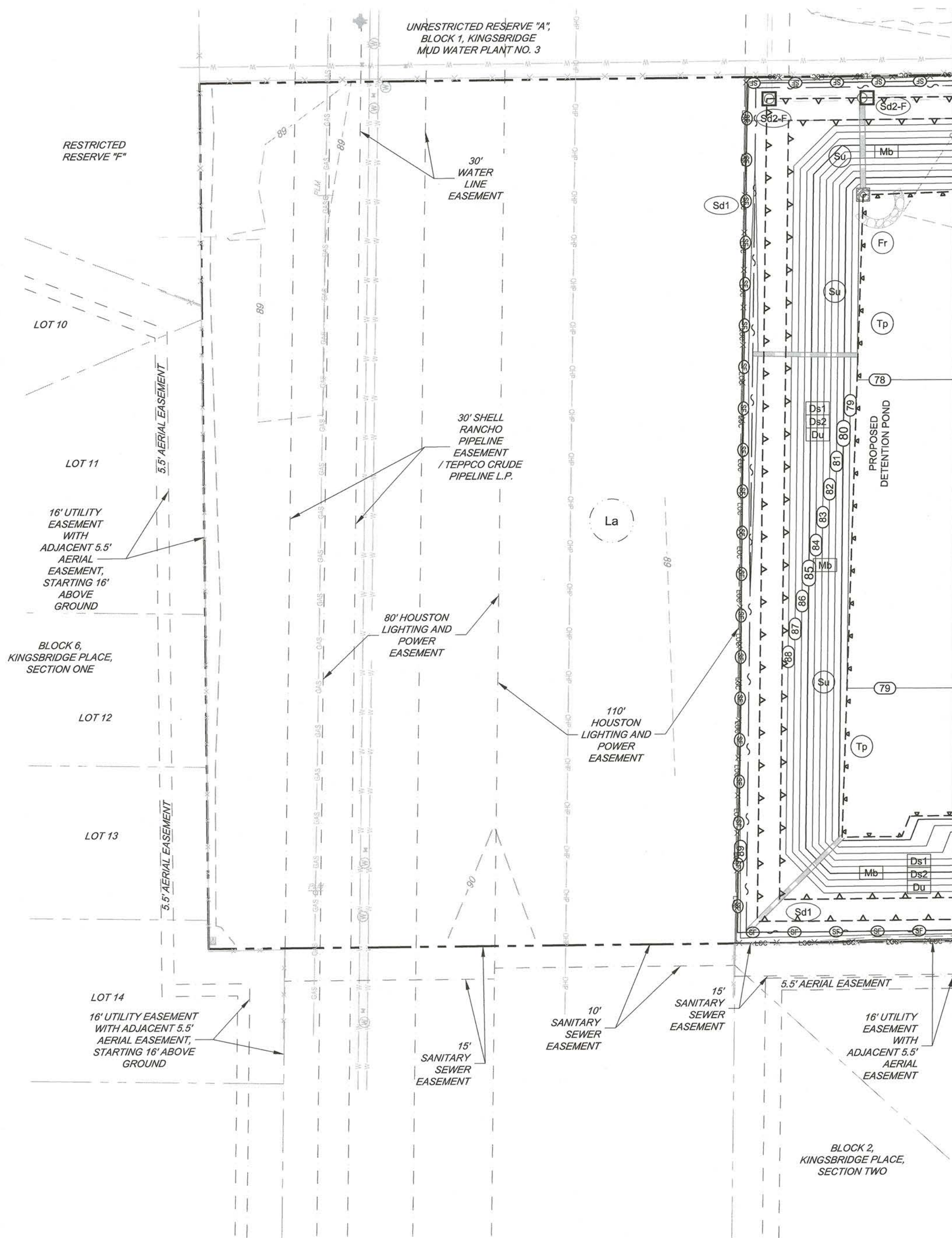
SOIL TYPE  
 LAKE CHARLES CLAY, 0 TO 1 PERCENT SLOPES

MATCH LINE B (SEE SHEET C-4.2)

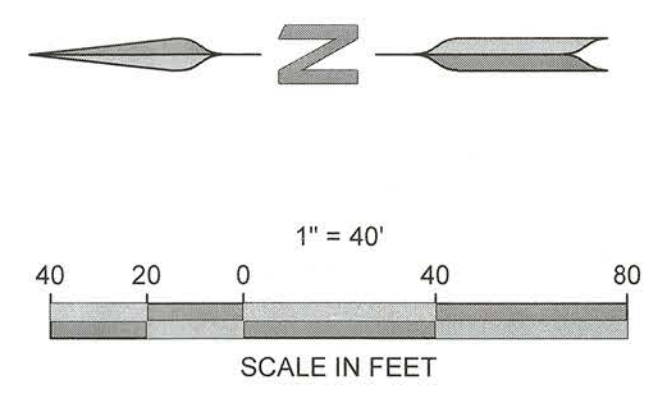


**GENERAL NOTES:**

- CONTRACTOR SHALL PROVIDE A COPY OF THE TCEQ NOI & SWPPP TO MILLER & ASSOCIATES PRIOR TO START OF CONSTRUCTION.
- ALL EXISTING INFORMATION SHOWN FOR THE PROVISION AT FOUR CORNERS DEVELOPMENT IS DEPICTED FROM THE PREVIOUS DESIGN PLANS BY FORESITE GROUP, INC. DATED 01/04/2017. CONTRACTOR SHOULD FIELD VERIFY THE LOCATION AND EXISTENCE OF ALL EXISTING UTILITIES AND PERTINENT ITEMS ON THE PROVISION AT FOUR CORNERS PROPERTY.



MATCH LINE A (SEE SHEET C-4.2)



ENGINEER:  
**FORESITE**  
 group  
 TBPE Firm No. F-12878  
 Foresite Group, Inc.  
 1999 Bryan St. Suite 890  
 Dallas, TX 75201  
 D/B/A Foresite Consulting Group of Texas, Inc.  
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 w | www.fg-inc.net

OWNER:  
**GARDNER CAPITAL**  
 2501 N. HARWOOD ST, SUITE 1501  
 DALLAS, TX 75201  
 (417) 447-5538  
 CONTACT: MR. RUBEN ESQUEDA

**GALA AT FOUR CORNERS**  
 15010 OLD RICHMOND ROAD  
 SUGAR LAND, FORT BEND COUNTY, TX 77498



REVISIONS	DATE
COUNTY COMMENTS	04/10/2017
MUD / DRAINAGE DISTRICT COMMENTS	07/21/2017
MUD COMMENTS	09/19/2017

PROJECT MANAGER: DN  
 DRAWING BY: PA  
 JURISDICTION: FORT BEND COUNTY  
 DATE: 01/03/2017  
 1" = 40'

INTERMEDIATE EROSION & SEDIMENT CONTROL PLAN

SHEET NUMBER:  
**C-4.3**  
 COMMENTS: NOT RELEASED FOR CONSTRUCTION  
 JOB/FILE NUMBER: 693.011



*Mason*  
 FBC DEVELOPMENT COORDINATOR  
 10/31/17  
 DATE

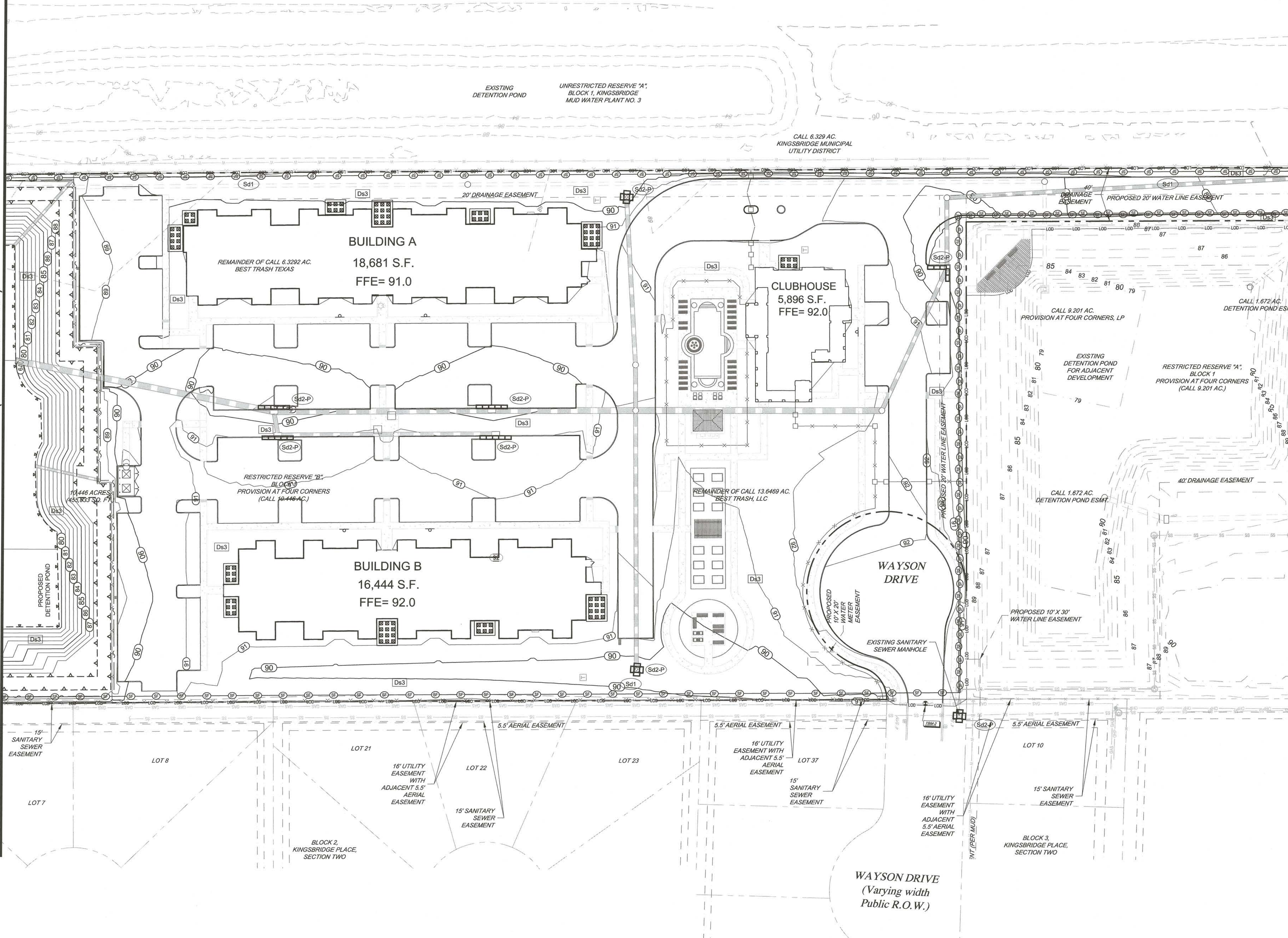
EROSION AND SEDIMENT CONTROL LEGEND			
CODE	PRACTICE	DETAIL	MAP SYMBOL
Cd	CHECKDAM		
Fr	FILTER RING		
Sd1	SEDIMENT BARRIER		
Sd2-P	INLET SEDIMENT TRAP CURB INLET PROTECTION		
Ds3	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)		
	LIMITS OF DISTURBANCE	N/A	

SOIL TYPE	
	LAKE CHARLES CLAY 0 TO 1 PERCENT SLOPES

**GENERAL NOTES:**

- CONTRACTOR SHALL PROVIDE A COPY OF THE TCEQ NOI & SWPPP TO MILLER & ASSOCIATES PRIOR TO START OF CONSTRUCTION.
- ALL EXISTING INFORMATION SHOWN FOR THE PROVISION AT FOUR CORNERS DEVELOPMENT IS DEPICTED FROM THE PREVIOUS DESIGN PLANS BY FORESITE GROUP, INC. DATED 01/04/2017. CONTRACTOR SHOULD FIELD VERIFY THE LOCATION AND EXISTENCE OF ALL EXISTING UTILITIES AND PERTINENT ITEMS ON THE PROVISION AT FOUR CORNERS PROPERTY.

MATCH LINE A (SEE SHEET C-4.5)



MATCH LINE B (SEE SHEET C-4.5)

ENGINEER:  
**FORESITE group**  
 TBPE Firm No. F-12878  
 Foresite Group, Inc.  
 1999 Bryan St. Suite 890  
 Dallas, TX 75201  
 o | 214.939.7123  
 f | 888.765.8135  
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OWNER:  
**GARDNER CAPITAL**  
 2501 N. HARWOOD ST. SUITE 1501  
 DALLAS, TX 75201  
 (417) 447-5538  
 CONTACT: MR. RUBEN ESQUEDA

PROJECT:  
**GALA AT FOUR CORNERS**  
 15010 OLD RICHMOND ROAD  
 SUGAR LAND, FORT BEND COUNTY, TX 77498

SEAL:  
  
 JOHN B. RHODES, JR.  
 112311  
 LICENSED PROFESSIONAL ENGINEER  
 CIVIL/ENR

REVISIONS	DATE
COUNTY COMMENTS	04/10/2017
MUD / DRAINAGE DISTRICT COMMENTS	07/21/2017
MUD COMMENTS	09/19/2017

PROJECT MANAGER:	DN
DRAWING BY:	PA
JURISDICTION:	FORT BEND COUNTY
DATE:	01/03/2017
TITLE:	1" = 40'

**FINAL EROSION & SEDIMENT CONTROL PLAN**

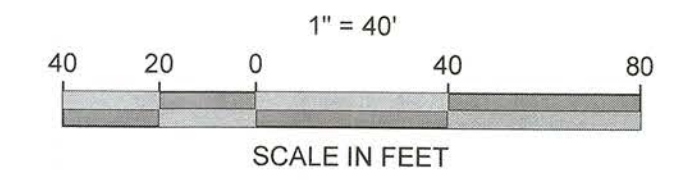
SHEET NUMBER: **C-4.4**

COMMENTS: NOT RELEASED FOR CONSTRUCTION

JOB/FILE NUMBER: 693.011



*Mary D.* 10/3/17  
 FBC DEVELOPMENT COORDINATOR DATE





**EROSION CONTROL NOTES:**

- 1) THE CONTRACTOR SHALL PREPARE AND MAINTAIN A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH TCEQ REGULATIONS. CONTRACTOR SHALL PROVIDE KINGSBRIDGE MUD WITH A COPY OF THE TCEQ NOI WHEN IT IS FILED.
- 2) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN QUALIFIED PROFESSIONAL ADVICE WHEN QUESTIONS ARISE CONCERNING DESIGN AND EFFECTIVENESS OF EROSION CONTROL DEVICES. 24 HR CONTACT: MR. JOHN B. RHODES, JR., PE (214) 939-7123. CONTRACTOR SHALL INFORM ENGINEER WHEN CONSTRUCTION BEGINS.
- 3) THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES SHALL TAKE PLACE PRIOR TO OR CONCURRENT WITH ALL LAND DISTURBING ACTIVITIES THROUGHOUT THE ENTIRE PROJECT.
- 4) ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- 5) EROSION AND SEDIMENT CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- 6) THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, ALL LAND DISTURBING ACTIVITIES THROUGHOUT THE ENTIRE PROJECT.
- 7) SEDIMENT STORAGE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, INDICATING THE 1/3 FULL VOLUME.
- 8) THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT WHEN THE ACCUMULATED SILT IS ONE-THIRD (1/3) FULL FOR ALL EROSION & SEDIMENT CONTROL STRUCTURES.
- 9) MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE PROPERTY OWNER.
- 10) A 25-FOOT UNDISTURBED BUFFER IS TO BE MAINTAINED ADJACENT TO ALL STREAMS.
- 11) DETENTION POND, DETENTION OUTLET STRUCTURES AND TEMPORARY SEDIMENT POND FEATURES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION.
- 12) ALL FILL SLOPES SHALL HAVE SILT FENCE PLACED AT THE SLOPE'S TOE.
- 13) CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2.5:1 WITH A HEIGHT OF TEN FEET OR GREATER SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING.
- 14) THE PROFESSIONAL WHO SEALS THIS PLAN CERTIFIES UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY THE PROFESSIONAL OR THE PROFESSIONAL'S AUTHORIZED AGENT, UNDER THE PROFESSIONAL'S DIRECT SUPERVISION.
- 15) EROSION CONTROL DEVICES THAT ARE INSTALLED AS DIRECTED BY THE LAND DEVELOPMENT INSPECTOR BUT NOT SHOWN ON THE APPROVED PLAN AND WHICH ALSO SUBSEQUENTLY FAIL, ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- 16) ALL TEMPORARY AND PERMANENT SEEDING MUST BE PERFORMED AT THE APPROPRIATE SEASON. ADDITIONAL PLANTINGS WILL BE NECESSARY IF A SUFFICIENT STAND OF GRASS FAILS TO GROW.
- 17) TOPSOIL SHALL BE STOCKPILED AND USED TO DRESS FINAL GRADES.
- 18) NO PORTION OF THE SUBJECT PROPERTY LIES WITHIN A 100 YEAR FLOOD HAZARD AREA PER FIRM MAP NUMBER 48157C0145L DATED 04/02/2014.
- 19) THE CONTRACTOR WILL CLEAN OUT ACCUMULATED SILT IN THE STORM DRAINAGE PIPES AT END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
- 20) ALL LOTS WITH WET LAND OR WITHIN A DAM ZONE SHALL BE DENOTED WITH AN ASTERISK.
- 21) APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY FORT BEND COUNTY OR TCEQ OF ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS AND/OR WHICH MAY IMPACT ENDANGERED SPECIES. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY DISTURBANCE WHICH MAY HAVE THIS EFFECT.
- 22) ALL CONSTRUCTION SHALL COMPLY WITH THE SPECIFICATIONS AND PROCEDURES DETAILED IN THE CURRENT DEVELOPMENT REGULATIONS OF FORT BEND COUNTY.
- 23) TWO ROWS OF SILT FENCE SHALL BE INSTALLED ADJACENT TO STATE WATERS AND WILL PROTECT STATE WATERS FROM ANY LAND DISTURBING ACTIVITIES.
- 24) ALL SLOPES AND AREAS DISTURBED DURING CONSTRUCTION SHALL BE GRADED SMOOTH AND 4" OF TOPSOIL APPLIED. THE AREA SHALL THEN BE SEED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL A HEALTHY STAND OF PERMANENT VEGETATION HAS BEEN ESTABLISHED FOR ALL DISTURBED AREAS. SEEDS FOR GRASSED AREAS USE THE FOLLOWING MIXTURES.
- 25) ALL SILT BARRIERS MUST BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL TAKE PLACE UNTIL SILT BARRIER INSTALLATION IS COMPLETE.
- 26) SILT BARRIERS SHALL BE PLACED AS SHOWN AND/OR AS DIRECTED BY THE PROJECT ENGINEER AND/OR COUNTY INSPECTORS.
- 27) CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL MEASURES UNTIL CONSTRUCTION IS COMPLETE AND PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- 28) ALL DISTURBED AREAS SHALL BE GRASSED AS SOON AS POSSIBLE AS PER THE SEEDING SCHEDULES AND RATES.
- 29) ALL OPEN DRAINAGE SWALES MUST BE GRASSED AND RIP-RAP PLACED AS REQUIRED TO PREVENT EROSION.
- 30) MAXIMUM SLOPES ON CUT OR FILL SECTIONS SHALL NOT EXCEED 2 TO 1.
- 31) ALL FILL AREAS AND DITCH WORK ON THIS SITE SHALL BE COMPACTED TO A MINIMUM 95% STANDARD PROCTOR.
- 32) ALL DRAINAGE STRUCTURES SHALL HAVE RING AND COVER ACCESS.
- 33) SECONDARY PERMITTEES SHALL BE RESPONSIBLE FOR RETURNING AREAS DISTURBED DURING THEIR ACTIVITIES TO THE CONDITION PRIOR TO THEIR DISTURBANCE (TO INCLUDE SEEDING, STRAW, OR OTHER PRE-EXISTING BMP CONTROLS APPLIED).
- 34) EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS.
- 35) INSPECTIONS ARE TO BE MADE AFTER EACH RAINFALL EVENT AND SILT ACCUMULATIONS SHALL BE REMOVED FROM ANY SEDIMENT BASINS AND PLACED AT A STABLE LOCATION WHERE IT IS TO BE SEED AND MULCHED.
- 36) SEE EROSION CONTROL DETAIL SHEET FOR EROSION CONTROL DETAILS.
- 37) RED LINE COMMENTS ON WORKING SETS OF PLANS SHOULD BE MAINTAINED ON SITE FOR ANY CHANGES MADE TO EROSION CONTROL PLAN. COMMENTS SHOULD INCLUDE DATE AND JUSTIFICATION FOR CHANGES.
- 38) PRIOR TO ANY OTHER CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT EACH POINT OF ENTRY TO OR EXIT FROM THE SITE. ANY MUD, DIRT, OR ROCK TRACKED FROM THE SITE WILL BE CLEANED AS NECESSARY. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE SHALL BE COVERED WITH A TARP/AULIN.
- 39) PRIOR TO COMMENCING LAND DISTURBING ACTIVITY, THE LIMITS OF DISTURBANCE SHALL BE CLEARLY AND ACCURATELY MARKED WITH STAKES, RIBBON OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBANCE SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY. NO LAND DISTURBANCE SHALL OCCUR OUTSIDE THE APPROVED LIMITS INDICATED ON THE APPROVED PLANS.
- 40) IMMEDIATELY AFTER THE ESTABLISHMENT OF CONSTRUCTION ENTRANCE/EXITS, ALL PERIMETER EROSION CONTROL SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.

**GENERAL NOTES:**

- THIS PLAN INCLUDES, AS A MINIMUM, BEST MANAGEMENT PRACTICES, INCLUDING SOUND CONSERVATION AND ENGINEERING PRACTICES TO PREVENT AND MINIMIZE EROSION AND RESULTANT SEDIMENTATION.
  - 1) STRIPPING OF VEGETATION, CUT AND FILL OPERATIONS, AND OTHER DEVELOPMENT ACTIVITIES WILL BE CONDUCTED IN A MANNER SO AS TO MINIMIZE EROSION.
  - 2) DEVELOPMENT PLANS CONFORM TO TOPOGRAPHY AND SOIL TYPE, SO AS TO CREATE THE LOWEST PRACTICABLE EROSION POTENTIAL.
  - 3) THE DISTURBED AREA AND THE DURATION OF EXPOSURE TO EROSION ELEMENTS WILL BE KEPT TO A PRACTICAL MINIMUM. WHENEVER FEASIBLE, NATURAL VEGETATION WILL BE RETAINED, PROTECTED, AND SUPPLEMENTED.
  - 4) DISTURBED SOIL WILL BE STABILIZED AS QUICKLY AS PRACTICABLE.
  - 5) TEMPORARY VEGETATION OR MULCHING WILL BE EMPLOYED TO PROTECT EXPOSED CRITICAL AREAS DURING DEVELOPMENT AT A MINIMUM OF EVERY 7 DAYS IF THE SOIL HAS BEEN LEFT UNDISTURBED.
  - 6) PERMANENT VEGETATION AND STRUCTURAL EROSION CONTROL MEASURES WILL BE INSTALLED AS SOON AS PRACTICABLE.
  - 7) TO THE EXTENT NECESSARY, SEDIMENT IN RUN-OFF WATER WILL BE TRAPPED BY THE USE OF DEBRIS BASINS, SILT FENCE, SILT TRAPS, OR SIMILAR MEASURES UNTIL THE DISTURBED AREA IS STABILIZED.
  - 8) ADEQUATE PROVISIONS SHALL BE PROVIDED TO MINIMIZE DAMAGE FROM SURFACE WATER TO THE CUT FACE OF EXCAVATIONS OR THE SLOPING SURFACES OF FILLS.
  - 9) CUTS AND FILLS WILL NOT ENDANGER ADJOINING PROPERTY.
  - 10) FILLS WILL NOT ENCROUGH ON NATURAL WATER COURSES OR CONSTRUCTED CHANNELS IN A MANNER SO AS TO ADVERSELY AFFECT OTHER PROPERTY OWNERS.
  - 11) GRADING EQUIPMENT WILL CROSS FLOWING STREAMS BY THE MEANS OF BRIDGES OR CULVERTS, EXCEPT WHEN SUCH METHODS ARE NOT FEASIBLE, PROVIDED IN ANY CASE THAT SUCH CROSSINGS ARE KEPT TO A MINIMUM.
  - 12) PROVISIONS ARE PROVIDED FOR TREATMENT OR CONTROL OF ANY SOURCE OF SEDIMENTS AND ADEQUATE SEDIMENTATION CONTROL FACILITIES TO RETAIN SEDIMENTS ON SITE OR PRECLUDE SEDIMENTATION OF ADJACENT WATERS BEYOND THE LEVELS TYPED THEREON, OR SPECIFIED IN THE GENERAL NOTES PERMIT NUMBER.
  - 13) FOR COMMON DRAINAGE LOCATIONS A TEMPORARY (OR PERMANENT) SEDIMENT BASIN PROVIDING AT LEAST 67 CUBIC YARDS OF STORAGE PER ACRE DRAINED, OR EQUIVALENT CONTROL MEASURES, SHALL BE PROVIDED UNTIL FINAL STABILIZATION OF THE SITE. THE 67 CUBIC YARDS OF STORAGE AREA PER ACRE DRAINED DOES NOT APPLY TO FLOWS FROM OFF-SITE AREAS AND FLOWS FROM ON-SITE AREAS THAT ARE EITHER UNDISTURBED OR HAVE UNDERGONE FINAL STABILIZATION WHERE SUCH FLOWS ARE DIVERTED AROUND BOTH THE DISTURBED AREA AND THE SEDIMENT BASIN. FOR DRAINAGE LOCATIONS WHERE A TEMPORARY SEDIMENT BASIN PROVIDING AT LEAST 67 CUBIC YARDS OF STORAGE PER ACRE DRAINED, OR EQUIVALENT CONTROLS IS NOT ATTAINABLE, SEDIMENT TRAPS, SILT FENCES, OR EQUIVALENT SEDIMENT CONTROLS ARE REQUIRED FOR ALL SIDE SLOPE AND DOWN SLOPE BOUNDARIES OF THE CONSTRUCTION AREA. WHEN THE SEDIMENT FILLS TO A VOLUME AT MOST OF 22 CUBIC YARDS PER ACRE FOR EACH DRAINAGE AREA, THE SEDIMENT SHALL BE REMOVED TO RESTORE THE ORIGINAL DESIGN VOLUME. THIS SEDIMENT MUST BE PROPERLY DISPOSED. SEDIMENT BASINS MAY NOT BE APPROPRIATE AT SOME CONSTRUCTION PROJECTS.
  - 14) NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
  - 15) OFF SITE VEHICLE TRACKING OF DIRT, SOILS, AND SEDIMENTS AND THE GENERATION OF DUST SHALL BE MINIMIZED OR ELIMINATED TO THE MAXIMUM EXTENT PRACTICAL.
  - 16) ALL DEVELOPMENT AREAS SHALL MAINTAIN COMPLIANCE WITH APPLICABLE STATE AND/OR LOCAL WASTE DISPOSAL, SANITARY SEWER OR SEPTIC SYSTEM REGULATIONS.
  - 17) A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON THE SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
  - 18) THERE SHALL BE NO ON-SITE STORAGE OF PETROLEUM MOBILE PETROLEUM TRUCKS SHALL BE USED TO FUEL CONSTRUCTION EQUIPMENT ON-SITE. NOTHING IN THIS PERMIT SHALL BE CONSTRUED TO PRECLUDE THE INSTITUTION OF ANY LEGAL ACTION OR RELIEVE THE PERMITTEE FROM ANY RESPONSIBILITIES, LIABILITIES, OR PENALTIES TO WHICH THE PERMITTEE IS OR MAY BE SUBJECT UNDER SECTION 311 OF THE CLEAN WATER ACT OR SECTION 109 OF COMPREHENSIVE ENVIRONMENTAL RESPONSE COMPENSATION AND LIABILITY ACT.
  - 19) IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE A "QUALIFIED PROFESSIONAL" INSPECT AND REPORT ALL DEFICIENCIES OF ALL EROSION CONTROL MEASURES AT A MINIMUM OF EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF EVERY RAIN EVENT.
  - 20) AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
- PERMITTEE REQUIREMENTS FOR INSPECTION:**
- 1) EACH DAY WHEN ANY TYPE OF CONSTRUCTION ACTIVITY HAS TAKEN PLACE AT A PRIMARY PERMITTEE'S SITE, CERTIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE SHALL INSPECT: (A) ALL AREAS AT THE PRIMARY PERMITTEE'S SITE WHERE PETROLEUM PRODUCTS ARE STORED, USED, OR HANDLED FOR SPILLS AND LEAKS FROM VEHICLES AND EQUIPMENT; (B) ALL LOCATIONS AT THE PRIMARY PERMITTEE'S SITE WHERE VEHICLES ENTER OR EXIT THE SITE FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING; AND (C) MEASURE RAINFALL ONCE EACH 24 HOUR PERIOD AT THE SITE. THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.
  - 2) CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT THE FOLLOWING AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES RAINFALL OR GREATER (UNLESS SUCH STORM ENDS AFTER 5:00 PM ON ANY FRIDAY OR ON ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY OR ANY NON-WORKING FEDERAL HOLIDAY IN WHICH CASE THE INSPECTION SHALL BE COMPLETED BY THE END OF THE NEXT BUSINESS DAY AND/OR WORKING DAY, WHICHEVER OCCURS FIRST): (A) DISTURBED AREAS OF THE PRIMARY PERMITTEE'S CONSTRUCTION SITE THAT HAVE NOT UNDERGONE FINAL STABILIZATION; (B) AREAS USED BY THE PRIMARY PERMITTEE FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION THAT HAVE NOT UNDERGONE FINAL STABILIZATION; AND (C) STRUCTURAL CONTROL MEASURES, EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN APPLICABLE TO THE PRIMARY PERMITTEE'S SITE SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS(S). FOR AREAS OF A SITE THAT HAVE UNDERGONE FINAL STABILIZATION, THE PERMITTEE MUST COMPLY WITH PART IV.D.4.A.(3). THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.
  - 3) BASED ON THE RESULTS OF EACH INSPECTION, THE SITE DESCRIPTION AND THE POLLUTION PREVENTION AND CONTROL MEASURES IDENTIFIED IN THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, THE PLAN SHALL BE REVISED AS APPROPRIATE NOT LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION. IMPLEMENTATION OF SUCH CHANGES SHALL BE MADE AS SOON AS PRACTICAL BUT IN NO CASE LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION.
  - 4) A REPORT OF EACH INSPECTION THAT INCLUDES THE NAME(S) OF PERSONNEL MAKING EACH INSPECTION, THE DATE(S) OF EACH INSPECTION, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH PART IV.D.4.A.(4). OF THE PERMIT SHALL BE MADE AND RETAINED AT THE SITE OR BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION UNTIL THE ENTIRE SITE OR THAT PORTION OF A CONSTRUCTION PROJECT THAT HAS BEEN PHASED HAS UNDERGONE FINAL STABILIZATION AND A NOTICE OF TERMINATION IS SUBMITTED TO TCEQ. SUCH REPORTS SHALL IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE. WHERE THE REPORT DOES NOT IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE, THE REPORT SHALL CONTAIN A CERTIFICATION THAT THE CONSTRUCTION SITE IS IN COMPLIANCE WITH THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN AND THIS PERMIT. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH PART V.G. OF THIS PERMIT.

**RETENTION OF RECORDS:**

- 1) THE PRIMARY PERMITTEE SHALL RETAIN THE FOLLOWING RECORDS AT THE CONSTRUCTION SITE OR THE RECORDS SHALL BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOTICE IS SUBMITTED IN ACCORDANCE WITH PART VI.
  - A) A COPY OF ALL NOTICES OF INTENT SUBMITTED TO TCEQ.
  - B) A COPY OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN REQUIRED BY THIS PERMIT.
  - C) A COPY OF ALL INSPECTION REPORTS GENERATED IN ACCORDANCE WITH PART IV.D.4.A. OF THIS PERMIT.
  - D) A COPY OF ALL VIOLATION SUMMARIES AND VIOLATION SUMMARY REPORTS GENERATED IN ACCORDANCE WITH PART III.D.2. OF THIS PERMIT; AND
  - E) DAILY RAINFALL INFORMATION COLLECTED IN ACCORDANCE WITH PART IV.D.4.A.(1)(C) OF THIS PERMIT.
- 2) COPIES OF ALL NOIS, NOTS, REPORTS, PLANS, EROSION, SEDIMENTATION AND POLLUTION CONTROL PLANS, RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT AND ALL OTHER RECORDS REQUIRED BY THIS PERMIT SHALL BE RETAINED BY THE PERMITTEE WHO EITHER PRODUCED OR USED IT FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THAT THE NOT IS SUBMITTED IN ACCORDANCE WITH PART VI OF THIS PERMIT. THESE RECORDS MUST BE MAINTAINED AT THE PERMITTEE'S PRIMARY PLACE OF BUSINESS OR AT A DESIGNATED ALTERNATE LOCATION ONCE THE CONSTRUCTION ACTIVITY HAS CEASED AT THE PERMITTED SITE. THIS PERIOD MAY BE EXTENDED BY REQUEST OF THE TCEQ AT ANY TIME UPON WRITTEN NOTIFICATION TO THE PERMITTEE.

**WASTE DISPOSAL:**

- 1) WASTE MATERIALS: ALL WASTE MATERIALS WILL BE COLLECTED AND STORED TO BE PROPERLY DISPOSED OF AT A LICENSED SOLID WASTE MANAGEMENT COMPANY. LOCATE WASTE COLLECTION AREAS AWAY FROM STREETS, GUTTERS, WATERCOURSES, AND STORM DRAINS. WASTE COLLECTION AREAS, SUCH AS DUMPSTERS, ARE OFTEN BEST LOCATED NEAR CONSTRUCTION SITE ENTRANCES TO MINIMIZE TRAFFIC ON DISTURBED SOIL. DISPOSAL SHALL BE PERIODICALLY AS NEEDED. NO CONSTRUCTION MATERIALS WILL BE BURIED ONSITE. ALL PERSONNEL WILL BE INSTRUCTED CONCERNING WASTE DISPOSAL. THE CONTRACTOR WILL BE RESPONSIBLE FOR THIS INSTRUCTION, AND WILL BE RESPONSIBLE FOR SEEING THAT THESE INSTRUCTIONS ARE FOLLOWED.
- 2) HAZARDOUS WASTE: ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES, AND THE CONTRACTOR WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.
- 3) SANITARY WASTE: IF NEEDED, PORTABLE UNITS WILL BE USED TO COLLECT SANITARY WASTE. ALL SANITARY WASTE TO BE DISPOSED OF PROPERLY ACCORDING TO STATE AND FEDERAL CODE. A MINIMUM OF ONE SANITARY UNIT WILL BE PROVIDED FOR EVERY TEN (10) WORKERS ON SITE.

**SPILL PREVENTION AND CONTROL NOTES:**

- 1) PETROLEUM PRODUCTS: ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
  - 2) FERTILIZERS: FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A CLEAN, DRY PLACE. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
  - 3) PAINTS: ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.
  - 4) AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
  - 5) ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS.
  - 6) PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL.
  - 7) SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
  - 8) WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
  - 9) MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
  - 10) THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ONSITE.
  - 11) THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:
    - A) PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RE-SEALABLE.
    - B) ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED.
    - C) IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.
  - 12) MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
  - 13) MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS AS APPROPRIATE.
  - 14) ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
  - 15) THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
  - 16) SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
  - 17) THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM RE-OCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.
  - 18) THE CONTRACTOR RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. ANY SPILL SHALL BE REPORTED TO HIM FOR IMMEDIATE ACTION AS SOON AS THE SPILL IS DISCOVERED.
  - 19) THERE SHALL NOT BE A CONCRETE WASH AREA ON-SITE. IF SO, IT SHALL BE LOCATED IN AN UPLAND AREA AWAY FROM DRAINAGE AREAS FOR WASH FACILITY. CONTAIN WITH BARRICADES IF STORAGE IS CONDUCTED ON-SITE.
  - 20) FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON SURFACE WATER) OR FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HRS. 1-800-426-2875.
- SITE DETAILS:**
- 1) NATURE OF THE CONSTRUCTION ACTIVITY = DEMOLITION, CLEARING & GRUBBING, AND RETAIL DEVELOPMENT
  - 2) CONSTRUCTION SCHEDULE = SEE G-1
  - 3) TOTAL AREA OF THE SITE = 10.446 ACRES
  - 4) TOTAL DISTURBED AREA OF THE SITE = 8.43 ACRES
  - 5) PRE-DEVELOPMENT CURVE NUMBER = 80
  - 6) POST-DEVELOPMENT CURVE NUMBER = 93
  - 7) EXISTING TOPOGRAPHIC MAP = SEE SHEET SERIES V-1
  - 8) PLAN INDICATING DRAINAGE PATTERNS AND APPROXIMATE SLOPES ANTICIPATED AFTER MAJOR GRADING ACTIVITIES = SEE SHEET C-2
  - 9) PLAN INDICATING AREAS OF SOIL DISTURBANCE = SEE SHEET SERIES C-2
  - 10) SEE SHEET SERIES C-4 FOR ALL STRUCTURAL AND NONSTRUCTURAL BMP'S
  - 11) IDENTIFICATION OF RECEIVING WATER(S) = KEEGANS BAYOU
  - 12) BUFFERED STATE WATERS PRESENT ON SITE = NA
  - 13) WETLAND ACREAGE AT THE SITE = 0 ACRES TOTAL
  - 14) NO PORTION OF THE SUBJECT PROPERTY LIES WITHIN A 100 YEAR FLOOD HAZARD AREA PER FIRM MAP NUMBER 48157C0145L DATED 04/02/2014.
  - 15) NAMES AND ADDRESSES OF ALL SECONDARY PERMITTEES = NA
  - 16) DESCRIPTION OF APPROPRIATE CONTROLS AND MEASURES THAT WILL BE IMPLEMENTED AT THE CONSTRUCTION SITE = SEE SHEET SERIES C-4

ENGINEER:



**TBPE Firm No. F-12878**  
 Foresite Group, Inc.  
 1999 Bryan St. Suite 890  
 Dallas, TX 75201  
 D/B/A Foresite Consulting Group of Texas, Inc.

o | 214.939.7123  
 f | 888.765.8135  
 w | www.fg-inc.net

OWNER:



2501 N. HARWOOD ST, SUITE 1501  
 DALLAS, TX 75201  
 (417) 447-5538

CONTACT: MR. RUBEN ESQUEDA

GALA AT FOUR CORNERS

15010 OLD RICHMOND ROAD  
SUGAR LAND, FORT BEND COUNTY, TX 77498

PROJECT:

SEAL:



REVISIONS	DATE
COUNTY COMMENTS	04/10/2017
MUD / DRAINAGE DISTRICT COMMENTS	07/21/2017
MUD COMMENTS	09/19/2017

PROJECT MANAGER: DN  
 DRAWING BY: PA  
 JURISDICTION: FORT BEND COUNTY  
 DATE: 01/03/2017

TITLE:

**EROSION CONTROL NOTES**

SHEET NUMBER: **C-4.6**

COMMENTS: NOT RELEASED FOR CONSTRUCTION

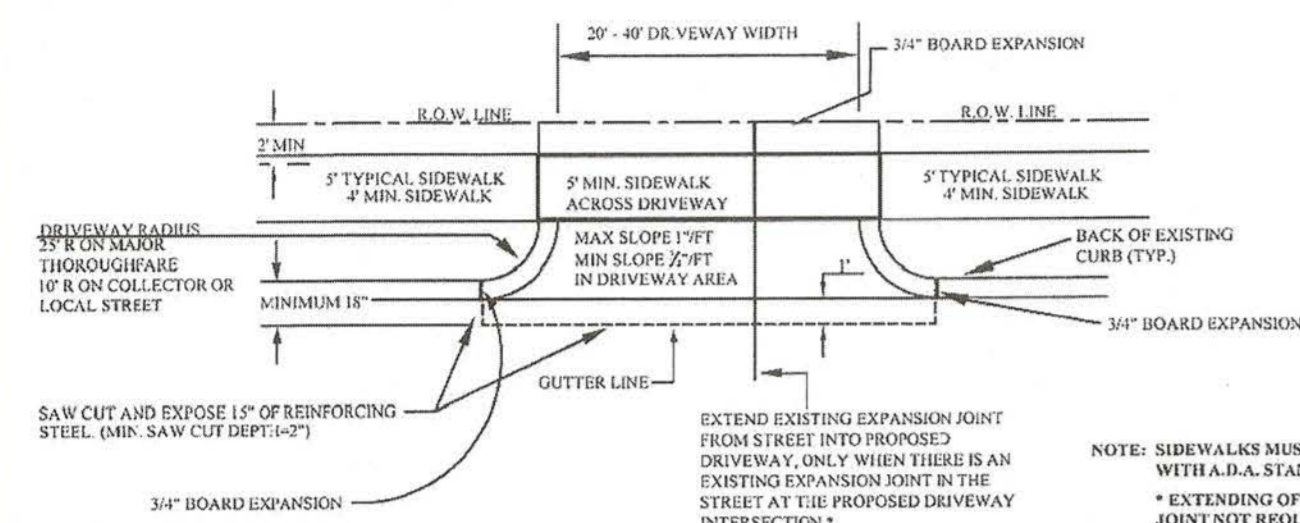
JOB/FILE NUMBER: 693.011



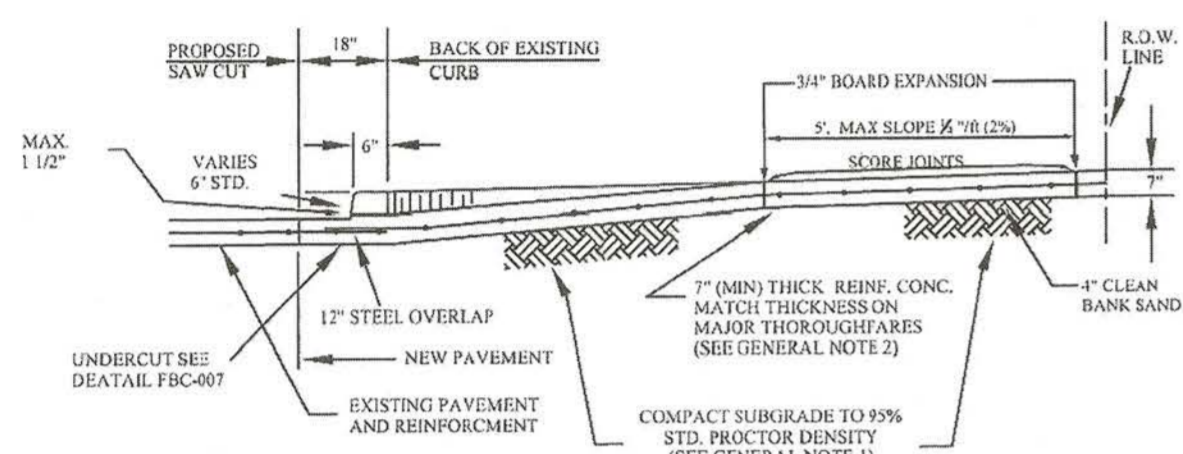
*M. Rhodes*  
 FBC DEVELOPMENT COORDINATOR  
 10/31/17  
 DATE

WHEN A COMMERCIAL SIDEWALK, DRIVEWAY, CURB OR GUTTER IS CONSTRUCTED, RECONSTRUCTED, REPAIRED OR REGRADED ON COUNTY RIGHT-OF-WAY. FOR USE WITH CONCRETE OR ASPHALT CURB TYPE STREETS, USE SECTIONS APPLICABLE.

A. USE FOR ALL PROPOSED EXISTING CURB REMOVAL FOR DRIVEWAYS (PLAN VIEW NOT TO SCALE)



B. USE FOR ALL PROPOSED DRIVES ON CURBED TYPE STREETS



GENERAL NOTES:

1. COMPACT SUBGRADE FOR PROPOSED DRIVEWAY CONNECTION FROM PROPOSED SAW CUT AT EXISTING PAVEMENT TO R.O.W. LINE, COMPACT TO 95% OF STANDARD PROCTOR DENSITY (+/- 2% OPT. MOISTURE). THE COUNTY ENGINEER RESERVES THE RIGHT TO REQUIRE LABORATORY TESTS TO BE CONDUCTED.
2. PROPOSED DRIVEWAY REINFORCING STEEL IS TO BE #4 DEFORMED REINFORCING BARS (ASTM A615, GRADE 60, UNLESS NOTED) SPACED AT 24" C.C., EACH WAY, WITH 12" MINIMUM LAP FROM PROPOSED SAW CUT TO R.O.W. LINE.
3. PROPOSED DRIVEWAY SHALL BE CONSTRUCTED WITH PORTLAND CEMENT (5 BAGS (989 P.S.) OF CEMENT PER CUBIC YARD OF CONCRETE), CLASS "A" STRUCTURAL (REFER TO SPECIFICATION 03301), 7" THICK, FROM PROPOSED SAW CUT TO R.O.W. LINE.
4. PROPOSED SIDEWALK SHALL BE CONSTRUCTED WITH PORTLAND CEMENT (5 BAGS (989 P.S.) OF CEMENT PER CUBIC YARD OF CONCRETE), CLASS "A" STRUCTURAL (REFER TO SPECIFICATION 03301), 4" THICK.
5. FOR TYPICAL SIDEWALK DETAIL SEE FBC-011.

SIDEWALKS & DRIVEWAYS ON CURB TYPE STREETS COMMERCIAL AREA

DRAWN BY: L. BRDECKA  
DATE DRAWN: 2-1-94  
REVISED BY: J. NETARDUS  
DATE REVISED: 4-7-09  
APPROVED BY: L. HOOD  
DATE: 2-1-94  
DRAWING NO. FBC-025A

FORT BEND COUNTY ENGINEERING DEPARTMENT

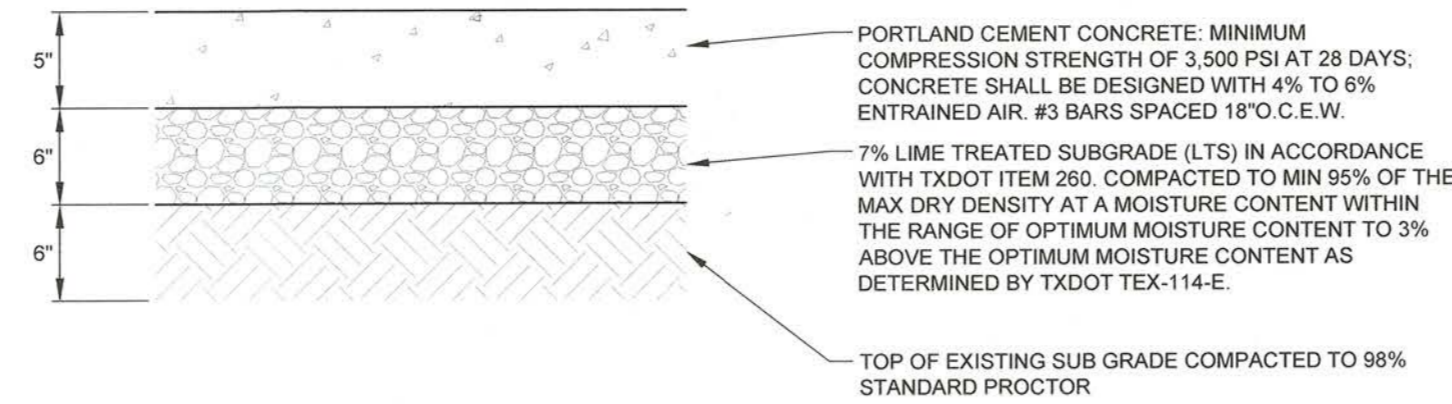
GENERAL NOTES FOR SIDEWALKS AND DRIVEWAYS

1. SAW CUT EXISTING CURB AT EACH END AND KNOCK OUT CURB FROM BEGINNING TO END OF PROPOSED DRIVEWAY.
2. SAW CUT EXISTING PAVEMENT A MINIMUM OF 18" INCHES AWAY FROM BACK OF CURB (GUTTER LINE) AND BREAK OUT TO EXPOSE EXISTING REINFORCEMENT STEEL.
3. COMPACT SUBGRADE FOR PROPOSED DRIVEWAY CONNECTION FROM PROPOSED SAW CUT AT EXISTING PAVEMENT TO RIGHT-OF-WAY LINE, COMPACT TO 95% OF STANDARD PROCTOR DENSITY (+/- 2% OPT. MOISTURE). THE COUNTY ENGINEER RESERVES THE RIGHT TO REQUIRE LABORATORY TESTS TO BE CONDUCTED.
4. PLACE AND COMPACT 4" CLEAN BANK SAND.
5. MAINTAIN GUTTER LINE WITH FACE OF EXISTING CURB.
6. PROPOSED DRIVEWAY REINFORCING STEEL IS TO BE TIED TO EXISTING ROADWAY REINFORCING STEEL WITH A MINIMUM LAP OF 12 INCHES.
7. PROPOSED DRIVEWAY REINFORCING STEEL IS TO BE #4 DEFORMED REINFORCING BARS (ASTM A615, GRADE 60, UNLESS NOTED) SPACED AT 24 INCHES C.C., EACH WAY, WITH 12 INCHES MINIMUM LAP (6" x 6" W6 x W6 AS ALTERNATE) FROM PROPOSED SAW CUT TO RIGHT-OF-WAY LINE.
8. PROPOSED DRIVEWAY, CURB, GUTTER LINE, AND GRADE SHALL MATCH EXISTING STREET.
9. PROPOSED DRIVEWAY SHALL BE CONSTRUCTED WITH PORTLAND CEMENT CONCRETE, CLASS "A" STRUCTURAL (REFER TO SPECIFICATION 03301), 7 INCHES THICK, FROM PROPOSED SAW CUT TO RIGHT-OF-WAY LINE (PROPERTY LINE).
10. PROPOSED SIDEWALK SHALL BE CONSTRUCTED WITH PORTLAND CEMENT CONCRETE, CLASS "A" STRUCTURAL (REFER TO SPECIFICATION 03301), 4 INCHES THICK AND 4 FEET MINIMUM WIDTH. SEE DRAWING NO. FBC 24A FOR ADDITIONAL INFORMATION AND DETAILS.

CONSTRUCTION NOTES FOR SIDEWALKS & DRIVEWAYS WITH CURB TYPE STREETS COMMERCIAL AREA

DRAWN BY: L. BRDECKA  
DATE DRAWN: 2-1-94  
REVISED BY: L. BRDECKA  
DATE REVISED: 3-10-05  
APPROVED BY: L. HOOD  
DATE: 2-1-94  
DRAWING NO. FBC-025B

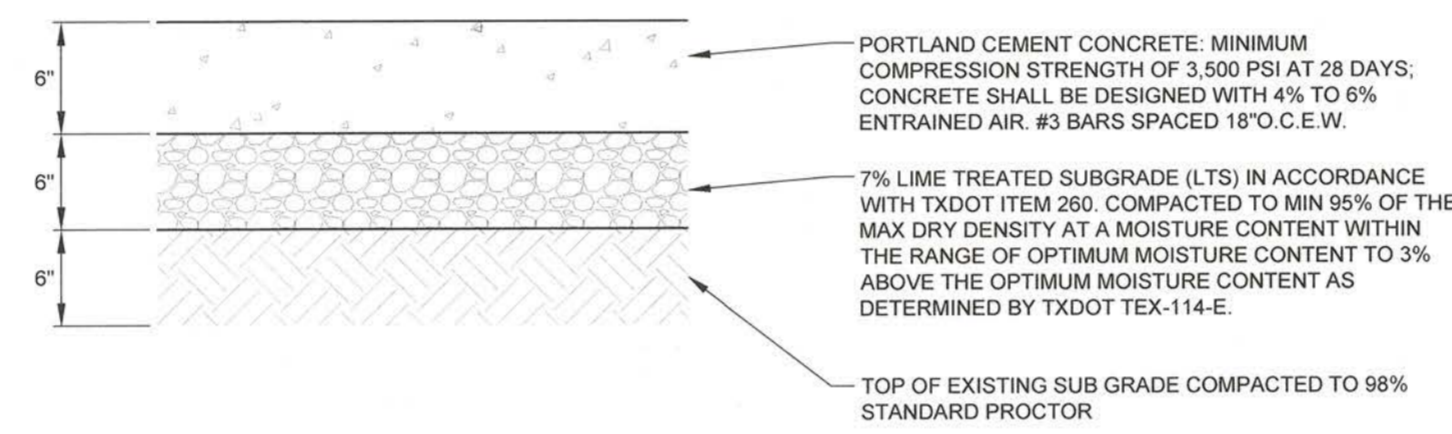
FORT BEND COUNTY ENGINEERING DEPARTMENT



CONTROL JOINT

- NOTE:
1. DETAIL REFLECTS LIGHT DUTY CONCRETE PAVING RECOMMENDATION BY PROJECT GEOTECHNICAL ENGINEER.
  2. CONCRETE JOINTS SHALL NOT EXCEED 15' ON CENTER. THE JOINTS SHALL EXTEND TO A DEPTH 1/4 OF THE SLAB THICKNESS. IF SAW CUTTING THE JOINTS IS TO BE EMPLOYED, THE JOINTS SHOULD BE CUT WHILE THE CONCRETE IS STILL "GREEN" AND AS SOON AFTER PLACEMENT AS THE EQUIPMENT CAN BE MOVED ONTO THE PAVEMENT WITHOUT DISTURBING THE CONCRETE FINISH.
  3. ALL CONTROL JOINTS SHOULD BE FORMED OR SAWED TO A DEPTH OF AT LEAST 1/4 THE THICKNESS OF THE CONCRETE SLAB. SAWING OF CONTROL JOINTS SHOULD BEGIN AS SOON AS THE CONCRETE WILL NOT RAVEL, GENERALLY THE DAY AFTER PLACEMENT. CONTROL JOINTS MAY BE HAND FORMED OR FORMED BY USING A PREMOLDED FILLER. WE RECOMMEND THAT ALL LONGITUDINAL AND TRANSVERSE CONSTRUCTION JOINTS BE DOWELED TO PROMOTE LOAD TRANSFER. EXPANSION JOINTS ARE NEEDED TO SEPARATE THE CONCRETE SLAB FROM FIXED OBJECTS SUCH AS DROP INLETS, LIGHT STANDARDS AND BUILDINGS. EXPANSION JOINT SPACINGS ARE NOT TO EXCEED A MAXIMUM OF 60 FT AND NO EXPANSION OR CONSTRUCTION JOINTS SHOULD BE LOCATED IN A SWALE OR DRAINAGE COLLECTION LOCATIONS.
  4. A LIQUID MEMBRANE-FORMING CURING COMPOUND SHOULD BE APPLIED AS SOON AS PRACTICAL AFTER BROOM FINISHING THE CONCRETE SURFACE.

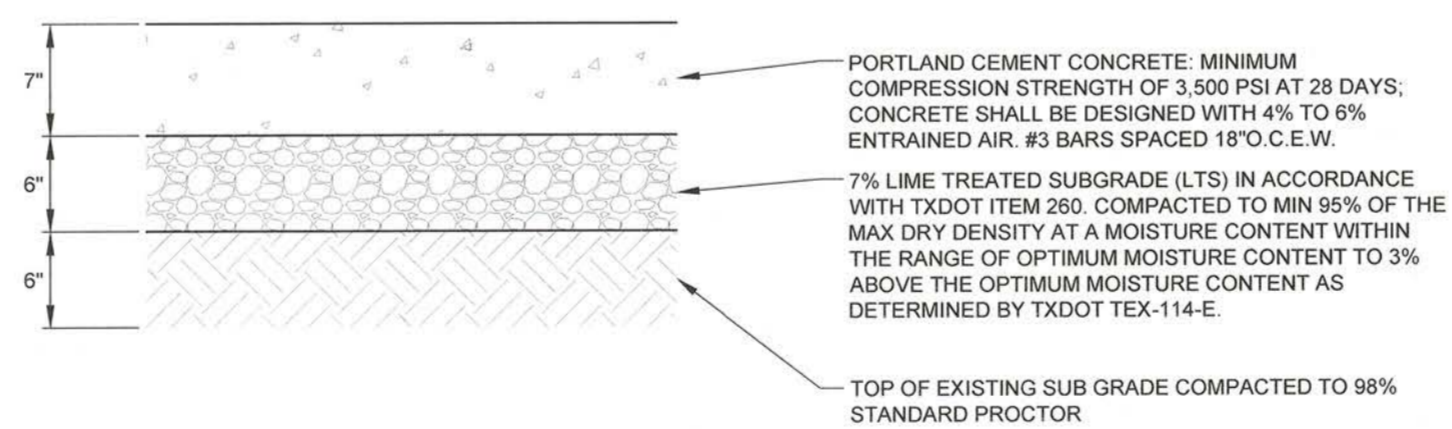
1 STANDARD DUTY CONCRETE PAVING NOT TO SCALE



CONTROL JOINT

- NOTE:
1. DETAIL REFLECTS DRIVE LANES, FIRE LANES, AND BUS LANES CONCRETE PAVING RECOMMENDATION BY PROJECT GEOTECHNICAL ENGINEER.
  2. CONCRETE JOINTS NOT EXCEED 15' ON CENTER. THE JOINTS SHALL EXTEND TO A DEPTH 1/4 OF THE SLAB THICKNESS. IF SAW CUTTING THE JOINTS IS TO BE EMPLOYED, THE JOINTS SHOULD BE CUT WHILE THE CONCRETE IS STILL "GREEN" AND AS SOON AFTER PLACEMENT AS THE EQUIPMENT CAN BE MOVED ONTO THE PAVEMENT WITHOUT DISTURBING THE CONCRETE FINISH.
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  4. A LIQUID MEMBRANE-FORMING CURING COMPOUND SHOULD BE APPLIED AS SOON AS PRACTICAL AFTER BROOM FINISHING THE CONCRETE SURFACE.

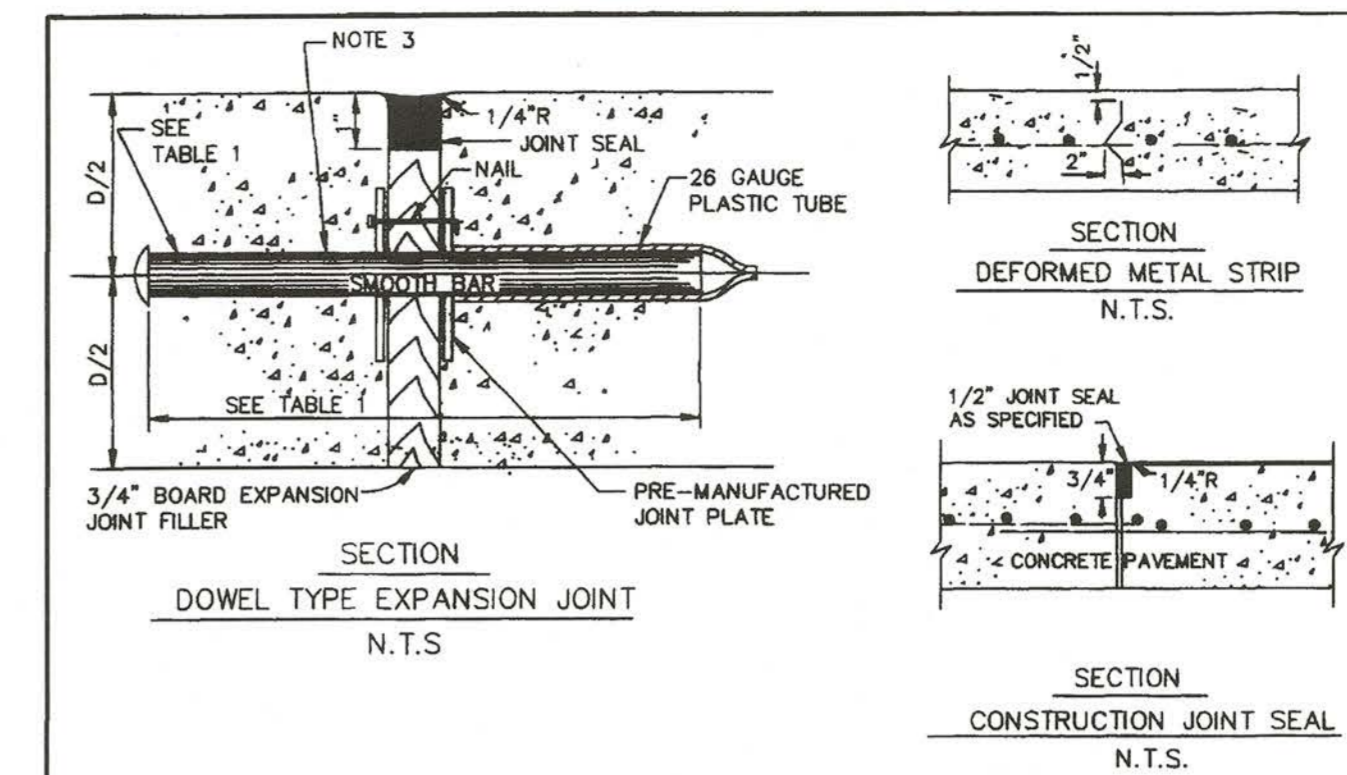
2 HEAVY DUTY CONCRETE PAVING NOT TO SCALE



CONTROL JOINT

- NOTE:
1. DETAIL REFLECTS DUMPSTER AREAS CONCRETE PAVING RECOMMENDATION BY PROJECT GEOTECHNICAL ENGINEER.
  2. CONCRETE JOINTS NOT EXCEED 15' ON CENTER. THE JOINTS SHALL EXTEND TO A DEPTH 1/4 OF THE SLAB THICKNESS. IF SAW CUTTING THE JOINTS IS TO BE EMPLOYED, THE JOINTS SHOULD BE CUT WHILE THE CONCRETE IS STILL "GREEN" AND AS SOON AFTER PLACEMENT AS THE EQUIPMENT CAN BE MOVED ONTO THE PAVEMENT WITHOUT DISTURBING THE CONCRETE FINISH.
  3. ALL CONTROL JOINTS SHOULD BE FORMED OR SAWED TO A DEPTH OF AT LEAST 1/4 THE THICKNESS OF THE CONCRETE SLAB. SAWING OF CONTROL JOINTS SHOULD BEGIN AS SOON AS THE CONCRETE WILL NOT RAVEL, GENERALLY THE DAY AFTER PLACEMENT. CONTROL JOINTS MAY BE HAND FORMED OR FORMED BY USING A PREMOLDED FILLER. WE RECOMMEND THAT ALL LONGITUDINAL AND TRANSVERSE CONSTRUCTION JOINTS BE DOWELED TO PROMOTE LOAD TRANSFER. EXPANSION JOINTS ARE NEEDED TO SEPARATE THE CONCRETE SLAB FROM FIXED OBJECTS SUCH AS DROP INLETS, LIGHT STANDARDS AND BUILDINGS. EXPANSION JOINT SPACINGS ARE NOT TO EXCEED A MAXIMUM OF 60 FT AND NO EXPANSION OR CONSTRUCTION JOINTS SHOULD BE LOCATED IN A SWALE OR DRAINAGE COLLECTION LOCATIONS.
  4. A LIQUID MEMBRANE-FORMING CURING COMPOUND SHOULD BE APPLIED AS SOON AS PRACTICAL AFTER BROOM FINISHING THE CONCRETE SURFACE.

3 DUMPSTER AREA CONCRETE PAVING NOT TO SCALE



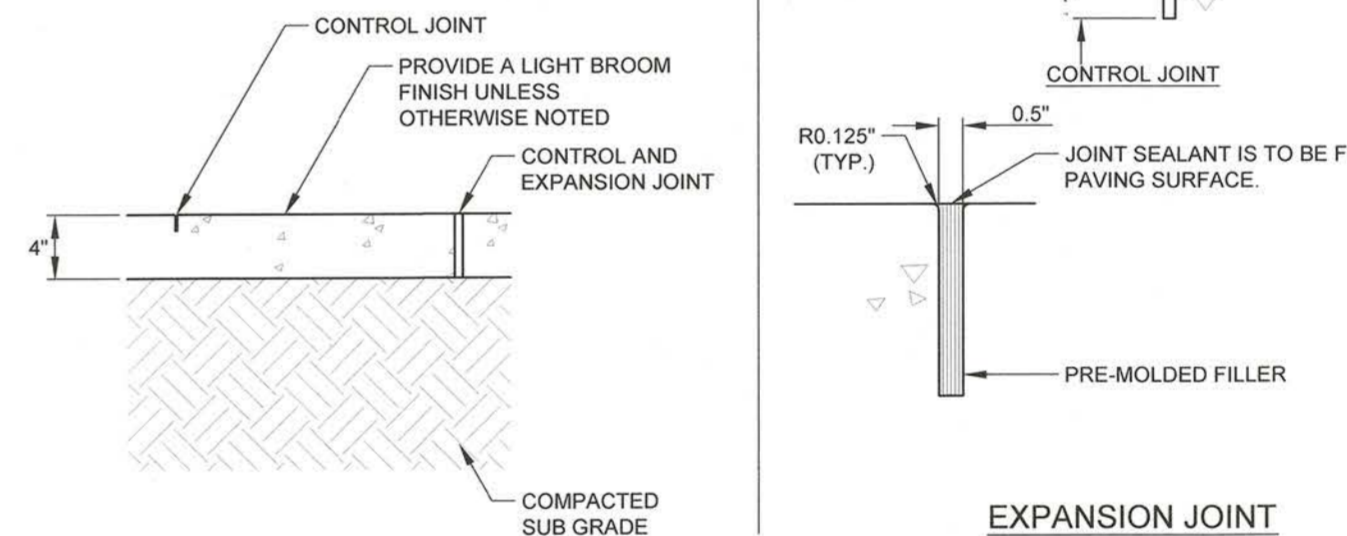
PLAN - JOINT PLATE

ELEVATION - JOINT PLATE

TABLE 1  
DOWEL SIZES AND SPACINGS

PAVEMENT THICKNESS (IN)	DIAMETER (IN)	LENGTH (IN)	SPACING (IN)
6	3/4	18	12
7	1	18	12
8	1	18	12
9	1 1/4	18	12
10	1 1/4	18	12
11	1 1/4	18	12
12	1 1/4	18	12

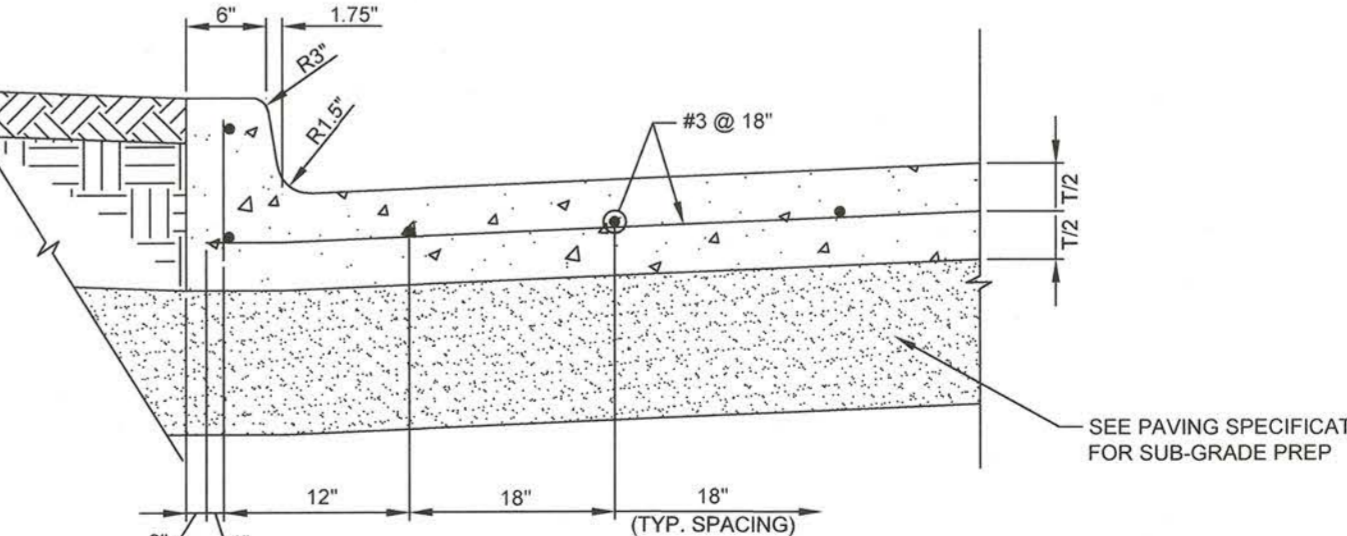
CITY OF HOUSTON  
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING  
ENGINEERING, CONSTRUCTION AND REAL ESTATE DIVISION  
PAVEMENT EXPANSION AND CONSTRUCTION JOINT DETAILS (NOT TO SCALE)  
APPROVED BY: [Signature]  
CITY ENGINEER  
APPROVED BY: [Signature]  
DIRECTOR OF PUBLIC WORKS AND ENGINEERING  
EFF DATE: June-01-2003 DWG NO: 02752-01



EXPANSION JOINT

- NOTE:
1. UNLESS OTHERWISE INDICATED, PREFORMED EXPANSION JOINTS TO BE 40'-0" O.C. MAX. OR AT BACK OF CURB, CHANGE OF DIRECTION, OTHER WALK UTILITY APPURTENANCE, OR FACE OF STRUCTURE.
  2. UNLESS OTHERWISE INDICATED, CONTROL JOINTS AT 5'-0" O.C.
  3. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 1/4" PER FT.

4 CONCRETE SIDEWALK NOT TO SCALE



5 CONCRETE CURB NOT TO SCALE

- NOTE:
1. 1/2" PRE FORMED EXPANSION JOINTS REQUIRED AT ALL STRUCTURES AND RADIUS POINTS.
  2. MAXIMUM DISTANCE BETWEEN EXPANSION JOINTS = 40'.
  3. MAXIMUM DISTANCE DUMMY JOINTS = 12.5'.
  4. CONCRETE STRENGTH = 3,000 P.S.I.

5 CONCRETE CURB NOT TO SCALE

Max [Signature]  
FBC DEVELOPMENT COORDINATOR  
10/3/17  
DATE

ENGINEER:  
**FORESITE group**  
TBPE Firm No. F-12878  
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w | www.fg-inc.net  
D/B/A ForeSite Consulting Group of Texas, Inc.

OWNER:  
**GARDNER CAPITAL**  
2501 N. HARWOOD ST. SUITE 1501  
DALLAS, TX 75201  
(417) 447-5538  
CONTACT: MR. RUBEN ESQUEDA

PROJECT:  
**GALA AT FOUR CORNERS**  
15010 OLD RICHMOND ROAD  
SUGAR LAND, FORT BEND COUNTY, TX 77498

SEAL:  
STATE OF TEXAS  
JOHN B. RHODES, JR.  
112311  
LICENSED PROFESSIONAL ENGINEER  
09/19/17

REVISIONS

REVISIONS	DATE
COUNTY COMMENTS	04/10/2017
MUD / DRAINAGE DISTRICT COMMENTS	07/21/2017
MUD COMMENTS	09/19/2017

PROJECT MANAGER: DN  
DRAWING BY: PA  
JURISDICTION: FORT BEND COUNTY  
DATE: 01/03/2017  
AS SHOWN

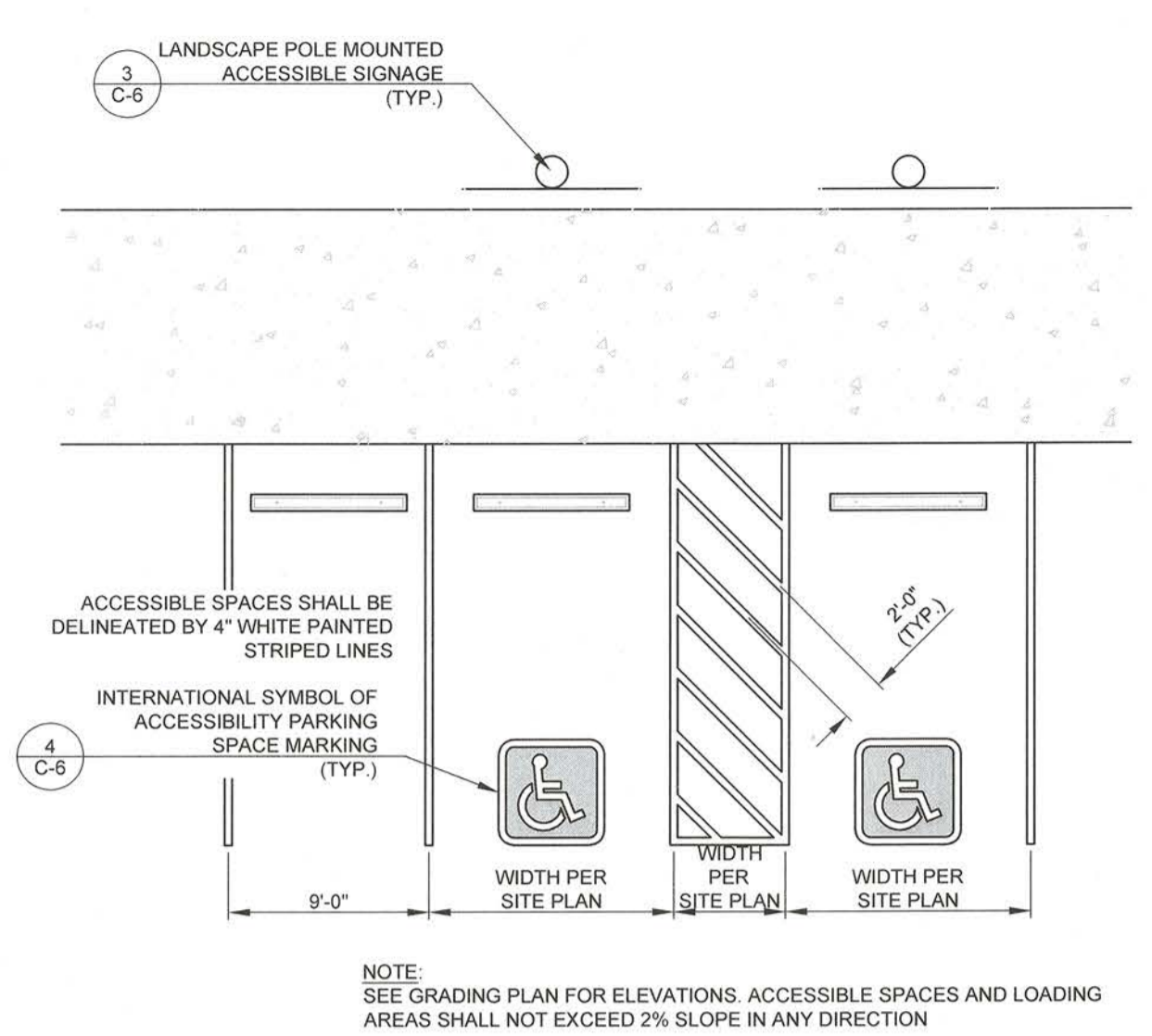
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PAVING DETAILS  
SHEET NUMBER: C-5  
COMMENTS: NOT RELEASED FOR CONSTRUCTION  
JOBFILE NUMBER: 693.011

REVISIONS	DATE
COUNTY COMMENTS	04/10/2017
MUD / DRAINAGE DISTRICT COMMENTS	07/21/2017
MUD COMMENTS	09/19/2017

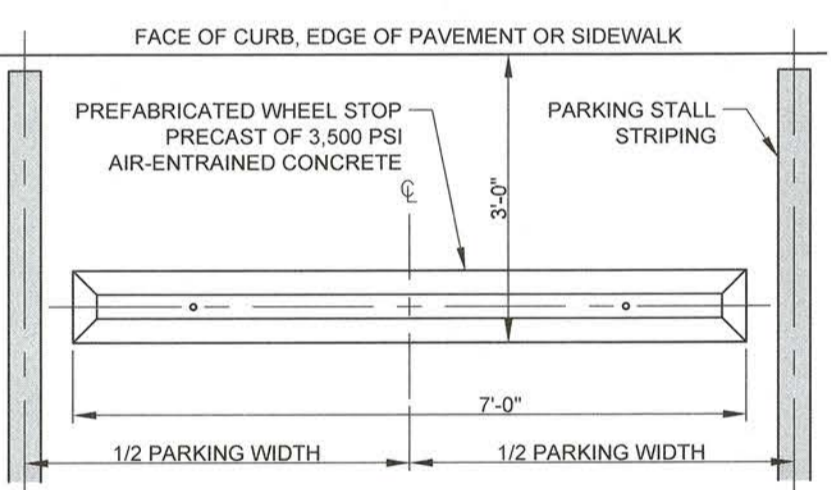
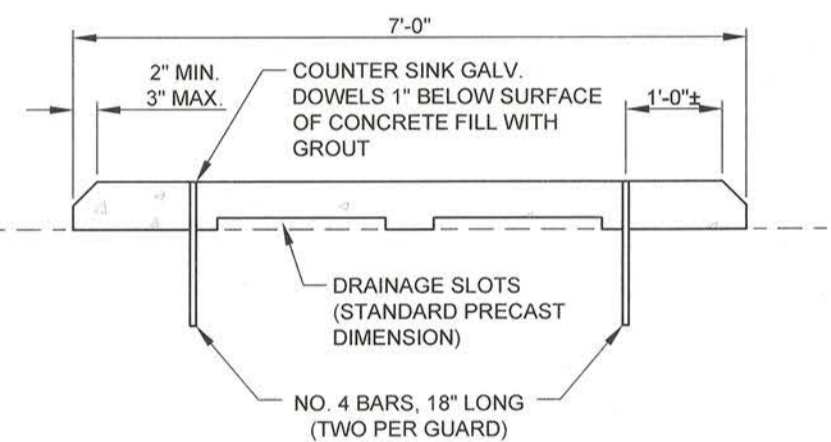
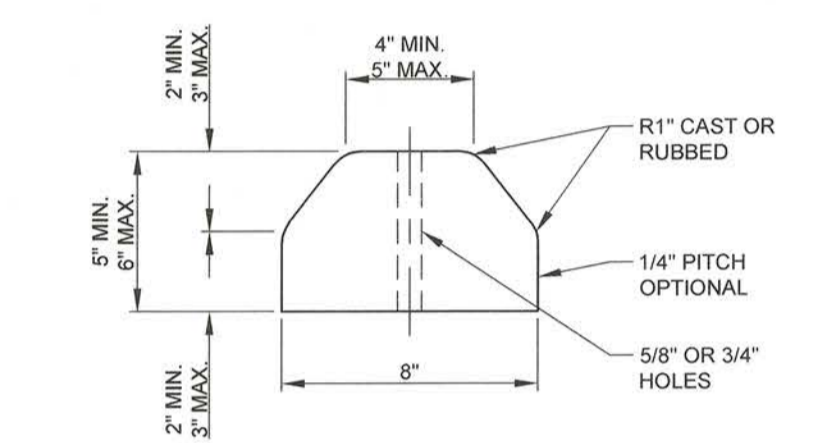
PROJECT MANAGER: DN  
 DRAWING BY: PA  
 JURISDICTION: FORT BEND COUNTY  
 DATE: 01/03/2017  
 TITLE: AS SHOWN

**CONSTRUCTION DETAILS**

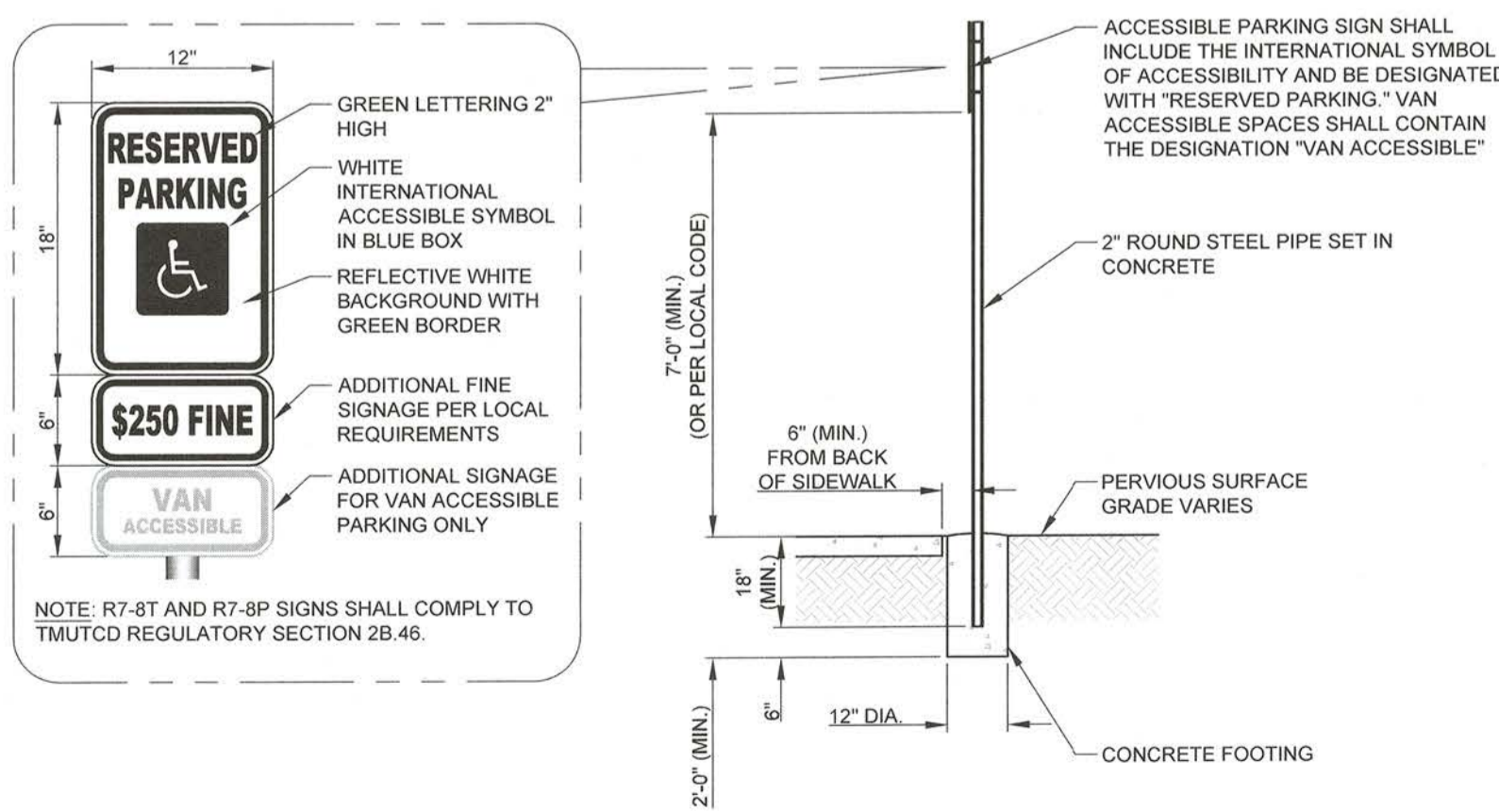
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 COMMENTS: NOT RELEASED FOR CONSTRUCTION  
 JOB/FILE NUMBER: 693.011



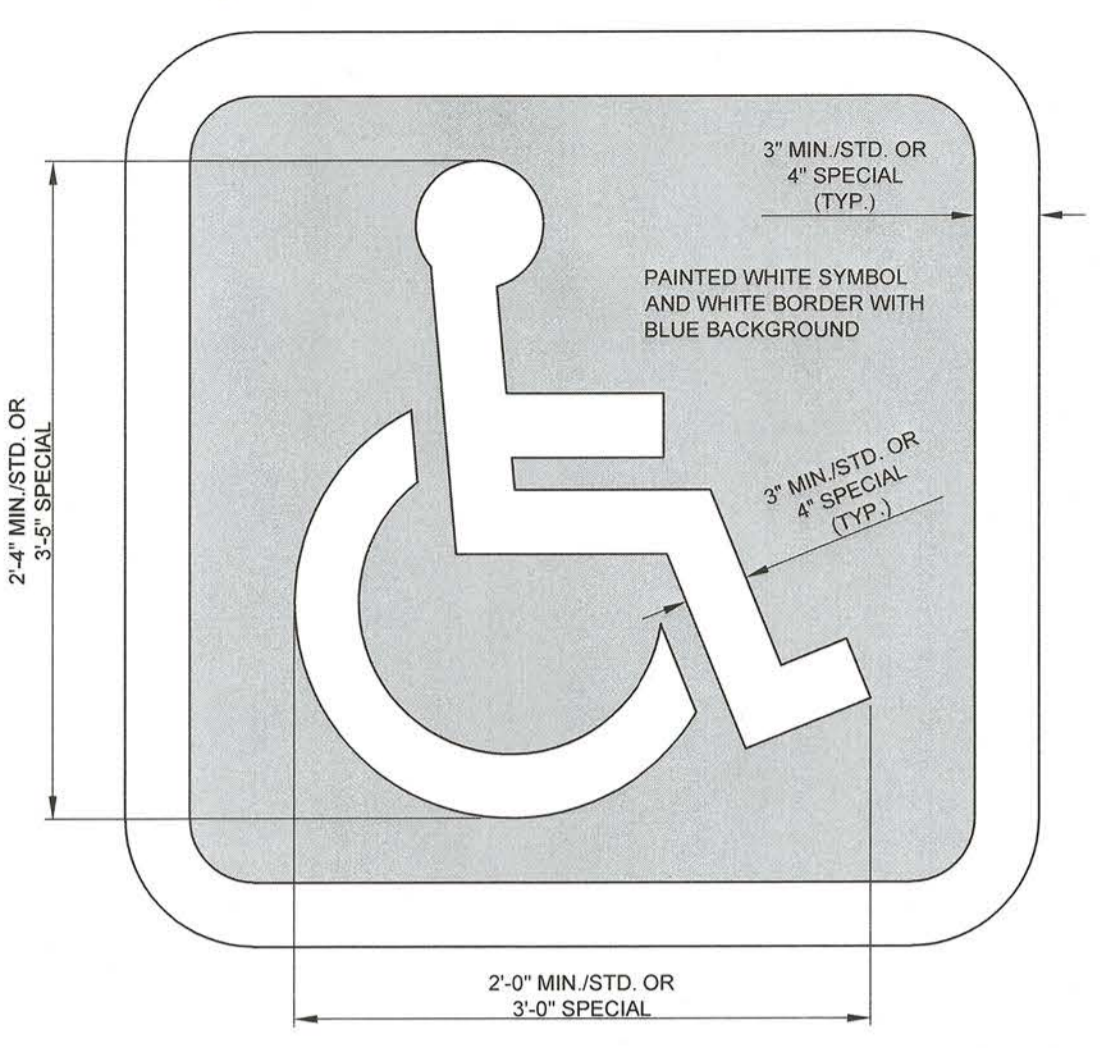
1 ACCESSIBLE PARKING  
 C-6 NOT TO SCALE



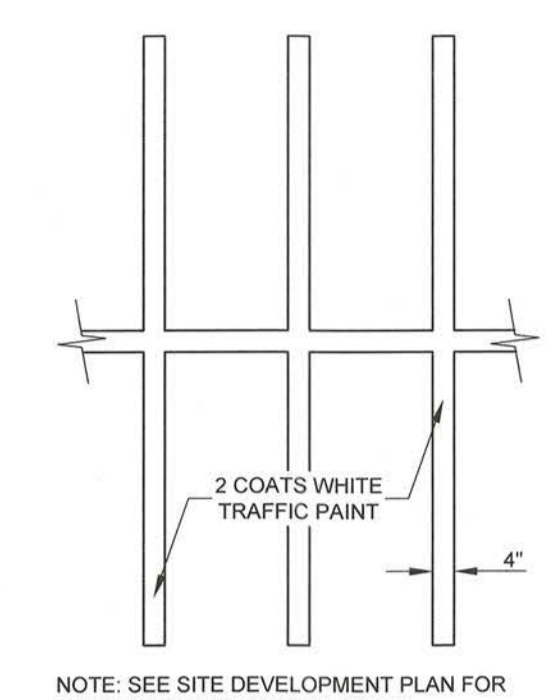
2 WHEEL STOP  
 C-6 NOT TO SCALE



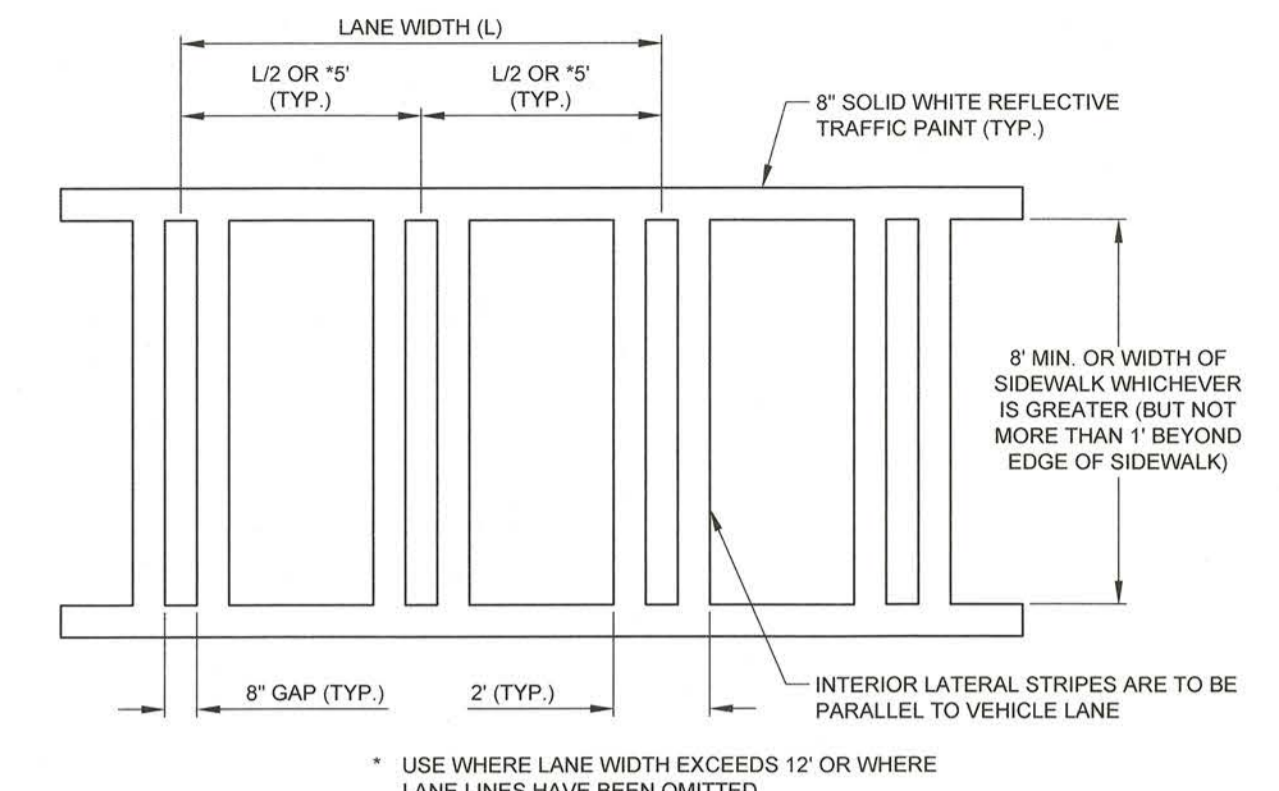
3 LANDSCAPE POLE MOUNTED ACCESSIBLE SIGNAGE  
 C-6 NOT TO SCALE



4 INTERNATIONAL SYMBOL OF ACCESSIBILITY PARKING SPACE MARKING  
 C-6 NOT TO SCALE



5 PAVEMENT STRIPING  
 C-6 NOT TO SCALE



6 CROSSWALK STRIPING  
 C-6 NOT TO SCALE

DISCLAIMER: This document is governed by the Texas Engineering Practice Act. No warranty of any kind is made by the engineer for the accuracy or completeness of the information provided herein. The user assumes all responsibility for the use of this information.

TYPE 1 PERPENDICULAR CURB RAMP

TYPE 2 PARALLEL CURB RAMP (Use only where water will not pond in the landing.)

TYPE 3 COMBINATION CURB RAMP

TYPE 5 BLENDED TRANSITION

TYPE 7 DIRECTIONAL RAMPS WITHIN RADIUS (Sidewalk set back from curb)

TYPE 10 DIRECTIONAL RAMPS WITHIN RADIUS (Sidewalk adjacent to curb)

TYPE 11 OFFSET PARALLEL CURB RAMP

TYPE 20 CURB RAMPS AT MEDIAN ISLANDS

TYPE 21 CURB RAMPS AT MEDIAN ISLANDS

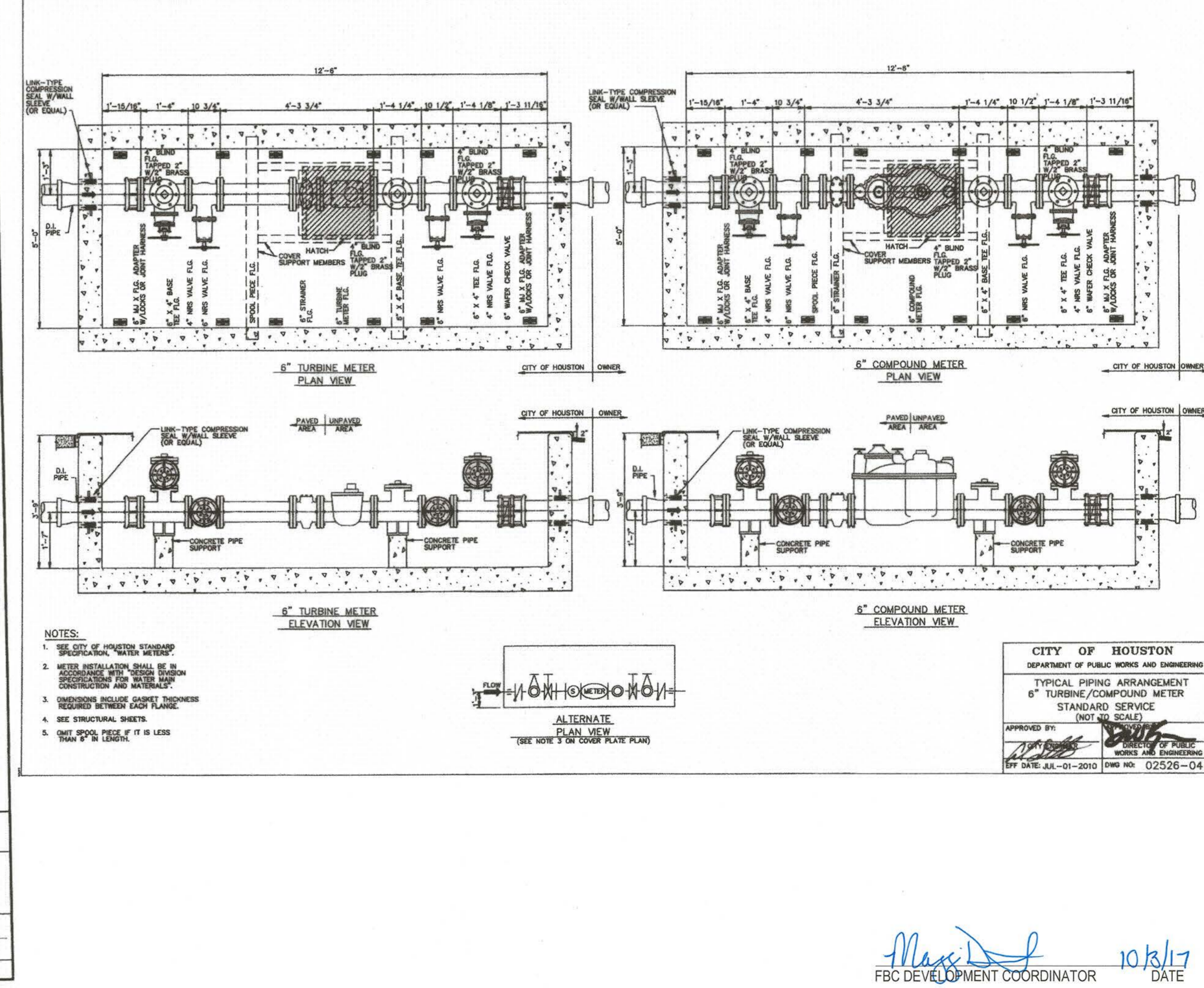
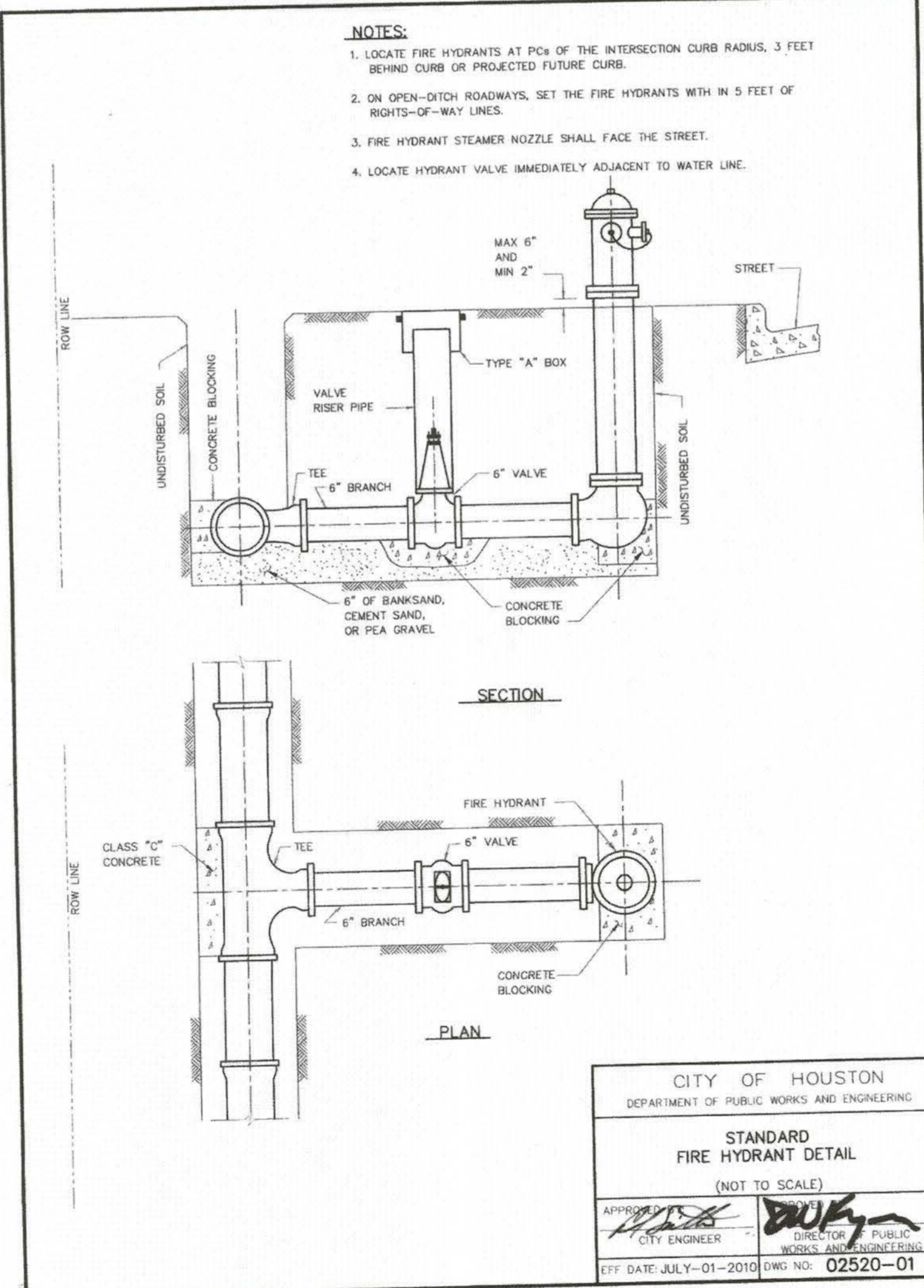
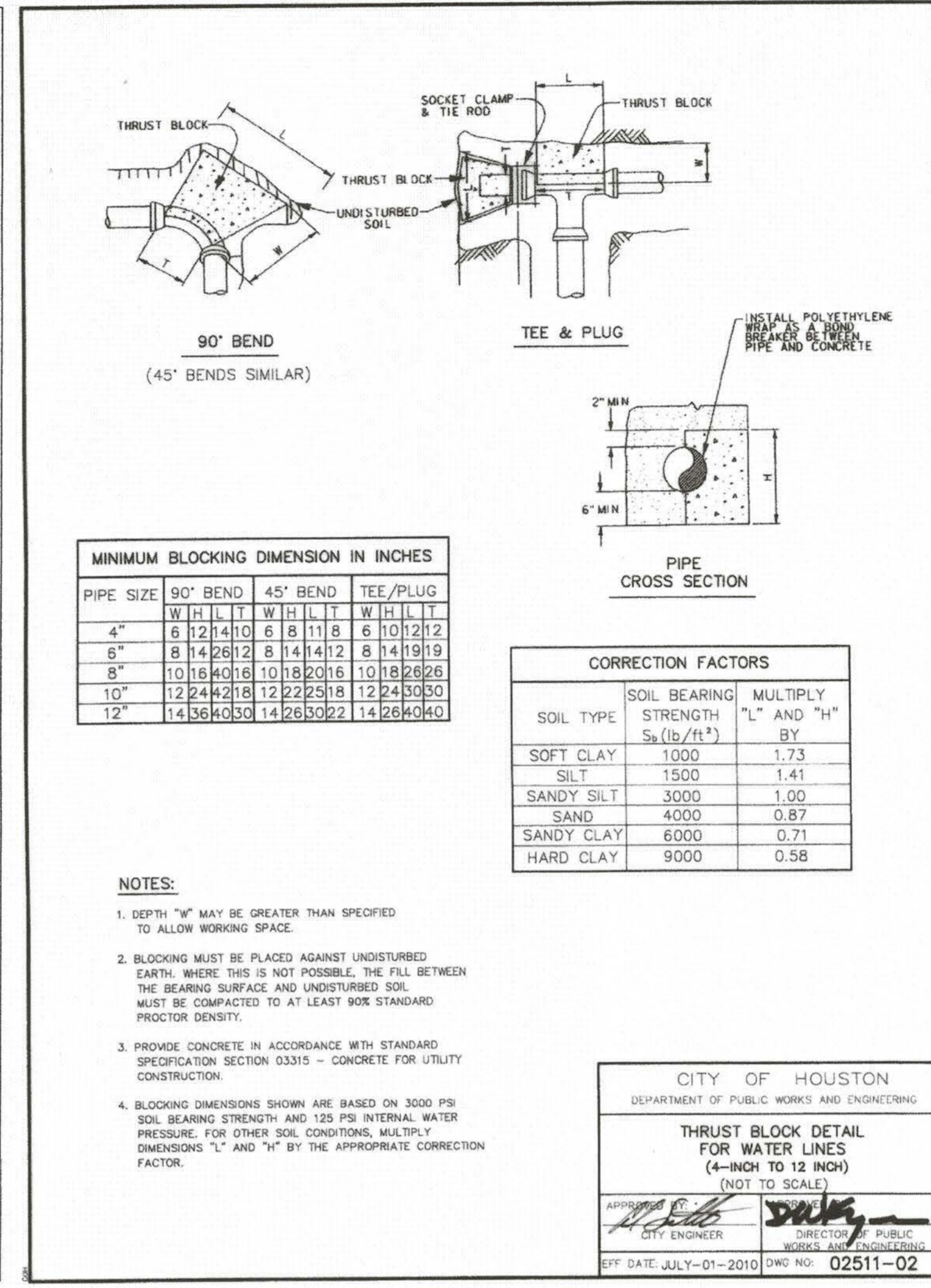
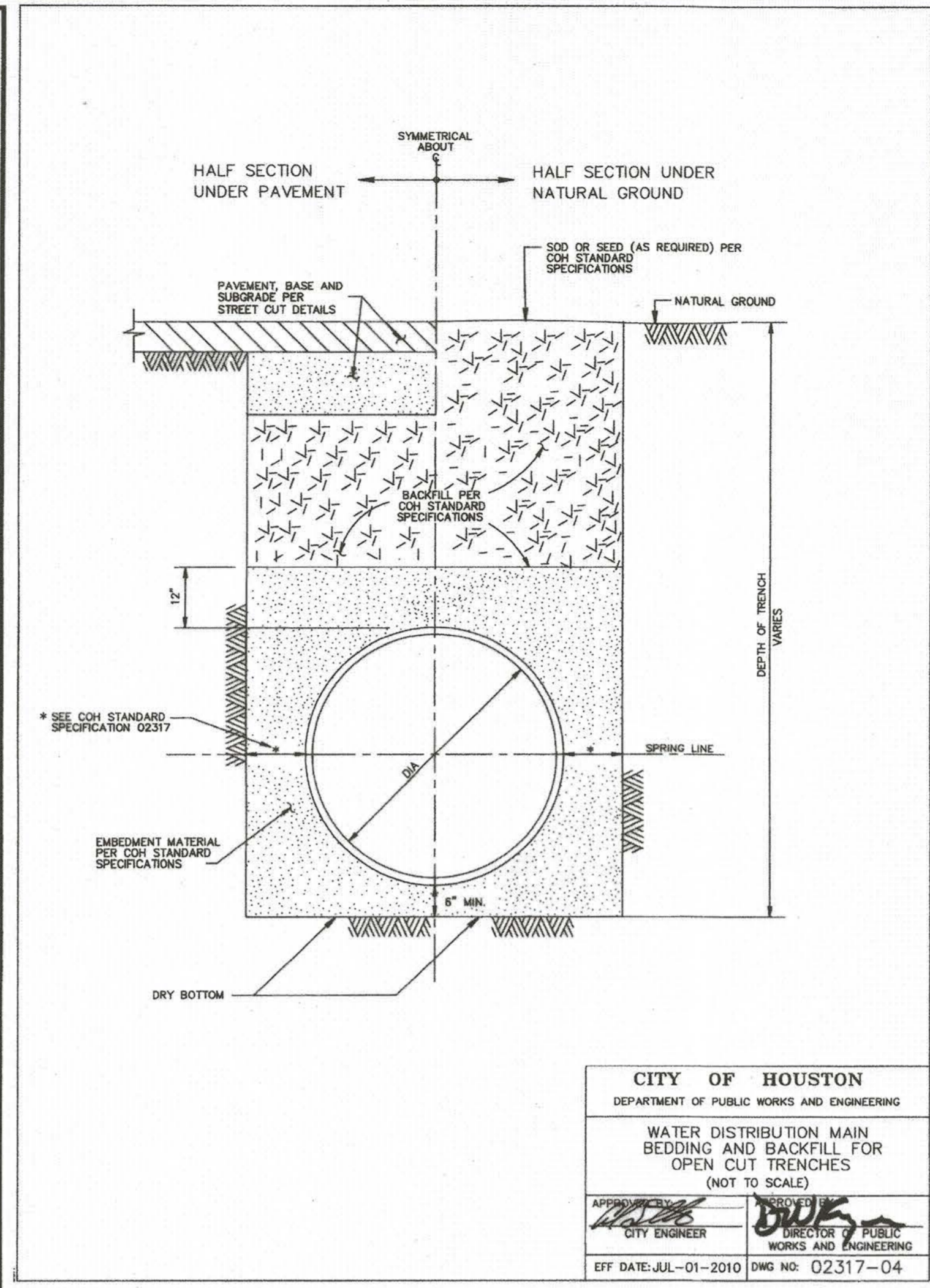
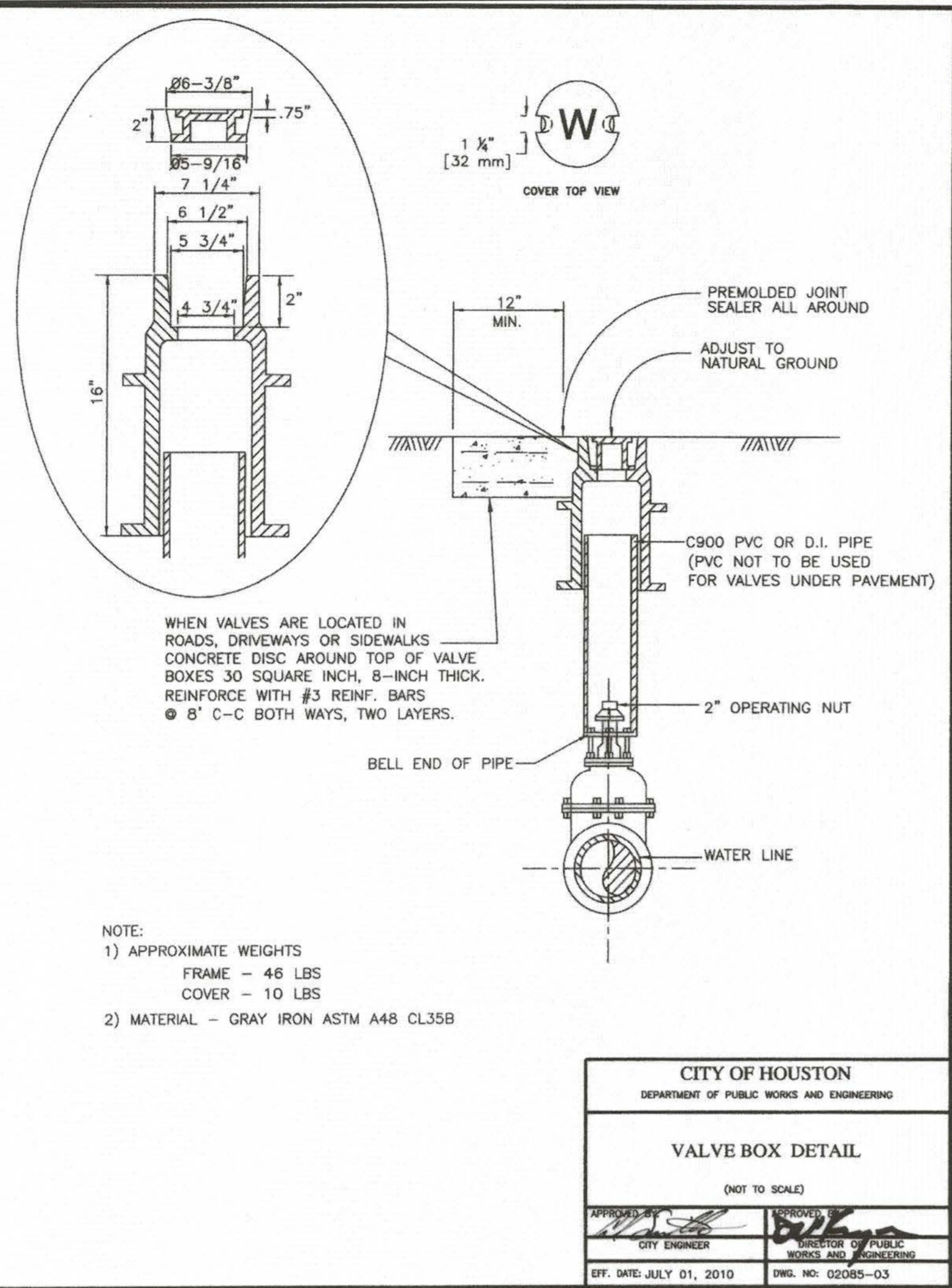
TYPE 22 COMBINATION ISLAND RAMPS

NOTES / LEGEND:  
 See General Notes on sheet 2 of 4 for more information.  
 - - - - - denotes planting or non-walking surface not part of pedestrian circulation path.  
 - - - - - denotes detectable warning surface.  
 - - - - - Lane Limits of Payment  
 - - - - - Detectable Warning Surface

TEXAS DEPARTMENT OF TRANSPORTATION  
 DESIGN DIVISION STANDARD  
 SHEET 1 OF 4  
**PEDESTRIAN FACILITIES CURB RAMPS**  
 PED-12A

DATE	BY	CHKD	APP'D	REV
01/03/2017	PA	PA	PA	1

Max D  
 FBC DEVELOPMENT COORDINATOR  
 10/31/17  
 DATE



ENGINEER:  
**FORESITE group**  
 TBPE Firm No. F-12878  
 Foresite Group, Inc.  
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 Dallas, TX 75201  
 D/B/A Foresite Consulting Group of Texas, Inc.  
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 f | 888.765.8135  
 w | www.fg-inc.net

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**GARDNER CAPITAL**  
 2501 N. HARWOOD ST, SUITE 1501  
 DALLAS, TX 75201  
 (417) 447-5538  
 CONTACT: MR. RUBEN ESQUEDA

PROJECT:  
**GALA AT FOUR CORNERS**  
 15010 OLD RICHMOND ROAD  
 SUGAR LAND, FORT BEND COUNTY, TX 77498

SEAL:  
  
 JOHN B. RHODES, JR.  
 112311  
 LICENSED PROFESSIONAL ENGINEER  
 STATE OF TEXAS

REVISIONS DATE  
 COUNTY COMMENTS 04/10/2017  
 MUD / DRAINAGE DISTRICT COMMENTS 07/21/2017  
 MUD COMMENTS 09/19/2017

PROJECT MANAGER: DN  
 DRAWING BY: PA  
 JURISDICTION: FORT BEND COUNTY  
 DATE: 01/03/2017  
 AS SHOWN

TITLE:  
**WATER DETAILS**

SHEET NUMBER:  
**C-7**  
 COMMENTS: NOT RELEASED FOR CONSTRUCTION  
 JOB/FILE NUMBER: 693.011

Max [Signature]  
 FBC DEVELOPMENT COORDINATOR  
 10/3/17  
 DATE

NOTES ON USE OF STANDARD DETAIL 02082-02

**NOTES TO SPECIFIER:**

1. "S" INDICATES THAT A SPECIAL DESIGN OR THE NEXT LARGER MANHOLE SIZE SHALL BE USED.
2. TABLE 1 IS BASED ON A MIN SEPARATION DISTANCE OF 15" ON INTERSECTION PIPE O.D.'S, WHICHEVER IS GREATER, BETWEEN MAIN AND INTERSECTING PIPES ALONG THE MANHOLE INSIDE WALL AND.
3. PIPE WALL THICKNESS USED IN TABLE 1 ARE BASED ON H.P.F. THIS DESIGN ENGINEER MAY CALCULATE TO SEE IF THINNER WALL PIPES CAN MEET THE SEPARATION CRITERIA FOR ANGLES SMALLER THAN THE TABLE VALUES.

MAX 24" ID MAIN PIPE ALLOWED FOR STRAIGHT THROUGH TO 45° DEFLECTION

MAX 21" ID MAIN PIPE ALLOWED FOR 45° TO 90° DEFLECTION

INTERSECTING PIPE SIZE (INCHES)	MIN INTERSECTING ANGLE IN DEGREES FOR VARIOUS MAIN PIPE SIZES, IN INCHES							
	6"	8"	10"	12"	15"	18"	21"	24"
6	55	58	60	65	70	75	80	85
8	50	53	58	63	73	77	82	87
10	45	50	55	60	71	75	80	85
12	40	45	50	55	66	70	75	80
15	35	40	45	50	60	65	70	75
18	30	35	40	45	55	60	65	70
21	25	30	35	40	50	55	60	65
24	20	25	30	35	45	50	55	60

NOT APPLICABLE UNLESS INDICATED OTHERWISE (INTERSECTING PIPE > MAIN PIPE)

**CITY OF HOUSTON**  
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING  
ENGINEERING, CONSTRUCTION AND REAL ESTATE DIVISION

SANITARY SEWER  
4'-0" DIAMETER PRECAST CONCRETE MANHOLE NOTES  
(NOT TO SCALE)

APPROVED BY: *[Signature]*  
CITY ENGINEER  
DIRECTOR OF PUBLIC WORKS AND ENGINEERING

EFF DATE: OCT-01-2002 DWG NO: 02082N-02

NOTE:  
23 1/2" MANHOLE COVER CAN BE USED ONLY FOR REPLACEMENT OF EXISTING MANHOLE COVER.

ALL LETTERS SHALL BE 2" HIGH AND SHALL BE RAISED 1/8" LINE WITH FOR LETTERS SHALL BE 1/4" WIDE.

23 1/2" MANHOLE COVER WITH FRAME

FRAME SECTION

SECTION A

32" MANHOLE COVER WITH FRAME

**CITY OF HOUSTON**  
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING  
ENGINEERING, CONSTRUCTION AND REAL ESTATE DIVISION

SANITARY SEWER AND WATER  
MANHOLE FRAME AND COVER  
(NOT TO SCALE)

APPROVED BY: *[Signature]*  
CITY ENGINEER  
DIRECTOR OF PUBLIC WORKS AND ENGINEERING

EFF DATE: OCT-01-2002 DWG NO: 02084-01

NOTES:

1. MIN TRENCH WIDTH SHALL BE PIPE OD PLUS AN ALLOWANCE "A" FOR THE NOMINAL PIPE SIZE.
2. MAX TRENCH WIDTH SHALL BE NOT GREATER THAN MIN TRENCH WIDTH PLUS 24 INCHES, UNLESS OTHERWISE NOTED.
3. TRENCH DAM MAY BE FORMED OR UNIFORMITY OF SHAPE OF CONCRETE TRENCH DAM CROSS SECTION MAY BE DETERMINED BY CONTRACTOR IN FIELD, MEETING MINIMUM THICKNESS, MINIMUM TRENCH WIDTH AND KEY DEPTH REQUIREMENTS. SPECIFICATIONS FOR OTHER REQUIREMENTS.
4. TRENCH DAM SHALL BE PLACED AT LEAST 5 FT AWAY FROM ANY PILING STRUCTURE SEE SPECIFICATIONS FOR OTHER REQUIREMENTS.
5. PLACE TRENCH DAMS IN CLASS I EMBEDMENT LONGER THAN 100 FEET BETWEEN MANHOLES.

TYPICAL CROSS-SECTION

LONGITUDINAL SECTION ALONG PIPE C AT EMBEDMENT TRENCH DAM

**CITY OF HOUSTON**  
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING  
ENGINEERING, CONSTRUCTION AND REAL ESTATE DIVISION

SANITARY SEWER EMBEDMENT AND TRENCH ZONE BACKFILL FOR DRY OR WET STABLE TRENCH  
(NOT TO SCALE)

APPROVED BY: *[Signature]*  
CITY ENGINEER  
DIRECTOR OF PUBLIC WORKS AND ENGINEERING

EFF DATE: OCT-01-2002 DWG NO: 02317-01

ENGINEER:

**FORESITE group**

TBPE Firm No. F-12878  
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Dallas, TX 75201

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OWNER:

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(417) 447-5538

CONTACT: MR. RUBEN ESQUEDA

PROJECT:

**GALA AT FOUR CORNERS**

15010 OLD RICHMOND ROAD  
SUGAR LAND, FORT BEND COUNTY, TX 77498

SEAL:

REVISIONS	DATE
COUNTY COMMENTS	04/10/2017
MUD / DRAINAGE DISTRICT COMMENTS	07/21/2017
MUD COMMENTS	09/19/2017

PROJECT MANAGER: DN  
DRAWING BY: PA  
JURISDICTION: FORT BEND COUNTY  
DATE: 01/03/2017  
AS SHOWN

TITLE:

**SANITARY SEWER DETAILS**

SHEET NUMBER:

**C-7.1**

COMMENTS: NOT RELEASED FOR CONSTRUCTION

JOB/FILE NUMBER: 693.011

**NOTES:**

1. SANITARY SEWER SHALL BE 12" MIN. TO 18" MAX. DEPTH. TRENCH SHALL BE 12" MIN. TO 18" MAX. DEPTH. TRENCH SHALL BE 12" MIN. TO 18" MAX. DEPTH.
2. TRENCH SHALL BE 12" MIN. TO 18" MAX. DEPTH. TRENCH SHALL BE 12" MIN. TO 18" MAX. DEPTH.
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6. TRENCH SHALL BE 12" MIN. TO 18" MAX. DEPTH. TRENCH SHALL BE 12" MIN. TO 18" MAX. DEPTH.
7. TRENCH SHALL BE 12" MIN. TO 18" MAX. DEPTH. TRENCH SHALL BE 12" MIN. TO 18" MAX. DEPTH.
8. TRENCH SHALL BE 12" MIN. TO 18" MAX. DEPTH. TRENCH SHALL BE 12" MIN. TO 18" MAX. DEPTH.

NEW SANITARY SEWER CROSSING EXISTING WATER LINE

NEW SANITARY SEWER PARALLEL TO EXISTING WATER LINE

INSTALLING SANITARY SEWERS CROSSING OR PARALLEL TO WATER LINES

**CITY OF HOUSTON**  
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING  
ENGINEERING, CONSTRUCTION AND REAL ESTATE DIVISION

SANITARY SEWER  
INSTALLING SANITARY SEWERS CROSSING OR PARALLEL TO WATER LINES  
(NOT TO SCALE)

APPROVED BY: *[Signature]*  
CITY ENGINEER  
DIRECTOR OF PUBLIC WORKS AND ENGINEERING

EFF DATE: AUG-08-2010 DWG NO: 02531-05

**NOTES:**

1. PLACE AND COMPACT EMBEDMENT AND TRENCH ZONE BACKFILL PER COH STANDARD SPECIFICATIONS.

LONGITUDINAL SECTION

SECTION A

**CITY OF HOUSTON**  
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING  
ENGINEERING, CONSTRUCTION AND REAL ESTATE DIVISION

SANITARY SEWER  
PIPE TRANSITION FOR 36" SEWER AND SMALLER  
(NOT TO SCALE)

APPROVED BY: *[Signature]*  
CITY ENGINEER  
DIRECTOR OF PUBLIC WORKS AND ENGINEERING

EFF DATE: OCT-01-2002 DWG NO: 02531-04

**NOTES:**

1. DEPTH OF MANHOLE DETERMINES SECTIONS REQUIRED.
2. PRECAST CONCRETE RINGS SHALL BE PROVIDED FOR A COMBINED ADJUSTMENT HEIGHT OF AT LEAST 12". THE TOTAL HEIGHT OF THIS ADJUSTMENT RINGS SHALL NOT EXCEED 1'-6".
3. MANHOLE WALL THICKNESS FOR DEPTH EXCEEDING 10'-0" SHALL BE DETERMINED TO MEET LOADING CONDITIONS MIN THICKNESS 9".
4. MANHOLE DROP AND INTERSECTING PIPES SHALL BE INSTALLED ONLY WHEN CALLED FOR IN PLAN AND PROFILE DRAWING.
5. SEAT MANHOLE FRAME IN SEALANT PER COH STANDARD SPECIFICATION.
6. ECCENTRIC PRECAST CONCRETE MANHOLE MAY BE USED.
7. ONLY CEMENT MORTAR WHEN MANHOLE IS LOCATED IN PAVED AREAS.
8. MIN REINFORCING IN THE PRECAST CONCRETE BASE SHALL BE # 3 @ 8" OC.

FOUNDATION PLAN

SECTION A

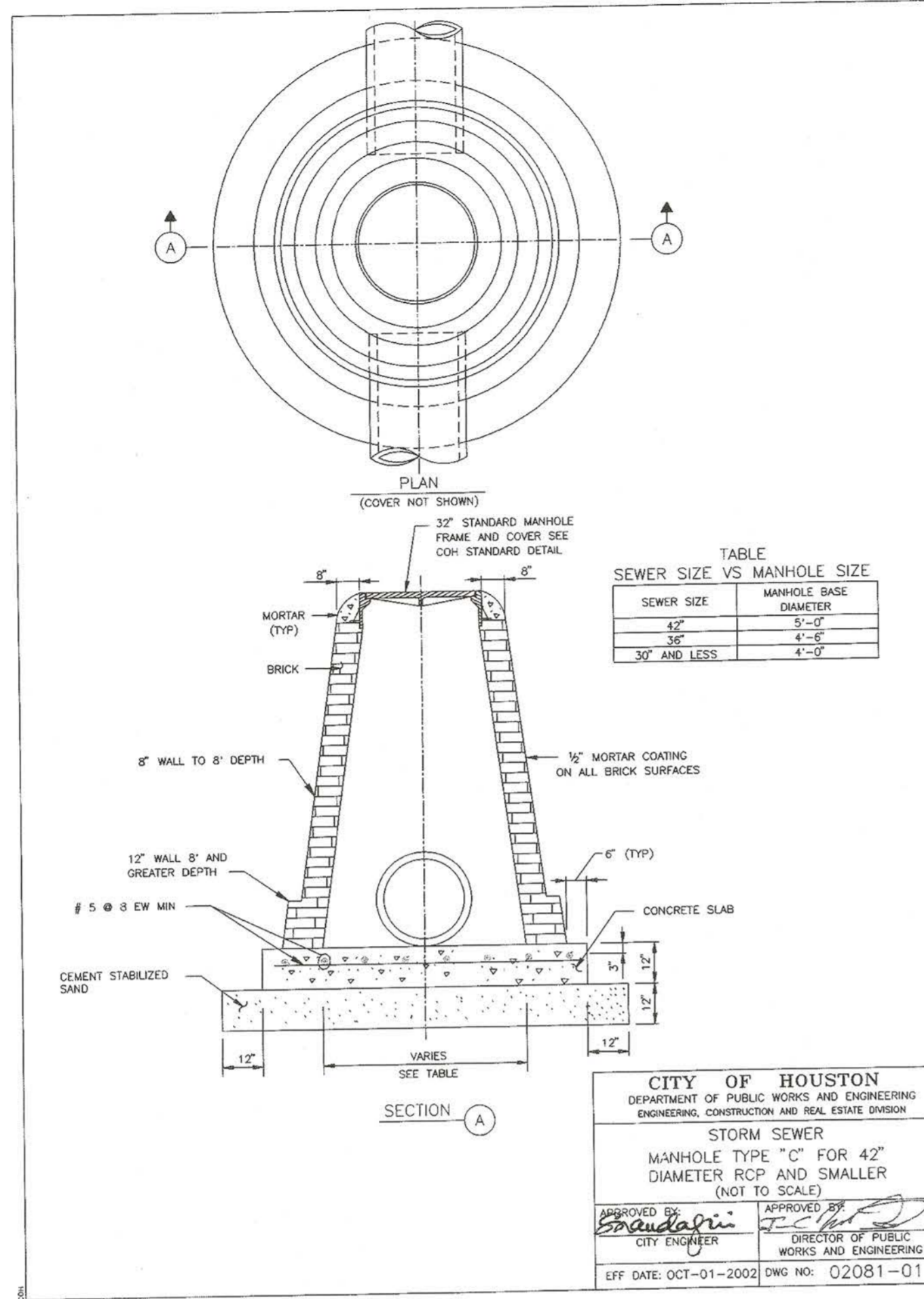
**CITY OF HOUSTON**  
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING  
ENGINEERING, CONSTRUCTION AND REAL ESTATE DIVISION

SANITARY SEWER  
4'-0" DIAMETER PRECAST CONCRETE MANHOLE  
(NOT TO SCALE)

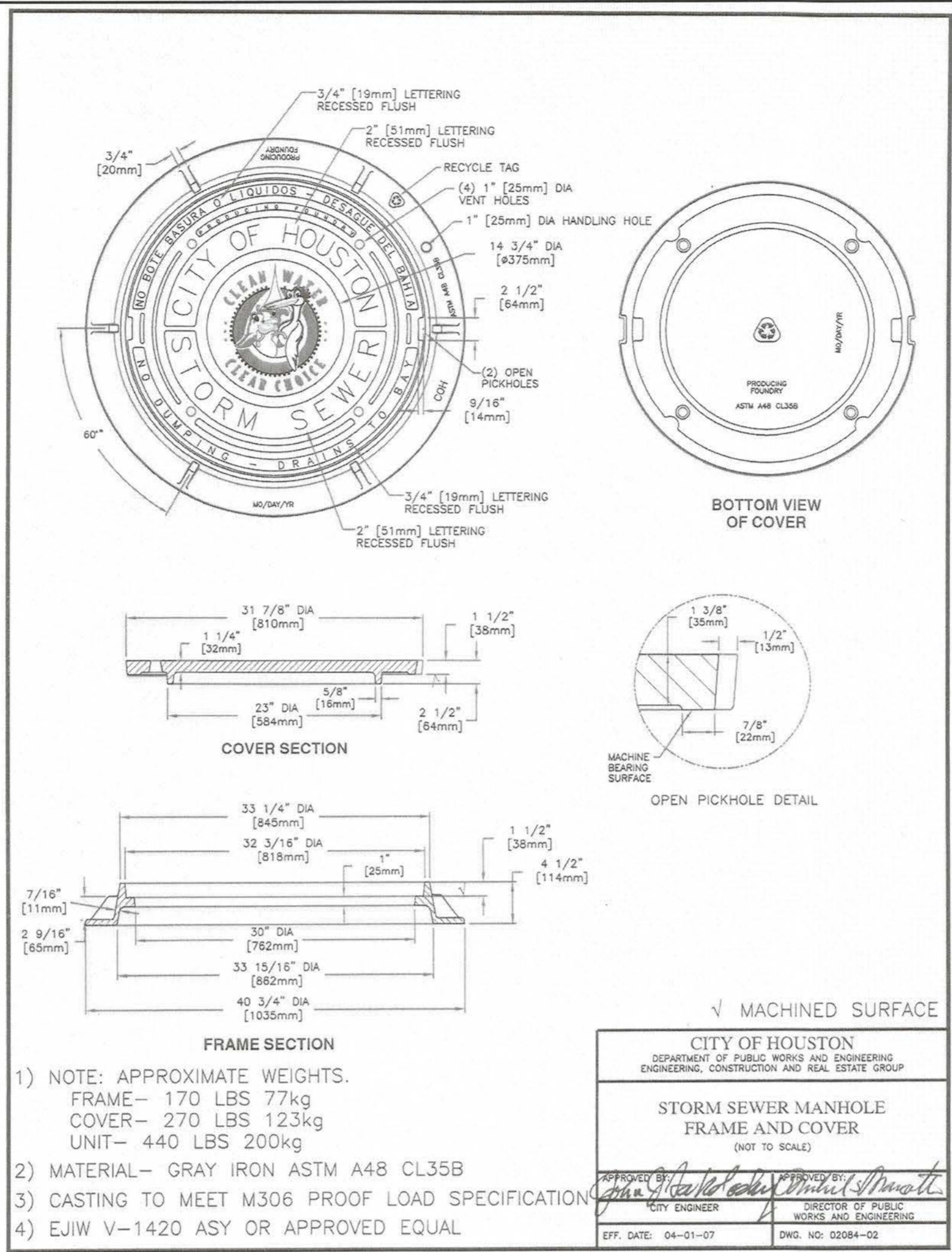
APPROVED BY: *[Signature]*  
CITY ENGINEER  
DIRECTOR OF PUBLIC WORKS AND ENGINEERING

EFF DATE: JULY-01-2010 DWG NO: 02082-02

*[Signature]* 10/3/17  
FBC DEVELOPMENT COORDINATOR DATE

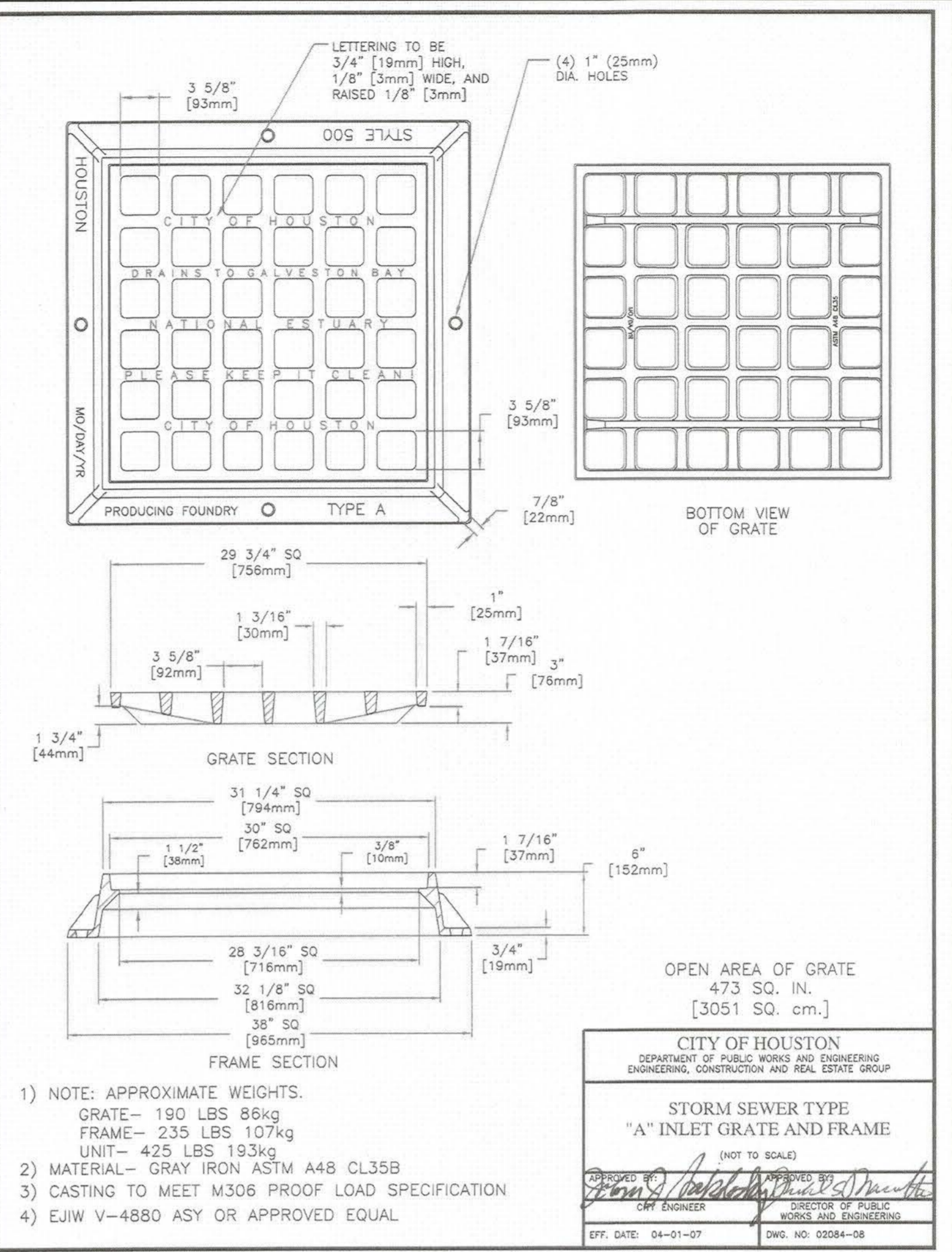


**CITY OF HOUSTON**  
 DEPARTMENT OF PUBLIC WORKS AND ENGINEERING  
 ENGINEERING, CONSTRUCTION AND REAL ESTATE DIVISION  
 STORM SEWER  
 MANHOLE TYPE "C" FOR 42" DIAMETER ROP AND SMALLER (NOT TO SCALE)  
 APPROVED BY: [Signature] CITY ENGINEER  
 APPROVED BY: [Signature] DIRECTOR OF PUBLIC WORKS AND ENGINEERING  
 EFF. DATE: OCT-01-2002 DWG NO: 02081-01



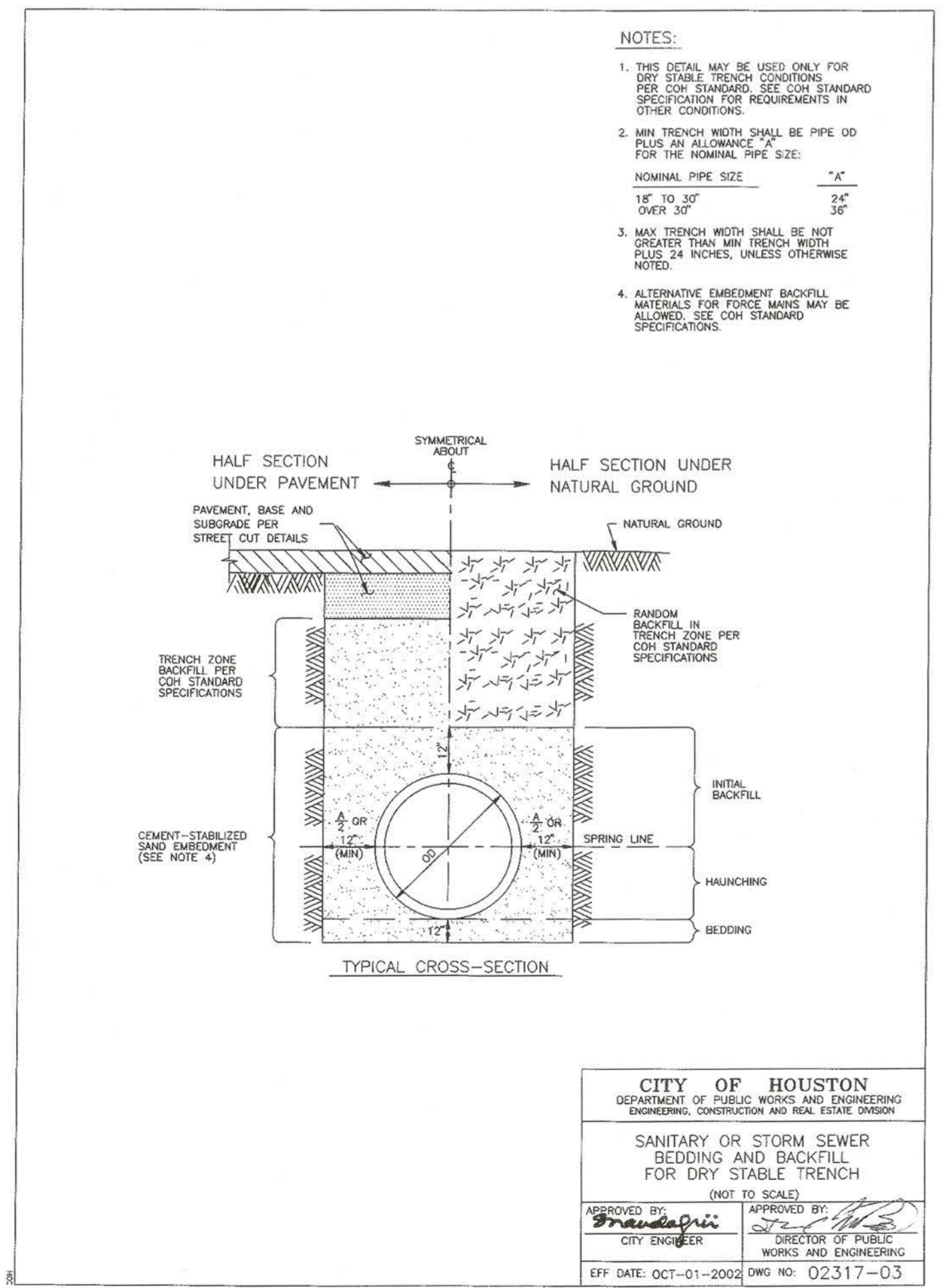
**CITY OF HOUSTON**  
 DEPARTMENT OF PUBLIC WORKS AND ENGINEERING  
 ENGINEERING, CONSTRUCTION AND REAL ESTATE GROUP  
 STORM SEWER MANHOLE FRAME AND COVER (NOT TO SCALE)  
 APPROVED BY: [Signature] CITY ENGINEER  
 APPROVED BY: [Signature] DIRECTOR OF PUBLIC WORKS AND ENGINEERING  
 EFF. DATE: 04-01-07 DWG NO: 02084-02

- NOTE: APPROXIMATE WEIGHTS.  
 FRAME- 170 LBS 77kg  
 COVER- 270 LBS 123kg  
 UNIT- 440 LBS 200kg
- MATERIAL- GRAY IRON ASTM A48 CL35B
- CASTING TO MEET M306 PROOF LOAD SPECIFICATION
- EJUV V-1420 ASY OR APPROVED EQUAL

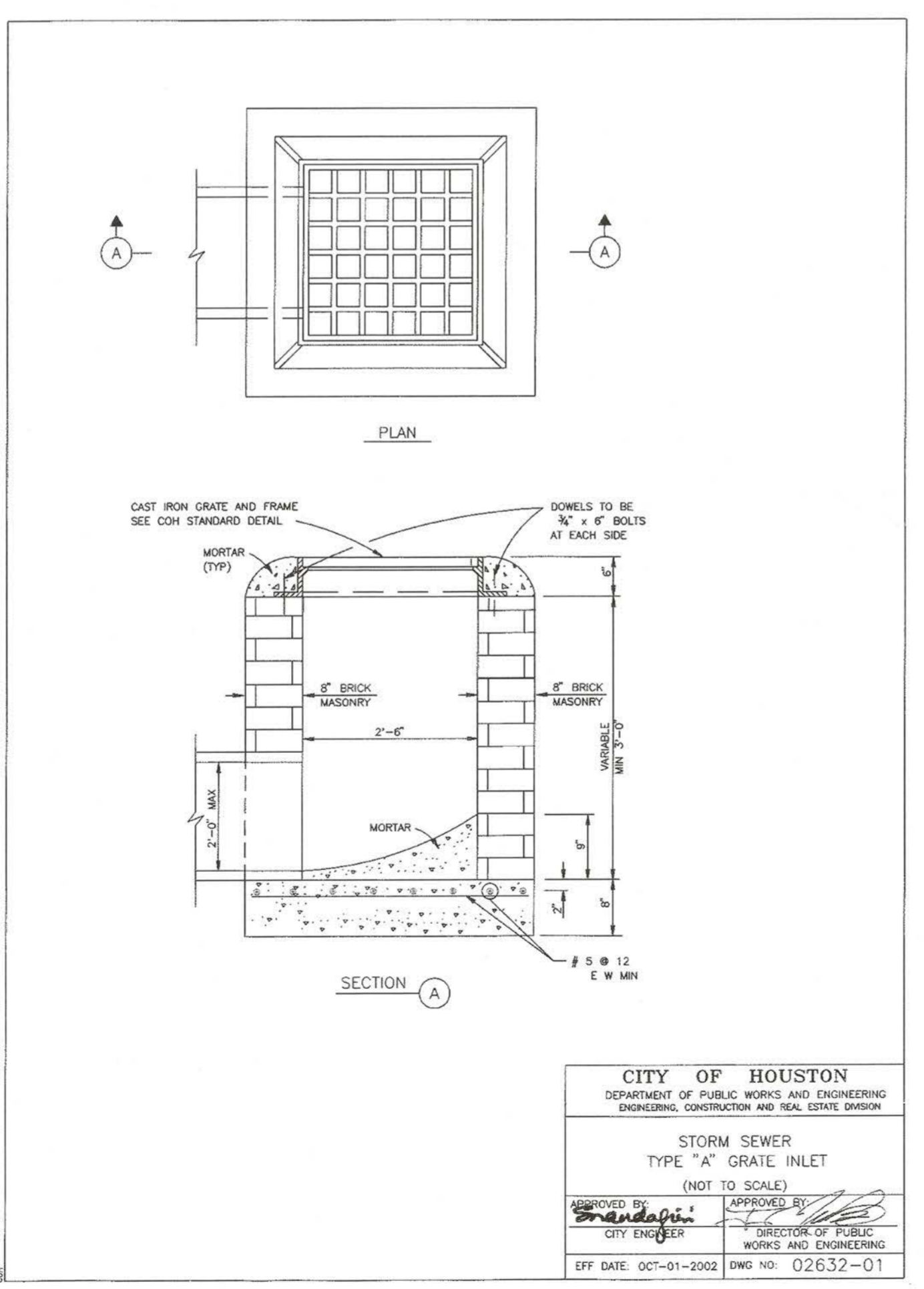


**CITY OF HOUSTON**  
 DEPARTMENT OF PUBLIC WORKS AND ENGINEERING  
 ENGINEERING, CONSTRUCTION AND REAL ESTATE GROUP  
 STORM SEWER TYPE "A" INLET GRATE AND FRAME (NOT TO SCALE)  
 APPROVED BY: [Signature] CITY ENGINEER  
 APPROVED BY: [Signature] DIRECTOR OF PUBLIC WORKS AND ENGINEERING  
 EFF. DATE: 04-01-07 DWG NO: 02084-03

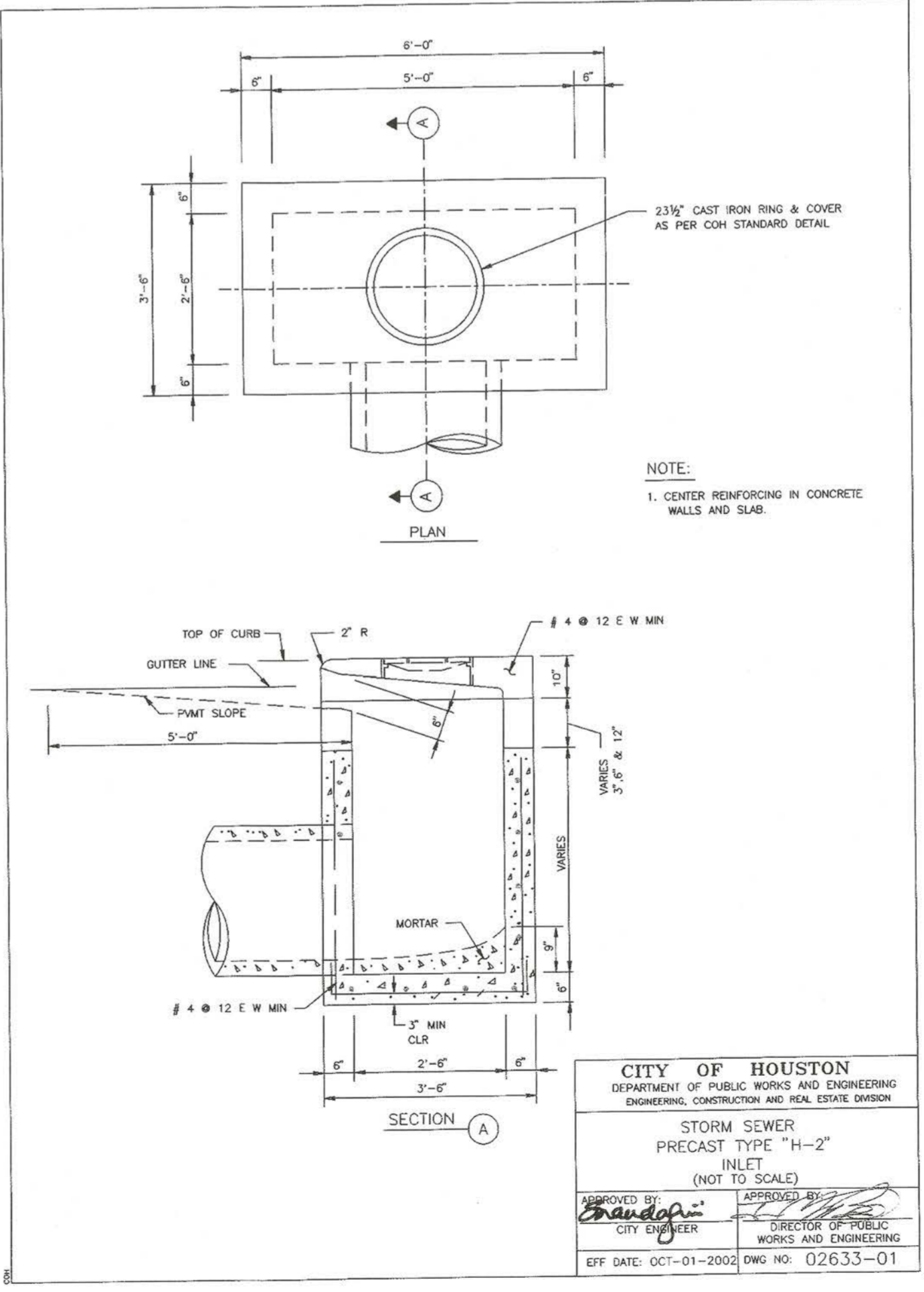
- NOTE: APPROXIMATE WEIGHTS.  
 GRATE- 190 LBS 86kg  
 FRAME- 235 LBS 107kg  
 UNIT- 425 LBS 193kg
- MATERIAL- GRAY IRON ASTM A48 CL35B
- CASTING TO MEET M306 PROOF LOAD SPECIFICATION
- EJUV V-4880 ASY OR APPROVED EQUAL



**CITY OF HOUSTON**  
 DEPARTMENT OF PUBLIC WORKS AND ENGINEERING  
 ENGINEERING, CONSTRUCTION AND REAL ESTATE DIVISION  
 SANITARY OR STORM SEWER BEDDING AND BACKFILL FOR DRY STABLE TRENCH (NOT TO SCALE)  
 APPROVED BY: [Signature] CITY ENGINEER  
 APPROVED BY: [Signature] DIRECTOR OF PUBLIC WORKS AND ENGINEERING  
 EFF. DATE: OCT-01-2002 DWG NO: 02317-03



**CITY OF HOUSTON**  
 DEPARTMENT OF PUBLIC WORKS AND ENGINEERING  
 ENGINEERING, CONSTRUCTION AND REAL ESTATE DIVISION  
 STORM SEWER TYPE "A" GRATE INLET (NOT TO SCALE)  
 APPROVED BY: [Signature] CITY ENGINEER  
 APPROVED BY: [Signature] DIRECTOR OF PUBLIC WORKS AND ENGINEERING  
 EFF. DATE: OCT-01-2002 DWG NO: 02632-01



**CITY OF HOUSTON**  
 DEPARTMENT OF PUBLIC WORKS AND ENGINEERING  
 ENGINEERING, CONSTRUCTION AND REAL ESTATE DIVISION  
 STORM SEWER PRECAST TYPE "H-2" INLET (NOT TO SCALE)  
 APPROVED BY: [Signature] CITY ENGINEER  
 APPROVED BY: [Signature] DIRECTOR OF PUBLIC WORKS AND ENGINEERING  
 EFF. DATE: OCT-01-2002 DWG NO: 02633-01

ENGINEER:  
**FORESITE group**  
 TBPE Firm No. F-12878  
 Foresite Group, Inc.  
 1999 Bryan St. Suite 890  
 Dallas, TX 75201  
 D/B/A Foresite Consulting Group of Texas, Inc.  
 o | 214.939.7123  
 f | 888.765.8135  
 w | www.fg-inc.net

OWNER:  
**GARDNER CAPITAL**  
 2501 N. HARWOOD ST, SUITE 1501  
 DALLAS, TX 75201  
 (417) 447-5538  
 CONTACT: MR. RUBEN ESQUEDA

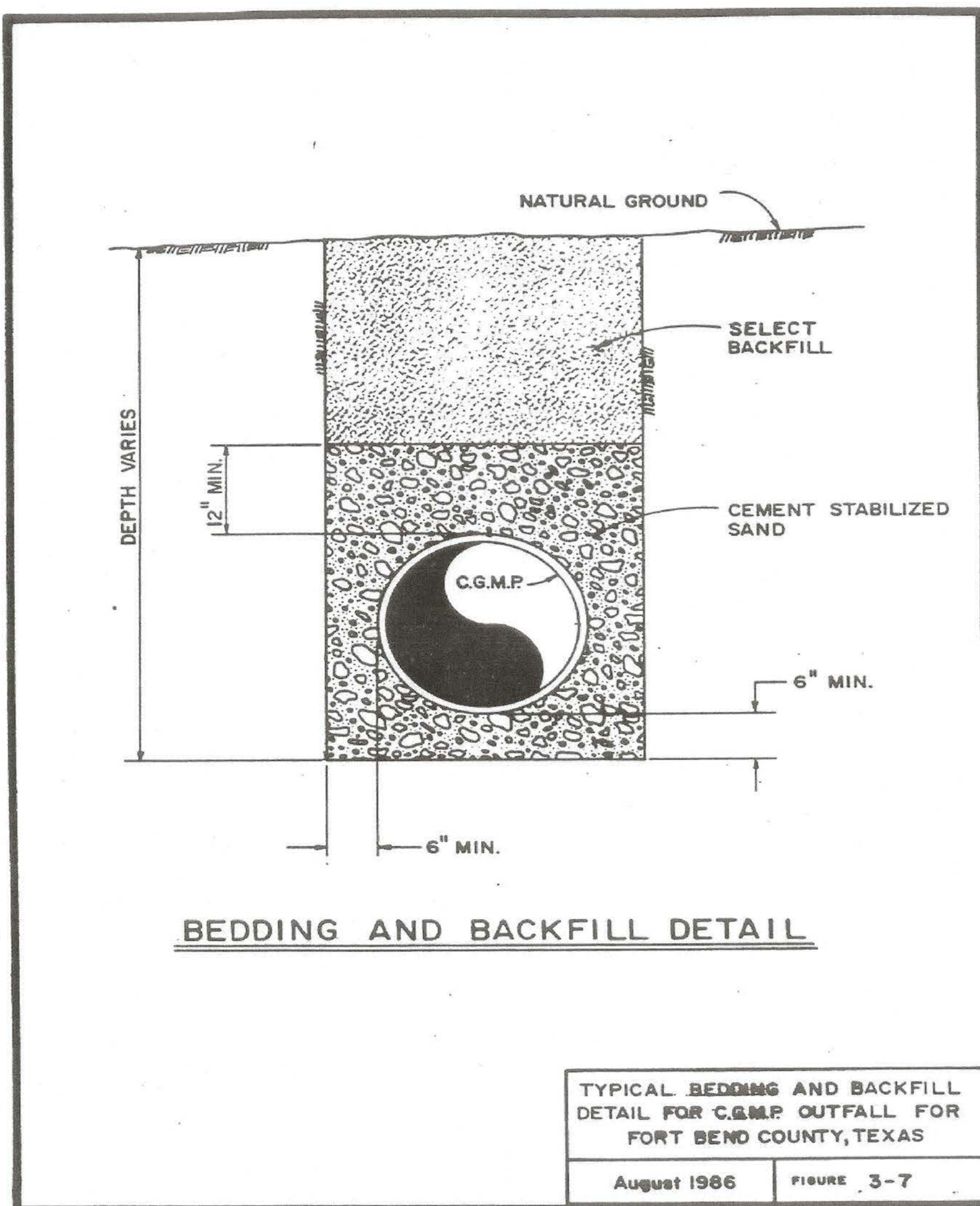
PROJECT:  
**GALA AT FOUR CORNERS**  
 15010 OLD RICHMOND ROAD  
 SUGAR LAND, FORT BEND COUNTY, TX 77489

SEAL:  
  
 JOHN B. RHODES, JR.  
 112311  
 LICENSED PROFESSIONAL ENGINEER  
 STATE OF TEXAS

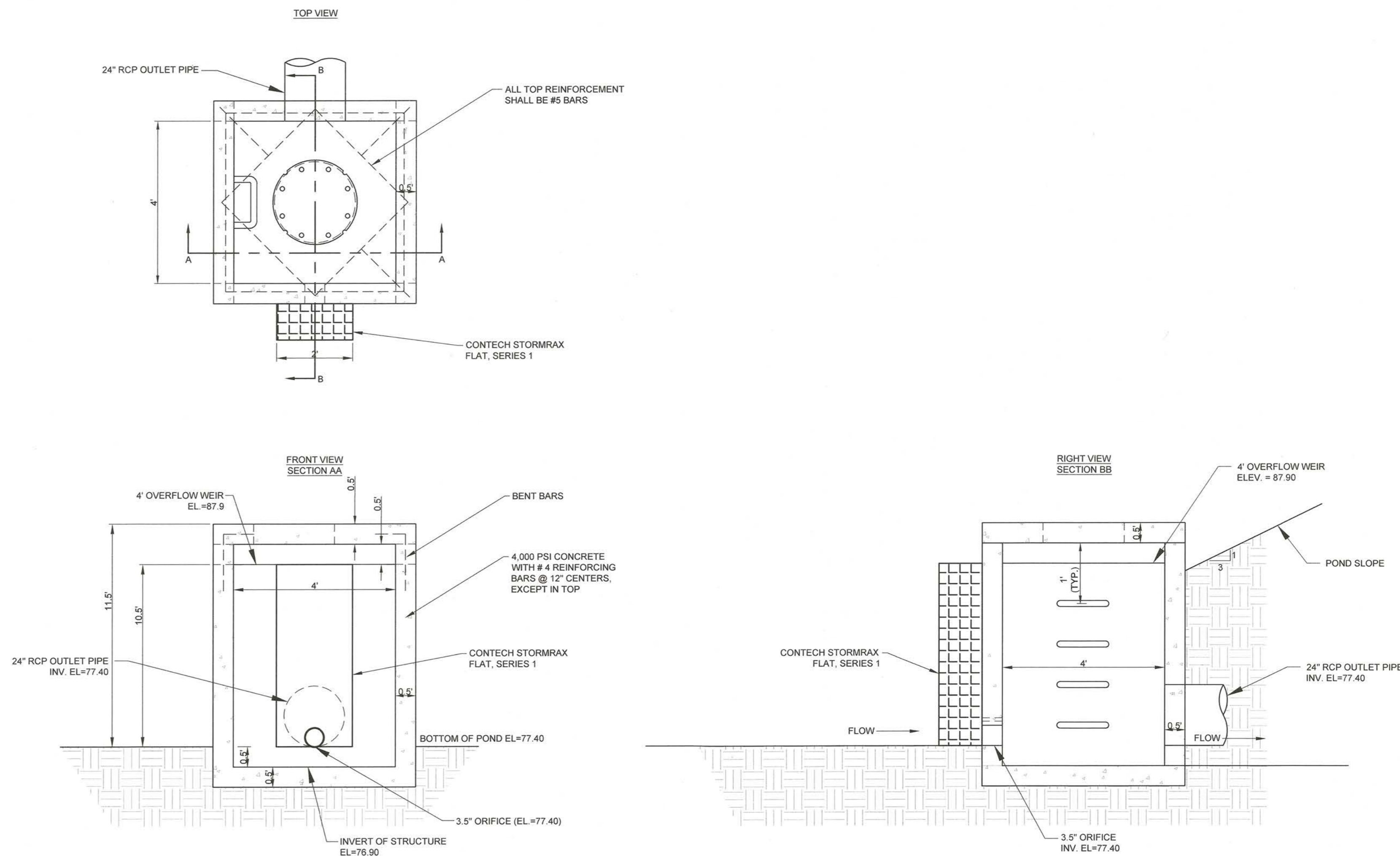
REVISIONS	DATE
COUNTY COMMENTS	04/10/2017
MUD / DRAINAGE DISTRICT COMMENTS	07/21/2017
MUD COMMENTS	09/19/2017
PROJECT MANAGER:	DN
DRAWING BY:	PA
JURISDICTION:	FORT BEND COUNTY
DATE:	01/03/2017
TITLE:	AS SHOWN

**STORM SEWER DETAILS**  
 SHEET NUMBER:  
**C-7.2**  
 COMMENTS: NOT RELEASED FOR CONSTRUCTION  
 JOB/FILE NUMBER: 693.011

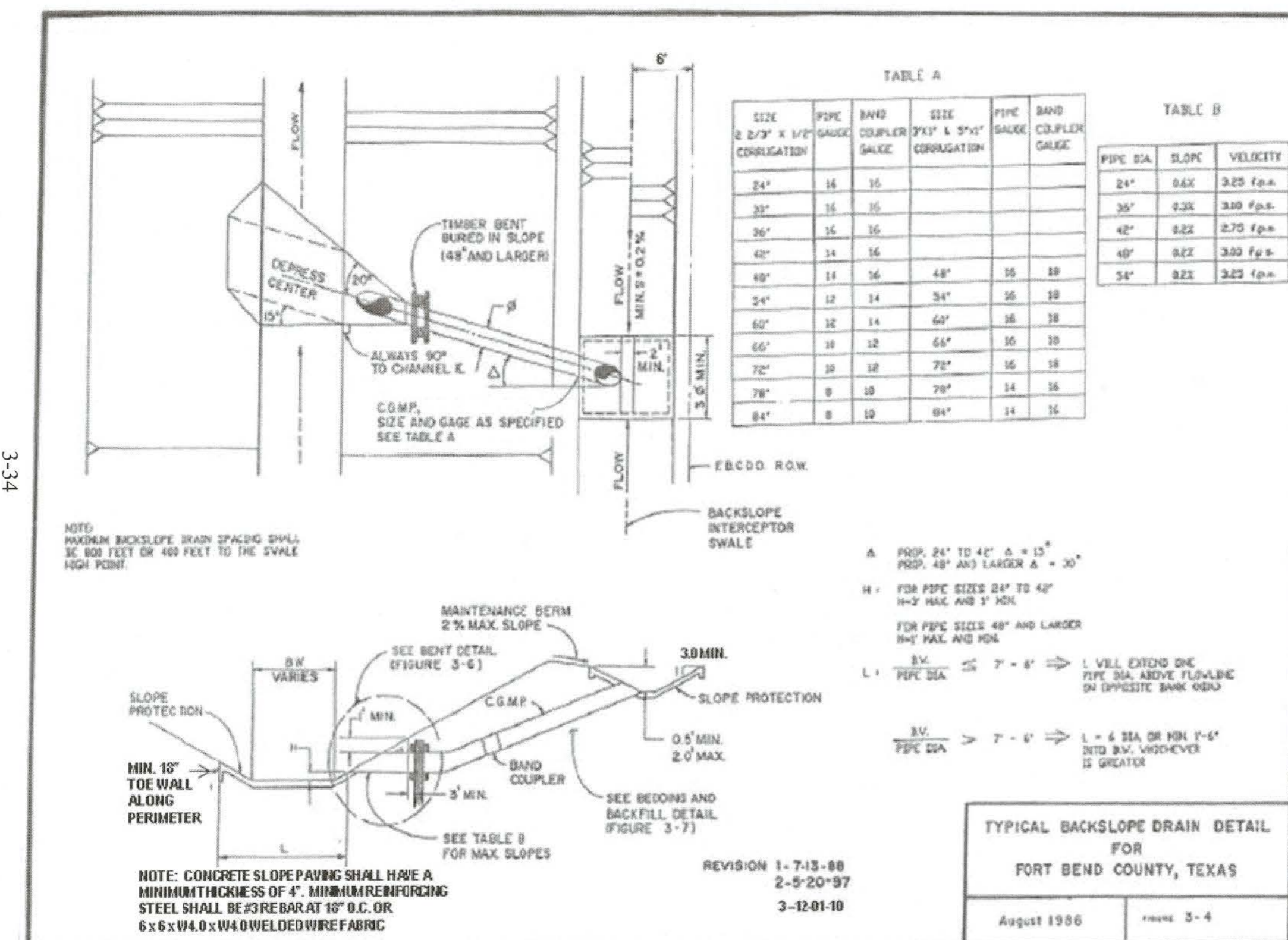
Max [Signature] 10/3/17  
 DATE  
 FBC DEVELOPMENT COORDINATOR



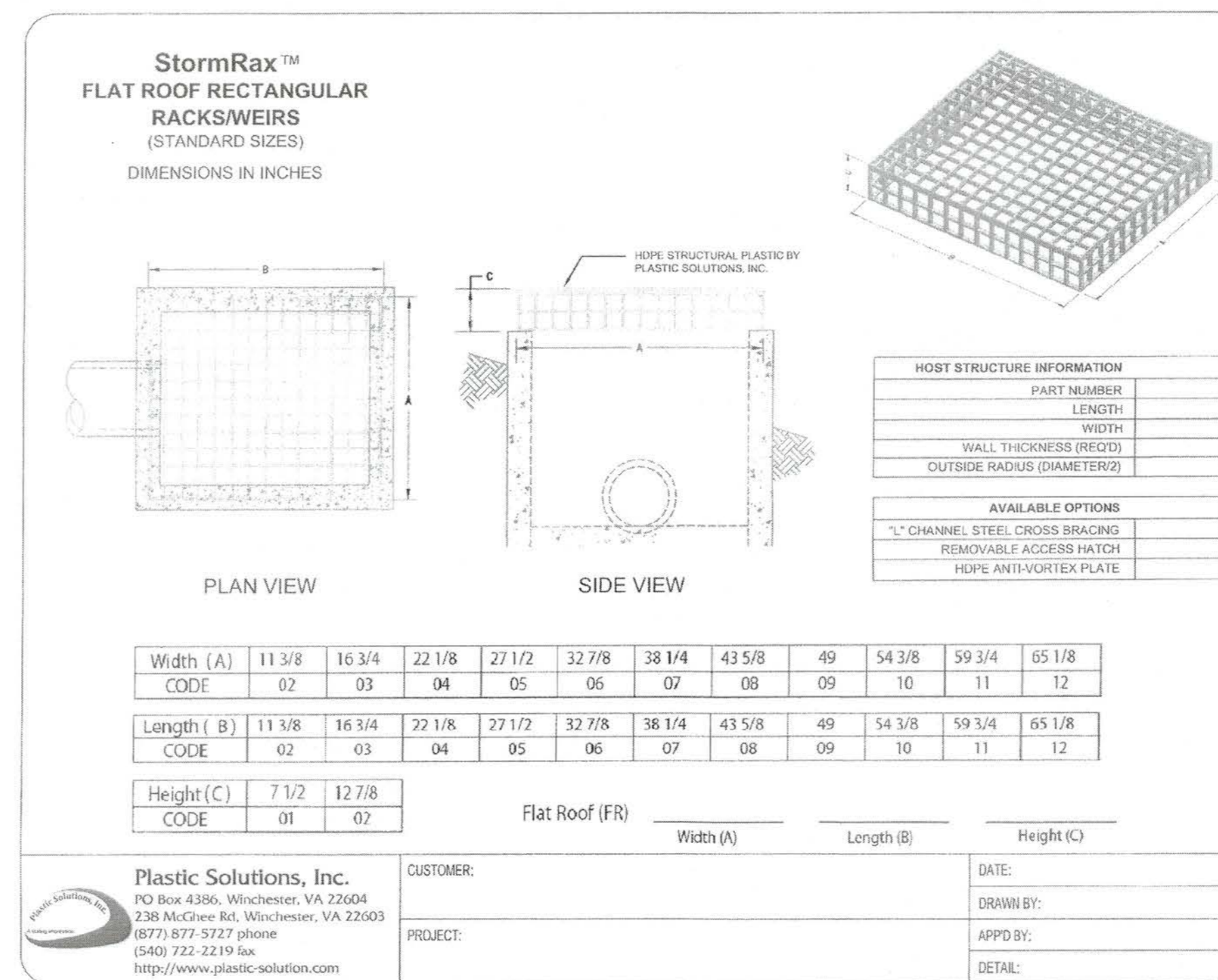
3-37



1 C-7.3 DETENTION OUTFALL DETAIL NOT TO SCALE



3-34



ENGINEER:

**FORESITE group**

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Dallas, TX 75201    w | www.fg-inc.net  
D/B/A Foresite Consulting Group of Texas, Inc.

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DALLAS, TX 75201  
(417) 447-5538

CONTACT: MR. RUBEN ESQUEDA

PROJECT:

**GALA AT FOUR CORNERS**

15010 OLD RICHMOND ROAD  
SUGAR LAND, FORT BEND COUNTY, TX 77498

SEAL:

09/16/17

REVISIONS    DATE

COUNTY COMMENTS    04/10/2017

MUD / DRAINAGE DISTRICT COMMENTS    07/21/2017

MUD COMMENTS    09/19/2017

PROJECT MANAGER:    DN

DRAWING BY:    PA

JURISDICTION:    FORT BEND COUNTY

DATE:    01/03/2017

TITLE:    AS SHOWN

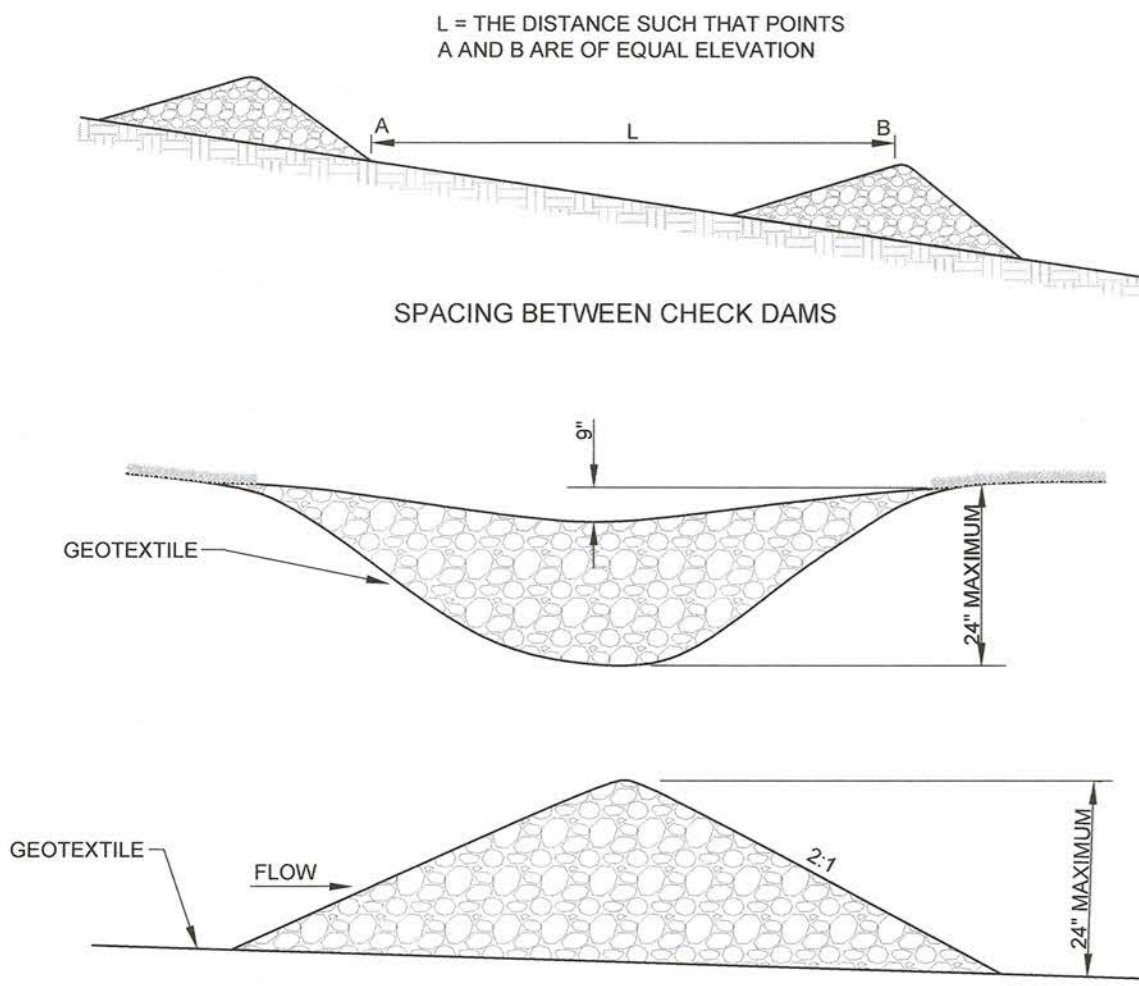
**STORM SEWER DETAILS**

SHEET NUMBER:    **C-7.3**

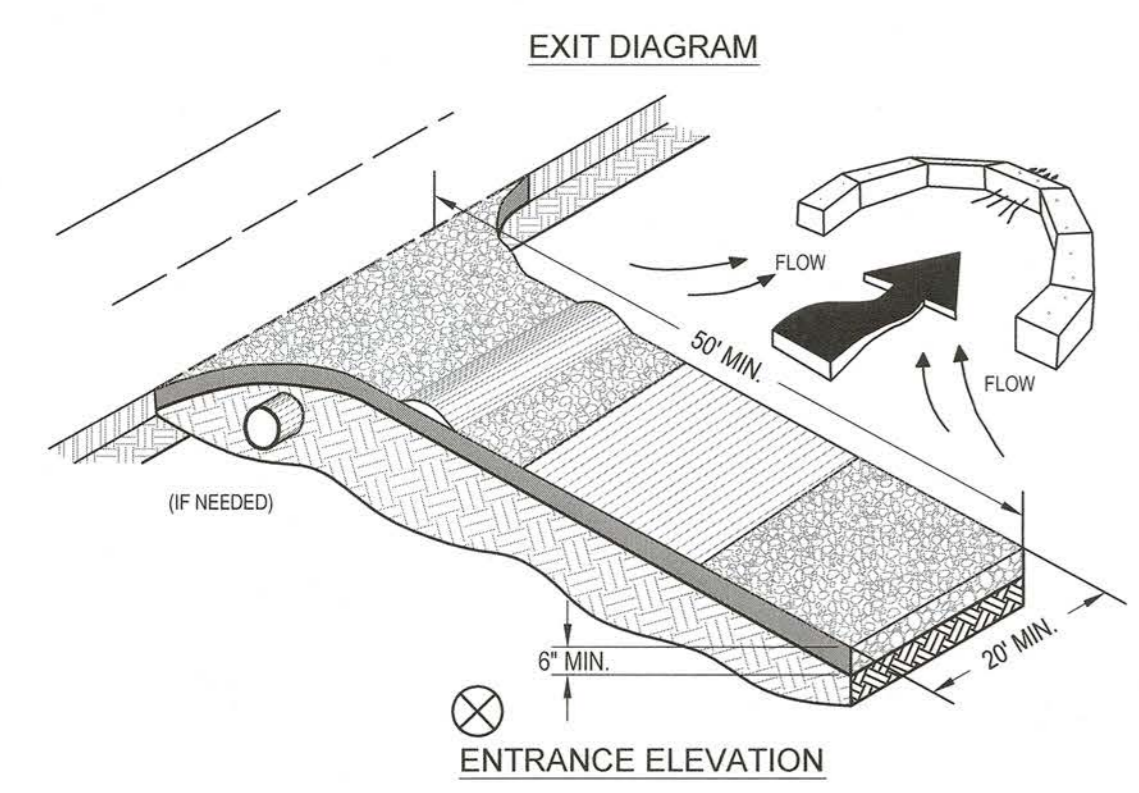
COMMENTS:    NOT RELEASED FOR CONSTRUCTION

JOB/FILE NUMBER:    693.011

Max D.    10/13/17  
FBC DEVELOPMENT COORDINATOR    DATE

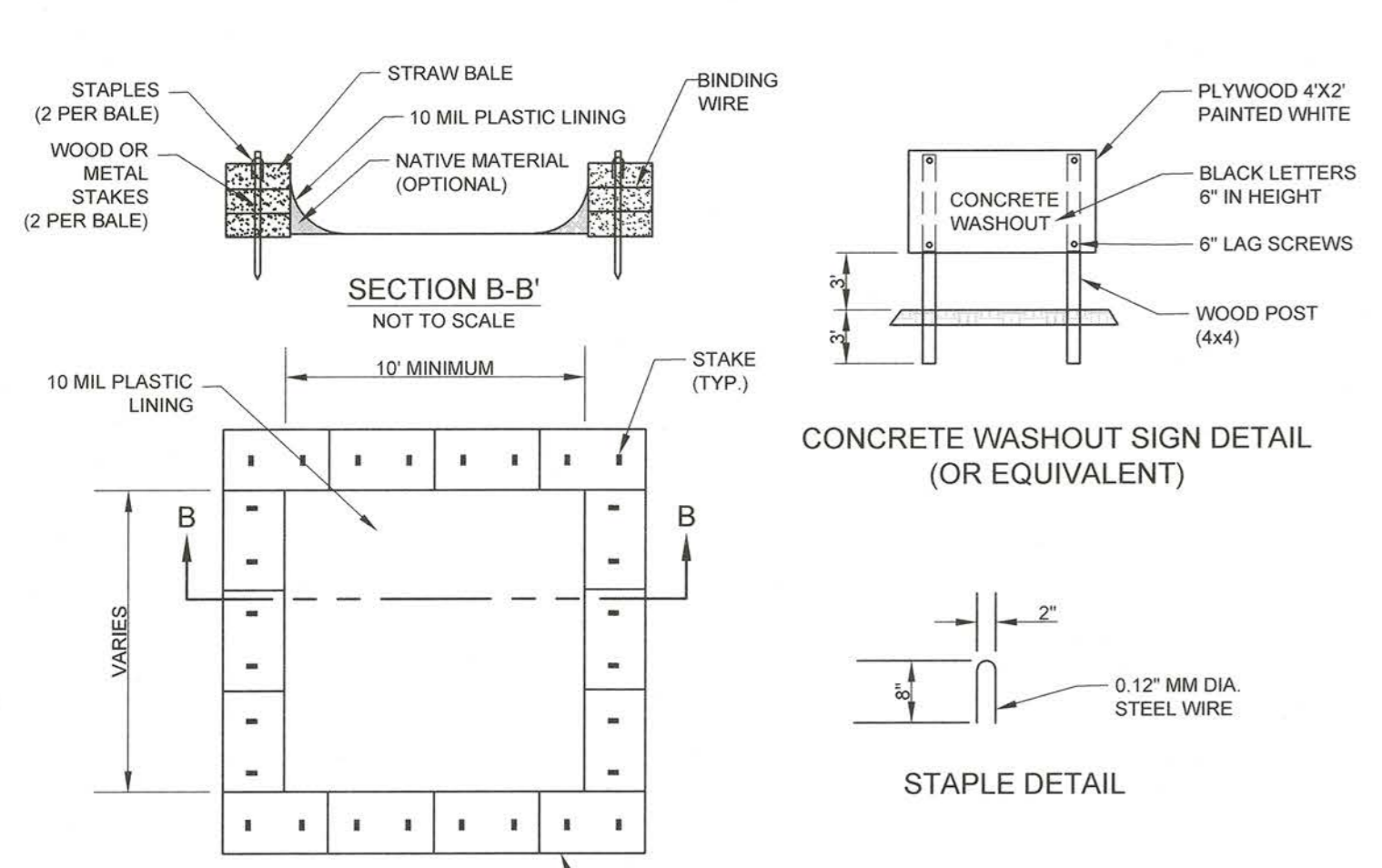


**Cd-S STONE CHECK DAM**  
NOT TO SCALE



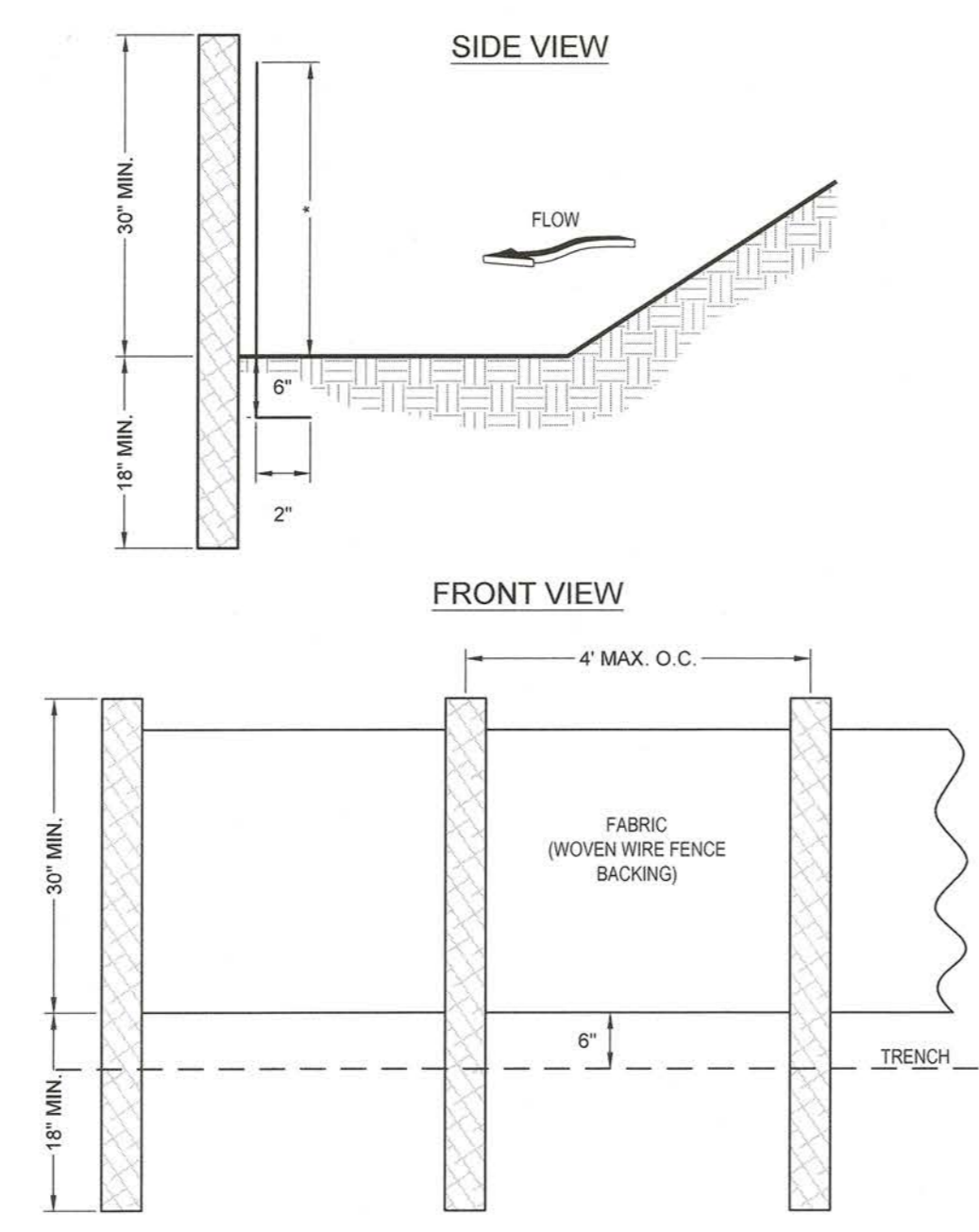
- NOTES:**
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
  2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
  3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
  4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
  5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
  6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
  7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
  8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
  9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
  10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

**Co CRUSHED STONE CONSTRUCTION EXIT**  
NOT TO SCALE



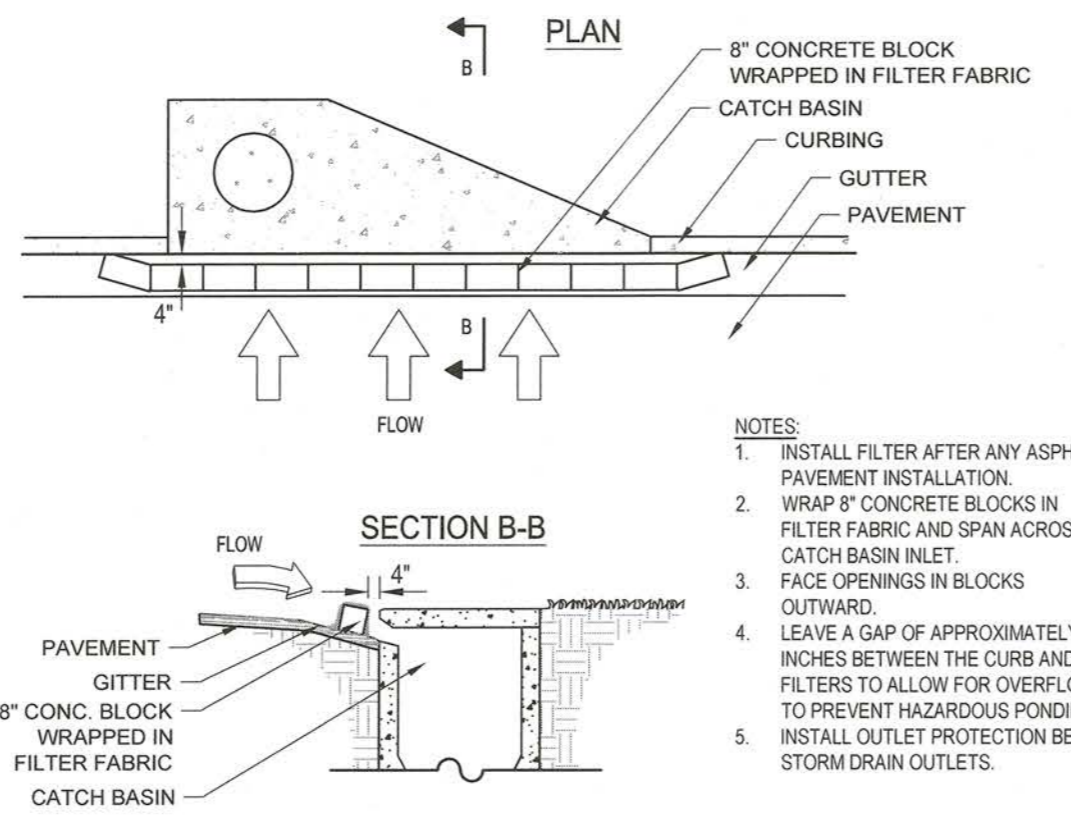
- NOTES:**
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
  2. THE CONCRETE WASHOUT SIGN (SEE FIG. 4-15) SHALL BE INSTALLED WITHIN 10' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

**Cw CONCRETE WASHOUT**  
NOT TO SCALE



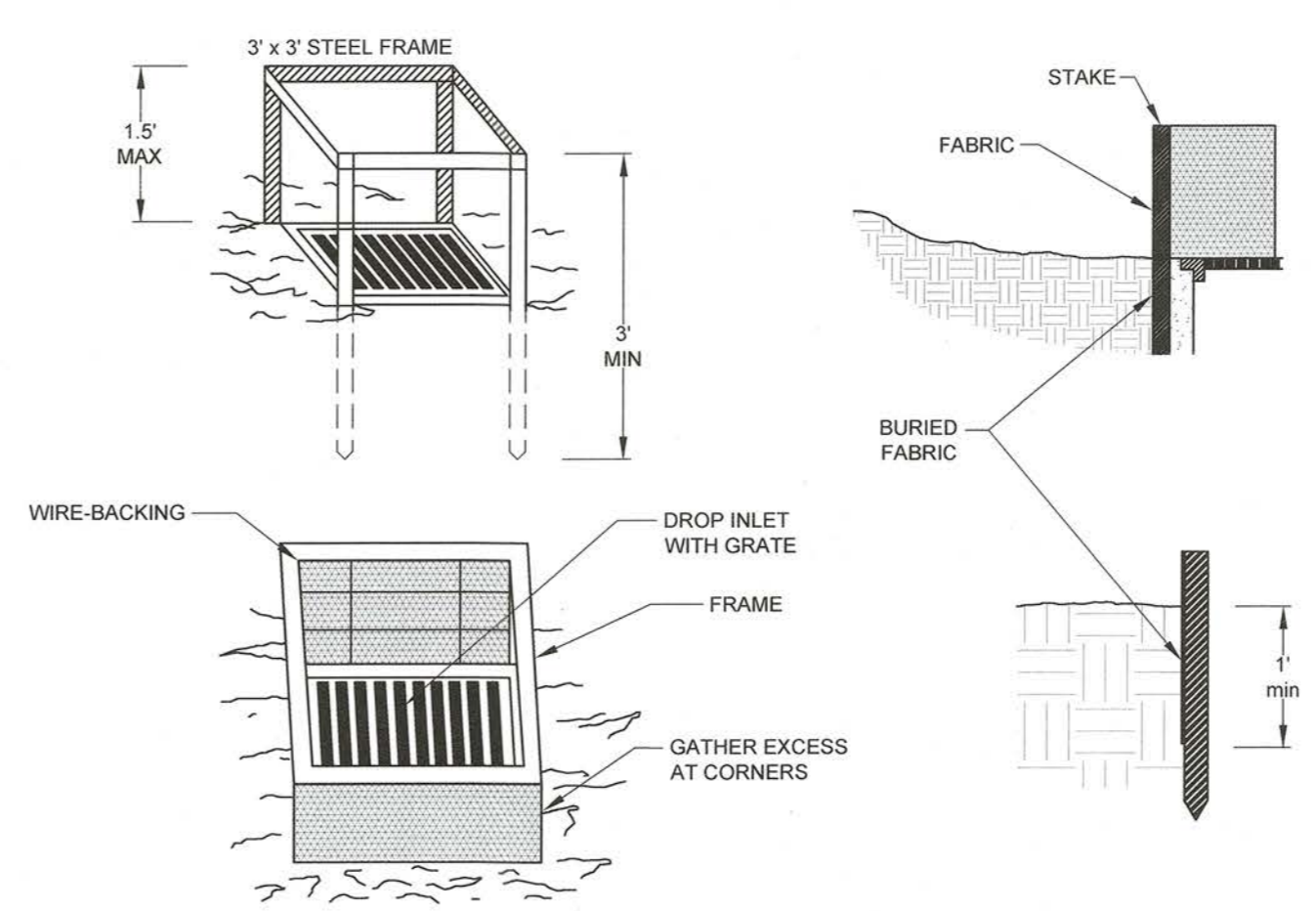
- NOTES:**
1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
  2. HEIGHT (T) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

**Sd1-C SILT FENCE -TYPE SENSITIVE**  
NOT TO SCALE



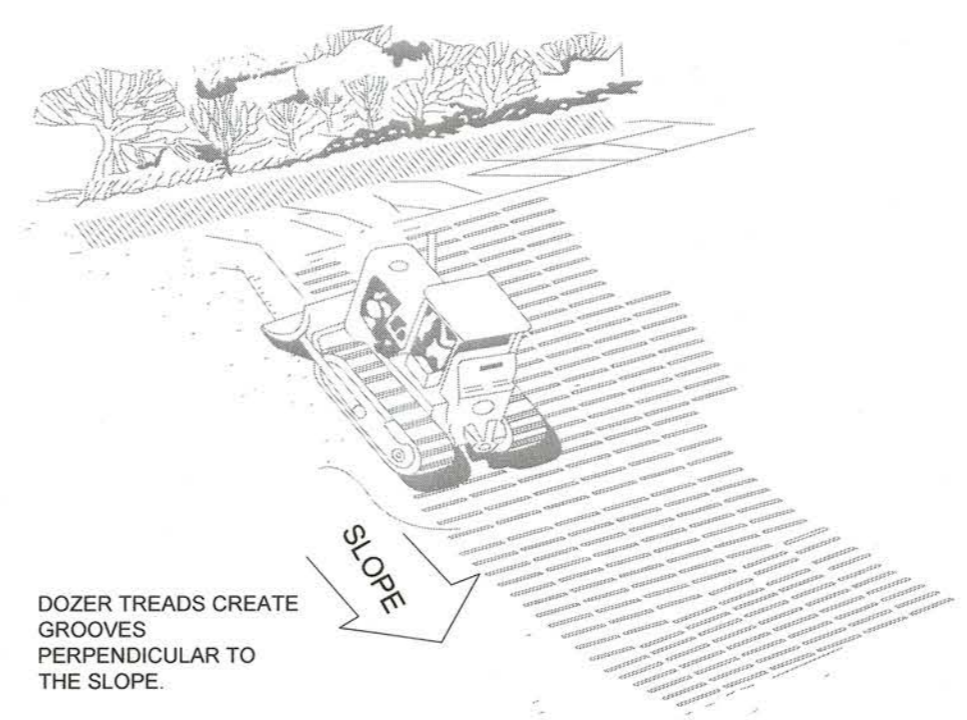
- NOTES:**
1. INSTALL FILTER AFTER ANY ASPHALT PAVEMENT INSTALLATION.
  2. WRAP 8\"/>

**Sd2-P CURB INLET FILTER "PIGS IN BLANKET"**  
NOT TO SCALE

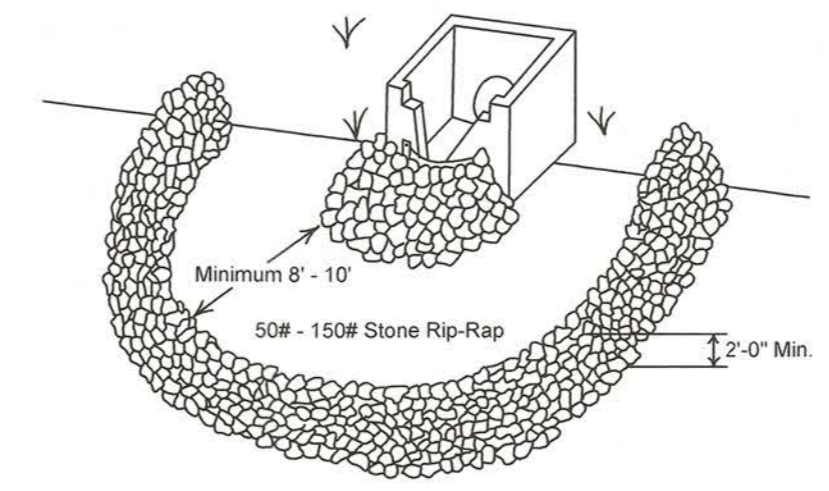


- NOTES:**
1. FOR STAKES, USE STEEL WITH A MINIMUM LENGTH OF 3 FEET.
  2. SPACE STAKES EVENLY AROUND THE PERIMETER OF THE INLET A MAXIMUM OF 3 FEET APART, AND SECURELY DRIVE THEM INTO THE GROUND, MINIMUM OF 18 INCHES DEEP.
  3. TO PROVIDE NEEDED STABILITY TO THE INSTALLATION, FRAME WITH 2 X 4 INCH WOOD STRIPS AROUND THE CREST OF THE OVERFLOW AREA AT A MAXIMUM OF 1.5 FEET ABOVE THE DROP INLET CREST.
  4. PLACE THE BOTTOM 12 INCHES OF THE FABRIC IN A TRENCH AND BACKFILL THE TRENCH WITH CRUSHED STONE OF COMPACTED SOIL.
  5. FASTEN FABRIC SECURELY TO THE STAKES AND FRAME. JOINTS MUST BE OVERLAPPED TO THE NEXT STAKE.
  6. THE TOP OF THE FRAME AND FABRIC MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE FROM THE DROP INLET TO KEEP RUNOFF FROM BYPASSING THE INLET. IT MAY BE NECESSARY TO BUILD A TEMPORARY DIKE ON THE DOWN SLOPE SIDE OF THE STRUCTURE TO PREVENT BYPASS FLOW.

**Sd2-F INLET SEDIMENT TRAP - FILTER FABRIC WITH SUPPORTING FRAME**  
NOT TO SCALE



**Su SURFACE ROUGHENING - WITH TRACKING**  
NOT TO SCALE



**Fr FILTER RING**  
NOT TO SCALE

ENGINEER:  
**FORESITE group**  
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PROJECT:  
**GALA AT FOUR CORNERS**  
15010 OLD RICHMOND ROAD  
SUGAR LAND, FORT BEND COUNTY, TX 77498

SEAL:  
STATE OF TEXAS  
JOHN B. RHODES, JR.  
112311  
LICENSED PROFESSIONAL ENGINEER

REVISIONS	DATE
COUNTY COMMENTS	04/10/2017
PROJECT MANAGER:	DN
DRAWING BY:	PA
JURISDICTION:	FORT BEND COUNTY
DATE:	01/03/2017
	AS SHOWN
TITLE:	

**EROSION CONTROL DETAILS**  
SHEET NUMBER:  
**C-8**  
COMMENTS: NOT RELEASED FOR CONSTRUCTION  
JOB/FILE NUMBER: 693.011

Maxis  
FBC DEVELOPMENT COORDINATOR  
10/3/17  
DATE



**MATTING AND BLANKETING**

ALL SLOPE STABILIZATION PRODUCTS MUST HAVE A DOCUMENTED "C" FACTOR OF 0.080 PER ASTM D6459.

**ROLLED EROSION CONTROL PRODUCT (RECP) CLASSIFICATIONS:**

- SHORT TERM - FUNCTIONAL LONGEVITY OF 12 MONTHS
- EXTENDED TERM - FUNCTIONAL LONGEVITY OF 24 MONTHS
- LONG TERM - FUNCTIONAL LONGEVITY OF 36 MONTHS

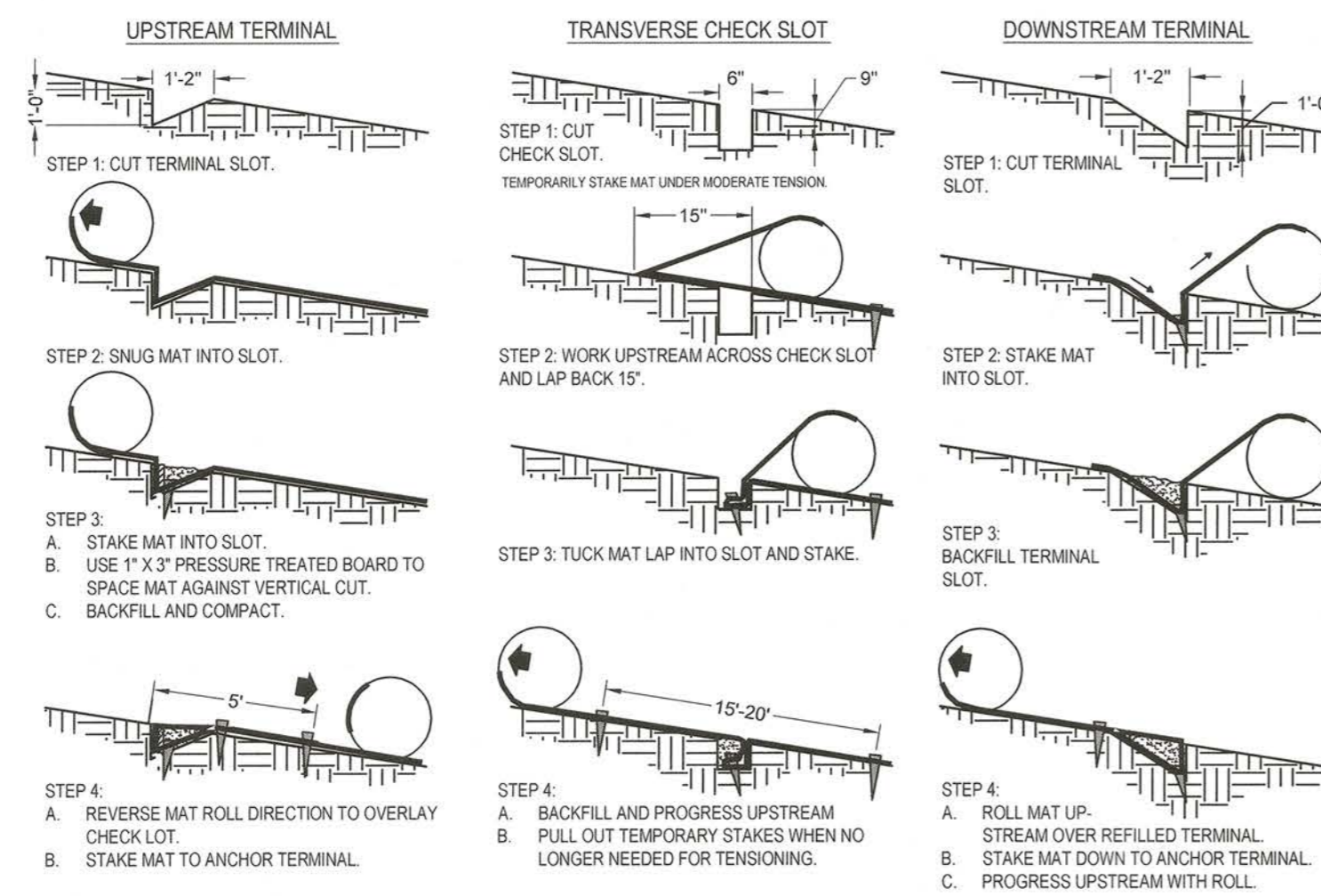
**SITE PREPARATION**

AFTER THE SITE HAS BEEN SHAPED AND GRADED TO DESIGN, PREPARE A FRIABLE SEEDBED RELATIVELY FREE FROM CLODS AND ROCKS MORE THAN ONE INCH IN DIAMETER, AND ANY FOREIGN MATERIAL THAT WILL PREVENT CONTACT OF THE SOIL STABILIZATION MAT WITH THE SOIL SURFACE. SURFACE MUST BE SMOOTH TO ENSURE PROPER CONTACT OF BLANKETS OR MATTING TO THE SOIL SURFACE. IF NECESSARY, REDIRECT ANY RUNOFF FROM THE DITCH OR SLOPE DURING INSTALLATION.

**MAINTENANCE**

ALL EROSION CONTROL BLANKETS AND MATTING SHOULD BE INSPECTED PERIODICALLY FOLLOWING INSTALLATION, PARTICULARLY AFTER RAINSTORMS TO CHECK FOR EROSION AND UNDERMINING. ANY DISLOCATION OR FAILURE SHOULD BE REPAIRED IMMEDIATELY. IF WASHOUTS OR BREAKAGE OCCURS, REINSTALL THE MATERIAL AFTER REPAIRING DAMAGE TO THE SLOPE OR DITCH. CONTINUE TO MONITOR THESE AREAS UNTIL THEY BECOME PERMANENTLY STABILIZED.

**BLANKET AND MATTING CROSS-SECTIONS**



**MB** TYPICAL INSTALLATION GUIDELINES FOR ROLLED EROSION CONTROL PRODUCTS (RECP) NOT TO SCALE

**Ds1 MULCHING FOR TEMPORARY STABILIZATION WITHOUT VEGETATION**

WHEN MULCH IS USED WITHOUT SEEDING, MULCH SHALL BE APPLIED TO PROVIDE FULL COVERAGE OF THE EXPOSED AREA.

**SITE PREPARATION**

1. GRADE TO PERMIT THE USE OF EQUIPMENT FOR APPLYING AND ANCHORING MULCH.
2. INSTALL NEEDED EROSION CONTROL MEASURES AS REQUIRED SUCH AS DIKES, DIVERSIONS, BERMS, TERRACES AND SEDIMENT BARRIERS.
3. LOOSEN COMPACT SOIL TO A MINIMUM DEPTH OF 3 INCHES.

MULCH MATERIALS AND APPLICATION RATES	
MATERIAL	RATE
STRAW OR HAY	2-4" DEEP
WOOD WASTE, CHIPS, SAW DUST, OR BARK	2-3" DEEP (ABOUT 6-9 TONS/ACRE)
MATTING OR NETTING	ACCORDING TO MANUFACTURER RECOMMENDATIONS
POLYETHYLENE FILM	CAN BE LAID OVER SENSITIVE AREAS AND STOCKPILES. MUST BE SECURED.

**APPLICATION**

1. DRY STRAW OR HAY MULCH AND WOOD CHIPS SHALL BE APPLIED UNIFORMLY BY HAND OR BY MECHANICAL EQUIPMENT.
2. IF THE AREA WILL EVENTUALLY BE COVERED WITH PERENNIAL VEGETATION, ADD 20-30 POUNDS OF NITROGEN PER ACRE IN ADDITION TO THE NORMAL AMOUNT.

**ANCHORING MULCH**

1. STRAW OR HAY MULCH CAN BE PRESSED INTO THE SOIL WITH A DISK HARROW WITH THE DISK SET STRAIGHT OR WITH A SPECIAL "PACKER DISK" DISKS MAY BE SMOOTH OR SERRATED AND SHOULD BE 20 INCHES OR MORE IN DIAMETER AND 8 TO 12 INCHES APART. THE EDGES OF THE DISK SHOULD BE DULL ENOUGH NOT TO CUT THE MULCH BUT TO PRESS IT INTO THE SOIL LEAVING MUCH OF IT IN AN UPRIGHT POSITION. STRAW OR HAY MULCH SHALL BE ANCHORED IMMEDIATELY AFTER APPLICATION.
2. STRAW OR HAY MULCH SPREAD WITH SPECIAL BLOWER-TYPE EQUIPMENT MAY BE ANCHORED WITH EMULSIFIED ASPHALT (GRADE AE-5 OR SS-1). THE ASPHALT EMULSION SHALL BE SPRAYED ONTO THE MULCH AS IT IS EJECTED FROM THE MACHINE. USE 100 GALLONS OF EMULSIFIED ASPHALT AND 100 GALLONS OF WATER PER TON OF MULCH. TACKIFIERS AND BINDERS CAN BE SUBSTITUTED FOR EMULSIFIED ASPHALT. PLEASE REFER TO SPECIFICATION TB - TACKIFIERS AND BINDERS. PLASTIC MESH OR NETTING WITH MESH NO LARGER THAN ONE INCH BY ONE INCH SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
3. NETTING OF THE APPROPRIATE SIZE SHALL BE USED TO ANCHOR WOOD WASTE. OPENINGS OF THE NETTING SHALL NOT BE LARGER THAN THE AVERAGE SIZE OF THE WOOD WASTE CHIPS.
4. POLYETHYLENE FILM SHALL BE ANCHOR TRENCHED AT THE TOP AS WELL AS INCREMENTALLY AS NECESSARY.

**Ds2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)**

**GRADING AND SHAPING**

1. EXCESSIVE WATER RUNOFF SHALL BE REDUCED BY PRACTICES SUCH AS CLOSED DRAINS, DITCHES, DIKES, DIVERSIONS, AND OTHERS.
2. NO SHAPING OR GRADING IS REQUIRED IF SLOPES CAN BE STABILIZED BY HAND-SEEDED VEGETATION OR IF HYDRAULIC SEEDING EQUIPMENT IS TO BE USED.

**SEEDBED PREPARATION**

1. WHEN A HYDRAULIC SEEDER IS USED, SEEDBED PREPARATION IS NOT REQUIRED. WHEN USING CONVENTIONAL OR HAND-SEEDED, SEEDBED PREPARATION IS NOT REQUIRED IF THE SOIL MATERIAL IS LOOSE AND NOT SEALED BY RAINFALL.
2. WHEN SOIL HAS BEEN SEALED BY RAINFALL OR CONSISTS OF SMOOTH CUT SLOPES, THE SOIL SHALL BE PITTED, TRENCHED OR OTHERWISE SCARIFIED TO PROVIDE A PLACE FOR SEED TO LODGE AND GERMINATE.

**LIME AND FERTILIZER**

1. SOIL TESTS MUST BE PERFORMED DETERMINE THE REQUIRED AMOUNTS OF FERTILIZER, LIME, AND OTHER AMENDMENTS. SOIL TESTS SHOULD INCLUDE RECOMMENDATIONS FOR APPLICATION RATES.
2. APPLY AGRICULTURAL LIME AT A RATE DETERMINED BY SOIL TEST FOR PH. QUICK ACTING LIME SHOULD BE INCORPORATED TO MODIFY PH DURING THE GERMINATION PERIOD.
3. ALL GRADED AREAS REQUIRE LIME APPLICATION UNLESS SOIL TEST INDICATE OTHERWISE.
4. BIOSTIMULANTS SHOULD ALSO BE CONSIDERED WHEN THERE IS LESS THAN 3% ORGANIC MATTER IN THE SOIL.
5. FERTILIZER SHOULD BE APPLIED BEFORE SEEDBED PREPARATION AND INCORPORATED WITH A DISK, RIPPER, OR CHISEL ON SLOPES TOO STEEP FOR, OR INACCESSIBLE TO EQUIPMENT, FERTILIZER SHALL BE HYDRAULICALLY APPLIED, PREFERABLY IN THE FIRST PASS WITH SEED AND SOME HYDRAULIC MULCH, THEN TOPPED WITH THE REMAINING REQUIRED APPLICATION RATE.

6. FOR LOW FERTILITY SOILS, AGRICULTURAL LIME & FERTILIZER REQUIRED UNLESS SOIL TESTS SHOW IT IS NOT REQUIRED AND THAT SOILS ARE REASONABLY FERTILE. FOR LOW FERTILITY SOILS, APPLY 10-10-10 FERTILIZER AT 500-700 LBS/ACRE. APPLY AGRICULTURAL LIME AT 1 TON PER ACRE.

**SEEDING**

SEEDING SHALL CONFORM TO TxDOT SPECIFICATION ITEM 64.

**MULCHING**

TEMPORARY VEGETATION CAN, IN MOST CASES, BE ESTABLISHED WITHOUT THE USE OF MULCH. PROVIDED THERE IS LITTLE TO NO EROSION POTENTIAL. HOWEVER, THE USE OF MULCH CAN OFTEN ACCELERATE AND ENHANCE GERMINATION AND VEGETATION ESTABLISHMENT. MULCH WITHOUT SEEDING SHOULD BE CONSIDERED FOR SHORT TERM PROTECTION. REFER TO D51 - DISTURBED AREA STABILIZATION (D51).

**IRRIGATION**

DURING TIMES OF DROUGHT, WATER SHALL BE APPLIED AT A RATE NOT CAUSING RUNOFF AND EROSION. THE SOIL SHALL BE THOROUGHLY WETTED TO A DEPTH THAT WILL INSURE GERMINATION OF THE SEED. SUBSEQUENT APPLICATIONS SHOULD BE MADE WHEN NEEDED.

**Du DUST CONTROL ON DISTURBED AREAS**

REFER TO THE POLLUTION CONTROL NOTES FOR RECOMMENDED SEQUENCE AND PRACTICE OF DUST CONTROL MEASURES.

**TEMPORARY METHODS**

1. APPLICATION OF MULCH (SEE D51)
2. TEMPORARY VEGETATIVE COVER (SEE D52)
3. SPRAY ON ADHESIVES (SEE TAG)
4. TELLAGE - THE ROUGHENING OF SOIL AND BRING CLODS TO THE SURFACE. IT SHOULD BE USED AS AN EMERGENCY MEASURE BEFORE HIGH WIND EROSION POTENTIAL.
5. IRRIGATION - SPRINKLE WITH WATER UNTIL THE SURFACE IS WET. REPEAT AS NEEDED.
6. BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, BALES OF HAY, AND SIMILAR MATERIALS TO BE PLACED TO RIGHT ANGLES OF PREVAILING CURRENTS. TO BE EFFECTIVE, BARRIERS MUST BE AT INTERVALS OF APPROX. 15 TIMES THEIR HEIGHT.
7. CALCIUM CHLORIDE APPLICATION - APPLY AS NEEDED TO KEEP SURFACE MOIST.

**PERMANENT METHODS**

1. PERMANENT VEGETATION - (SEE D53)
2. TOPSOILING - COVER WITH LESS EROSION TOPSOIL.
3. STONE - COVER AREAS SUBJECT TO WIND EROSION AND HIGH TRAFFIC AREAS WITH CRUSHED STONE OR COARSE GRAVEL.

ENGINEER:

**FORESITE group**

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CONTACT: MR. RUBEN ESQUEDA

GALA AT FOUR CORNERS

15010 OLD RICHMOND ROAD  
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PROJECT:

SEAL:



REVISIONS	DATE
COUNTY COMMENTS	04/10/2017

PROJECT MANAGER: DN

DRAWING BY: PA

JURISDICTION: FORT BEND COUNTY

DATE: 01/03/2017

AS SHOWN

TITLE:

**EROSION CONTROL DETAILS**

SHEET NUMBER:

**C-8.1**

COMMENTS: NOT RELEASED FOR CONSTRUCTION

JOB/FILE NUMBER: 693.011

*Massi*  
FBC DEVELOPMENT COORDINATOR 10/3/17 DATE



**NOTES:**

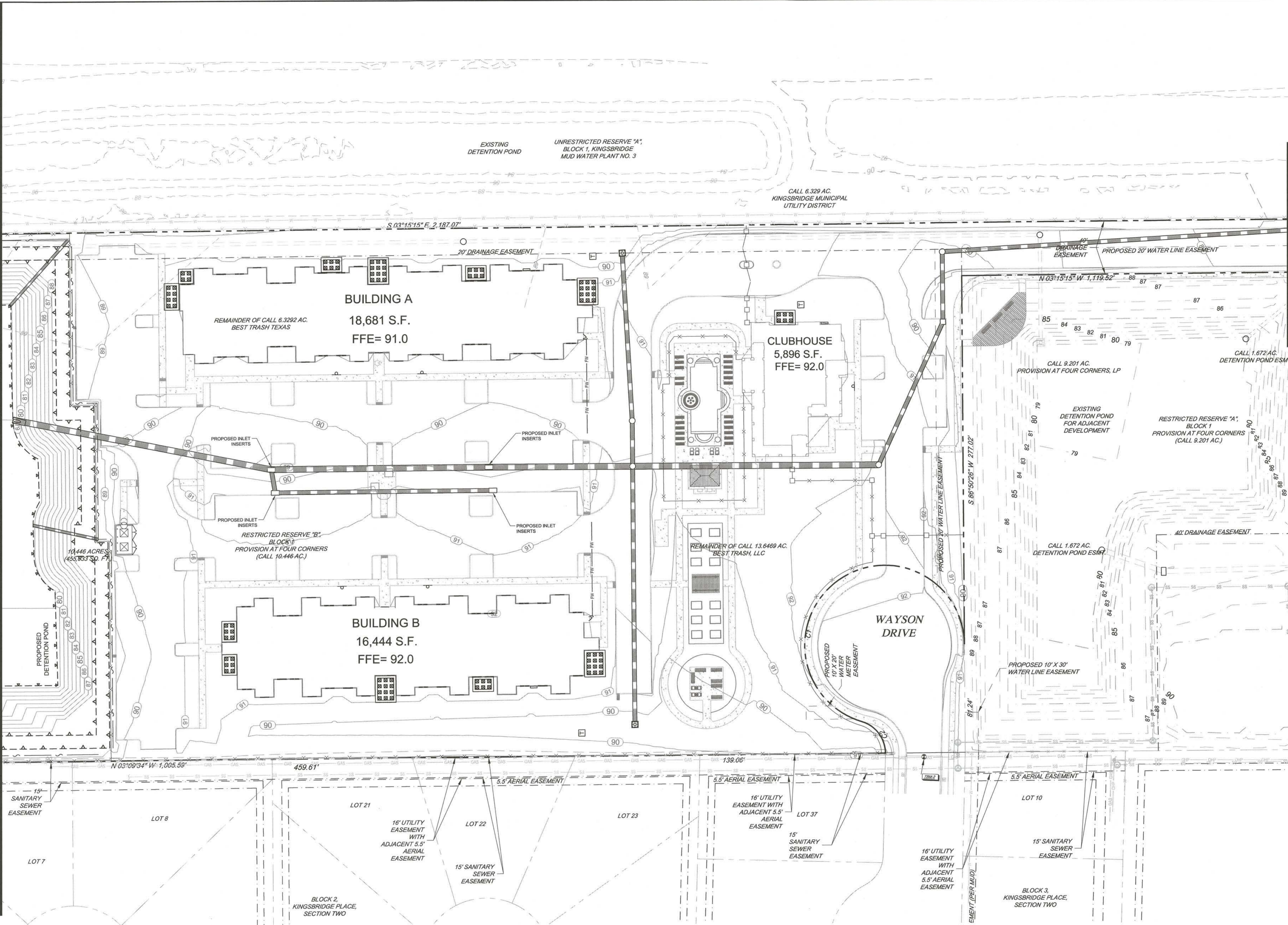
- 1) OWNER'S ENGINEER SHALL CERTIFY UPON COMPLETION OF CONSTRUCTION THAT THE STRUCTURAL BEST MANAGEMENT PRACTICES DEPICTED ON THESE PLANS HAVE BEEN IMPLEMENTED.
- 2) NOW - STRUCTURAL BEST MANAGEMENT PRACTICES APPROPRIATE FOR THIS DEVELOPMENT ARE LISTED AND DESCRIBED ON THIS SHEET.
- 3) OWNER HAS CERTIFIED THAT IT ACKNOWLEDGES THE RESPONSIBILITY TO IMPLEMENT, MAINTAIN AND INSPECT THE STORM WATER MANAGEMENT PLAN (SWMP).
- 4) OWNER SHALL HAVE AN ANNUAL INSPECTION AND ASSESSMENT OF THE SWMP AND ISSUE A CERTIFICATION OF PROPER MAINTENANCE TO THE KINGSBRIDGE MUD ENGINEER.
- 5) ALL EXISTING INFORMATION SHOWN FOR THE PROVISION AT FOUR CORNERS DEVELOPMENT IS DEPICTED FROM THE DESIGN PLANS. CONTRACTOR SHOULD FIELD VERIFY THE LOCATION AND EXISTENCE OF ALL PERTINENT ITEMS ON THE PROVISION AT FOUR CORNERS PROPERTY.



TRASH RACK

LEGEND	
	EXISTING CONTOURS
	PROPOSED CONTOURS
	EXISTING STORM PIPE
	PROPOSED STORM PIPE

MATCH LINE A (SEE SHEET C-9.1)



MATCH LINE B (SEE SHEET C-9.1)

ENGINEER:  
**FORESITE**  
 group  
 TBPE Firm No. F-12878  
 Foresite Group, Inc.  
 1999 Bryan St. Suite 890  
 Dallas, TX 75201  
 D/B/A Foresite Consulting Group of Texas, Inc.  
 o | 214.939.7123  
 f | 888.765.8135  
 w | www.fg-inc.net

OWNER:  
**GARDNER CAPITAL**  
 2501 N. HARWOOD ST, SUITE 1501  
 DALLAS, TX 75201  
 (417) 447-5538  
 CONTACT: MR. RUBEN ESQUEDA

PROJECT:  
**GALA AT FOUR CORNERS**  
 15010 OLD RICHMOND ROAD  
 SUGAR LAND, FORT BEND COUNTY, TX 77498



REVISIONS	DATE
COUNTY COMMENTS	04/10/2017
MUD / DRAINAGE DISTRICT COMMENTS	07/21/2017
MUD COMMENTS	09/19/2017

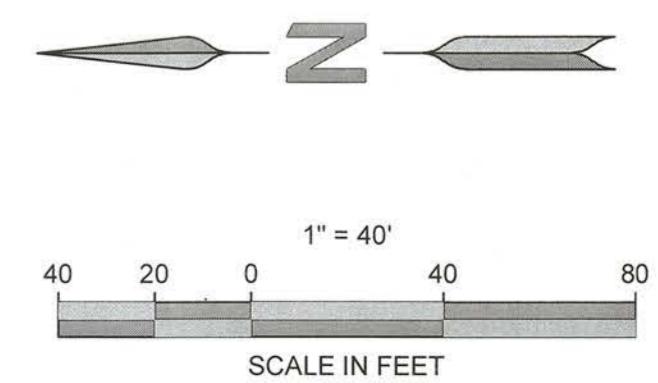
PROJECT MANAGER: DN  
 DRAWING BY: PA  
 JURISDICTION: FORT BEND COUNTY  
 DATE: 01/03/2017  
 TITLE: 1" = 40'

**STORMWATER PLAN**

SHEET NUMBER:  
**C-9**  
 COMMENTS: NOT RELEASED FOR CONSTRUCTION  
 JOB/FILE NUMBER: 693.011



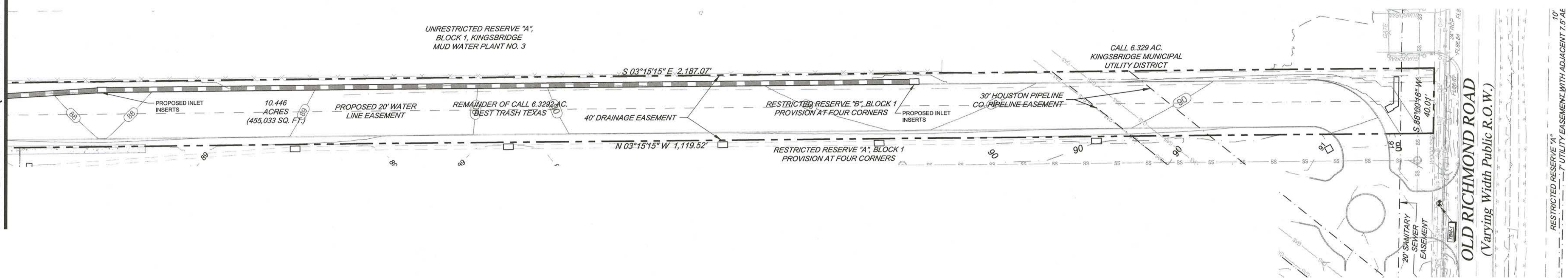
*Mass*  
 FBC DEVELOPMENT COORDINATOR  
 DATE: 10/3/17



**NOTES:**

- 1) OWNER'S ENGINEER SHALL CERTIFY UPON COMPLETION OF CONSTRUCTION THAT THE STRUCTURAL BEST MANAGEMENT PRACTICES DEPICTED ON THESE PLANS HAVE BEEN IMPLEMENTED.
- 2) NOW - STRUCTURAL BEST MANAGEMENT PRACTICES APPROPRIATE FOR THIS DEVELOPMENT ARE LISTED AND DESCRIBED ON THIS SHEET.
- 3) OWNER HAS CERTIFIED THAT IT ACKNOWLEDGES THE RESPONSIBILITY TO IMPLEMENT, MAINTAIN AND INSPECT THE STORM WATER MANAGEMENT PLAN (SWMP).
- 4) OWNER SHALL HAVE AN ANNUAL INSPECTION AND ASSESSMENT OF THE SWMP AND ISSUE A CERTIFICATION OF PROPER MAINTENANCE TO THE KINGSBRIDGE MUD ENGINEER.
- 5) ALL EXISTING INFORMATION SHOWN FOR THE PROVISION AT FOUR CORNERS DEVELOPMENT IS DEPICTED FROM THE DESIGN PLANS. CONTRACTOR SHOULD FIELD VERIFY THE LOCATION AND EXISTENCE OF ALL PERTINENT ITEMS ON THE PROVISION AT FOUR CORNERS PROPERTY.

MATCH LINE B (SEE SHEET C-9)



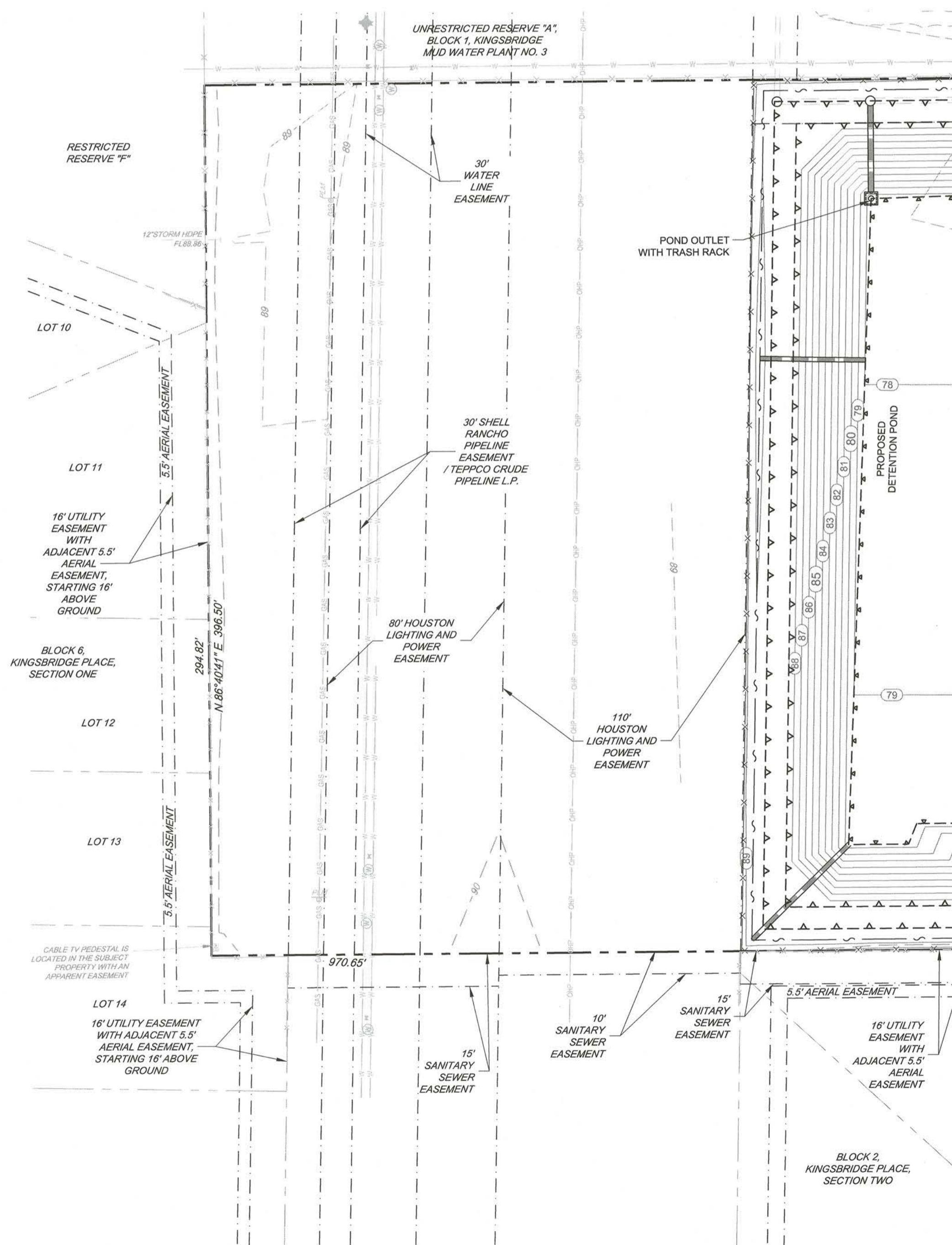
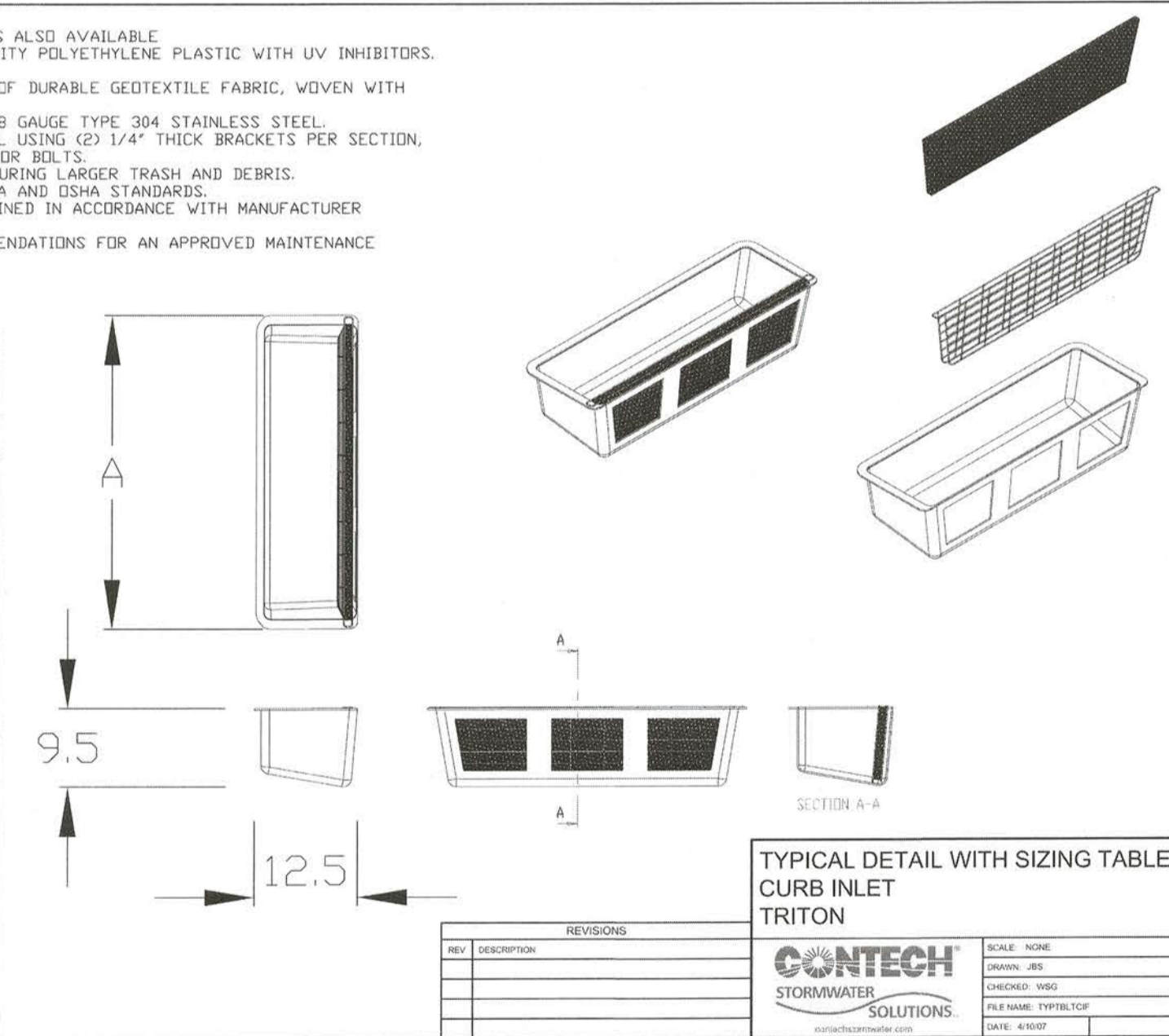
LEGEND	
	EXISTING CONTOURS
	PROPOSED CONTOURS
	EXISTING STORM PIPE
	PROPOSED STORM PIPE

**NOTES:**

1. ALL DIMENSIONS ARE IN FEET. CUSTOM SIZES ALSO AVAILABLE.
2. UNITS ARE CONSTRUCTED FROM HIGH DENSITY POLYETHYLENE PLASTIC WITH UV INHIBITORS, OVER 40% RECYCLED CONTENT.
3. DISPOSABLE MEDIA-PAK IS CONSTRUCTED OF DURABLE GEOTEXTILE FABRIC, WOVEN WITH PERFORATED POLYPROPYLENE.
4. MEDIA-PAK CAGE IS CONSTRUCTED USING 8 GAUGE TYPE 304 STAINLESS STEEL.
5. FILTER BODY IS SECURED TO INSIDE WALL USING (2) 1/4" THICK BRACKETS PER SECTION, ATTACHED USING 3/8" X 3" EXPANSION ANCHOR BOLTS.
6. OPTIONAL STORMWER, DESIGNED FOR CAPTURING LARGER TRASH AND DEBRIS.
7. FILTER MEDIA IS NON-HAZARDOUS PER EPA AND OSHA STANDARDS.
8. FILTER SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
9. PLEASE REFER TO MANUFACTURER RECOMMENDATIONS FOR AN APPROVED MAINTENANCE PROGRAM.

**STANDARD DIMENSIONS**

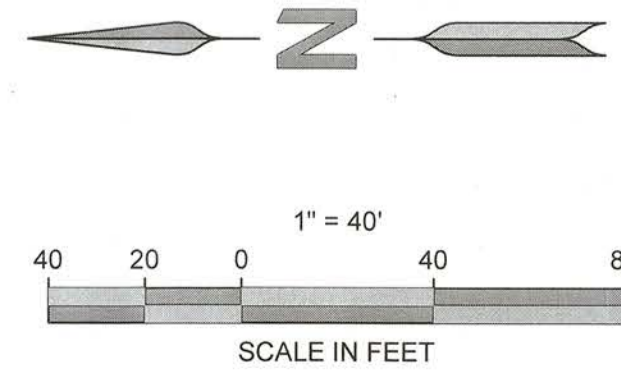
MODEL #	A*
TRC2	2.00
TRC2.5	2.50
TRC3	3.00
TRC3.5	3.50
TRC4	4.00
TRC5	5.00
TRC6	6.00
TRC7	7.00
TRC8	8.00
TRC9	9.00
TRC10	10.00
TRC12	12.00
TRC14	14.00
TRC21	21.00
TRC28	28.00



MATCH LINE A (SEE SHEET C-9)



*Max J. D.*  
FBC DEVELOPMENT COORDINATOR  
10/31/17  
DATE



ENGINEER:

**FORESITE**  
group

TBPE Firm No. F-12878  
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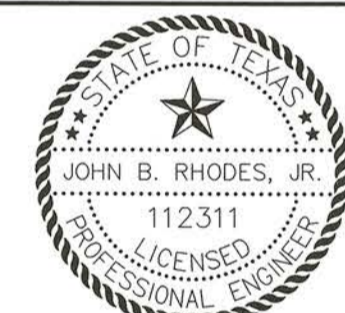
CONTACT: MR. RUBEN ESQUEDA

GALA AT FOUR CORNERS

15010 OLD RICHMOND ROAD  
SUGAR LAND, FORT BEND COUNTY, TX 77498

PROJECT:

SEAL:



REVISIONS	DATE
COUNTY COMMENTS	04/10/2017
MUD / DRAINAGE DISTRICT COMMENTS	07/21/2017
MUD COMMENTS	09/19/2017

PROJECT MANAGER: DN  
DRAWING BY: PA  
JURISDICTION: FORT BEND COUNTY  
DATE: 01/03/2017  
TITLE: 1" = 40'

STORMWATER MANAGEMENT PLAN

SHEET NUMBER:

**C-9.1**

COMMENTS: NOT RELEASED FOR CONSTRUCTION

JOB/FILE NUMBER: 693.011