



**PERMIT APPLICATION REVIEW FORM FOR  
CABLE, CONDUIT, AND POLE LINE ACTIVITY  
IN FORT BEND COUNTY**

**Fort Bend County  
Engineering Department**  
301 Jackson Suite 401  
Richmond, Texas 77469  
281.633.7500  
[Permits@fortbendcountytx.gov](mailto:Permits@fortbendcountytx.gov)

- ☒ **Right of Way Permit**  
☐ **Commercial Driveway Permit**

Permit No: 2017-16331

The following "Notice of Proposed Cable, Conduit, and/or Pole Line activity in Fort Bend County" and accompanying attachments have been reviewed and the notice conforms to appropriate regulations set by Commissioner's Court of Fort Bend County, Texas.

**(1) COMPLETE APPLICATION FORM:**

- ☒ a. Name of road, street, and/or drainage ditch affected.  
☒ b. Vicinity map showing course of directions  
☒ c. Plans and specifications

**(2) BOND:**

- ☐ County Attorney, approval when applicable.
- ☐ Perpetual bond currently posted.      Bond No: \_\_\_\_\_ Amount: \_\_\_\_\_
- ☒ Performance bond submitted.      Bond No: [REDACTED]      Amount: \$11,250.00
- ☐ Cashier's Check      Check No: \_\_\_\_\_ Amount: \_\_\_\_\_

**(3) DRAINAGE DISTRICT APPROVAL (WHEN APPLICABLE):**

\_\_\_\_\_  
Drainage District Approval

\_\_\_\_\_  
Date

**We have reviewed this project and agree it meets minimum requirements.**

*Charles O. Ay*

\_\_\_\_\_  
Permit Administrator

10/16/2017

\_\_\_\_\_  
Date



PERFORMANCE BOND COVERING ALL CABLE, CONDUIT AND/OR POLE LINE  
ACTIVITY IN, UNDER, ACROSS OR ALONG FORT BEND COUNTY ROAD,  
COMMERCIAL DRIVEWAY AND MEDIAN OPENINGS OR MODIFICATIONS  
(AUTHORIZED)

BOND NO [REDACTED]

THE STATE OF TEXAS           §

KNOW ALL MEN BY THESE PRESENTS:

COUNTY OF FORT BEND       §

THAT WE, Stewart Builders, Inc. dba Keystone Site work whose (address, phone) is 16575 Village Drive, Houston, Texas 77040; 713-983-8002, hereinafter called the Principal, and Travelers Casualty and Surety Company of America, a Corporation existing under and by virtue of the laws of the state of Connecticut and authorized to do an indemnifying business in the state of Texas, and whose principal office is located at (name/address/phone) One Tower Square, Hartford, CT, 06183; 860-277-0111, whose officer residing in the State of Texas, authorized to accept service in all suits and actions brought whining said state is Christopher Noble, Regional Vice President and whose address is 1301 E. Collins Blvd., Richardson, TX 75081, hereinafter called the Surety, and held and firmly bound unto, Robert E. Hebert, County Judge of Fort Bend County, Texas, or his successors in office, in the full sum of Eleven Thousand Two Hundred Fifty Dollars (\$ 11,250.00) current, lawful money of the United States of America, to be paid to said Robert E. Hebert, County Judge of Fort Bend County, Texas, or his successors in office, to which payment well and truly to be made and done, we, the undersigned, bind ourselves and each of us, our heirs, executors, administrators, successors, assigns, and legal representatives, jointly and severally, by these presents.

THE CONDITION OF THIS BOND IS SUCH THAT, WHEREAS, the above bounden principal contemplates laying, constructing, maintaining and/or repairing one or more cables, conduits, and/or pole lines in, under, across and/or along roads, streets and highways, commercial driveway and median openings or modifications in the County of Fort Bend, and the State of Texas, under the jurisdiction of the Commissioners' Court of Fort Bend County, Texas, pursuant to the Commissioners' Court order adopted on the 1st day of December, A.D. 1980, recorded in Volume 13, of the Commissioners' Court Minutes of Fort Bend County, Texas, regulating same, which Commissioners' Court order is hereby referred to and made a part hereof for all purposes as though fully set out herein;

AND WHEREAS, the principal desires to provide Fort Bend County with a performance bond covering all such cable, conduit and/or pole line activity, commercial driveway and median openings or modifications;

NOW, THEREFORE, if the above bounden principal shall faithfully perform all its cable, conduit and/or pole line activity (including, but not limited to the laying, construction, maintenance and/or repair of cables, conduits and/or pole lines) in, under, across and/or along roads, streets and highways, commercial driveway and median openings or modifications in the County of Fort Bend and State of Texas, under the jurisdiction of the Commissioners Court of Fort Bend County, Texas, pursuant to and in accordance with minimum requirements and conditions of the above mentioned Commissioners' Court order set forth and specified to be by said principal done and performed, at the time and in the manner therein specified, and shall pay over and make good and reimburse Fort Bend County, all loss and damages which Fort Bend County may sustain by reason of any failure or default on the part of said principal, then this obligation shall be null and void, otherwise to remain in full force and effect.

This bond is payable at the County Courthouse in the County of Fort Bend and State of Texas.

It is understood that at any time Fort Bend County deems itself insecure under this bond, it may require further and/or additional bonds of the principal.

EXECUTED this 26th day of September, 2017 .

Stewart Builders, Inc. dba Keystone Site Work  
PRINCIPAL

BY 

Travelers Casualty and Surety Company of America  
SURETY

BY   
Jo Ann Parker, Attorney-In-Fact





## POWER OF ATTORNEY

Farmington Casualty Company  
Fidelity and Guaranty Insurance Company  
Fidelity and Guaranty Insurance Underwriters, Inc.  
St. Paul Fire and Marine Insurance Company  
St. Paul Guardian Insurance Company

St. Paul Mercury Insurance Company  
Travelers Casualty and Surety Company  
Travelers Casualty and Surety Company of America  
United States Fidelity and Guaranty Company

Attorney-In Fact No.

231813

Certificate No. 007117066

**KNOW ALL MEN BY THESE PRESENTS:** That Farmington Casualty Company, St. Paul Fire and Marine Insurance Company, St. Paul Guardian Insurance Company, St. Paul Mercury Insurance Company, Travelers Casualty and Surety Company, Travelers Casualty and Surety Company of America, and United States Fidelity and Guaranty Company are corporations duly organized under the laws of the State of Connecticut, that Fidelity and Guaranty Insurance Company is a corporation duly organized under the laws of the State of Iowa, and that Fidelity and Guaranty Insurance Underwriters, Inc., is a corporation duly organized under the laws of the State of Wisconsin (herein collectively called the "Companies"), and that the Companies do hereby make, constitute and appoint

Jo Ann Parker, Denise Raker, David Stephen Wightman, and Sylvia Hinojosa

of the City of Houston, State of Texas, their true and lawful Attorney(s)-in-Fact, each in their separate capacity if more than one is named above, to sign, execute, seal and acknowledge any and all bonds, recognizances, conditional undertakings and other writings obligatory in the nature thereof on behalf of the Companies in their business of guaranteeing the fidelity of persons, guaranteeing the performance of contracts and executing or guaranteeing bonds and undertakings required or permitted in any actions or proceedings allowed by law.

**IN WITNESS WHEREOF**, the Companies have caused this instrument to be signed and their corporate seals to be hereto affixed, this 7th day of February, 2017.

Farmington Casualty Company  
Fidelity and Guaranty Insurance Company  
Fidelity and Guaranty Insurance Underwriters, Inc.  
St. Paul Fire and Marine Insurance Company  
St. Paul Guardian Insurance Company

St. Paul Mercury Insurance Company  
Travelers Casualty and Surety Company  
Travelers Casualty and Surety Company of America  
United States Fidelity and Guaranty Company



State of Connecticut  
City of Hartford ss.

By:

*Robert L. Raney*  
Robert L. Raney, Senior Vice President

On this the 7th day of February, 2017, before me personally appeared Robert L. Raney, who acknowledged himself to be the Senior Vice President of Farmington Casualty Company, Fidelity and Guaranty Insurance Company, Fidelity and Guaranty Insurance Underwriters, Inc., St. Paul Fire and Marine Insurance Company, St. Paul Guardian Insurance Company, St. Paul Mercury Insurance Company, Travelers Casualty and Surety Company, Travelers Casualty and Surety Company of America, and United States Fidelity and Guaranty Company, and that he, as such, being authorized so to do, executed the foregoing instrument for the purposes therein contained by signing on behalf of the corporations by himself as a duly authorized officer.

In Witness Whereof, I hereunto set my hand and official seal.  
My Commission expires the 30th day of June, 2021.



*Marie C. Tetreault*  
Marie C. Tetreault, Notary Public





## IMPORTANT NOTICE

### TO OBTAIN INFORMATION OR MAKE A COMPLAINT:

You may contact Travelers Casualty & Surety Company of America, Travelers Casualty & Surety Company, Travelers Indemnity Company, Standard Fire Insurance Company, and/or Farmington Casualty Company for information or to make a complaint at:

Travelers Bond  
Attr. Claims  
1500 Market Street  
West Tower, Suite 2900  
Philadelphia, PA 19102

(267) 675-3130  
(267) 675-3102 Fax

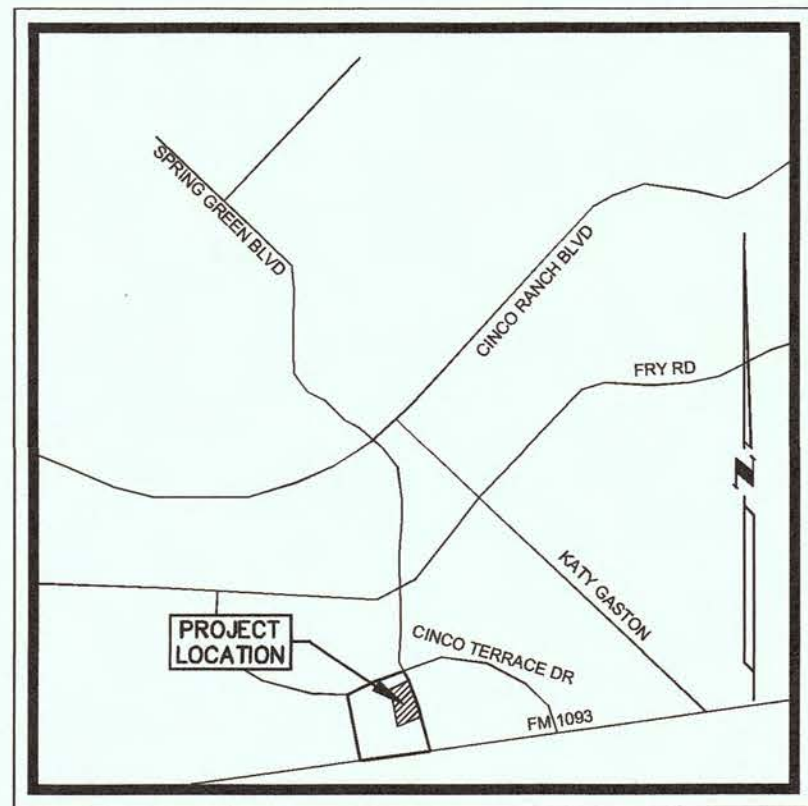
You may contact the Texas Department of Insurance to obtain the information on companies, coverages, rights or complaints at:

Texas Department of Insurance  
P.O. Box 149104  
Austin, TX 78714-9104

(800) 252-3439

ATTACH THIS NOTICE TO YOUR BOND. This notice is for information only and does not become a part or a condition of the attached document and is given to comply with Section 2253-021, Government Code, and Section 53.202, Property Code, effective September 1, 2001.



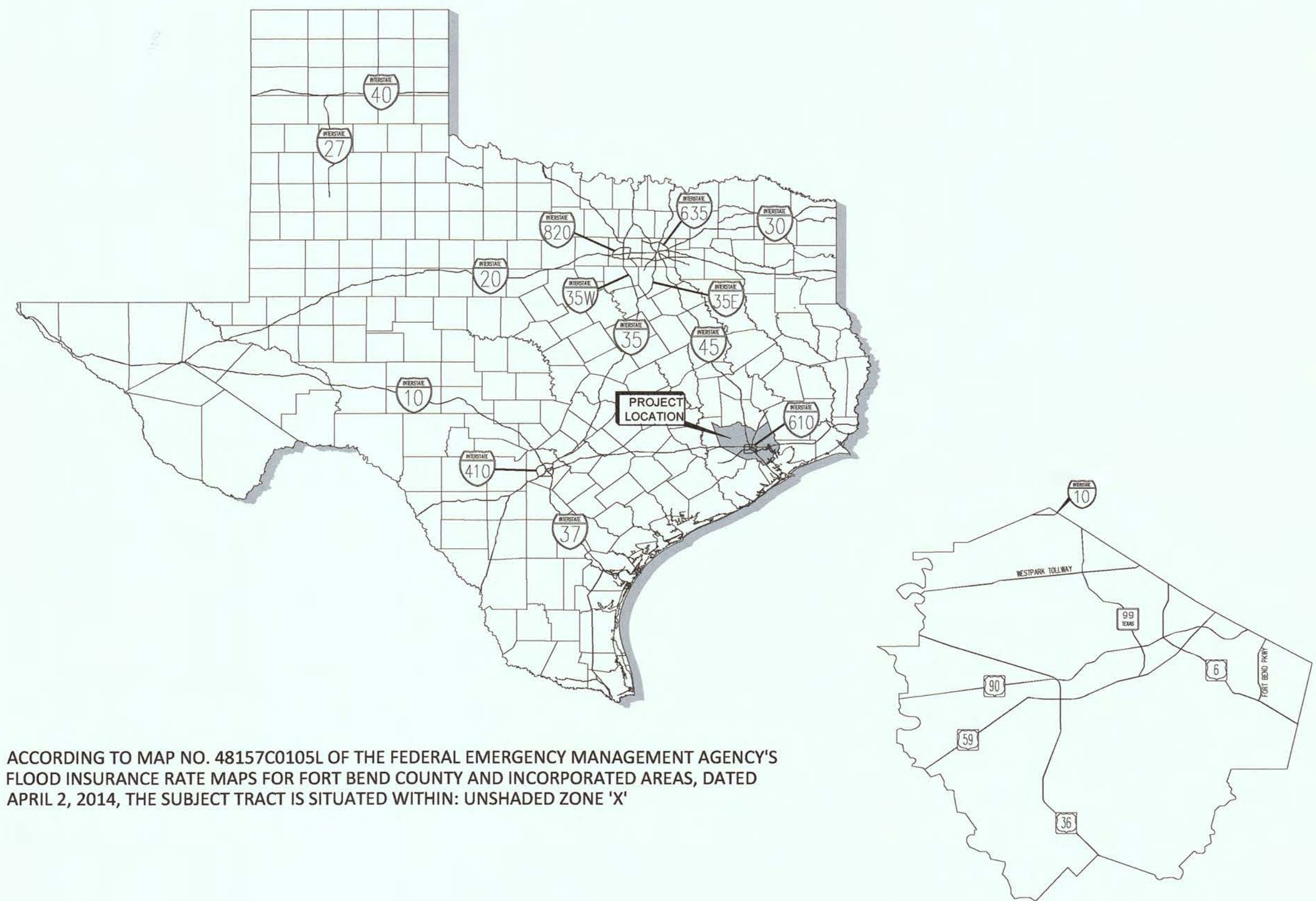


LOCATION MAP  
N.T.S.  
KEYMAP NO.: 524G  
ZIP CODE: 77494

CIVIL PLANS  
FOR  
8" WATER LINE EXTENSION  
& ROUGH GRADING  
SERVING CHASE  
LOCATED AT  
SPRING GREEN BLVD  
LOCATED IN  
CITY OF HOUSTON ETJ, FORT BEND COUNTY, TEXAS

PLANS SUBMITTAL/REVIEW LOG

SUBMIT TO MUD & FBCDD -NOT FOR CONSTRUCTION	05/03/2017
BID SET -NOT FOR CONSTRUCTION	06/28/2017



ACCORDING TO MAP NO. 48157C0105L OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR FORT BEND COUNTY AND INCORPORATED AREAS, DATED APRIL 2, 2014, THE SUBJECT TRACT IS SITUATED WITHIN: UNSHADED ZONE 'X'

INDEX OF SHEETS	
CIVIL ENGINEERING (ALJ LINDSEY, LLC)	
SHEET NO.	DESCRIPTION
C0.0	COVER SHEET
C0.1	GENERAL NOTES
C0.2	TOPOGRAPHIC SURVEY
C0.3	TOPOGRAPHIC SURVEY (RESERVE C - FOR INFORMATION ONLY)
C0.4	PLAT
C1.0	UTILITY PLAN
C1.1	8-INCH WATER LINE PLAN & PROFILE
C2.0	GRADING PLAN
C3.0	EROSION CONTROL PLAN
C4.0	CONSTRUCTION DETAILS (1 OF 2)
C4.1	CONSTRUCTION DETAILS (2 OF 2)



FORT BEND COUNTY ENGINEER  
ENGINEER: Richard W. Stolleis, P.E., P.S.E.  
FOR RICHARD W. STOLLEIS, P.E.  
DATE: 7/10/17  
THESE SIGNATURES ARE VOID IF CONSTRUCTION HAS NOT COMMENCED IN ONE (1) YEAR FROM DATE OF APPROVAL  
AUTHORIZATION IS VALID FOR 1 YEAR.  
APPROVED: Cassandra J. Lee  
for DEVELOPMENT COORDINATOR  
DATE: 7-10-17

8" WATER LINE EXTENSION &  
ROUGH GRADING SERVING  
CHASE LOCATED AT  
SPRING GREEN BLVD

SHEET  
C0.0

COVER SHEET



No.	REVISIONS	DATE



GENERAL NOTES

- THE LOCATION OF ALL UTILITIES SHOWN ON THESE PLANS WAS TAKEN FROM AVAILABLE SURVEY INFORMATION AND/OR EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES MUST BE DETERMINED BY CONTRACTOR. IT SHALL BE THE DUTY AND RESPONSIBILITY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A DISCREPANCY AND/OR CONFLICT IS DISCOVERED. CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PUBLIC UTILITIES, PAVEMENT TO REMAIN, CURBS, SIDEWALKS, SIGNS, TREES, ETC., IN THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES. DURING CONSTRUCTION ALL DAMAGES SHALL BE REPAIRED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE OWNING/OPERATING AUTHORITY, WITH NO COST TO THE CITY, COUNTY, PRIVATE UTILITY OWNERS, ENGINEER, OR THE OWNER.
- CONTRACTOR SHALL VERIFY LOCATION OF UNDERGROUND UTILITY LINES AND SHALL NOTIFY THE FOLLOWING AGENCIES 72 HOURS PRIOR TO EXCAVATING OR AUGERING NEAR EXISTING FACILITIES.  
A. TEXAS ONE CALL SYSTEM AT 1-800-245-4545  
B. LONE STAR NOTIFICATION CENTER AT 1-800-669-8344  
C. TEXAS EXCAVATION SAFETY SYSTEM AT 1-800-344-8377
- PRIOR TO ANY CONSTRUCTION ACTIVITY, CONTRACTOR IS TO ACQUIRE ALL REQUIRED CONSTRUCTION PERMITS FROM APPROPRIATE AUTHORITIES. CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS, OR PERSONS IN CHARGE OF PUBLIC AND PRIVATE UTILITY LINES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCEMENT OF WORK.
- THE ENGINEER AND THE CITY/COUNTY OR MUD SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO THE CONTRACTOR CONNECTING TO ANY EXISTING UTILITY LINES.
- NO CONNECTIONS SHALL BE MADE TO EXISTING PUBLIC WATER LINES OR PUBLIC SANITARY SEWERS UNTIL ALL PROPOSED WATER OR SEWER LINES HAVE BEEN THOROUGHLY CLEANED, TESTED (AS REQUIRED) AND APPROVED BY THE APPROPRIATE AUTHORITIES.
- HORIZONTAL AND VERTICAL INFORMATION REGARDING UTILITY CONNECTIONS TO PROPOSED BUILDINGS ON THIS SET OF PLANS TERMINATE AT FIVE (5) FEET FROM THE NEAREST BUILDING WALL.
- ALL MANHOLES, CLEAN-OUTS, VALVE BOXES, FIRE HYDRANTS, ETC MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THE PAVING FOR THIS DEVELOPMENT.
- ALL APPURTENANCES WILL BE ASSUMED TO BE IN GOOD CONDITION UNLESS OTHERWISE CONFIRMED IN WRITING PRIOR TO COMMENCEMENT OF WORK.
- OVERHEAD LINES EXIST ON THE PROPERTY. WE HAVE NOT ATTEMPTED TO MARK THOSE LINES SINCE THEY ARE CLEARLY VISIBLE, BUT YOU SHOULD LOCATE THEM PRIOR TO BEGINNING CONSTRUCTION. TEXAS LAW, SECTION 752, HEALTH AND SAFETY CODE, FORBIDS ALL ACTIVITIES IN WHICH PERSON OR EQUIPMENT MAY COME WITHIN 6 FEET OF LIVE OVERHEAD HIGH VOLTAGE LINES. CONTRACTORS ARE LEGALLY RESPONSIBLE FOR SAFETY OF CONSTRUCTION WORKERS UNDER THIS LAW. THIS LAW CARRIES BOTH CIVIL AND CRIMINAL LIABILITY.
- CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS AND ALL REGULATIONS OF UTILITY COMPANIES CONCERNING SAFETY AND HEALTH PRACTICES. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SITE TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH CITY/COUNTY STANDARDS, TEXAS STATE LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION.
- PRIOR TO THE START OF CONSTRUCTION, OWNER AND CONTRACTOR ARE RESPONSIBLE FOR SUBMITTING THE "NOTICE OF INTENT" (N.O.I.) AND ANY ADDITIONAL INFORMATION REQUIRED BY THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ). UPON COMPLETION OF THE PROJECT, OWNER AND CONTRACTOR ARE RESPONSIBLE FOR SUBMITTING THE "NOTICE OF TERMINATION" (N.O.T.).
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE AT ALL TIMES DURING CONSTRUCTION
- CONTRACTOR SHALL REMOVE ALL MUD, DIRT, AND DEBRIS DEPOSITED OR DROPPED ON THE EXISTING ROADWAY AT THE END OF EACH WORK DAY. MATERIAL THAT IS HAZARDOUS TO TRAFFIC OR OTHERWISE PRESENTS A SAFETY CONCERN, SHALL BE REMOVED IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL STATE AND LOCAL REGULATIONS RELATED TO STORM WATER POLLUTION AND QUALITY. REFER TO EROSION CONTROL PLAN.
- CONTRACTOR SHALL REESTABLISH ALL TURF DISTURBED DURING CONSTRUCTION TO ACCEPTABLE OPERATING CONDITION, AS DETERMINED BY OWNER AND/OR REGULATORY AGENCIES.
- CONTRACTOR SHALL MAINTAIN A WORKSITE FREE OF TRASH AND DEBRIS.
- CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES. NO TREE SHALL BE REMOVED OR ALTERED WITHOUT WRITTEN PERMISSION FROM OWNER OR ENGINEER. EQUIPMENT OR MATERIALS SHALL NOT BE STAGED UNDER THE DRIP LINE OF EXISTING TREES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A SET OF "AS BUILT" PLANS FOR ALL WORK PERFORMED ON AND OFF SITE. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL PROVIDE AS-BUILT PLANS IDENTIFYING ALL DEVIATIONS OR VARIATIONS FROM ORIGINAL PLANS TO THE OWNER AND THE ENGINEER.
- ALL TRAFFIC CONTROL AND WARNING SIGNS SHALL BE IN ACCORDANCE WITH TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ALL SIDEWALKS, RAMPS, AND HANDRAILS TO MEET OR EXCEED CITY/COUNTY, TAS, AND ADA REQUIREMENTS.
- ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY/COUNTY RULES AND REGULATIONS, CONSTRUCTION SPECIFICATIONS AND CONSTRUCTION DETAILS.
- ALL EXCESS SPOIL MATERIAL GENERATED FROM CONSTRUCTION ACTIVITY TO BE HAULED OFFSITE AND DISPOSED IN ACCORDANCE WITH LOCAL LAWS, RULES, AND REGULATIONS.
- AT THE END OF ALL CONSTRUCTION PROJECTS, THE CONTRACTOR SHALL RESTORE THE EXISTING FACILITIES, TO EQUAL TO BETTER THAN EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION. ALL FINISHED GRADES SHALL VARY UNIFORMLY BETWEEN THE FINISHED ELEVATIONS SHOWN.
- CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING LANDSCAPING AND IRRIGATION. NO SEPARATE PAY.
- PRIOR TO SUBMITTAL OF BID OR PROPOSAL, CONTRACTOR SHALL VISIT PROJECT SITE AND BECOME FAMILIAR WITH THE PROJECT AND THE EXISTING CONDITIONS ON THE SITE. NO ADDITIONAL CONSIDERATION WILL BE GIVEN FOR ADDITIONAL WORK CAUSED BY FIELD CONDITIONS VISIBLE ON SITE DURING BIDDING BUT NOT SHOWN ON THESE PLANS.
- THERE WILL BE NO SEPARATE PAYMENT FOR WORK SHOWN ON THESE PLANS, UNLESS SPECIFICALLY ESTABLISHED IN THE BID SECTION OF THE CONTRACT DOCUMENTS. INCLUDE COST OF SAME TO WHICH THIS WORK IS A COMPONENT PART.
- IN THE EVENT OF A DISCREPANCY WITHIN THESE PLANS, OR BETWEEN THESE PLANS AND THE GEOTECHNICAL REPORT, THE MOST CONSERVATIVE CRITERIA SHALL APPLY.
- ALL UTILITY TRENCHES BELOW PROPOSED OR FUTURE PAVING SHALL BE BACKFILLED WITH CEMENT SAND.
- UTILITY TRENCHES ARE A COMMON SOURCE OF WATER INFILTRATION AND MIGRATION. ALL UTILITY TRENCHES THAT PENETRATE BENEATH THE BUILDING SHOULD BE EFFECTIVELY SEALED TO RESTRICT WATER INTRUSION AND FLOW THROUGH THE TRENCHES THAT COULD MIGRATE BELOW THE BUILDING. WE RECOMMEND CONSTRUCTING AN EFFECTIVE CLAY "TRENCH PLUG" THAT EXTENDS AT LEAST 5 FEET OUT FROM THE FACE OF THE BUILDING EXTERIOR. THE PLUG MATERIAL SHOULD CONSIST OF CLAY COMPACTED AT A WATER CONTENT AT OR ABOVE THE SOILS OPTIMUM WATER CONTENT. THE CLAY FILL SHOULD BE PLACED TO COMPLETELY SURROUND THE UTILITY LINE AND BE COMPACTED IN ACCORDANCE WITH RECOMMENDATIONS IN THIS REPORT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITY TIE IN LOCATIONS FOR MATERIAL, SIZE, ELEVATION AND FIELD CONDITIONS. IN THE EVENT THE PLANS DO NOT REPRESENT FIELD CONDITIONS THE CONTRACTOR IS TO CONTACT THE ENGINEER AND OWNER IMMEDIATELY AND PRIOR TO PERFORMING ANY WORK.
- PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR TO CONFIRM POSSESSION OF LATEST DRAWINGS, INCLUDING ANY REVISIONS. IF THE DRAWINGS ARE NOT LABELED AS "CONSTRUCTION SET" ON THE COVER PAGE, CONTRACTOR TO CONTACT ENGINEER IMMEDIATELY.
- CONTRACTOR TO OBTAIN ALL PERMITS. OWNER WILL PROVIDE PAYMENT AS NECESSARY AND REQUESTED BY CONTRACTOR.

FRANCHISE UTILITY NOTES

- CONTRACTOR SHALL CALL THE TEXAS ONE CALL AND DIG-TESS AT LEAST 72 HOURS PRIOR TO COMMENCING DEMOLITION OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR BEARS SOLE RESPONSIBILITY FOR VERIFYING LOCATIONS OF EXISTING UTILITIES, SHOWN OR NOT SHOWN, AND FOR ANY DAMAGE TO THESE FACILITIES.
- CONTRACTOR SHALL INSTALL LONG SWEEPS FOR DRY UTILITY CONDUITS WHERE A BEND IS GRAPHICALLY SHOWN.

WATER LINES

- WATER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST FORT BEND COUNTY, MUD DISTRICT AND TCEQ REGULATIONS, STANDARD SPECIFICATIONS, AND CONSTRUCTION DETAILS.
- 4" THRU 12" WATER LINES SHALL BE P.V.C. CLASS 150, DR-18, AWWA C-900 AND 1" THRU 3" WATER LINES SHALL BE PVC SCHEDULE 40, 4" THRU 54" D.I.P. WATER LINES SHALL BE AWWA C151 (ANSI A21.51) AND DOUBLE WRAPPED IN 8-MIL POLYETHYLENE. PIPE SHALL BE LINED IN ACCORDANCE WITH AWWA C104 (ANSI A21.4).
- CONCRETE THRUST BLOCKS SHALL BE PROVIDED AS NECESSARY TO PREVENT PIPE MOVEMENT. WHERE PREVENTING MOVEMENT OF 16" OR GREATER PIPE IS NECESSARY DUE TO THRUST, USE RESTRAINED JOINTS.
- ALL WATER LINES UNDER PROPOSED OR FUTURE PAVING AND TO A POINT ONE (1) FOOT BACK OF ALL PROPOSED OR FUTURE CURBS SHALL BE ENCASED IN BANK SAND TO 12" OVER PIPE AND BACKFILLED WITH CEMENT STABILIZED SAND TO WITHIN ONE (1) FOOT OF SUBGRADE.
- ALL WATER LINE AND SEWER LINE CROSSINGS SHALL BE CONSTRUCTED PER TCEQ REGULATIONS.
- ALL WATER VALVES SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF AWWA C-500 AND SHALL BE OF THE RESILIENT SEAT TYPE.
- ALL WATER LINES TO BE DISINFECTED IN CONFORMANCE WITH AWWA C-651 AND THE TEXAS STATE DEPARTMENT OF HEALTH. AT LEAST ONE BACTERIOLOGICAL SAMPLE SHALL BE COLLECTED FOR EACH 1,000 LINEAR FEET OF WATER LINE AND SHALL BE REPEATED IF CONTAMINATION PERSISTS.
- ALL BELOW GRADE VALVES SHALL BE GASKETED, HUB-END GATE VALVES WITH A CAST IRON BOX, EXCEPT WHERE FLANGES ARE CALLED OUT ON THE PLANS.
- 4" THRU 12" FITTINGS SHALL BE CEMENT MORTAR LINED COMPACT DUCTILE IRON PRESSURE FITTINGS PER ANSI A21.53, OR PUSH ON FITTINGS PER ANSI A21.10 PRESSURE RATED AT 250 PSIG.
- HYDROSTATIC TESTING: ALL WATER PIPE SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH THE LATEST FORT BEND COUNTY, MUD DISTRICT AND TCEQ REQUIREMENTS. TESTS ARE TO BE PERFORMED ON THE TOTAL FOOTAGE OF WATER PIPE LINE INCLUDED IN THE PROJECT.
- ALL WATER LINES TO HAVE 4" MINIMUM COVER TO FINISHED GRADE AND MINIMUM 12" CLEAR TO OTHER UTILITIES AT CROSSING UNLESS OTHERWISE NOTED ON PLANS. ALL WATER LINE INSTALLED OVER 8" DEEP SHALL UTILIZE RESTRAINED JOINT FITTINGS.
- CONTRACTOR SHALL KEEP WATER PIPE CLEAN AND CAP (OR OTHERWISE EFFECTIVELY COVER) OPEN PIPE ENDS TO EXCLUDE INSECTS, ANIMALS OR OTHER SOURCES OF CONTAMINATION FROM UNFINISHED PIPE LINES AT TIMES WHEN CONSTRUCTION IS NOT IN PROGRESS.
- ALL FIRE LINES TO BE DESIGNED, INSTALLED AND TESTED PER NFPA REGULATIONS.

SWPPP NOTES

- POTENTIAL POLLUTANT SOURCES ASSOCIATED WITH CONSTRUCTION SITE:  
-ADHESIVES, PESTICIDES, DETERGENTS, PAINTS, FUELS, SOLVENTS, SEALANTS, FERTILIZERS, OILS, HERBICIDES, CLEANING SOLUTIONS, CONCRETE/CEMENT/PLASTER
- STORM WATER QUALITY MEASURE IMPLEMENTATION RELATIVE TO LAND DISTURBING ACTIVITIES:  
A. PRIOR TO CONSTRUCTION: SILT FENCING SHALL BE INSTALLED IN ALL LOCATIONS SHOWN ON SITE MAP THAT WILL NOT BE DISTURBED DURING THE INITIAL GRADING PROCESS. THE STABILIZED CONSTRUCTION EXIT SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.  
B. DURING CONSTRUCTION:  
B.1. IMMEDIATELY AFTER PAVING CONSTRUCTION IS COMPLETE, INLET PROTECTION TRAPS WILL BE INSTALLED ON ALL NEWLY CONSTRUCTED INLETS.  
B.2. WHEN EXISTING SILT FENCING NEEDS TO BE REMOVED FOR CONSTRUCTION OR ACCESS PURPOSES, IT WILL BE REPLACED AS SOON AS POSSIBLE AFTER CONSTRUCTION IN THE VICINITY OF THE REMOVED FENCE IS COMPLETE.  
B.3. AS SOON AS PRACTICABLE AFTER SITE GRADING IS COMPLETE, FINAL STABILIZATION PROCEDURES SUCH AS TURF ESTABLISHMENT AND INSTALLATION OF PLANT MATERIAL WILL BE COMMENCED.  
C. AFTER CONSTRUCTION: AFTER CONSTRUCTION ACTIVITY AND SITE STABILIZATION PROCEDURES ARE COMPLETE, STRUCTURAL EROSION AND SEDIMENT CONTROLS WILL BE REMOVED. SOIL DISTURBED BY THE REMOVAL OF CONTROLS WILL BE STABILIZED.
- PERMANENT STORM WATER CONTROLS: AFTER CONSTRUCTION ACTIVITY IS COMPLETE, AREAS NOT COVERED BY CONCRETE PAVEMENT OR BY STRUCTURES WILL BE LANDSCAPED AND IRRIGATED. ONCE ESTABLISHED, THIS VEGETATION WILL HELP PREVENT SEDIMENT RUNOFF IN THE FUTURE STORM EVENTS. NEWLY GRADED AREA WILL BE TEXTURED TO REDUCE FLOW VELOCITY.
- MATERIAL HANDLING AND SPILL PREVENTION PLAN:  
A. HAZARDOUS MATERIALS WILL BE STORED AND USED IN CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS. DISPOSAL WILL BE PERFORMED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION, AND IN ACCORDANCE WITH STATE AND LOCAL LAWS AND REGULATIONS.  
B. THE FOLLOWING PROCEDURES WILL BE FOLLOWED FOR CONTAINMENT AND CLEAN-UP OF SPILLS:  
B.1. ALL SPILLS WILL BE CLEANED UP AND PROPERLY REMOVED IN ACCORDANCE WITH STATE REGULATIONS AND LOCAL ORDINANCES.  
B.2. SOIL AND SPILLED MATERIALS WILL BE COLLECTED UNTIL NO VISIBLE EVIDENCE OF SPILLED MATERIAL REMAINS.  
B.3. THE TYPE OF MATERIAL AND QUANTITY OF RELEASE SHALL BE IDENTIFIED, AND APPROPRIATE PERSONAL PROTECTIVE EQUIPMENT (PPE) SHALL BE WORN AS RECOMMENDED BY THE PRODUCT-SPECIFIC MSDS.  
B.4. SPILL CONTAINMENT MAY BE INCLUDE CONSTRUCTION OF EARTH DIKES AROUND THE SPILL AREA, DEPLOYMENT OF ABSORBENT MATERIALS, OR USE OF COMMERCIALY AVAILABLE KITS.  
B.5. CONTAMINATED SOIL AND SPILLED MATERIAL WILL BE STORED IN APPROPRIATE AND PROPERLY LABELED CONTAINERS, AND DISPOSED OF IN ACCORDANCE WITH STATE, LOCAL, AND FEDERAL RULES AND REGULATIONS.
- GENERAL PERMIT MAINTENANCE REQUIREMENTS (FROM GENERAL PERMIT):  
A. ALL PROTECTIVE MEASURES IDENTIFIED IN THIS SWPPP MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. IF, THROUGH INSPECTION OR OTHER MEANS, THE PERMITTEE DETERMINES THAT BMP'S ARE NOT OPERATING EFFECTIVELY, THEN THE PERMITTEE SHALL PERFORM MAINTENANCE AS NECESSARY TO MAINTAIN THE CONTINUED EFFECTIVENESS OF STORM WATER CONTROLS, AND PRIOR TO THE NEXT RAIN EVENT, IF FEASIBLE. IF MAINTENANCE PRIOR TO THE NEXT ANTICIPATED STORM EVENT IS IMPRACTICABLE, THE REASON SHALL BE DOCUMENTED IN THE SWPPP AND MAINTENANCE MUST BE SCHEDULED AND ACCOMPLISHED AS SOON AS PRACTICABLE. EROSION AND SEDIMENT CONTROLS THAT HAVE BEEN INTENTIONALLY DISABLED, RUN-OVER, REMOVED, OR OTHERWISE RENDERED INEFFECTIVE MUST BE REPLACED OR CORRECTED IMMEDIATELY UPON DISCOVERY.  
B. IF PERIODIC INSPECTIONS OR OTHER INFORMATION INDICATES A CONTROL HAS BEEN USED INCORRECTLY, IS PERFORMING INADEQUATELY, OR IS DAMAGED, THEN THE OPERATOR MUST REPLACE OR MODIFY THE CONTROL AS SOON AS PRACTICABLE AFTER MAKING THE DISCOVERY.  
C. SEDIMENT MUST BE REMOVED FROM SEDIMENT TRAPS AND SEDIMENTATION PONDS NO LATER THAN THE TIME THAT DESIGN CAPACITY HAS BEEN REDUCED BY 50%. PERIMETER CONTROLS SUCH AS SILT FENCES, BERMS, ETC., THE TRAPPED SEDIMENT MUST BE REMOVED BEFORE IT REACHES 50% OF THE ABOVE GROUND HEIGHT.  
D. IF SEDIMENT ESCAPES THE SITE, ACCUMULATIONS MUST BE REMOVED AT A FREQUENCY THAT MINIMIZES OFF-SITE IMPACTS, AND PRIOR TO THE NEXT RAIN EVENT, IF FEASIBLE. IF THE PERMITTEE DOES NOT OWN THE OFFSITE CONVEYANCE, THEN THE PERMITTEE MUST WORK WITH THE OWNER OR OPERATOR OF THE PROPERTY TO REMOVE THE SEDIMENT.
- EROSION AND SEDIMENT CONTROLS:  
A. THE FOLLOWING NON-STRUCTURAL EROSION AND SEDIMENT CONTROLS WILL BE UTILIZED ON THE PROJECT SITE:  
A.1. WHERE PRACTICAL, CARE WILL BE TAKEN TO PROTECT NATURAL VEGETATION THAT DOES NOT NEED TO BE REMOVED FOR CONSTRUCTION PURPOSES.  
A.2. PLACEMENT OF CONCRETE PARKING AND DRIVEWAY AREAS WILL BE PERFORMED AS SOON AS POSSIBLE AFTER SUB-GRADE STABILIZATION, TO MINIMIZE THE AMOUNT OF TIME DISPOSED SOIL IS EXPOSED TO THE ELEMENTS. THIS PRACTICE WILL REDUCE THE FREQUENCY THAT MAINTENANCE IS REQUIRED ON THE STRUCTURAL BMP'S.  
A.3. THE GENERAL PERMIT REQUIRES THAT EROSION AND STABILIZATION MEASURES MUST BE INITIATED WITHIN 14 DAYS IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS CEASED. IF CONSTRUCTION ACTIVITY IS SCHEDULED TO RESUME WITHIN 21 DAYS FROM THE CESSATION OF CONSTRUCTION ACTIVITY, EROSION AND STABILIZATION MEASURES ARE NOT REQUIRED FOR THAT PORTION OF THE SITE.  
A.4. STABILIZATION PROCEDURES SUCH AS TURF ESTABLISHMENT AND INSTALLATION OF PLANT MATERIAL SHOULD BE COMMENCED AS SOON AS PRACTICABLE AFTER SITE GRADING IS COMPLETE AND FINAL.  
B. THE FOLLOWING STRUCTURAL EROSION AND SEDIMENT CONTROLS WILL BE UTILIZED ON THE PROJECT SITE:  
B.1. A STABILIZED CONSTRUCTION EXIT WILL BE INSTALLED AT THE LOCATION WHERE CONSTRUCTION TRAFFIC EXITS THE PROJECT SITE  
B.2. INLET PROTECTION TRAPS WILL BE INSTALLED AT ALL INLETS IMMEDIATELY AFTER CONCRETE PAVEMENT IS PLACED  
B.3. SILT FENCING (FILTER FABRIC FENCE OR REINFORCED FILTER FABRIC FENCE) WILL BE INSTALLED ALONG THE PROPERTY BOUNDARY AND ADJACENT TO EXISTING DITCHES, BAYOUS, STREAMS, RIVERS, AND/OR CHANNELS.  
B.4. ANY SEDIMENT THAT ENTERS THE STORM SEWER SYSTEM WILL BE REMOVED IMMEDIATELY (NOT FLUSHED).  
B.5. SINCE ALL PROPOSED INLETS DRAIN LESS THAN 10-ACRES, SEDIMENT BASINS ARE NOT REQUIRED FOR THIS SITE.  
B.6. WHERE PRACTICAL, CARE WILL BE TAKEN TO PROTECT NATURAL VEGETATION THAT DOES NOT NEED TO BE REMOVED FOR CONSTRUCTION PURPOSES.

TRAFFIC NOTES

- CONTRACTOR SHALL PROVIDE AND INSTALL TRAFFIC CONTROL DEVICES IN CONFORMANCE WITH PART VI OF TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD - LATEST EDITION WITH REVISIONS) DURING CONSTRUCTION.
- NO LANES SHALL BE BLOCKED FROM 7 A.M. TO 9 A.M. AND 4 P.M. TO 6:30 P.M. MONDAY THRU FRIDAY.
- OFF DUTY POLICE OFFICERS/FLAGGERS ARE REQUIRED TO DIRECT TRAFFIC WHEN LANES ARE BLOCKED.
- CONTRACTOR SHALL COVER THE EXCAVATION WITH STEEL PLATES ANCHORED PROPERLY DURING NON-WORKING HOURS AND ALLOW NORMAL TRAFFIC FLOW. IF COVERING IS NOT FEASIBLE, USE TRANITEX FR 336 EFX 36" DELINEATOR OR APPROVED EQUAL WITH SHEETING AND BASE EPOXIED TO PAVEMENT NEXT TO EXCAVATION DURING NON-WORKING HOURS.
- APPROVED COPIES OF "TRAFFIC CONTROL PLANS" SHALL BE AVAILABLE FOR INSPECTION AT ALL TIMES.  
\*THESE PLANS SHALL BE DRAWN TO SCALE ON REPRODUCIBLE MYLARs AND SEALED BY A LICENSED ENGINEER IN THE STATE OF TEXAS. PLANS WILL BECOME A PART OF THE CONTRACT DRAWINGS.  
\*\*THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND OPERATION FOR ANY AND ALL TRAFFIC CONTROL MEASURES AS REQUIRED BY REGULATING AGENCIES OR FOR THE SAFE EXECUTION OF THE WORK SHOWN WITHIN THESE CONSTRUCTION DOCUMENTS. NO SEPERATE PAY.

FORT BEND COUNTY NOTES:

- FORT BEND COUNTY MUST BE INVITED TO THE PRE-CONSTRUCTION MEETING.
- CONTRACTOR SHALL NOTIFY FORT BEND COUNTY ENGINEERING DEPARTMENT 48 HOURS PRIOR TO COMMENCING CONSTRUCTION AND 48 HOUR NOTICE TO ANY CONSTRUCTION ACTIVITY WITHIN THE LIMITS OF THE PAVING AT CONSTRUCTION@FORTBENDCOUNTYTX.GOV.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FROM FORT BEND COUNTY PRIOR TO COMMENCING CONSTRUCTION OF ANY IMPROVEMENTS WITHIN COUNTY ROAD RIGHT OF WAYS.
- ALL PAVING IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FORT BEND COUNTY "RULES, REGULATIONS AND REQUIREMENTS RELATING TO THE APPROVAL AND ACCEPTANCE OF IMPROVEMENTS IN SUBDIVISIONS AS CURRENTLY AMENDED.
- ALL ROAD WIDTHS, CURB RADII AND CURB ALIGNMENT SHOWN INDICATES BACK OF CURB.
- A CONTINUOUS LONGITUDNAL REINFORCING BAR SHALL BE USED IN THE CURBS.
- ALL CONCRETE PAVEMENT SHALL BE 5 1/2 SACK CEMENT WITH A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI AT 28 DAYS. TRANSVERSE EXPANSION JOINTS SHALL BE INSTALLED AT EACH CURB RETURN AND AT A MAXIMUM SPACING OF 60 FEET.
- ALL WEATHER ACCESS TO ALL EXISTING STREETS AND DRIVEWAYS SHALL BE MAINTAINED AT ALL TIMES.
- 4" X 12" REINFORCED CONCRETE CURB SHALL BE PLACED IN FRONT OF SINGLE FAMILY LOTS ONLY. ALL OTHER AREAS SHALL BE 6" REINFORCED CONCRETE CURB.
- AT ALL INTERSECTION LOCATIONS, TYPE 7 RAMPS SHALL BE PLACE IN ACCORDANCE WITH TXDOT PED-12A STANDARD DETAIL SHEET. A.D.A. - HANDICAP RAMPS SHALL BE INSTALLED WITH STREET PAVING AT ALL INTERSECTIONS AND COMPLY WITH CURRENT A.D.A. REGULATIONS.
- CURB HEADERS ARE REQUIRED AT CURB CONNECTIONS TO HANDICAP RAMPS, WITH NO CONSTRUCTION JOINT WITHIN 5' OF RAMPS.
- ALL INTERSECTIONS UTILIZING TRAFFIC CONTROL MEASURES SHALL HAVE A.D.A. WHEEL CHAIR RAMPS INSTALLED.
- GUIDELINES ARE SET FORTH IN THE TEXAS "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" AS CURRENTLY AMENDED, SHALL BE OBSERVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE FLAGMEN, SIGNING, STRIPING AND WARNING DEVICES, ETC., DURING CONSTRUCTION - BOTH DAY AND NIGHT.
- ALL R1-1 STOP SIGNS SHALL BE 30" X 30" WITH DIAMOND GRADE SHEETING PER TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- STREET NAME SIGNAGE SHALL BE ON A 9" HIGH SIGN FLAT BLADE W/ REFLECTIVE GREEN BACKGROUND. STREET NAMES SHALL BE UPPER AND LOWERCASE LETTERING WITH UPPERCASE LETTERS OF 6" MINIMUM AND LOWERCASE LETTERS OF 4.5" MINIMUM. THE LETTERS SHALL BE REFLECTIVE WHITE. STREET NAME SIGNS SHALL BE MOUNTED ON STOP SIGN POST.
- A BLUE DOUBLE REFLECTORIZED BUTTON SHALL BE PLACED AT ALL FIRE HYDRANT LOCATIONS. THE BUTTON SHALL BE PLACED 12 INCHES OFF OF THE CENTERLINE OF THE STREET ON THE SAME SIDE AS THE HYDRANT.

NOTE: FORT BEND COUNTY NOTES SUPERSEDE ANY CONFLICTING NOTES.

INSPECTION, THE PROJECT AND ALL PARTS THEREOF SHALL BE SUBJECT TO INSPECTION FROM TIME TO TIME BY INSPECTORS DESIGNATED BY FORT BEND COUNTY. NO SUCH INSPECTIONS SHALL RELIEVE THE CONTRACTOR OF ANY OF ITS OBLIGATIONS HEREUNDER. NEITHER FAILURE TO INSPECT NOR FAILURE TO DISCOVER OR RECTIFY ANY OF THE WORK AS NOT IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, REQUIREMENTS AND SPECIFICATIONS OF FORT BEND COUNTY OR ANY PROVISION OF THIS PROJECT SHALL BE CONSTRUED TO IMPLY AND ACCEPTANCE OF SUCH WORK OR TO RELIEVE THE CONTRACTOR OF ANY OF ITS OBLIGATIONS HEREUNDER.

DATE

NO.

REVISIONS

ALJLindsey

Civil Engineers  
2801 West Loop South, Suite 314  
Houston, TX 77098  
281.901.8985  
P&T F-1226

Seal

PATRICK L. CARRIGAN  
95617  
REGISTERED PROFESSIONAL ENGINEER  
07 JULY 2017

GENERAL NOTES

8" WATER LINE EXTENSION &  
ROUGH GRADING SERVING  
CHASE LOCATED AT  
SPRING GREEN BLVD

SHEET  
C0.1

AUTHORIZATION IS VALID FOR 1 YEAR.

APPROVED: *Carrigan*

DATE: 7-10-17 for DEVELOPMENT COORDINATOR











STATE OF TEXAS  
COUNTY OF FORT BEND

We, Thor Ranch, LLC, a Delaware limited liability company, acting by and through its sole member Thor Ranch Holdings, LLC, a Delaware limited liability company, acting by and through its sole member Thor Urban Operating Fund, LP, a Delaware limited partnership, acting by and through its general partner Thor Operating Fund, LLC, a Delaware limited liability company, acting by and through Morris Misery, Vice President, hereinafter referred to as the Owners of the 32,702.5 acres tract described in the above and foregoing map of CROSSING AT CINCO RANCH PARTIAL REPLAT NO. 1, do hereby make and establish said subdivision and development plan of said property according to all laws, dedications, restrictions, and notations on said maps or plat and hereby dedicate to the use of the public forever, all streets (except those streets designated as private streets, or permanent access easements), alleys, parks, water courses, drains, easements and public places shown thereon for the purposes and considerations therein expressed; and do hereby bind ourselves, our heirs, successors and assigns to warrant and forever defend the title on the land so dedicated.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional eleven feet, six inches (11'6") for ten feet (10') perimeter ground easements or seven feet, six inches (7'6") for fourteen feet (14') perimeter ground easements or five feet, six inches (5'6") for sixteen feet (16') perimeter ground easements, from a plane sixteen feet (16') above the ground level upward, located adjacent to and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted herein, whereby the aerial easement totals twenty one feet, six inches (21'6") in width.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional ten feet (10') for ten feet (10') back-to-back ground easements or eight feet (8') for fourteen feet (14') back-to-back ground easements or seven feet (7') for sixteen feet (16') back-to-back ground easements, from a plane sixteen feet (16') above the ground level upward, located adjacent to and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted herein, whereby the aerial easement totals thirty feet (30') in width.

FURTHER, Owners do hereby covenant and agree that all of the property within the boundaries of this plat is hereby restricted to prevent the drainage of any septic tanks into any public or private street, permanent access easement, road or alley or any drainage ditch, either directly or indirectly.

FURTHER, Owners do hereby dedicate to the public a strip of land twenty (20) feet wide on each side of the center line of any and all bays, creeks, gullies, ravines, draws, sloughs or other natural drainage courses located in said plat, as easements for drainage purposes, giving the City of Houston, Fort Bend County, or any other governmental agency, the right to enter upon said easement at any and all times for the purpose of construction and maintenance of drainage facilities and structures.

FURTHER, Owners do hereby covenant and agree that all of the property within the boundaries of this subdivision and adjacent to any drainage easement, ditch, gully, creek or natural drainage way shall hereby be restricted to keep such drainage ways and easements clear of fences, buildings, excessive vegetation and other obstructions to the operation and maintenance of the drainage facility and that such abutting property shall not be permitted to drain directly into this easement except by means of an approved drainage structure.

FURTHER, we do hereby acknowledge the receipt of the "Orders for Regulation of Outdoor Lighting in the Unincorporated Areas of Fort Bend County, Texas," and do hereby covenant and agree with this order as adopted by Fort Bend County Commissioners' Court on March 23, 2004, and any subsequent amendments.

IN TESTIMONY WHEREOF, Thor Ranch, LLC, a Delaware limited liability company, acting by and through its sole member Thor Ranch Holdings, LLC, a Delaware limited liability company, acting by and through its sole member Thor Urban Operating Fund, LP, a Delaware limited partnership, acting by and through its general partner Thor Operating Fund, LLC, a Delaware limited liability company has caused these presents to be signed by Morris Misery, its Vice President, thereunto authorized this 6th day of August, 2015.

By: Thor Ranch, LLC  
By: Thor Ranch Holdings, LLC, its Sole Member  
By: Thor Urban Operating Fund, LP, its Sole Member  
By: Thor Operating Fund, LLC, its General Partner

By: Morris Misery  
Vice President

STATE OF NEW YORK  
COUNTY OF NEW YORK

Before me, the undersigned authority, on this day personally appeared Morris Misery, Vice President of Thor Operating Fund, LLC, the General Partner of Thor Urban Operating Fund, LP, the Sole Member of Thor Ranch Holdings, LLC, the Sole Member of Thor Ranch, LLC, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed, and in the capacity therein and herein set out, and as the act and deed of said corporation.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 6th day of August, 2015.

Camille Falzarano  
Notary Public, State of New York  
No. 01FA075263  
Qualified in Nassau County  
Commission Expires June 8, 2018

Notary Public in and for the  
State of New York  
6-3-18  
My Commission Expires:

I, Mike Kurkowski, am authorized under the laws of the State of Texas to practice the profession of surveying and hereby certify that the above subdivision is true and accurate; was prepared from an actual survey of the property made under my supervision on the ground; that, except as shown all boundary corners, angle points, points of curvature and other points of reference have been marked with iron (or other objects of a permanent nature) pipes or rods having an outside diameter of not less than five eighths (5/8) inch and a length of not less than three (3) feet; and that the plat boundary corners have been tied to the Texas Coordinate System of 1983, south central zone.



Mike Kurkowski  
Registered Professional Land Surveyor  
Texas Registration No. 5101

I, Patrick L. Carrigan, a Professional Engineer registered in the State of Texas to do hereby certify that this plat meets all requirements of Fort Bend County, Texas, to the best of my knowledge.



Patrick L. Carrigan  
Name: Patrick L. Carrigan  
Texas Registration No. 9561  
A.L.J.-Lindsey, LLC

This is to certify that the Planning Commission of the City of Houston, Texas, has approved this plat and subdivision of CROSSING AT CINCO RANCH PARTIAL REPLAT NO. 1 in conformance with the laws of the State of Texas and the ordinances of the City of Houston as shown hereon and authorized recording of this plat this 17th day of August, 2015.

By: Mark A. Kikanyan or  
Chair  
By: Sunny Garza  
Vice Chairman  
By: Patrick Walsh, P.E.  
Secretary

#### GENERAL NOTES

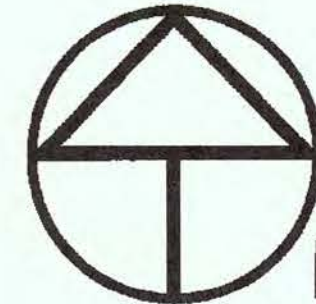
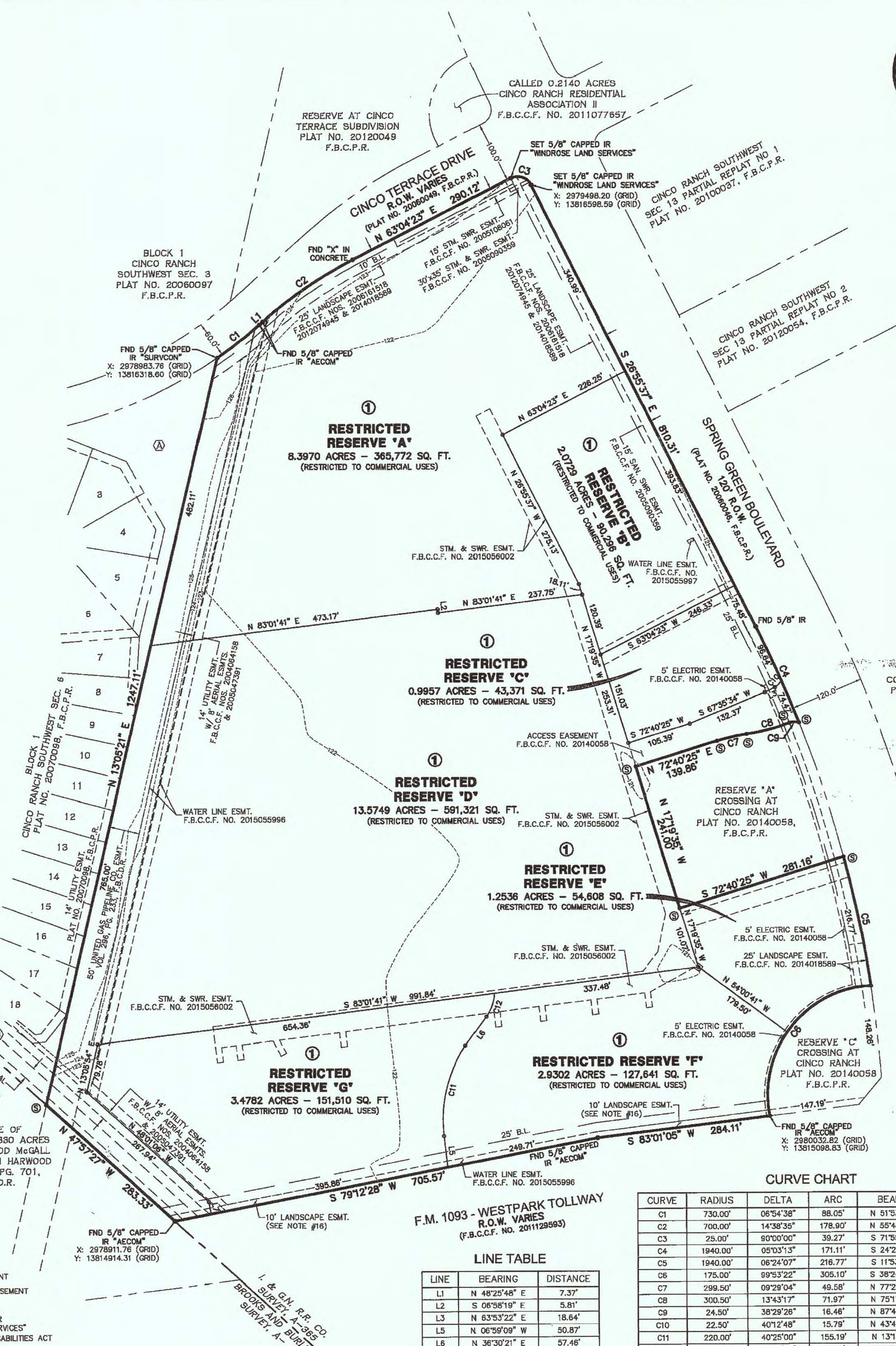
- Bearings were based on the Texas State Plane Coordinate System, South Central Zone (NAD83).
- All coordinates shown herein are Texas South Central Zone No. 4204 State Plane Grid Coordinates (NAD 83), and may be brought to surface by applying the following scale factor 0.99984241.
- Unless otherwise indicated, the building line (B.L.), whether one or more, shown on this subdivision plat are established in accordance with the applicable provisions of Chapter 42, Code of Ordinances, City of Houston, Texas, in effect at the time this plat was approved, which may be amended from time to time.
- Primary Benchmark is Harris County Floodplain Reference Mark Number 190045, brass disk stamped 190045 on bridge at Cinco Ranch Boulevard and upper Buffalo Bayou located on downstream concrete walk, on northeast corner of bridge in Key Map 4855 in the Barker watershed near stream 1100-00-00. Elevation=115.26 feet, NAVD 1988, 2001 adjusted. Temporary Benchmark is a brass disk on curb inlet located on the easterly side of Spring Green Boulevard, 400' +/- north of F.M. 1093. Elevation=120.41 feet, NAVD 1988, 2001 adjusted.
- According to the Federal Emergency Management Agency (FEMA), Flood Insurance Rate Map (FIRM) for Fort Bend County, Texas, Map No. 48157C00105L, revised/dated April 2, 2014, the subject tract appears to lie within unshaded zone "X".
- The top of all floor slab elevations shall be a minimum of 122.5 feet above Mean Sea Level. The top of slab elevation at any point on the perimeter of the slab shall not be less than eighteen (18) inches above natural ground.
- The drainage system for this subdivision is designed in accordance with the Fort Bend County Drainage Criteria Manual which allows street ponding with intense rainfall events.
- All drainage easements shall be kept clear of fences, building, vegetation, and other obstructions for the purpose of the operation and maintenance of the drainage facility.
- All property to drain into a drainage easement only through an approved drainage structure.
- Pipeline easements within the platted area shown hereon.
- This plat was prepared to meet City of Houston and Fort Bend County requirements.
- Sidewalks shall be built or caused to be built not less than 5 feet in width on both sides of all dedicated rights-of-way within said plat and on the contiguous right-of-way of all perimeter roads surrounding said plat, in accordance with the A.D.A.
- This plat lies wholly within Fort Bend County Lighting Zone LZ3
- This plat is subject to the terms, conditions and provisions as set out by the "Regulations of Fort Bend County for the Placement of Signs Visible from the Main-Traveled Way of a Toll Road", as adopted by Commissioners Court on January 24, 2005, and as amended on August 27, 2013.
- Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside near lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public Utilities may put solid wooden posts and paneled wooden fences back up, but generally will not replace with new fencing.
- Subject to Section 7 (Green space regulations) of the Fort Bend County Regulations of subdivisions.

#### DISTRICT NAMES

WCID	N/A
MUD	C.S.M.U.D. 2
LID	N/A
DID	FBC DRAINAGE
SCHOOL	KATY ISD
FIRE	F.B.E.S.D. NO. 4
IMPACT FEE AREA	N/A
CITY OR CITY ETJ	CITY OF HOUSTON ETJ
UTILITIES CO.	CENTERPOINT ENERGY

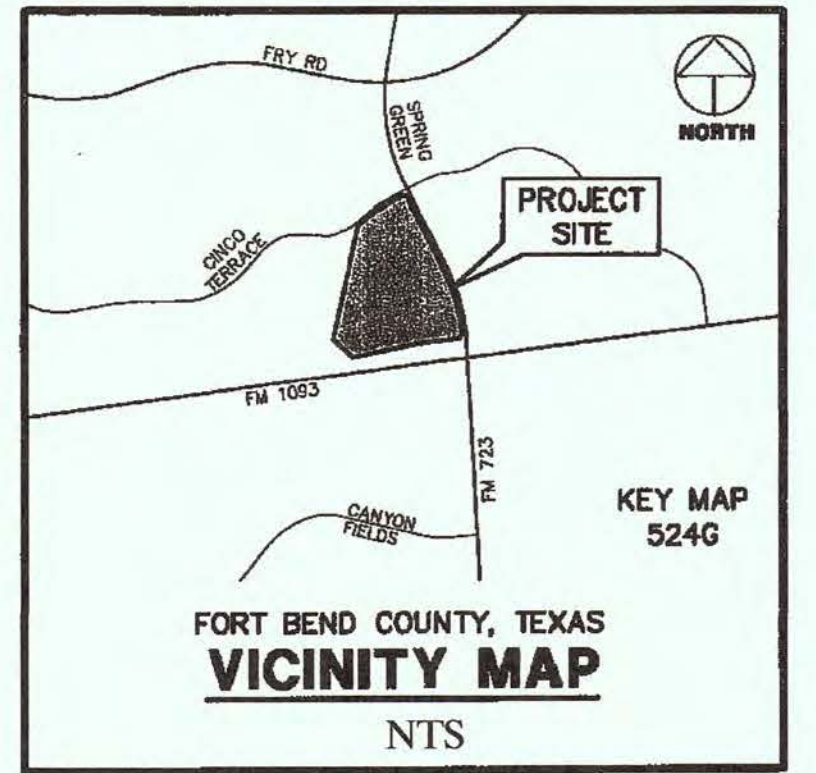
#### ABBREVIATIONS

ESMT. - EASEMENT	R.O.W. - RIGHT-OF-WAY
FND - FOUND	SQ. FT. - SQUARE FEET
F.B.C.F. - FORT BEND COUNTY CLERK FILE	VOL. - VOLUME
F.B.C.D.R. - FORT BEND COUNTY DEED RECORDS	B.L. - BUILDING LINE
F.B.C.P.R. - FORT BEND COUNTY PLAT RECORDS	W.L.E. - WATER LINE EASEMENT
IP - IRON PIPE	S.S.E. - SANITARY SEWER EASEMENT
IR - IRON ROD	U.E. - UTILITY EASEMENT
NO. - NUMBER	Ⓢ - SET 5/8" CAPPED IR "WINDROSE LAND SERVICES"
PG. - PAGE	A.D.A. - AMERICANS WITH DISABILITIES ACT



NORTH

NTS



I, Richard W. Stolleis, P.E., Fort Bend County Engineer, do hereby certify that the plat of this subdivision complies with all the existing laws and regulations of this Office as adopted by the Fort Bend County Commissioners' Court. However, no certification is hereby given as to the effect of drainage from this subdivision on the intercepting drainage artery, or parent stream, or on any other area or subdivision within the watershed.

Richard W. Stolleis, P.E.  
Fort Bend County Engineer

APPROVED by the Commissioners' Court of Fort Bend County, Texas, this, the 6th day of October, 2015.

Richard Morrison, Commissioner, Precinct 1  
Grady Prestige, Commissioner, Precinct 2

Robert E. Hebert, Ph.D., County Judge  
W. A. "Andy" Meyers, Commissioner, Precinct 3  
James Patterson, Commissioner, Precinct 4

I, Laura Richard, County Clerk in and for Fort Bend County, hereby certify that the foregoing instrument with its certificate of authentication was filed for recordation in my office on October 6th, 2015, at 3:24 o'clock P.M., in Plat No. 20150268 of the Plat Records of Fort Bend County, Texas.

Witness my hand and seal of office, at Richmond, Texas, the day and date last above written.



Laura Richard  
Laura Richard, County Clerk  
Fort Bend County, Texas

By: Meghan McClary  
Deputy  
MEGHAN MCCLARY

15 PGS 2015114469  
PLAT ATTACH

FILED AND RECORDED  
OFFICIAL PUBLIC RECORDS

Laura Richard  
Laura Richard, County Clerk  
Fort Bend County, Texas  
October 06, 2015 03:24:35 PM  
FEE: \$500.00 NHT  
PLAT 20150268

### CROSSING AT CINCO RANCH PARTIAL REPLAT NO 1

A SUBDIVISION OF 32,702.5 ACRES OR 1,424,520 SQUARE FEET OF LAND BEING A REPLAT OF RESERVE "B", CROSSING AT CINCO RANCH, RECORDED IN PLAT NO. 20140058, F.B.C.P.R. SITUATED IN THE 1 & G.N.R.R. CO. SURVEY, A-365 FORT BEND COUNTY, TEXAS

1 BLOCK 7 RESERVES 0 LOTS  
REASON FOR REPLAT: TO CREATE SEVEN (7) RESERVES  
JULY, 2015

Owners  
Thor Ranch, LLC  
25 West 39th Street, 10th Floor  
New York, NY 10018  
(212) 529-5044

Surveyor



Windrose Land Services, Inc.  
3200 Wilcrest, Suite 325  
Houston, Texas 77042  
Phone (713) 458-2281 Fax (713) 461-1151  
Firm Registration No. 10108800

Professional Development Consultants  
Land Surveying, Platting, Project Management, GIS Services

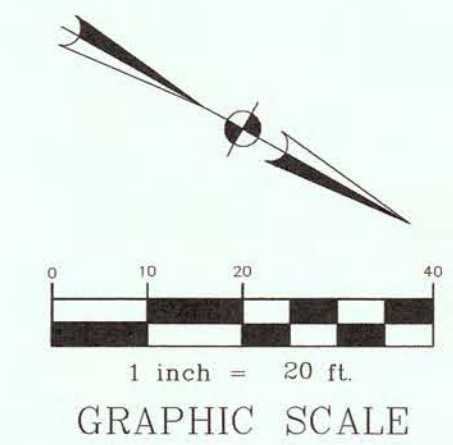
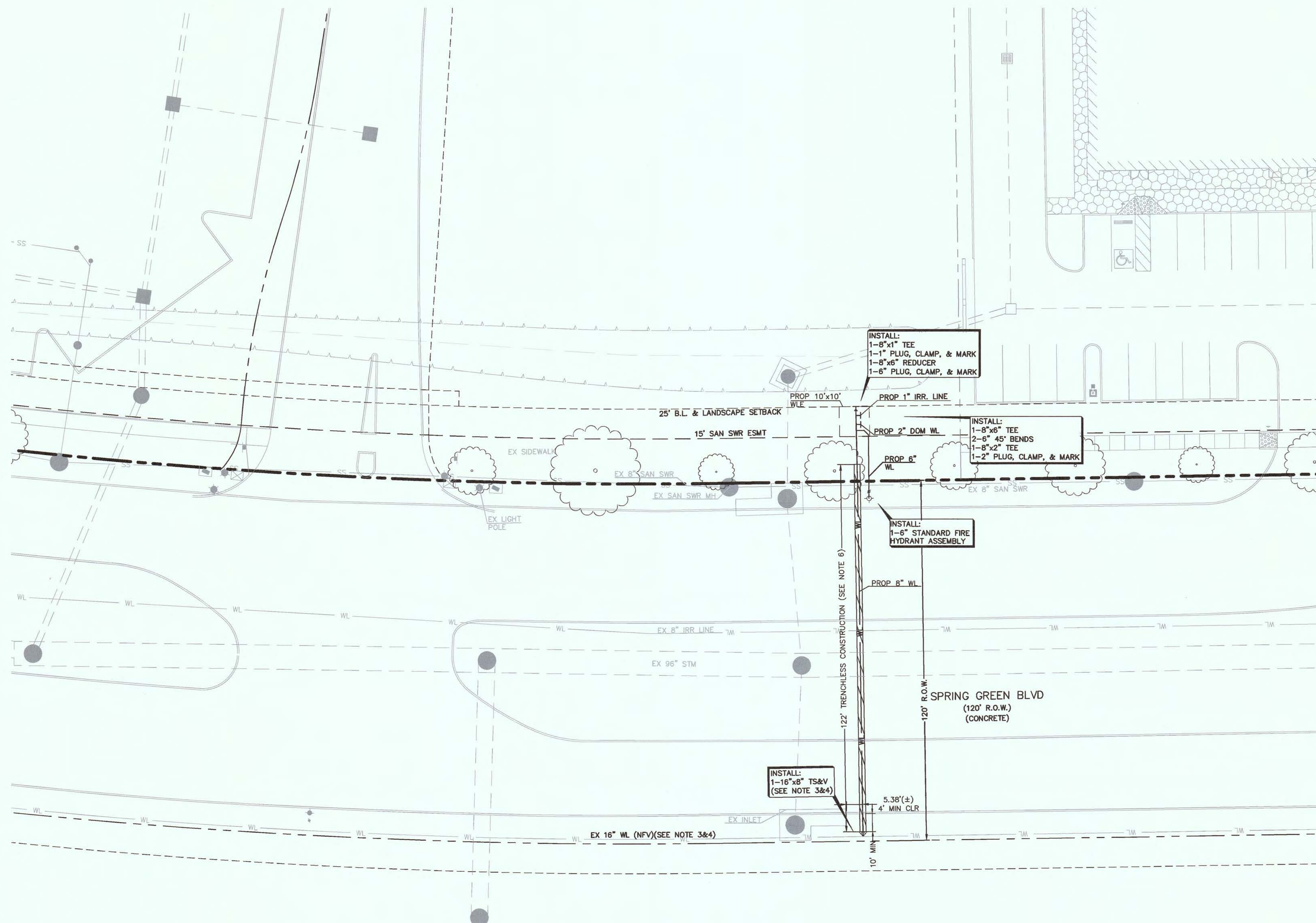
CURVE CHART					
CURVE	RADIUS	DELTA	ARC	BEARING	CHORD
C1	730.00'	06°54'38"	88.05'	N 51°33'07" E	87.99'
C2	700.00'	14°38'35"	178.90'	N 55°45'06" E	178.41'
C3	25.00'	90°00'00"	39.27'	S 71°55'37" E	35.36'
C4	1840.00'	05°03'13"	171.11'	S 24°24'01" E	171.05'
C5	1940.00'	06°24'07"	216.77'	S 11°53'27" E	216.65'
C6	175.00'	99°53'22"	305.10'	S 38°24'17" W	267.90'
C7	299.50'	09°28'04"	49.58'	N 77°24'57" E	49.52'
C8	300.50'	13°43'17"	71.97'	N 75°17'50" E	71.79'
C9	24.50'	38°29'26"	16.46'	N 87°40'55" E	16.15'
C10	22.50'	40°12'48"	15.79'	N 43°46'58" E	15.47'
C11	220.00'	40°25'00"	155.19'	N 13°13'21" E	151.99'
C12	66.55'	34°37'38"	40.22'	N 19°11'32" E	39.61'

F.M. 1093 - WESTPARK TOLLWAY  
R.O.W. VARIES  
(F.B.C.C.F. NO. 2011129593)

#### LINE TABLE

LINE	BEARING	DISTANCE
L1	N 48°25'48" E	7.37'
L2	S 06°58'19" E	5.81'
L3	N 63°53'22" E	18.64'
L5	N 06°59'09" W	50.87'
L6	N 36°30'21" E	57.46'
L7	N 10°47'32" W	20.17'





**LEGEND**

WL	PROPOSED WATER LINE
SS	EX. STORM SEWER
SWR	EX. WATER LINE
SS	EX. SANITARY SEWER LINE
100	EX. CONTOUR

**GENERAL NOTES**

1. REFERENCE WATER LINE NOTES SHEET C0.1 FOR PIPE MATERIAL REQUIREMENTS.
2. ANY CONFLICT IN PLANS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO INSTALLATION.
3. PRIOR TO ORDERING MATERIALS, CONTRACTOR TO FIELD VERIFY SIZE, LOCATION, AND DEPTH OF EXISTING 16" WATER LINE ALONG SPRING GREEN BLVD. IF CONFLICT IS IDENTIFIED, CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY.
4. CONTRACTOR TO LOCATE EXISTING WATER LINE ON SPRING GREEN BLVD AND INSURE CLEARANCE FOR DIRECT TS&V CONNECTION RATHER THAN BACK-TAP PRIOR TO ORDERING MATERIALS.
5. CONTRACTOR RESPONSIBLE FOR ALL TRAFFIC CONTROL.
6. CONTRACTOR TO TERMINATE TRENCHLESS CONSTRUCTION OUTSIDE OF DRIPLINE OF TREE AND PLACE 45° VERTICAL BEND TO AN ELEVATION GREATER THAN 9' ABOVE EXISTING SANITARY SEWER LINE.
7. PRIOR TO ANY CONSTRUCTION A PRE-CONSTRUCTION MEETING MUST BE HELD WITH BOE (KEVIN CUNNINGHAM, 832-782-8807) AND SEVERN TRENT SERVICES (BILL RICHMOND, 281-375-5963). PLEASE CONTACT THOSE INDIVIDUALS TO SCHEDULE THIS MEETING.
8. SEWER AND WATER CONNECTION AND FEES ARE HANDLED BY SEVERN TRENT SERVICES (BILL RICHMOND, 281-375-5963). PRIOR TO ANY CONNECTION A RESERVATION OF CAPACITY IS REQUIRED TO BE GRANTED BY CINCO SOUTHWEST MUD 1. BOE (KEVIN CUNNINGHAM, 832-782-8807) HANDLES THE OBSERVATION OF THE STORM DRAINAGE CONNECTIONS.
9. ANY DISTURBANCE OF OR DAMAGE TO EXISTING CINCO SOUTHWEST MUD 1 OR CINCO SOUTHWEST MUD NO. 2 FACILITIES OR UNAUTHORIZED CONNECTIONS THERE TO MAY RESULT IN A STOPPAGE OF WORK, UNCOVERING, REPAIR, OR REPLACEMENT OF THOSE FACILITIES.

MULTIPLE EXISTING PUBLIC AND PRIVATE UTILITY LINES EXIST ON THIS SITE. THE UTILITY LINES SHOWN ON THESE DRAWINGS REFLECT INFORMATION OBTAINED FROM RECORD DRAWINGS AND MAY NOT INCLUDE ALL EXISTING UTILITIES. CONTRACTOR IS TO USE EXTREME CAUTION DURING ALL CONSTRUCTION ACTIVITIES AND IS SOLELY RESPONSIBLE FOR DAMAGE TO EXISTING FACILITIES.

BENCHMARK:  
HARRIS COUNTY FLOODPLAIN REFERENCE MARK  
NUMBER 190045, BRASS DISK STAMPED 190045 ON  
BRIDGE AT CINCO RANCH BLVD AND UPPER BUFFALO  
BAYOU LOCATED ON DOWNSTREAM CONCRETE  
WALK, ON NE CORNER OF BRIDGE IN KEY MAP 4855 IN  
THE BARKER WATERSHED NEAR STREAM T100-00-00.  
ELEVATION = 115.26' (NAVD88, 2001 ADJ.)

TEMPORARY BENCHMARK "A":  
BRASS DISK ON CURB INLET LOCATED ON THE  
EASTERN SIDE OF SPRING GREEN BLVD, 400'± NORTH  
OF F.M. 1093.  
ELEVATION = 120.41'

DATE	
REVISIONS	
No.	

**ALJ Lindsey**  
REGISTERED PROFESSIONAL ENGINEER  
5005 FM 1980 W., Suite 314  
Houston, TX 77068  
281.901.9555  
P.E. #11228

**UTILITY PLAN**

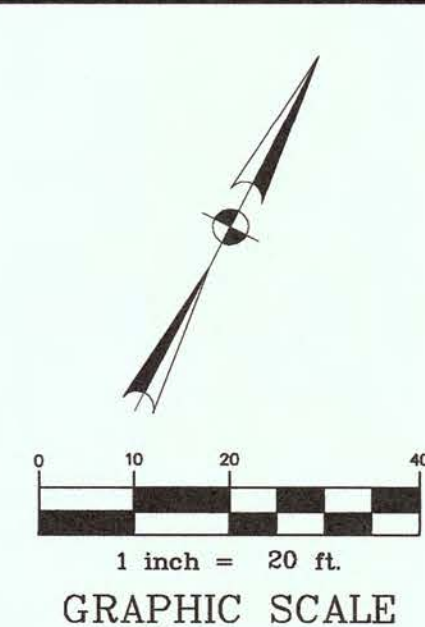
**8" WATER LINE EXTENSION & ROUGH GRADING SERVING CHASE LOCATED AT SPRING GREEN BLVD**

SHEET  
**C1.0**

CALL BEFORE YOU DIG  
TEXAS ONE CALL PARTICIPANTS REQUEST  
72 HOURS NOTICE BEFORE YOU DIG, DRILL  
OR BLAST - STOP CALL  
TEXAS ONE CALL SYSTEM  
1-800-545-6005  
IN HOUSTON  
(713)-223-4567

AUTHORIZATION IS VALID FOR 1 YEAR.  
APPROVED: *Casandra J. Lee*  
DATE: 7-10-17  
DEVELOPMENT COORDINATOR





**BENCHMARK:**  
HARRIS COUNTY FLOODPLAIN REFERENCE MARK  
NUMBER 190045, BRASS DISK STAMPED 190045 ON  
BRASS AT CINCO RANCH BLVD AND UPPER BUFFALO  
BLVD ON CORNER OF DOWNSTREAM CONCRETE  
WALL ON NE CORNER OF POND. STREAM #855 IN  
THE BARKER WATERSHED NEAR STREAM 1100-00-00.  
ELEVATION = 115.26' (NAVD88, 2001 ADJ.)

[illegible]

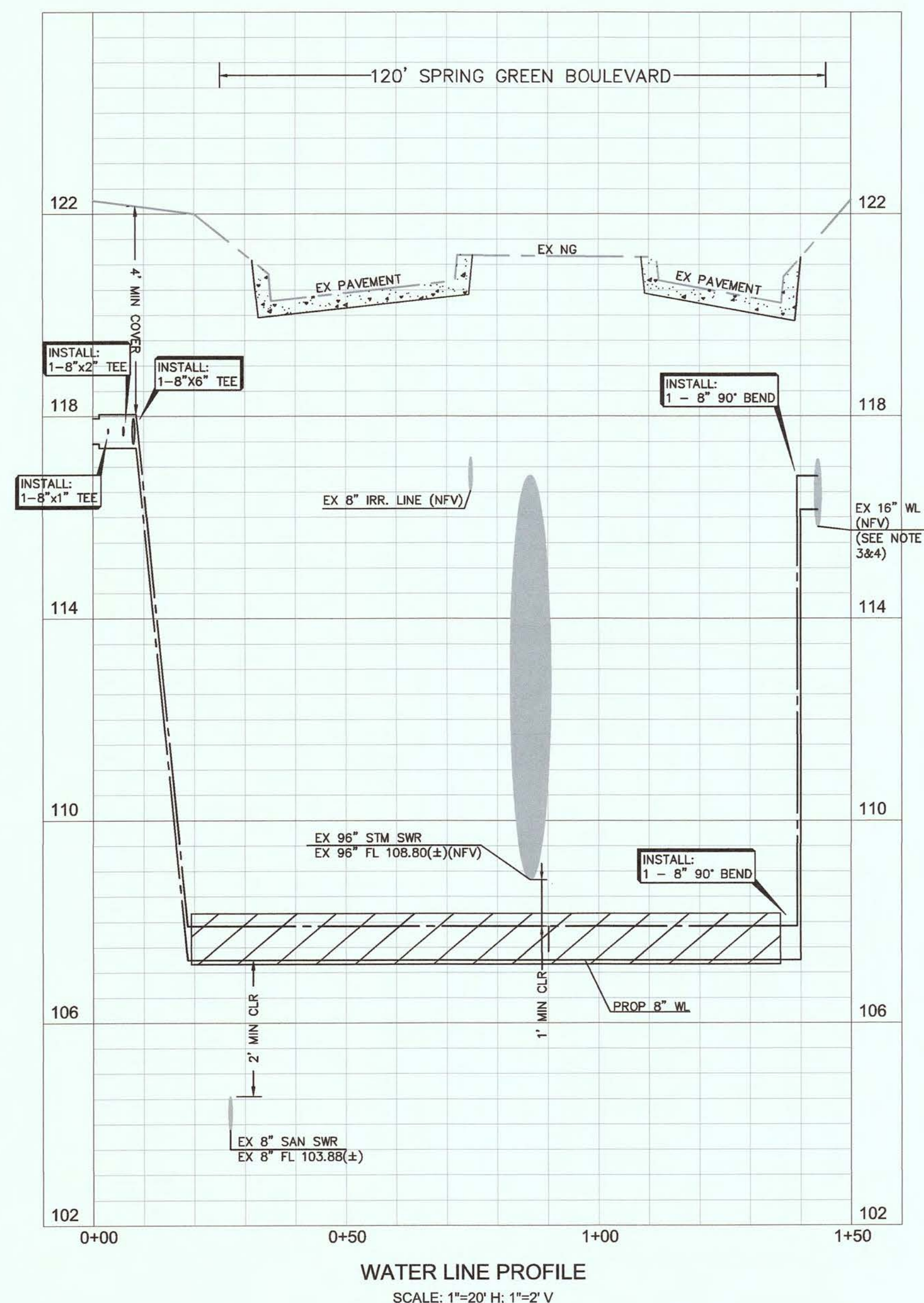
**ALJLindsey**  
Civil Engineers  
5629 FM 1960 W., Suite 314  
Houston, TX 77069  
281.301.5955  
FAX 281.301.5958



## 8-INCH WATER LINE PLAN & PROFILE

**8" WATER LINE EXTENSION &  
ROUGH GRADING SERVING  
CHASE LOCATED AT  
SPRING GREEN BLVD**

SHEET  
C1.1



### LEGEND

_____ WL _____	PROPOSED WATER LINE
== == == == ==	EX. STORM SEWER
_____ WL _____	EX. WATER LINE
_____ SS _____	EX. SANITARY SEWER LINE
_____ 100 _____	EX. CONTOUR

## GENERAL NOTES

1. REFERENCE WATER LINE NOTES SHEET CO.1 FOR PIPE MATERIAL REQUIREMENTS.
2. ANY CONFLICT IN PLANS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO INSTALLATION.
3. PRIOR TO ORDERING MATERIALS, CONTRACTOR TO FIELD VERIFY SIZE, LOCATION, AND DEPTH OF EXISTING 16" WATER LINE ALONG SPRING GREEN BLVD. IF CONFLICT IS IDENTIFIED, CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY.
4. CONTRACTOR TO LOCATE EXISTING WATER LINE ON SPRING GREEN BLVD AND INSURE CLEARANCE FOR DIRECT T&V CONNECTION RATHER THAN BACK-TAP PRIOR TO ORDERING MATERIALS.
5. CONTRACTOR RESPONSIBLE FOR ALL TRAFFIC CONTROL.
6. CONTRACTOR TO TERMINATE TRENCHLESS CONSTRUCTION OUTSIDE OF DRIPLINE OF TREE AND PLACE 45° VERTICAL BEND TO AN ELEVATION GREATER THAN 9' ABOVE EXISTING SANITARY SEWER LINE.
7. PRIOR TO ANY CONNECTION A PRE-CONSTRUCTION MEETING MUST BE HELD WITH BGE (KEVIN CUNNINGHAM, 832-782-8807) AND SEVERN TREAT SERVICES-BILL RICHMOND, 281-375-5963). PLEASE CONTACT THOSE INDIVIDUALS TO SCHEDULE THIS MEETING.
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9. ANY DISTURBANCE OF OR DAMAGE TO EXISTING CINCO SOUTHWEST MUD 1 OR CINCO SOUTHWEST MUD NO. 2 FACILITIES OR UNAUTHORIZED CONNECTIONS THERETO MAY RESULT IN A STOPPAGE OF WORK, UNCOVERING, REPAIR, OR REPLACEMENT OF THOSE FACILITIES.

**PROPOSED TAP NOTE:**

CONTRACTOR TO PROVIDE ALTERNATE PRICE FOR BACK TAP IF  
TRADITIONAL TAP CANNOT BE COMPLETED WITHOUT IMPACT TO EXISTING  
PAVEMENT.

MULTIPLE EXISTING PUBLIC AND PRIVATE UTILITY LINES EXIST ON THIS SITE. THE UTILITY LINES SHOWN ON THESE DRAWINGS REFLECT INFORMATION OBTAINED FROM RECORD DRAWINGS AND MAY NOT INCLUDE ALL EXISTING UTILITIES. CONTRACTOR IS TO USE EXTREME CAUTION DURING ALL CONSTRUCTION ACTIVITIES AND IS SOLELY RESPONSIBLE FOR DAMAGE TO EXISTING FACILITIES.

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(713)-223-4567

AUTHORIZATION IS VALID FOR 1 YEAR.

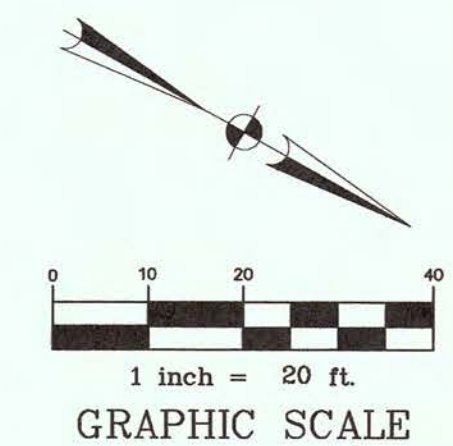
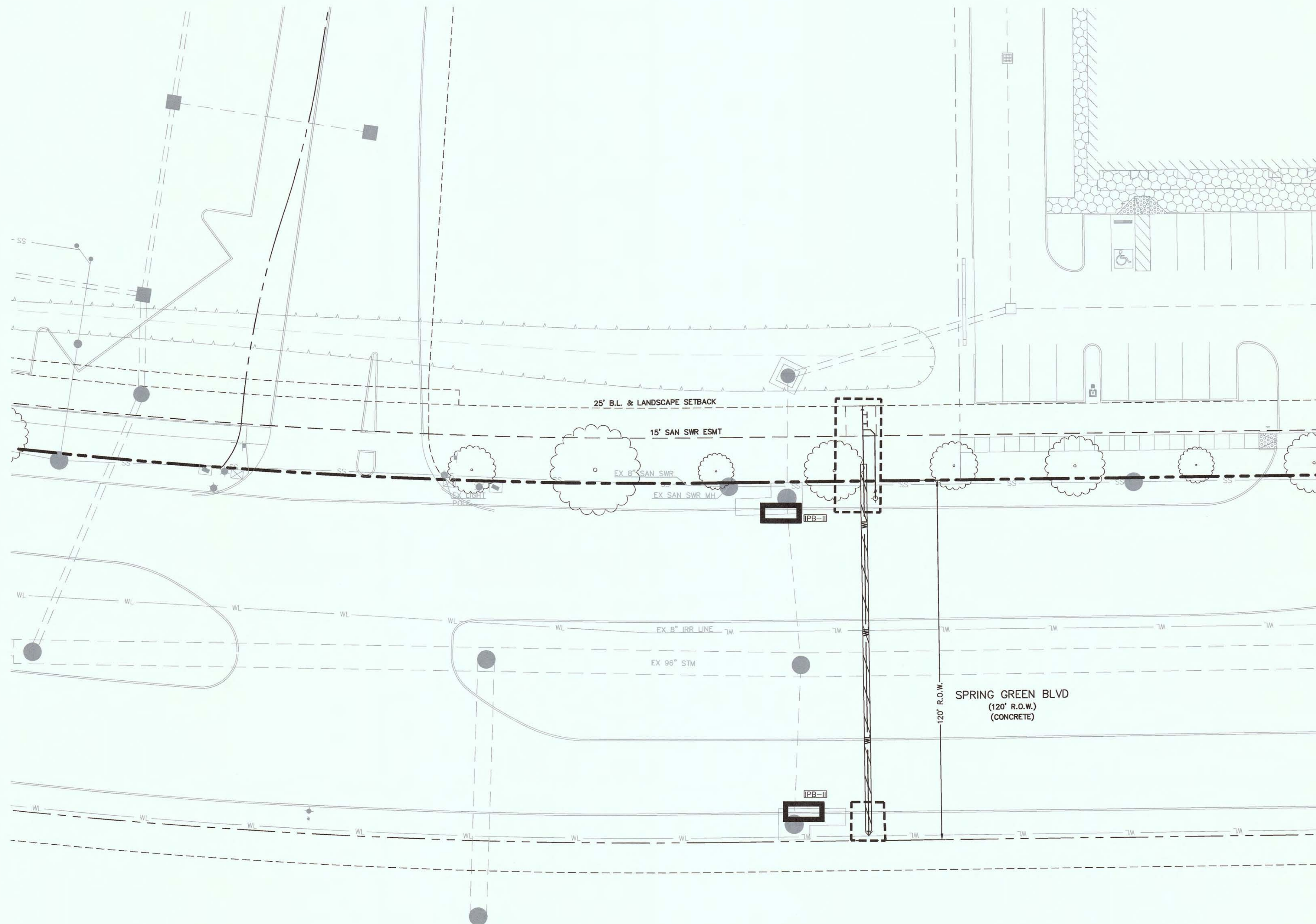
APPROVED: Cassandra [Signature]

DATE: 7-10-19









BENCHMARK:  
HARRIS COUNTY FLOODPLAIN REFERENCE MARK  
NUMBER 150045: BRASS DISK STAMPED 150045 ON  
BRIDGE AT CINCO RANCH BLVD AND UPPER BUFFALO  
BAYOU LOCATED ON DOWNSTREAM CONCRETE  
WALK, ON NE CORNER OF BRIDGE IN KEY MAP 4855 IN  
THE BARKER WATERSHED NEAR STREAM T100-00-00.  
ELEVATION = 115.26' (NAVD88, 2001 ADJ.)

TEMPORARY BENCHMARK "A":  
BRASS DISK ON CURB INLET LOCATED ON THE  
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OF F.M. 1093.  
ELEVATION = 120.41'

**LEGEND**

IPB-II INLET PROTECTION BARRIER - STAGE II  
(SEE DETAIL, SHEET C4.1)

LIMITS OF DISTURBED AREA

EX. CONTOUR

**SITE DATA**

TOTAL LOT AREA	X.XX AC
TOTAL AREA DISTURBED	0.02 AC

**GENERAL NOTES**

1. CONTRACTOR TO MAINTAIN A CLEAN PROJECT SITE AND ENSURE THAT ALL DEBRIS IS PLACED IN DESIGNATED AREA PER PLANS. ALL SPOIL MATERIAL GENERATED FROM CONSTRUCTION ACTIVITY TO BE HAULED OFFSITE AND DISPOSED IN ACCORDANCE WITH LOCAL LAWS, RULES, AND REGULATIONS.

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(713)-223-4567

AUTHORIZATION IS VALID FOR 1 YEAR.  
APPROVED: *Carande*  
DATE: 7/10/17  
DEVELOPMENT COORDINATOR

REVISIONS		DATE
No.	DESCRIPTION	

**ALJ Lindsey**  
Professional Engineer  
No. 95617  
State of Texas  
281-951-8856  
P.E. 7/1/2006

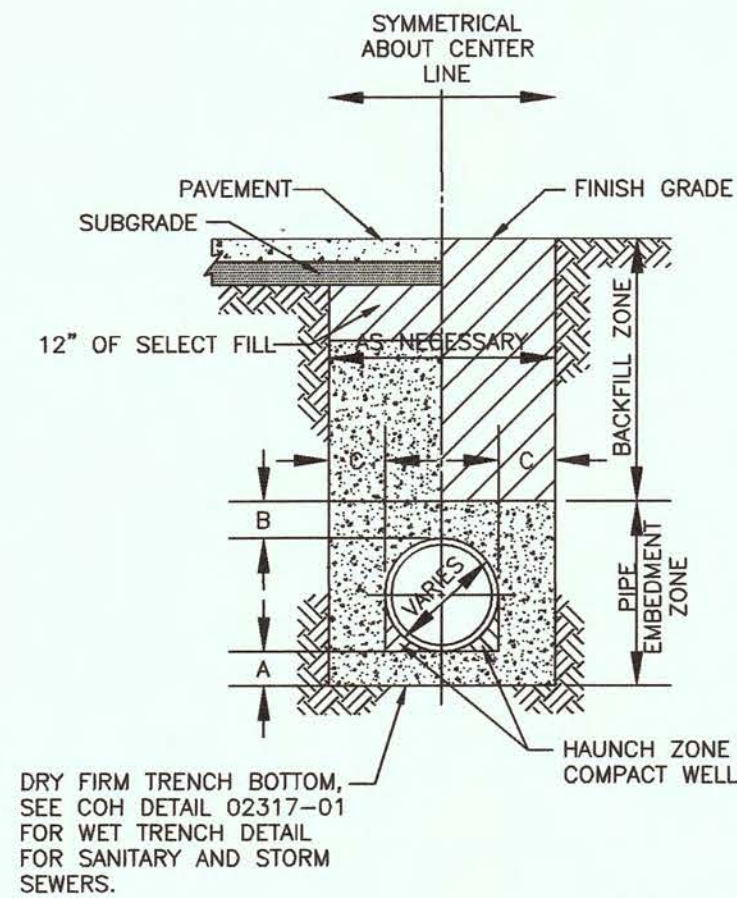
**Patrick L. Carrigan**  
Professional Engineer  
No. 95617  
State of Texas  
07 JULY 2017

**EROSION CONTROL PLAN**

**8" WATER LINE EXTENSION &  
ROUGH GRADING SERVING  
CHASE LOCATED AT  
SPRING GREEN BLVD**

SHEET  
**C3.0**





**WATER, SANITARY AND STORM  
BEDDING AND BACKFILL FOR  
DRY STABLE TRENCH**  
N.T.S.

PIPE SIZE	A	B	C
20" AND SMALLER	6"	12"	9"
21" THRU 48"	6"	12"	12"
54" THRU 66"	9"	12"	15"
72" AND LARGER	12"	18"	15"

**MATERIAL REQUIREMENTS**

**BACKFILL ZONE**

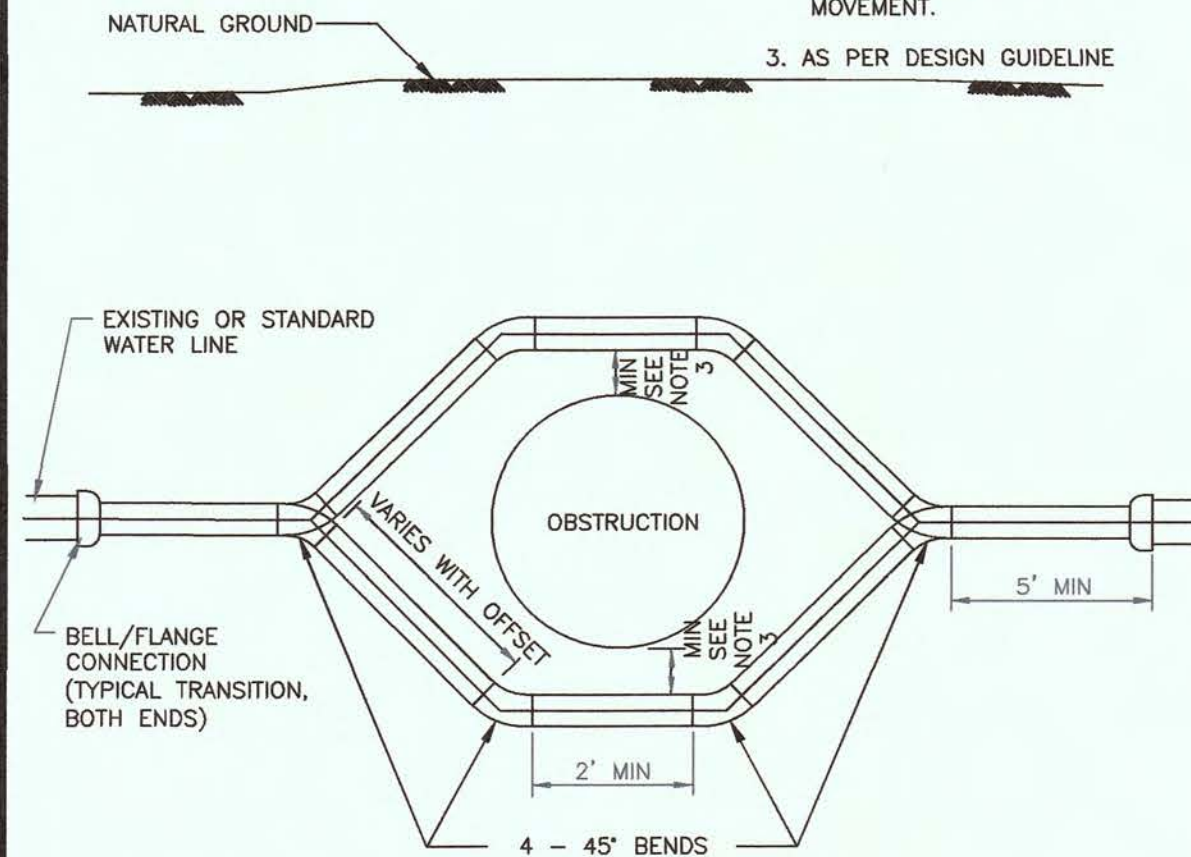
1. IN PAVED AREAS, USE CEMENT STABILIZED SAND, PLACE IN 8" LIFTS AND COMPACT TO 95% STANDARD PROCTOR DENSITY, TO WITHIN 12" OF SUBGRADE.
2. IN UNPAVED AREAS, USE SOIL EXCAVATED FROM TRENCH, PLACE IN 8" LIFTS AND COMPACT TO 95% STANDARD PROCTOR DENSITY.

**PIPE EMBEDMENT ZONE**

1. FOR STORM AND SANITARY SEWERS, USE CEMENT STABILIZED SAND, PLACE IN 8" LIFTS AND COMPACT TO 95% STANDARD PROCTOR DENSITY.
2. FOR WATER LINES, USE SAND, PLACE IN 8" LIFTS AND COMPACT TO 95% STANDARD PROCTOR DENSITY.

**NOTE:**

1. MATERIALS AND COATINGS TO BE IN ACCORDANCE WITH WATER LINE STANDARD SPECIFICATIONS.
2. RESTRAIN EXISTING PIPING BEYOND STEEL SECTION AS REQUIRED TO PREVENT MOVEMENT.
3. AS PER DESIGN GUIDELINE



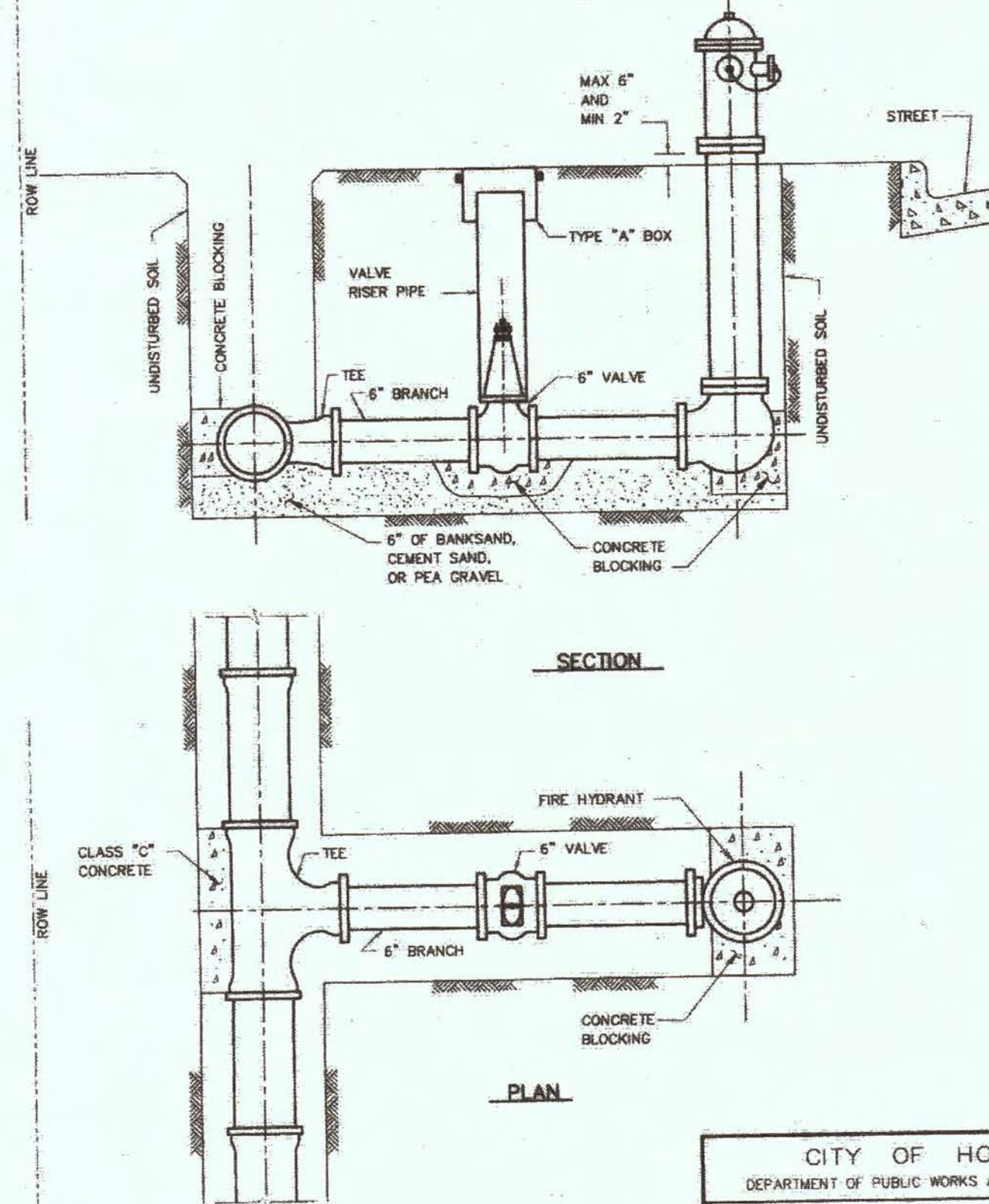
**TYPICAL STEEL PIPE OFFSET SECTION FOR WATER LINES**  
N.T.S.

**PIPE OFFSET ALTERNATIVES**

1. DUCTILE IRON PIPE PRESSURE 250 PSI WITH APPROVED RESTRAINED JOINTS.
2. PVC PIPE WITH INTEGRAL RESTRAINED JOINT SYSTEM, OR DUCTILE - IRON RESTRAINED JOINT FITTINGS, EPOXY LINED AND COATED, USE 250 PSI AWWA C900 OR 14 FOR PVC RESTRAINED JOINTS.
3. PVC NOT ALLOWED FOR GREATER THAN 20 FT OF COVER OR FOR DIAMETER LARGER THAN 20 IN.
4. USE ONLY DUCTILE IRON AND PVC PRODUCTS LISTEN ON OCE DIVISION APPROVED PRODUCTS LIST AND IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS.

**NOTES:**

1. LOCATE FIRE HYDRANTS AT PC+ OF THE INTERSECTION CURB RADIUS, 3 FEET BEHIND CURB OR PROJECTED FUTURE CURB.
2. ON OPEN-DITCH ROADWAYS, SET THE FIRE HYDRANTS WITH IN 5 FEET OF RIGHTS-OF-WAY LINES.
3. FIRE HYDRANT STEAMER NOZZLE SHALL FACE THE STREET.
4. LOCATE HYDRANT VALVE IMMEDIATELY ADJACENT TO WATER LINE.



CITY OF HOUSTON  
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING

**STANDARD  
FIRE HYDRANT DETAIL**  
(NOT TO SCALE)

APPROVED: *[Signature]*  
CITY ENGINEER

DIRECTOR OF PUBLIC  
WORKS AND ENGINEERING

EFF. DATE: JULY-01-2010 DWG NO: 02520-01

NO.	REVISIONS	DATE

**ALJLindsey**  
Civil Engineer, State 314  
Houston, TX 77069  
281.301.8555  
P.E. #11255

*[Signature]*  
STATE OF TEXAS  
PATRICK L. CARRIGAN  
95617  
REGISTERED PROFESSIONAL ENGINEER  
07 JULY 2017

**CONSTRUCTION DETAILS  
(1 OF 2)**

**8" WATER LINE EXTENSION &  
ROUGH GRADING SERVING  
CHASE LOCATED AT  
SPRING GREEN BLVD**

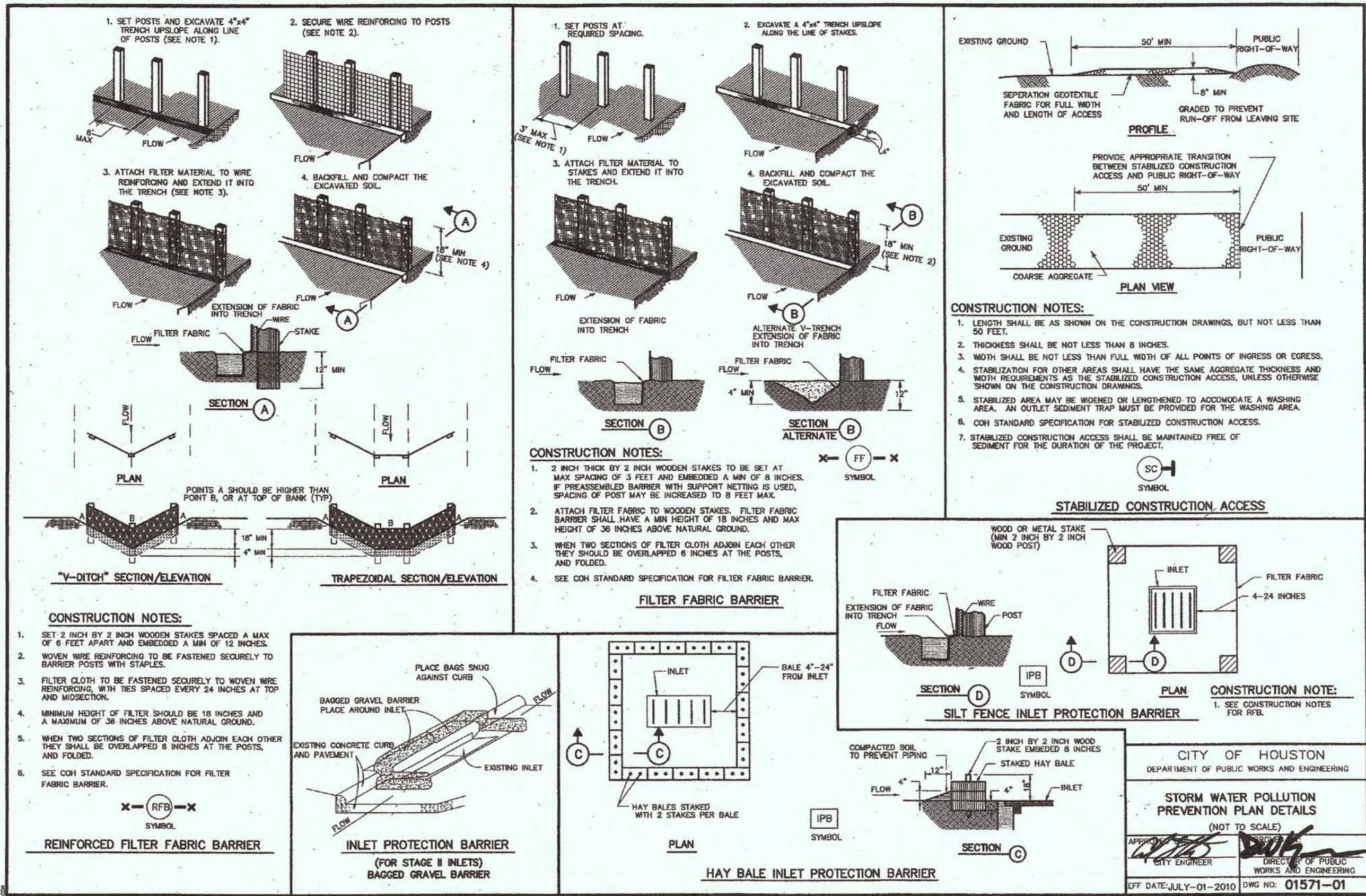
SHEET  
**C4.0**

AUTHORIZATION IS VALID FOR 1 YEAR.

APPROVED: *[Signature]*  
DEVELOPMENT COORDINATOR

DATE: 7/17/10





# SWPPP NOTES

1) POTENTIAL POLLUTANT SOURCES ASSOCIATED WITH CONSTRUCTION SITE:

-ADHESIVES, PESTICIDES, DETERGENTS, PAINTS, FUELS, SOLVENTS, SEALANTS, FERTILIZERS, OILS, HERBICIDES, CLEANING SOLUTIONS, CONCRETE/CEMENT/PLASTER

2) STORM WATER QUALITY MEASURE IMPLEMENTATION RELATIVE TO LAND DISTURBING ACTIVITIES:

A) PRIOR TO CONSTRUCTION: SILT FENCING SHALL BE INSTALLED IN ALL LOCATIONS SHOWN ON SITE MAP THAT WILL NOT BE DISTURBED DURING THE INITIAL GRADING PROCESS. THE STABILIZED CONSTRUCTION EXIT SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.

B) DURING CONSTRUCTION:

a) IMMEDIATELY AFTER PAVING CONSTRUCTION IS COMPLETE, INLET PROTECTION TRAPS WILL BE INSTALLED ON ALL NEWLY CONSTRUCTED INLETS.

b) WHEN EXISTING SILT FENCING NEEDS TO BE REMOVED FOR CONSTRUCTION OR ACCESS PURPOSES, IT WILL BE REPLACED AS SOON AS POSSIBLE AFTER CONSTRUCTION IN THE VICINITY OF THE REMOVED FENCE IS COMPLETE.

c) AS SOON AS PRACTICABLE AFTER SITE GRADING IS COMPLETE, FINAL STABILIZATION PROCEDURES SUCH AS TURF ESTABLISHMENT AND INSTALLATION OF PLANT MATERIAL WILL BE COMMENCED.

C) AFTER CONSTRUCTION: AFTER CONSTRUCTION ACTIVITY AND SITE STABILIZATION PROCEDURES ARE COMPLETE, STRUCTURAL EROSION AND SEDIMENT CONTROLS WILL BE REMOVED. SOIL DISTURBED BY THE REMOVAL OF CONTROLS WILL BE STABILIZED.

3) PERMANENT STORM WATER CONTROLS: AFTER CONSTRUCTION ACTIVITY IS COMPLETE, AREAS NOT COVERED BY CONCRETE PAVEMENT OR BY STRUCTURES WILL BE LANDSCAPED AND IRRIGATED. ONCE ESTABLISHED, THIS VEGETATION WILL HELP PREVENT SEDIMENT RUNOFF IN THE FUTURE STORM EVENTS. NEWLY GRADED AREA WILL BE TEXTURED TO REDUCE FLOW VELOCITY.

4) MATERIAL HANDLING AND SPILL PREVENTION PLAN:

A) HAZARDOUS MATERIALS WILL BE STORED AND USED IN CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS. DISPOSAL WILL BE PERFORMED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION, AND IN ACCORDANCE WITH STATE AND LOCAL LAWS AND REGULATIONS.

B) THE FOLLOWING PROCEDURES WILL BE FOLLOWED FOR CONTAINMENT AND CLEAN-UP OF SPILLS:

a) ALL SPILLS WILL BE CLEANED UP AND PROPERLY REMOVED IN ACCORDANCE WITH STATE REGULATIONS AND LOCAL ORDINANCES.

b) SOIL AND SPILLED MATERIALS WILL BE COLLECTED UNTIL NO VISIBLE EVIDENCE OF SPILLED MATERIAL REMAINS.

c) THE TYPE OF MATERIAL AND QUANTITY OF RELEASE SHALL BE IDENTIFIED, AND APPROPRIATE PERSONAL PROTECTIVE EQUIPMENT (PPE) SHALL BE WORN AS RECOMMENDED BY THE PRODUCT-SPECIFIC MSDS.

d) SPILL CONTAINMENT MAY BE INCLUDE CONSTRUCTION OF EARTH DIKES AROUND THE SPILL AREA, DEPLOYMENT OF ABSORBENT MATERIALS, OR USE OF COMMERCIALLY AVAILABLE KITS.

e) CONTAMINATED SOIL AND SPILLED MATERIAL WILL BE STORED IN APPROPRIATE AND PROPERLY LABELED CONTAINERS, AND DISPOSED OF IN ACCORDANCE WITH STATE, LOCAL, AND FEDERAL RULES AND REGULATIONS.

5) GENERAL PERMIT MAINTENANCE REQUIREMENTS (FROM GENERAL PERMIT):

A) ALL PROTECTIVE MEASURES IDENTIFIED IN THIS SWPPP MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. IF, THROUGH INSPECTION OR OTHER MEANS, THE PERMITEE DETERMINES THAT BMP'S ARE NOT OPERATING EFFECTIVELY, THEN THE PERMITEE SHALL PERFORM MAINTENANCE AS NECESSARY TO MAINTAIN THE CONTINUED EFFECTIVENESS OF STORM WATER CONTROLS. AND PRIOR TO THE NEXT RAIN EVENT, IF FEASIBLE. IF MAINTENANCE PRIOR TO THE NEXT ANTICIPATED STORM EVENT IS IMPRACTICABLE, THE REASON SHALL BE DOCUMENTED IN THE SWPPP AND MAINTENANCE MUST BE SCHEDULED AND ACCOMPLISHED AS SOON AS PRACTICABLE. EROSION AND SEDIMENT CONTROLS THAT HAVE BEEN INTENTIONALLY DISABLED, RUN-OVER, REMOVED, OR OTHERWISE RENDERED INEFFECTIVE MUST BE REPLACED OR CORRECTED IMMEDIATELY UPON DISCOVERY.

B) IF PERIODIC INSPECTIONS OR OTHER INFORMATION INDICATES A CONTROL HAS BEEN USED INCORRECTLY, IS PERFORMING INADEQUATELY, OR IS DAMAGED, THEN THE OPERATOR MUST REPLACE OR MODIFY THE CONTROL AS SOON AS PRACTICABLE AFTER MAKING THE DISCOVERY.

C) SEDIMENT MUST BE REMOVED FROM SEDIMENT TRAPS AND SEDIMENTATION PONDS NO LATER THAN THE TIME THAT DESIGN CAPACITY HAS BEEN REDUCED BY 50% FOR PERIMETER CONTROLS SUCH AS SILT FENCES, BERMS, ETC., THE TRAPPED SEDIMENT MUST BE REMOVED BEFORE IT REACHES 50% OF THE ABOVE GROUND HEIGHT.

D) IF SEDIMENT ESCAPES THE SITE, ACCUMULATIONS MUST BE REMOVED AT A FREQUENCY THAT MINIMIZES OFF-SITE IMPACTS, AND PRIOR TO THE NEXT RAIN EVENT, IF FEASIBLE. IF THE PERMITEE DOES NOT OWN THE OFFSITE CONVEYANCE, THEN THE PERMITEE MUST WORK WITH THE OWNER OR OPERATOR OF THE PROPERTY TO REMOVE THE SEDIMENT.

6) EROSION AND SEDIMENT CONTROLS:

A) THE FOLLOWING NON-STRUCTURAL EROSION AND SEDIMENT CONTROLS WILL BE UTILIZED ON THE PROJECT SITE:

a) WHERE PRACTICAL, CARE WILL BE TAKEN TO PROTECT NATURAL VEGETATION THAT DOES NOT NEED TO BE REMOVED FOR CONSTRUCTION PURPOSES.

b) PLACEMENT OF CONCRETE PARKING AND DRIVEWAY AREAS WILL BE PERFORMED AS SOON AS POSSIBLE AFTER SUB-GRADE STABILIZATION, TO MINIMIZE THE AMOUNT OF TIME DISPOSED SOIL IS EXPOSED TO THE ELEMENTS. THIS PRACTICE WILL REDUCE THE FREQUENCY THAT MAINTENANCE IS REQUIRED ON THE STRUCTURAL BMP'S.

c) THE GENERAL PERMIT REQUIRES THAT EROSION AND STABILIZATION MEASURES MUST BE INITIATED WITHIN 14 DAYS IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS CEASED. IF CONSTRUCTION ACTIVITY IS SCHEDULED TO RESUME WITHIN 21 DAYS FROM THE CESSATION OF CONSTRUCTION ACTIVITY, EROSION AND STABILIZATION MEASURES ARE NOT REQUIRED FOR THAT PORTION OF THE SITE.

d) STABILIZATION PROCEDURES SUCH AS TURF ESTABLISHMENT AND INSTALLATION OF PLANT MATERIAL SHOULD BE COMMENCED AS SOON AS PRACTICABLE AFTER SITE GRADING IS COMPLETE AND FINAL.

B) THE FOLLOWING STRUCTURAL EROSION AND SEDIMENT CONTROLS WILL BE UTILIZED ON THE PROJECT SITE:

a) A STABILIZED CONSTRUCTION EXIT WILL BE INSTALLED AT THE LOCATION WHERE CONSTRUCTION TRAFFIC EXITS THE PROJECT SITE.

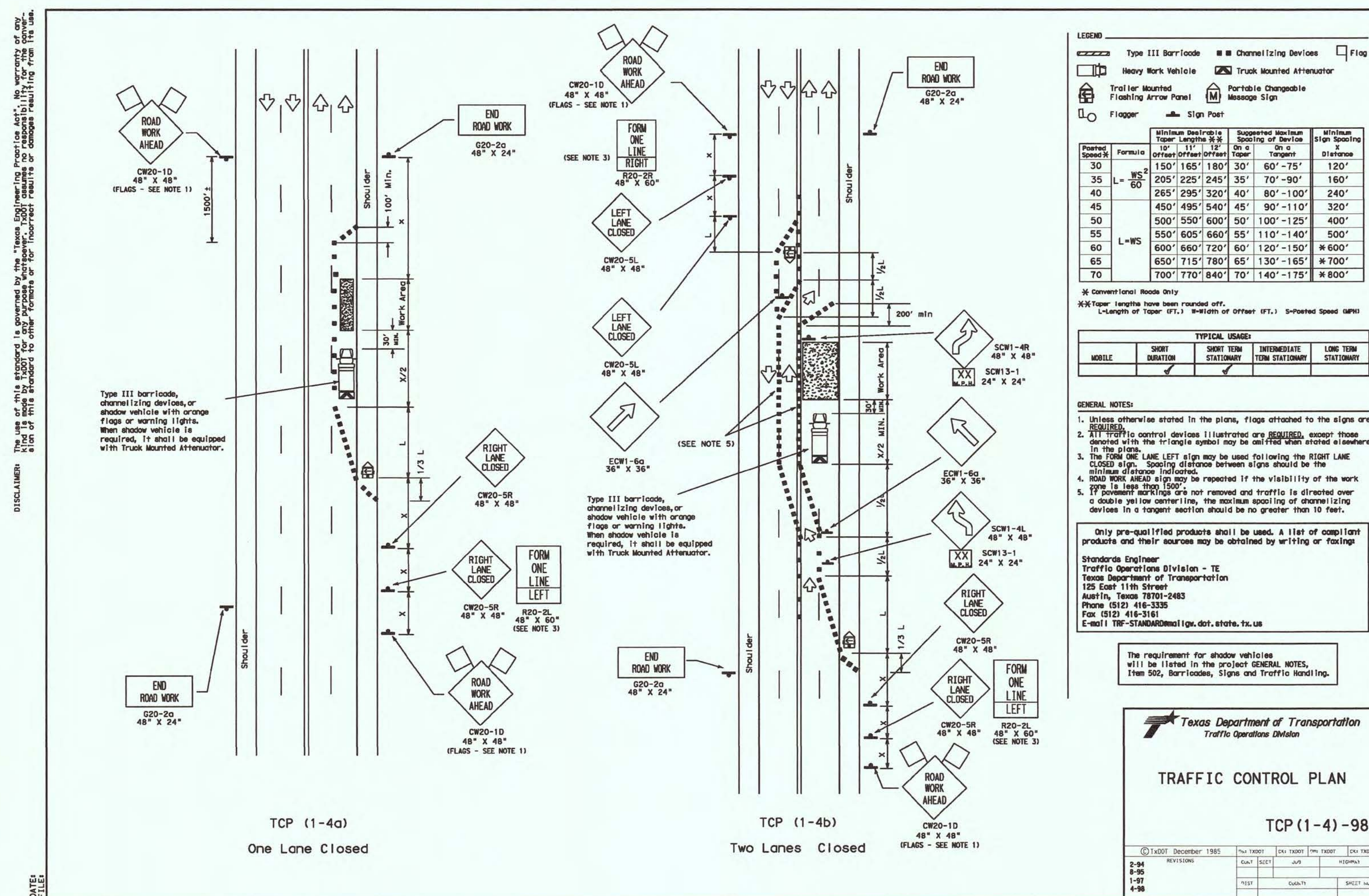
b) INLET PROTECTION TRAPS WILL BE INSTALLED AT ALL INLETS IMMEDIATELY AFTER CONCRETE PAVEMENT IS PLACED.

c) SILT FENCING (FILTER FABRIC FENCE OR REINFORCED FILTER FABRIC FENCE) WILL BE INSTALLED ALONG THE PROPERTY BOUNDARY AND ADJACENT TO EXISTING DITCHES, BAYOUS, STREAMS, RIVERS, AND/OR CHANNELS.

d) ANY SEDIMENT THAT ENTERS THE STORM SEWER SYSTEM WILL BE REMOVED IMMEDIATELY (NOT FLUSHED).

e) SINCE ALL PROPOSED INLETS DRAIN LESS THAN 10-ACRES, SEDIMENT BASINS ARE NOT REQUIRED FOR THIS SITE.

f) WHERE PRACTICAL, CARE WILL BE TAKEN TO PROTECT NATURAL VEGETATION THAT DOES NOT NEED TO BE REMOVED FOR CONSTRUCTION PURPOSES.



ALJLindsey

Civil Engineer, No. 3414  
Houston, TX 77008  
281.901.9895  
PRN F-1126



CONSTRUCTION DETAILS  
(2 OF 2)

8" WATER LINE EXTENSION &  
ROUGH GRADING SERVING  
CHASE LOCATED AT  
SPRING GREEN BLVD

SHEET  
C4.1

AUTHORIZATION IS VALID FOR 1 YEAR.

APPROVED: Casandra A. A.

DATE: 10/1/98 DEVELOPMENT COORDINATOR