



**PERMIT APPLICATION REVIEW FORM FOR
CABLE, CONDUIT, AND POLE LINE ACTIVITY
IN FORT BEND COUNTY**

**Fort Bend County
Engineering Department**
301 Jackson Suite 401
Richmond, Texas 77469
281.633.7500
Permits@fortbendcountytx.gov

☐

Right of Way Permit

☒

Commercial Driveway Permit

Permit No: 2017-15660

The following "Notice of Proposed Cable, Conduit, and/or Pole Line activity in Fort Bend County" and accompanying attachments have been reviewed and the notice conforms to appropriate regulations set by Commissioner's Court of Fort Bend County, Texas.

(1) COMPLETE APPLICATION FORM:

X
X
X

a. Name of road, street, and/or drainage ditch affected.

b. Vicinity map showing course of directions

c. Plans and specifications

(2) BOND:

☐

County Attorney, approval when applicable.

☐

Perpetual bond currently posted.

Bond No: _____

Amount: _____

☒

Performance bond submitted.

Bond No: XXXXXXXXXX

Amount: \$5,000.00

☐

Cashier's Check

Check No: _____

Amount: _____

(3) DRAINAGE DISTRICT APPROVAL (WHEN APPLICABLE):

Drainage District Approval

Date

We have reviewed this project and agree it meets minimum requirements.

Charles O. Ay

Permit Administrator

Date



REVIEW BY FORT BEND COUNTY
COMMISSIONERS COURT

**Fort Bend County
Engineering Department**

301 Jackson Suite 401
Richmond, Texas 77469
281.633.7500

Permits@fortbendcountytexas.gov

1

Right of Way Permit

X

Commercial Driveway Permit

Permit No: 2017-15660

Applicant: DMAC Construction & Development, Inc./Urban Area

Job Location Site: 9115 FM 723, Richmond, TX 77406

Bond No.	[REDACTED]	Date of Bond:	9/5/2017	Amount:	\$5,000.00
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The above applicant came to make use of certain Fort Bend County property subject to, "The Order Regulating the Laying, Construction, Maintenance, and Repair of Buried Cables, Conduits, and Pole Lines, In, Under, Across or Along Roads, Streets, Highways, and Drainage Ditches in Fort Bend County, Texas, Under the Jurisdiction of the Commissioners Court of Fort Bend County, Texas," as passed by the Commissioners Court of Fort Bend County, Texas, of the Minutes of the Commissioners Court of Fort Bend County, Texas, to the extent that such order is not inconsistent with Chapter 181, Vernon's Texas Statutes and Codes Annotated.

Notes:

1. Evidence of review by the Commissioners Court must be kept on the job site and failure to do so constitutes grounds for job shutdown.
2. Written notices are required:
 - a. 48 hours in advance of construction start up, and
 - b. When construction is completed and ready for final inspection, submit notification to Permit Administrator thru [MyGovernmentOnline.org](https://mygovernmentonline.org) portal.
3. This permit expires one (1) year from date of permit if construction has not commenced.

On this 26th day of September, 2017, Upon Motion of Commissioner _____, seconded by Commissioner _____, duly put and carried, it is ORDERED, ADJUDGED AND DECREED that said notice of said above purpose is hereby acknowledged by the Commissioners Court of Fort Bend County, Texas, and that said notice be placed on record according to the regulation order thereof.

Signature

Presented to Commissioners Court and approved.

By:

Charles O. Ay

County Engineer

Date Recorded Comm. Court No.

Clerk of Commissioners Court

By:

N/A

Drainage District Engineer/Manager

By:

Deputy

PERFORMANCE BOND COVERING ALL CABLE, CONDUIT AND/OR POLE LINE
ACTIVITY IN, UNDER, ACROSS OR ALONG FORT BEND COUNTY ROAD,
COMMERCIAL DRIVEWAY AND MEDIAN OPENINGS OR MODIFICATIONS
(AUTHORIZED)

BOND NO: [REDACTED]

THE STATE OF TEXAS §

KNOW ALL MEN BY THESE PRESENTS:

COUNTY OF FORT BEND §

THAT WE, DMAC Construction & Development, Inc. whose (address, phone) is 1819 First Oaks St., Suite 100, Richmond, Texas 77406, (832)328-3339, hereinafter called the Principal, and The Guarantee Company of North America USA, a Corporation existing under and by virtue of the laws of the state of Michigan and authorized to do an indemnifying business in the state of Texas, and whose principal office is located at (name/address/phone) The Guarantee Company of North America USA, One Towne Square, Suite 1470, Southfield, MI 48076, (248)281-0281 x 66012, whose officer residing in the State of Texas, authorized to accept service in all suits and actions brought whining said state is Richard Sauer and whose address is 350 Glenborough Dr., Suite 138, Houston, TX 77067, hereinafter called the Surety, and held and firmly bound unto , Robert E. Hebert, County Judge of Fort Bend County, Texas, or his successors in office, in the full sum of Five Thousand Dollars (\$ 5,000.00) current, lawful money of the United States of America, to be paid to said Robert E. Hebert, County Judge of Fort Bend County, Texas, or his successors in office, to which payment well and truly to be made and done, we, the undersigned, bind ourselves and each of us, our heirs, executors, administrators, successors, assigns, and legal representatives, jointly and severally, by these presents.

THE CONDITION OF THIS BOND IS SUCH THAT, WHEREAS, the above bounden principal contemplates laying, constructing, maintaining and/or repairing one or more cables, conduits, and/or pole lines in, under, across and/or along roads, streets and highways, commercial driveway and median openings or modifications in the County of Fort Bend, and the State of Texas, under the jurisdiction of the Commissioners' Court of Fort Bend County, Texas, pursuant to the Commissioners' Court order adopted on the 1st day of December, A.D. 1980, recorded in Volume 13, of the Commissioners' Court Minutes of Fort Bend County, Texas, regulating same, which Commissioners' Court order is hereby referred to and made a part hereof for all purposes as though fully set out herein;

AND WHEREAS, the principal desires to provide Fort Bend County with a performance bond covering all such cable, conduit and/or pole line activity, commercial driveway and median openings or modifications;

NOW, THEREFORE, if the above bounden principal shall faithfully perform all its cable, conduit and/or pole line activity (including, but not limited to the laying, construction, maintenance and/or repair of cables, conduits and/or pole lines) in, under, across and/or along roads, streets and highways, commercial driveway and median openings or modifications in the County of Fort Bend and State of Texas, under the jurisdiction of the Commissioners Court of Fort Bend County, Texas, pursuant to and in accordance with minimum requirements and conditions of the above mentioned Commissioners' Court order set forth and specified to be by said principal done and performed, at the time and in the manner therein specified, and shall pay over and make good and reimburse Fort Bend County, all loss and damages which Fort Bend County may sustain by reason of any failure or default on the part of said principal, then this obligation shall be null and void, otherwise to remain in full force and effect.

This bond is payable at the County Courthouse in the County of Fort Bend and State of Texas.

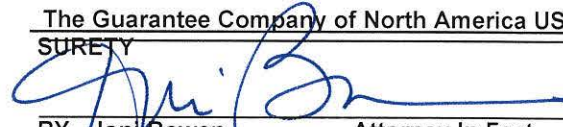
It is understood that at any time Fort Bend County deems itself insecure under this bond, it may require further and/or additional bonds of the principal.

EXECUTED this 5th day of September , 2017 .

DMAC Construction & Development, Inc.
PRINCIPAL

BY 

The Guarantee Company of North America USA
SURETY

BY Joni Bowen  Attorney In Fact



The Guarantee Company of North America USA
Southfield, Michigan

POWER OF ATTORNEY

NOW ALL BY THESE PRESENTS: That **THE GUARANTEE COMPANY OF NORTH AMERICA USA**, a corporation organized and existing under the laws of the State of Michigan, having its principal office in Southfield, Michigan, does hereby constitute and appoint

David G. Miclette, Edward G. Britt, Jr., David T. Miclette, Kristi Lovett, Barry K. McCord, Robert C. Davis, Ashley Britt, Joni Bowen, Rita G. Gulizo, Susan D. Zapalowski, Tabitha Starkey, Jennie Goonie, Nikole Jeannette
Bowen, Miclette & Britt Insurance Agency LLC

its true and lawful attorney(s)-in-fact to execute, seal and deliver for and on its behalf as surety, any and all bonds and undertakings, contracts of indemnity and other writings obligatory in the nature thereof, which are or may be allowed, required or permitted by law, statute, rule, regulation, contract or otherwise.

The execution of such instrument(s) in pursuance of these presents, shall be as binding upon **THE GUARANTEE COMPANY OF NORTH AMERICA USA** as fully and amply, to all intents and purposes, as if the same had been duly executed and acknowledged by its regularly elected officers at the principal office.

The Power of Attorney is executed and may be certified so, and may be revoked, pursuant to and by authority of Article IX, Section 9.03 of the By-Laws adopted by the Board of Directors of **THE GUARANTEE COMPANY OF NORTH AMERICA USA** at a meeting held on the 31st day of December, 2003. The President, or any Vice President, acting with any Secretary or Assistant Secretary, shall have power and authority:

1. To appoint Attorney(s)-in-fact, and to authorize them to execute on behalf of the Company, and attach the Seal of the Company thereto, bonds and undertakings, contracts of indemnity and other writings obligatory in the nature thereof; and
2. To revoke, at any time, any such Attorney-in-fact and revoke the authority given, except as provided below
3. In connection with obligations in favor of the Florida Department of Transportation only, it is agreed that the power and authority hereby given to the Attorney-in-Fact includes any and all consents for the release of retained percentages and/or final estimates on engineering and construction contracts required by the State of Florida Department of Transportation. It is fully understood that consenting to the State of Florida Department of Transportation making payment of the final estimate to the Contractor and/or its assignee, shall not relieve this surety company of any of its obligations under its bond.
4. In connection with obligations in favor of the Kentucky Department of Highways only, it is agreed that the power and authority hereby given to the Attorney-in-Fact cannot be modified or revoked unless prior written personal notice of such intent has been given to the Commissioner - Department of Highways of the Commonwealth of Kentucky at least thirty (30) days prior to the modification or revocation.

Further, this Power of Attorney is signed and sealed by facsimile pursuant to resolution of the Board of Directors of the Company adopted at a meeting duly called and held on the 6th day of December 2011, of which the following is a true excerpt:

RESOLVED that the signature of any authorized officer and the seal of the Company may be affixed by facsimile to any Power of Attorney or certification thereof authorizing the execution and delivery of any bond, undertaking, contracts of indemnity and other writings obligatory in the nature thereof, and such signature and seal when so used shall have the same force and effect as though manually affixed.

IN WITNESS WHEREOF, **THE GUARANTEE COMPANY OF NORTH AMERICA USA** has caused this instrument to be signed and its corporate seal to be affixed by its authorized officer, this 2nd day of October, 2015.

THE GUARANTEE COMPANY OF NORTH AMERICA USA



STATE OF MICHIGAN
County of Oakland

Stephen C. Ruschak, President & Chief Operating Officer

Randall Musselman, Secretary

On this 2nd day of October, 2015 before me came the individuals who executed the preceding instrument, to me personally known, and being by me duly sworn, said that each is the herein described and authorized officer of The Guarantee Company of North America USA; that the seal affixed to said instrument is the Corporate Seal of said Company; that the Corporate Seal and each signature were duly affixed by order of the Board of Directors of said Company.



Cynthia A. Takai
Notary Public, State of Michigan
County of Oakland
My Commission Expires February 27, 2018
Acting in Oakland County

IN WITNESS WHEREOF, I have hereunto set my hand at The Guarantee Company of North America USA offices the day and year above written.

I, Randall Musselman, Secretary of **THE GUARANTEE COMPANY OF NORTH AMERICA USA**, do hereby certify that the above and foregoing is a true and correct copy of a Power of Attorney executed by **THE GUARANTEE COMPANY OF NORTH AMERICA USA**, which is still in full force and effect.



IN WITNESS WHEREOF, I have thereunto set my hand and attached the seal of said Company this 5th day of September, 2017

Randall Musselman, Secretary



TEXAS CONSUMER NOTICE

1. IMPORTANT NOTICE

To obtain information or make a complaint:

2. You may contact your **agent** at:

3. You may call The Guarantee Company of North America USA's toll-free telephone number for information or to make a complaint at: 1-866-328-0567

4. You may also write to The Guarantee Company of North America USA at:

One Towne Square, Suite 1470
Southfield, Michigan 48076
Web: www.theguaranteeus.com
E-mail: Info@theguaranteeus.com
Fax: 248-750-0431

5. You may contact the Texas Department of Insurance to obtain information on companies, coverages, rights or complaints at: 1-800-252-3439

6. You may write the Texas Department of Insurance:

333 Guadalupe Street
P.O. Box 149104
Austin, TX 78701
Fax: (512) 490-1007
Web: <http://www.tdi.texas.gov>
E-mail: ConsumerProtection@tdi.texas.gov

7. PREMIUM OR CLAIM DISPUTES:

Should you have a dispute concerning your premium or about a claim you should contact the (agent) (company) (agent or the company) first. If the dispute is not resolved, you may contact the Texas Department of Insurance.

8. ATTACH THIS NOTICE TO YOUR POLICY:

This notice is for information only and does not become a part or condition of the attached document.

AVISO IMPORTANTE

Para obtener informacion o para someter una queja:

Puede comunicarse con su **agent** al

Usted puede llamar al numero de telefono gratis de The Guarantee Company of North America USA's para informacion o para someter una queja al: 1-866-328-0567

Usted tambien puede escribir a to The Guarantee Company of North America USA;

One Towne Square, Suite 1470
Southfield, Michigan 48076
Web: www.theguaranteeus.com
E-mail: Info@theguaranteeus.com
Fax: 248-750-0431

Puede comunicarse con el Departamento de Seguros de Texas para obtener informacion acerca de companies, coberturas, derechos o quejas al: 1-800-252-3439

Puede escribir al Departamento de Seguros de Texas:

333 Guadalupe Street
P.O. Box 149104
Austin, TX 78701
Fax: (512) 490-1007
Web: <http://www.tdi.texas.gov>
E-mail: ConsumerProtection@tdi.texas.gov

DISPUTAS SOBRE PRIMAS O RECLAMOS:

Si tiene una disputa concerniente a su prima o a un reclamo, debe comunicarse con el (agente) (la compania) agente o la compania) primero. Si no se resuelve la disputa, puede entonces comunicarse con el departamento (TDI).

UNA ESTE AVISO A SU POLIZA: Este aviso es solo para proposito de informacion y no se convierte en parte o condicion del document adj unto.

STATE OF TEXAS §
COUNTY OF FORT BEND §

We, Clinard Properties 3, LLC, acting by and through Michael Clinard, Managing Member, owner hereinafter referred to as Owners of the 4.501 acre tract described in the above and foregoing map of FM1093 AND FM723 RESERVES PARTIAL REPLAT No 1, do hereby make and establish said subdivision and development plan of said property according to all lines, dedications, restrictions, and notations on said maps or plat and hereby dedicate to the use of the public forever, all streets (except those streets designated as private streets, or permanent access easements), alleys, parks, water courses, drains, easements and public places shown thereon for the purposes and considerations therein expressed, and do hereby bind ourselves, our heirs, successors, and assigns to warrant and forever defend the title on the land so dedicated.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally on additional eleven feet, six inches (11' 6") for ten feet (10' 0") perimeter ground easements or seven feet, six inches (7' 6") for fourteen feet (14' 0") perimeter ground easements or five feet, six inches (5' 6") for sixteen feet (16' 0") perimeter ground easements, from a plane sixteen feet (16' 0") above the ground level upward, located adjacent to and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals twenty one feet, six inches (21' 6") in width.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally on additional ten feet (10' 0") for ten feet (10' 0") back-to-back ground easements or eight feet (8' 0") for fourteen feet (14' 0") back-to-back ground easements or seven feet (7' 0") for sixteen feet (16' 0") back-to-back ground easements, from a plane sixteen feet (16' 0") above ground level upward, located adjacent to both sides and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals thirty feet (30' 0") in width.

FURTHER, Owners do hereby covenant and agree that all of the property within the boundaries of this plat is hereby restricted to prevent the drainage of any septic tanks into any public or private street, permanent access easement, road or alley, or any drainage ditch, either directly or indirectly.

FURTHER, We do hereby covenant and agree that all of the property within the boundaries of this subdivision and adjacent to any drainage easement, ditch, gully, creek or natural drainage way shall hereby be restricted to keep such drainage ways and easements clear of fences, buildings, excessive vegetation and other obstructions to the operations and maintenance of the drainage facility and that such abutting property shall not be permitted to drain directly into this easement except by means of an approved drainage structure.

FURTHER, We do hereby dedicate to the public a strip of land twenty (20) feet wide on each side of the center line of any and all bayous, creeks, gullies, ravines, draws and drainage ditches located in said subdivision, as easements for drainage purposes. Fort Bend County or any other governmental agency shall have the right to enter upon said easement at any time and all times for the purposes of construction and maintenance of drainage facilities and structures.

FURTHER, We do hereby acknowledge the receipt of the "Orders for Regulation of Outdoor Lighting in the Unincorporated Areas of Fort Bend County, Texas", and do hereby covenant and agree and shall comply with this order as adopted by Fort Bend County Commissioners Court on March 23, 2004, and any subsequent amendments.

FURTHER, Owner hereby certify that this replat does not attempt to alter, amend, or remove any covenants or restrictions; we further certify that no portion of the preceding plat was limited by deed restriction to residential use for not more than two (2) residential units per lot.

IN TESTIMONY WHEREOF, Clinard Properties 3, LLC has caused these presents to be signed by Michael Clinard, its Managing Member, thereunto

authorized, this 23 day of May, 2016.

By: Clinard Properties 3, LLC

By: Michael Clinard
Managing Member

STATE OF TEXAS §
COUNTY OF FORT BEND §

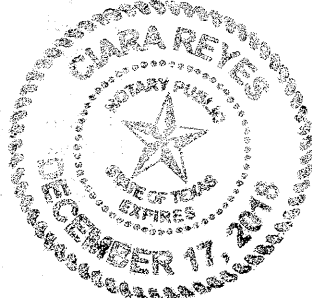
BEFORE ME, the undersigned authority, on this day personally appeared Michael Clinard, Managing Member of Clinard Properties 3, LLC, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 23 day of May, 2016.

Ciara Reyes
Notary Public in and for the State of Texas

Ciara Reyes
Print Name

My commission expires: 12/17/2018



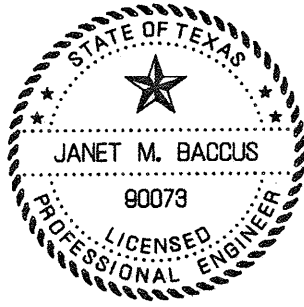
This is to certify that the Planning Commission of the City of Houston, Texas, has approved this plat and subdivision of FM1093 AND FM723 RESERVES PARTIAL REPLAT No 1 in conformance with the laws of the State of Texas and the ordinances of the City of Houston, as shown hereon, and authorized the recording of this plat this 1st day of June, 2016.

By: Mark A. Kilkenny or M. Sonny Garza
Title Chair Vice Chairman

By: Patrick Walsh, P.E.
Secretary



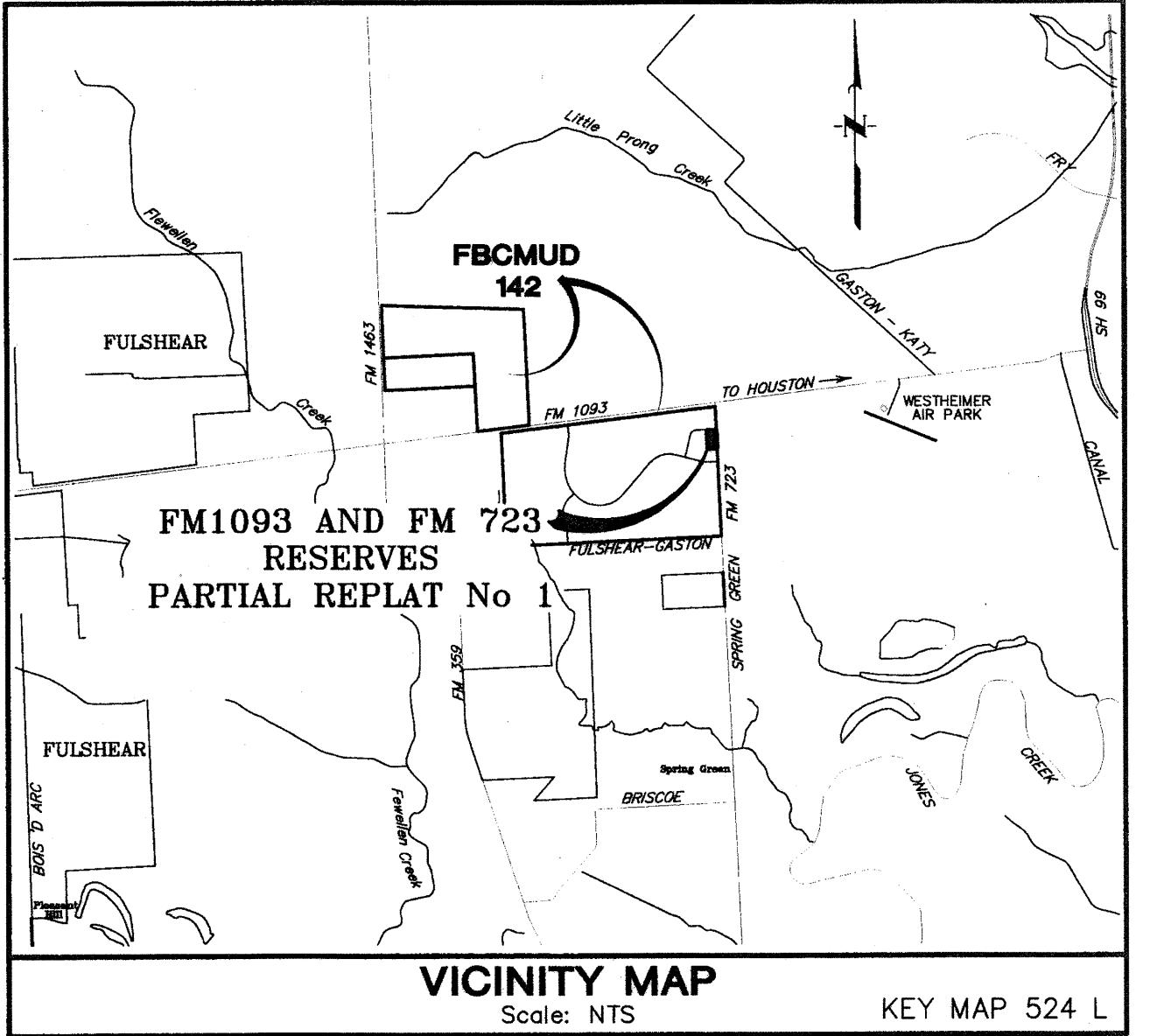
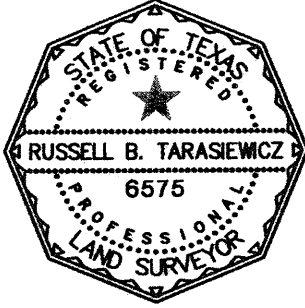
I, Janet M. Bacaus, a Professional Engineer registered in the State of Texas, do hereby certify that this plat meets all requirements of Fort Bend County, to the best of my knowledge.



Janet M. Bacaus
Janet M. Bacaus, P.E.
Professional Engineer No. 90073

I, Russell B. Tarasiewicz, am registered under the laws of the State of Texas to practice the profession of surveying and hereby certify that the above subdivision is true and accurate; was prepared from an actual survey of the property made under my supervision on the ground; that, except as shown all boundary corners, angles points, points of curvature and other points of reference have been marked with iron (or other objects of permanent nature) pipes or rods having an outside diameter of not less than five eighths (5/8) inch and a length of not less than three (3) feet; and that the plat boundary corners have been tied to the Texas Coordinate System of 1983, South Central Zone.

R. B. Tarasiewicz
Russell B. Tarasiewicz
Registered Professional Land Surveyor
Texas Registration No. 6575



I, Richard W. Stolleis, P.E., Fort Bend County Engineer, do hereby certify that the plat of this subdivision complies with all of the existing rules and regulations of this office as adopted by the Fort Bend County Commissioners' Court. However, no certification is hereby given as to the effect of drainage from this subdivision on the intercepting drainage artery or parent stream or any other area or subdivision within the watershed.

Richard W. Stolleis
Richard W. Stolleis, P.E.
Fort Bend County Engineer

APPROVED TO THE COMMISSIONERS COURT OF FORT BEND COUNTY, TEXAS, this 28th day of June, 2016.

Richard Morris
Richard Morris
Commissioner, Precinct 1

Grady Prestage
Grady Prestage
Commissioner, Precinct 2

Robert E. Hebert
Robert E. Hebert
County Judge

Andy Meyers
Andy Meyers
Commissioner, Precinct 3

James Patterson
James Patterson
Commissioner, Precinct 4

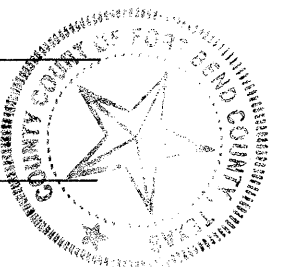
THE STATE OF TEXAS §

COUNTY OF FORT BEND §

I, Laura Richard, County Clerk in and for Fort Bend County, hereby certify that the foregoing instrument with its certificate of authentication was filed for registration in my office on June 29, 2016 9:27 o'clock AM in Plat Number(s) 20160155 of the Plat Records of said County.

Witness my hand and seal of office, at Richmond, Texas, the day and date last above written.

Laura Richard
Laura Richard
Fort Bend County, Texas
By: SARINA SCHIRO
Deputy



FM1093 AND FM723 RESERVES

PARTIAL REPLAT No 1

A SUBDIVISION OF 4.501 ACRES OF LAND

ALSO BEING A PARTIAL REPLAT OF

RESERVE 'B' OF

FM1093 AND FM723 RESERVES

AS RECORDED IN PLAT No 20080203

OF THE FORT BEND COUNTY PLAT RECORDS

OUT OF THE

BROOKS AND BURLESON SURVEY, A-144

WALTON, HILL & WALTON SURVEY, A-434

FORT BEND COUNTY, TEXAS

1 RESERVE

1 BLOCK

MAY 2016

REASON FOR REPLAT: TO CREATE ONE UNRESTRICTED RESERVE

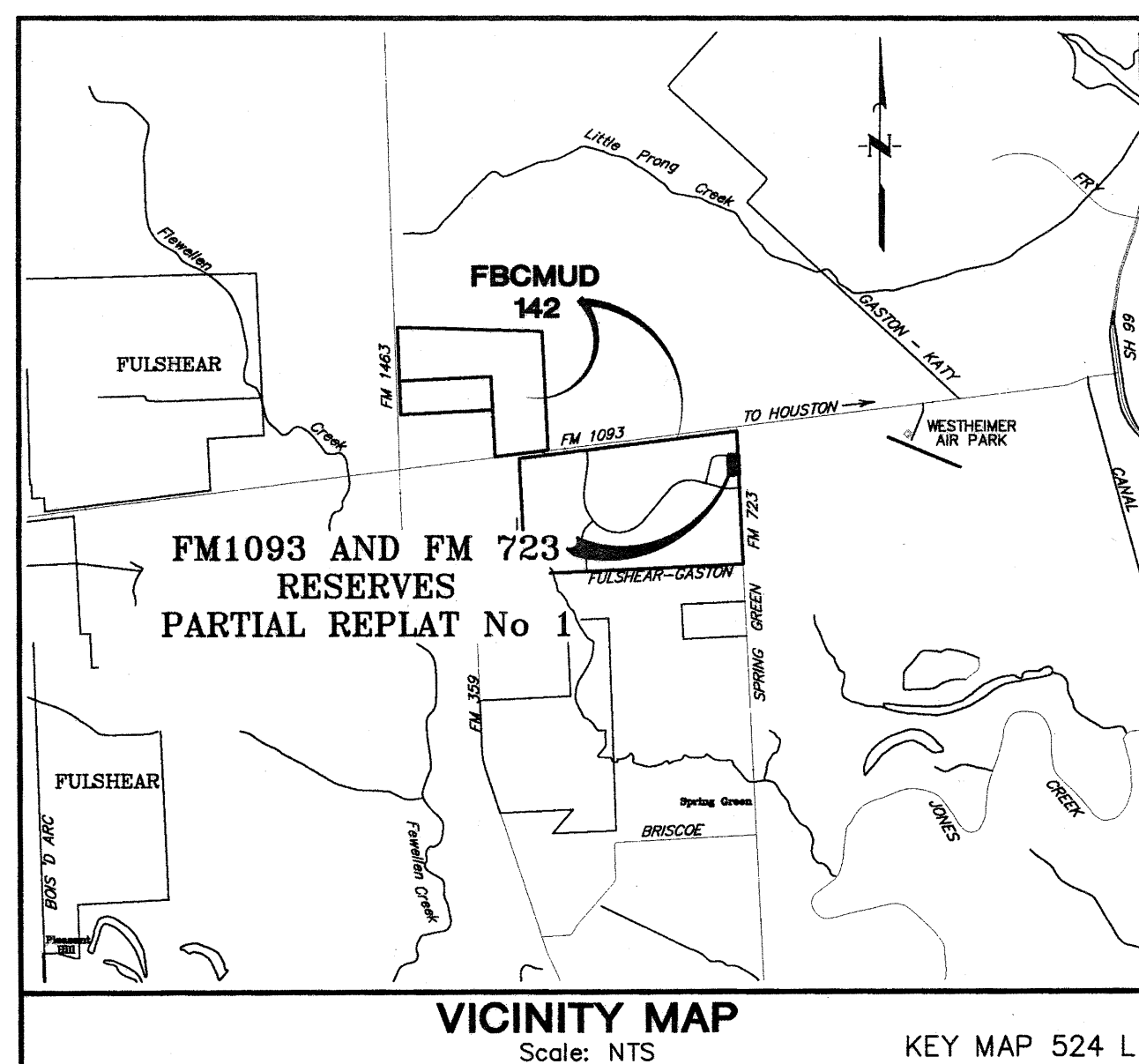
OWNER:

CLINARD PROPERTIES 3, LLC
25207 DUNLAP MEADOWS LN
KATY, TEXAS 77494
713-208-7171

ENGINEER/SURVEYOR:

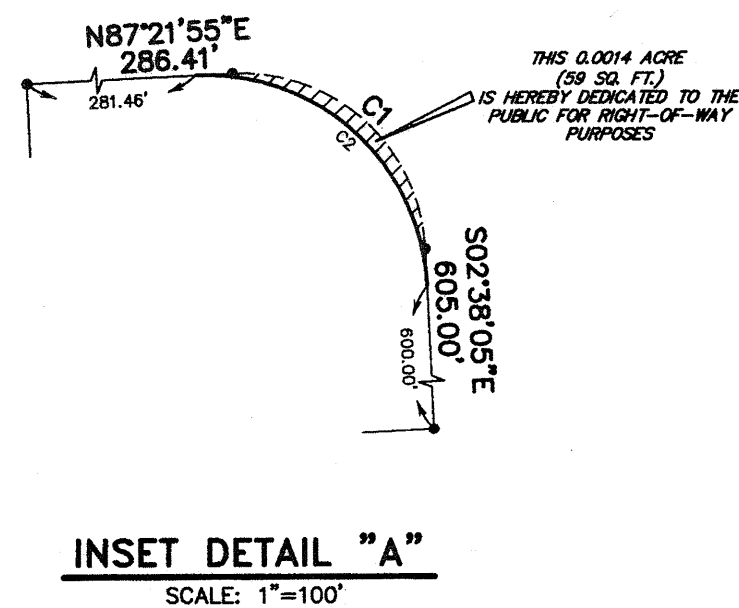
J.C. JONES CARTER
Texas Board of Professional Engineers Registration No. 1-431
Texas Board of Professional Land Surveying Registration No. 1004020
1000 West Loop South, Suite 1000, Houston, TX 77030-1000

SHEET 2 OF 2



- General Notes
- | | | | |
|---|--------|-------|--|
| 1 | AE | ..... | "Aerial Easement" |
| | BL | ..... | "Building Line" |
| | BF | ..... | "Baker's File" |
| | FBLPR | ..... | "Fort Bend County Plat Records" |
| | FBCDR | ..... | "Fort Bend County Deed Records" |
| | FBCOPR | ..... | "Fort Bend County Official Public Records" |
| | N | ..... | "Number" |
| | ROW | ..... | "Right-of-Way" |
| | SE | ..... | "Sanitary Sewer Easement" |
| | Sq Ft | ..... | "Square Feet" |
| | Stm SE | ..... | "Storm Sewer Easement" |
| | Vol | ..... | "Volume and Page" |
| | WLE | ..... | "Watering Easement" |
- 2) All easements are contained on lot lines unless shown otherwise.
- 3) According to the Flood Insurance Rate Map (FIRM) No. 48157C0105I, for Fort Bend County, Texas effective April 2, 2014 this section is located in Unshaded Zone "X". Unshaded Zone "X" is defined as areas determined to be outside the 0.2% annual chance floodplain.
- 4) Unless otherwise indicated, the building lines (BL), whether one or more, shown on this subdivision plat are established to evidence compliance with the applicable provisions of Chapter 42, Code of Ordinances, City of Houston, Texas, in effect at the time this plat was approved, which may be amended from time to time.
- 5) There are no pipeline easements within the platted area.
- 6) Sidewalks shall be built or caused to be built not less than five feet in width on both sides of all dedicated rights-of-way within said plat and on the contiguous right-of-way of all perimeter roads surrounding said plat, in accordance with the A.D.A. 1983-1984 and FM723 RESERVES PARTIAL REPLAT No 1 lies within lighting zone L23 according to the "Order for Regulation of Outdoor Lighting".
- 7) The top of all floor slabs shall be a minimum of 126.42 feet (NAVD 88). Regardless of the minimum slab elevation shown, the top of slab elevation at any point on the perimeter of the slab shall be at least eight (18) inches above natural ground. Regardless of the minimum slab elevation shown, the top of slab elevation shall be no less than twelve (12) inches above the design maximum ponding/slab flow elevations determined in future site inspections.
- 8) The coordinates shown hereon are Texas South Central Zone No. 4204 State Plane Grid Coordinates (NAD83) and may be brought to surface by applying the following combined scale factor: 0.9998748.
- 9) The drainage system for the subdivision is designed in accordance with the Fort Bend County Drainage Criteria Manual which allows street ponding with intense rainfall events.
- 10) All property to drain into the drainage easements only through an approved drainage structure.
- 11) All drainage easements to be kept clear of fences, buildings, vegetation, and other obstructions to the operation and maintenance of drainage facility.
- 12) Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back lots are permitted, any obstructions along perimeter lots lines may be removed by public utilities at the property owner's expense should they be an obstruction. Public Utilities may put said wooden posts and paneled wooden fences back up and the property will be responsible with any new fencing.
- 13) All bearings shown hereon are referenced to the Texas Coordinate System of 1983, South Central Zone, based on GPS observations. All distances are surface values and may be converted to grid by applying the combined adjustment factor 0.9998748.
- 14) Tract is subject to Reciprocal Access Easement, as set forth and defined in that certain Declaration of Reciprocal Access Easement Agreement filed for record under Clerk's File No. 2016044236, and the Fort Bend County Plat No. 2016044236 of the Fort Bend County Official Public Records of Real Property.

CALLED 995.7214 ACRES
 PACIFIC RICHLAND
 INVESTMENTS CORPORATION
 SPECIAL WARRANTY DEED
 JANUARY 28, 2002
 CF No. 2002009201
 FBCOPR



A SUBDIVISION OF 4.501 ACRES OF LAND
ALSO BEING A PARTIAL REPLAT OF
RESERVE "B" OF
FM1093 AND FM723 RESERVES
AS RECORDED IN PLAT No 20080203
OF THE FORT BEND COUNTY PLAT RECORDS
OUT OF THE
BROOKS AND BURLESON SURVEY, A-144
WALTON, HILL & WALTON SURVEY, A-434
FORT BEND COUNTY, TEXAS
1 RESERVE 1 BLOCK
MAY 2016

REASON FOR REPLAT: TO CREATE ONE UNRESTRICTED RESERVE

ENGINEER/SURVEYOR:
 **JONES | CARTER**
 Texas Board of Professional Engineers Registration No. F-43
 Texas Board of Professional Land Surveying Registration No. 1604610

SHEET 1 OF 2

CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH	TANGENT
C1	25.00'	90°05'39"	39.31'	S47°40'54"E	35.38'	25.04'
C2	30.00'	90°00'00"	47.12'	S47°38'05"E	42.43'	30.00'

FILED AND RECORDED
OFFICIAL PUBLIC RECORDS

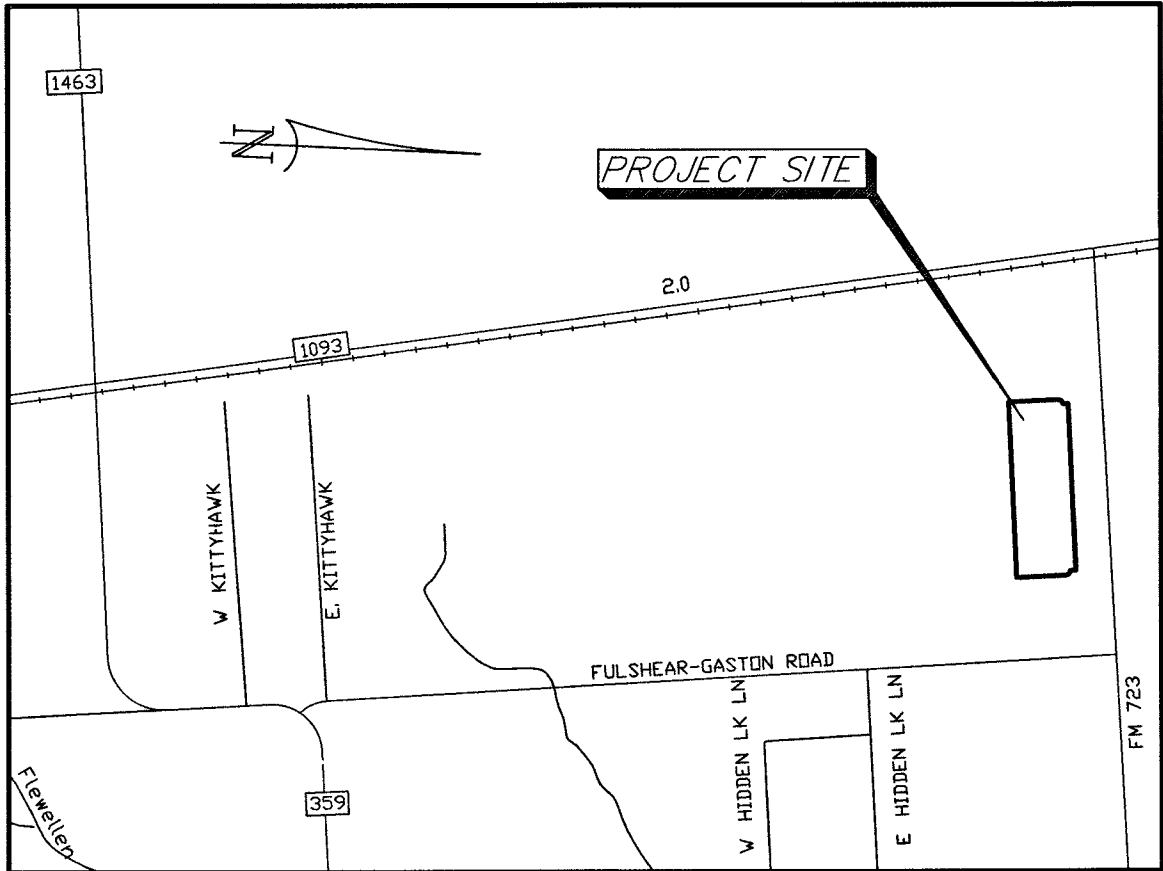
Laura Richard
Laura Richard, County Clerk
Fort Bend County, Texas
June 29, 2016 09:27:12 AM
FEE: \$344.00 SR1
PLAT 20160155

OWNER:
CLINARD PROPERTIES 3, LLC
25207 DUNLAP MEADOWS LN
KATY, TEXAS 77494
713-208-7171

THE SHOPPES AT RICHMOND LAKES

9115 FM 723
RICHMOND, TEXAS 77406
FORT BEND COUNTY
MUNICIPAL UTILITY DISTRICT NO. 142

CONSTRUCTION PLANS FOR PROPOSED PAVING, WATER, SANITARY, AND DRAINAGE



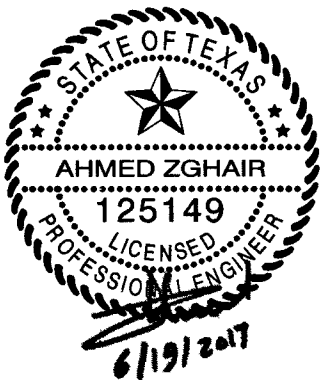
VICINITY MAP

SHEET INDEX

NO.	DESCRIPTION
1	C.000-COVER SHEET
2	C.001-TOPOGRAPHIC SURVEY
3	C.002-SWPPP
4	C.003-SWPPP DETAILS
5	C.004-DIMENSION CONTROL PLAN
6	C.005-DRAINAGE AREA MAP FOR EXISTING BUILDINGS
7	C.006-DRAINAGE AREA MAP
8	C.007-DRAINAGE PLAN
9	C.008-UTILITY PLAN
10	C.009-GRADING PLAN
11	C.010-PAVING PLAN
12	C.011-PAVING DETAILS
13	C.012-FIRE APPARATUS ACCESS LANE PLAN
14	C.013-GENERAL DETAILS (SHEET 1 OF 2)
15	C.014-GENERAL DETAILS (SHEET 2 OF 2)
16	C.015-TRAFFIC CONTROL PLAN

ONE-CALL NOTIFICATION SYSTEM
CALL BEFORE YOU DIG!!!
(713) 223-4567 (In Houston)
(New Statewide Number Outside Houston)
1-800-545-6005

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN
BASED ON INFORMATION PROVIDED ON SURVEY. THE CONTRACTOR
SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING
UTILITIES BEFORE COMMENCING WORK.



CSF Consulting, LP

11301 FALLBROOK DR., STE 320
HOUSTON, TX 77065
PH: (832)678-2110
TX FIRM NUMBER: F-4395

CSF PROJECT NO. 3297

FORT BEND COUNTY ENGINEER

ENGINEER: *Richard W. Stallie, P.E.*
for Richard W. Stallie, P.E.

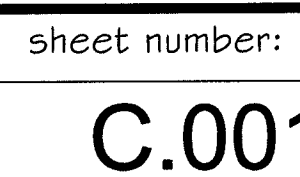
DATE: 8/14/17

THESE SIGNATURES ARE VOID IF CONSTRUCTION
HAS NOT COMMENCED IN ONE (1) YEAR FROM
DATE OF APPROVAL

APPROVED: *Development Coordinator*

DATE: 8/10/17

FORT BEND COUNTY MUNICIPAL DISTRICT NUMBER 142 ENGINEER, DATE
SIGNATURE VALID FOR ONE (1) YEAR



VICINITY MAP

10

223

W. BETHLAKE

E. BETHLAKE

N. HIDDEN LA LN

S. HIDDEN LA LN

SURVEY SITE

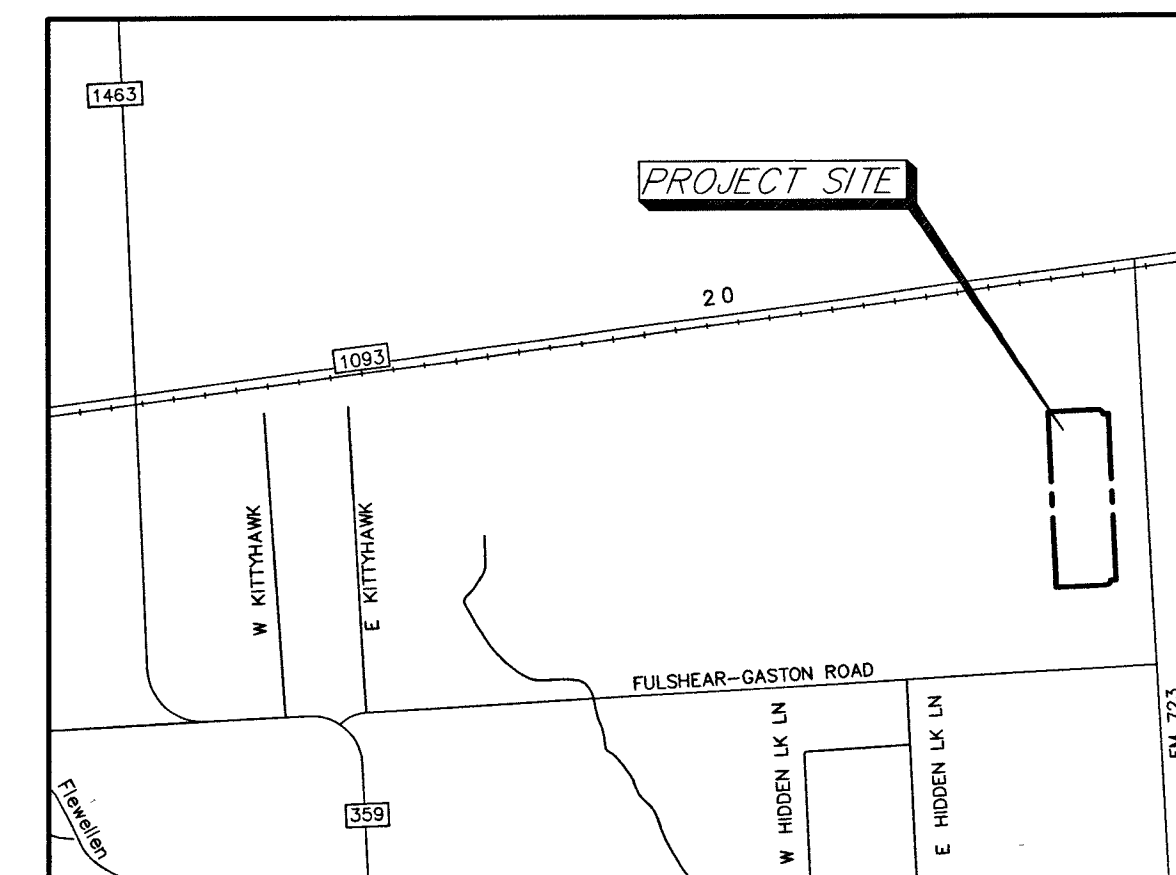
Fig. 223

723
4 WARRS)
1 20140725
02PM
PA 807
PA 811
PA 815
PA 818
PA 868
PA 472
02PM

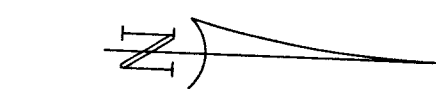
LAND TITLE SURVEY

**BROOK & BURLESON SURVEY, A-144
WALTON, HILL & WALTON SURVEY, A-434
PORT BEND COUNTY, TEXAS
OCTOBER 2015**

fax: 832-203-1674
tel: 832-274-2146
marcela@urbanareaco.com



VICINITY MAP



20 10 0 2

SCALE IN FEET

BENCHMARK

FORT BEND COUNTY MONUMENT #99 LOCATED AT THE NORTHWEST CORNER INTERSECTION
OF CANYON FIELDS DRIVE AND LAKEFAIR DRIVE
ELEV=125.83 FEET (NAVD 88)

TEMPORARY "A" BENCHMARK

SQUARE CUT ON A CONC HEADWALL SOUTH OF TRINITY WOODS CROSSING
ELEV=123.22 (NAVD 88)

TEMPORARY "B" BENCHMARK

SQUARE CUT ON A CONC HEADWALL ALONG ENTRANCE DRIVE NORTH CULVERT
ELEV=122.96 (NAVD 88)

FLOODPLAIN INFORMATION

THIS SITE LIES IN UN SHADED ZONE "X", AN AREA DETERMINED TO BE OUTSIDE THE 100 YEAR FLOODPLAIN, AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP NUMBER 48157C0105L, DATED APRIL 2, 2014.

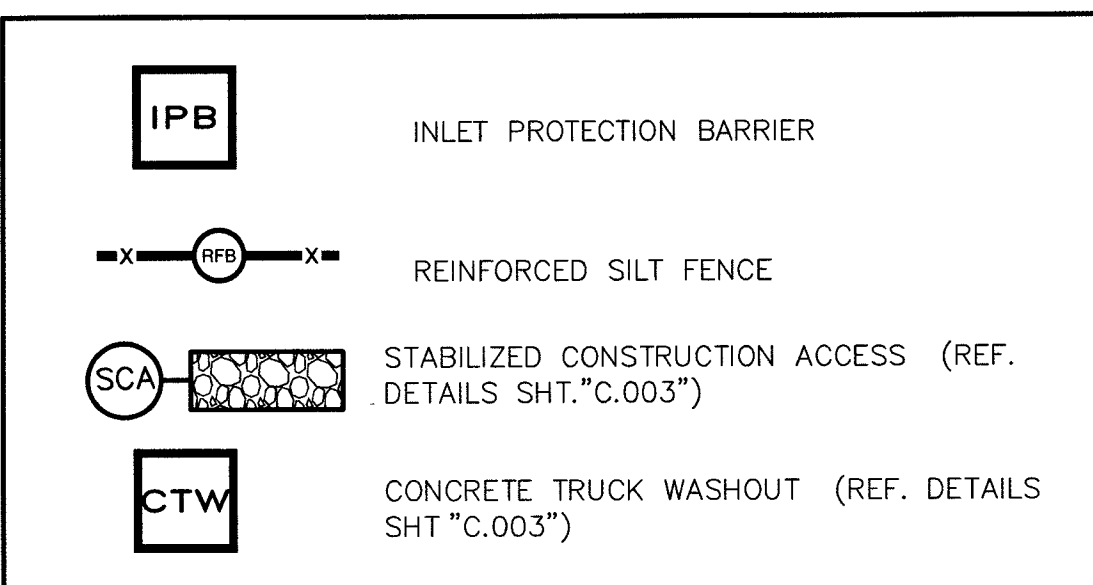
SWP3 NOTES

1. REFERENCE SHEET "C.003" FOR STORM WATER POLLUTION PREVENTION STANDARD DETAILS
2. EXECUTION AND CONSTRUCTION METHODS FOR STORM WATER POLLUTION PREVENTION PLAN SHALL BE IN CONFORMANCE WITH "CONSTRUCTION SITE AND POST-CONSTRUCTION RUNOFF CONTROLS" STORM WATER PERMIT AND STORM WATER QUALITY PLAN GUIDELINE.
3. CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION EXIT AT A LOCATION APPROVED BY OWNER. THE MINIMUM SIZE REQUIRED TO KEEP STREET CLEAN AND FREE OF MUD CARRIED BY CONSTRUCTION VEHICLES SHALL BE UTILIZED.
4. SEDIMENT CONTROL DEVICES SHALL BE INSTALLED PRIOR TO DISTURBING UPSTREAM AREAS AND SHALL REMAIN UNTIL PERMANENT SOIL STABILIZATION/COVER IS IN PLACE.
5. CONTRACTOR SHALL PROTECT ALL STORM SEWER INLETS WITH INLET PROTECTION BARRIER (IPB) OR SAND BAGS.
6. ALL NEW DEVELOPMENT AND SIGNIFICANT REDEVELOPMENT MUST SUBMIT FOR A STORM WATER QUALITY (SWQ) PERMIT FROM FORT BEND COUNTY. IF ANY PORTION OF A PROJECT DRAINS DIRECTLY INTO A MUNICIPAL SEPARATE STORM SEWER SYSTEM OWNED BY FORT BEND COUNTY (I.E. ROADSIDE DITCHES) AND/OR THE FORT BEND COUNTY FLOOD CONTROL DISTRICT (CHANNELS AND PONDS), COPIES OF THE SWQ PERMITS, SWP3, CONSTRUCTION SITE NOTICE, AND NOTICE OF INTENT (NOI), IF REQUIRED, MUST BE SUBMITTED TO THE MS4 OPERATOR AND ANY OTHER APPLICABLE AGENCY AS PART OF THE PERMIT PROCESS.

NOTE:

CONTRACTOR TO SUBMIT COPIES OF CONSTRUCTION SITE NOTICE (CSN) AND/OR NOTICE OF INLET (NOI) TO MS4 OPERATOR PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

LEGEND:

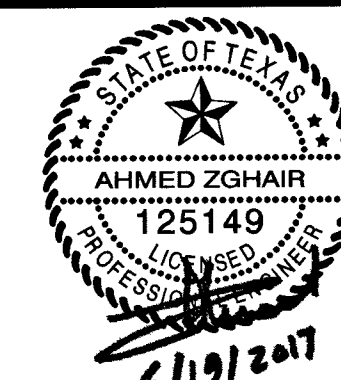


APPROVED: Sean Lytton
Development Coordinator

DATE: 8/10/17

FORT BEND COUNTY MUNICIPAL DISTRICT NUMBER 142 ENGINEER, DATE
SIGNATURE VALID FOR ONE (1) YEAR

fax: 832-203-1674
tel: 832-274-2146
marcela@urbanareaco.com



CSF CONSULTING, LP.
CIVIL • STRUCTURAL • FORENSIC
ENGINEERING & SURVEYING
11301 FALLBROOK DR., SUITE 320
HOUSTON, TX. 77065
TEL. 832.678.2110
FAX 832.678.2115
TELE. FIRM NO. F-4395
CSF, PROF. EIT. # 43282

revisions:

SHOPPES @ RICHMOND
LAKES

CLINARD PROPERTIES
25207 DUNLAP MEADOWS LN KATY TX. 77494

date:

06-15-17

drawn by:

AZ

checked by:

DY

file No:

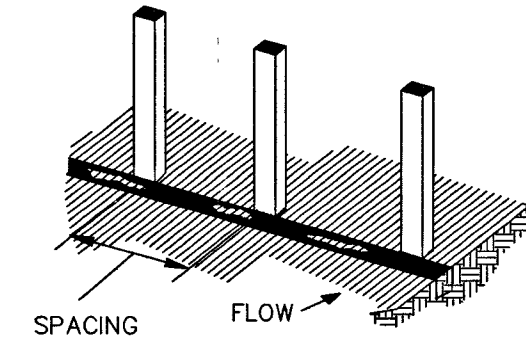
content:

SWPPP

sheet number:

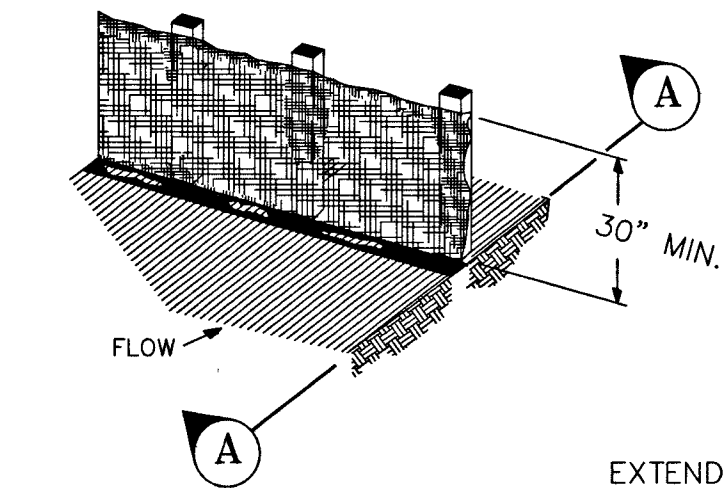
C.002

1. SET SUPPORTS AND EXCAVATE 4"x6" TRENCH UPSLOPE ALONG LINE OF SUPPORTS.

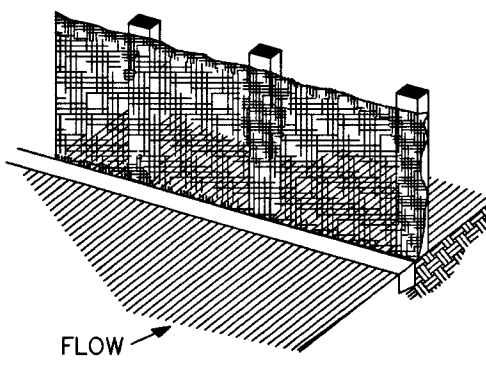


4' MAX FOR UNREINFORCED FENCE
6' MAX FOR REINFORCED FENCE.

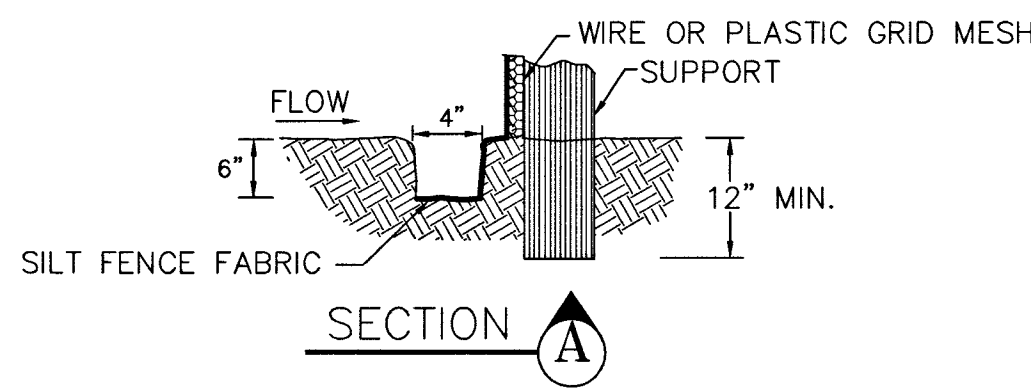
3. ATTACH SILT FENCE FABRIC TO WIRE FENCE AND EXTEND INTO THE TRENCH.



4. BACKFILL AND COMPACT THE EXCAVATED SOIL.



EXTEND SILT FENCE FABRIC INTO TRENCH.

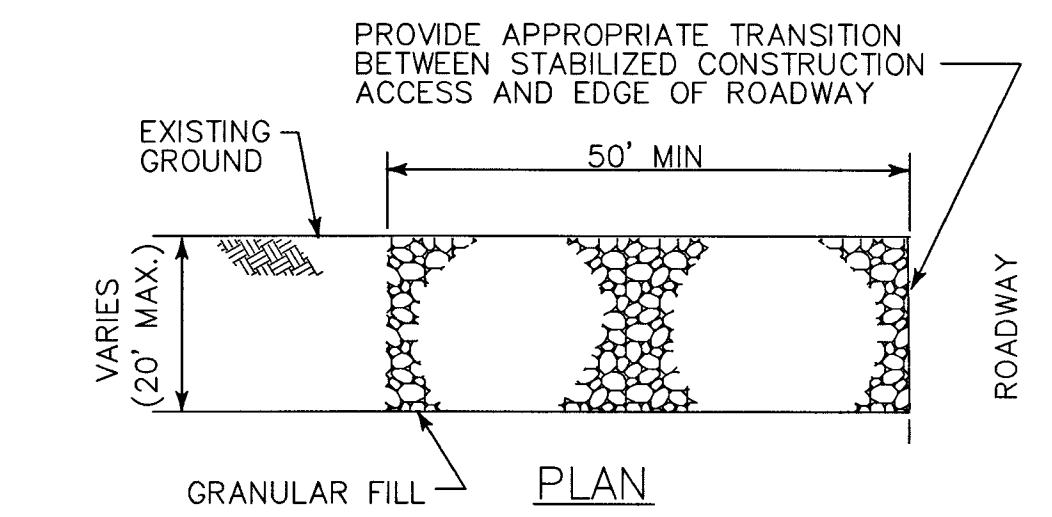
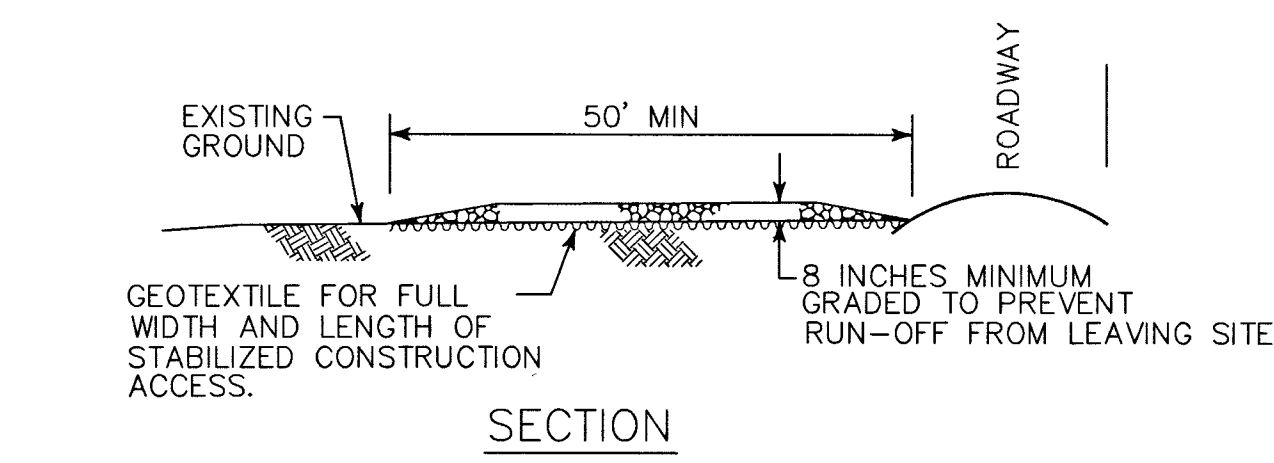


1. CONSTRUCTION NOTES:
SEE SPECIFICATION SECTION NO. 02361-SILT FENCES.

REINFORCED SILT FENCE SYMBOL
SILT FENCE SYMBOL

SILT FENCE

N.T.S

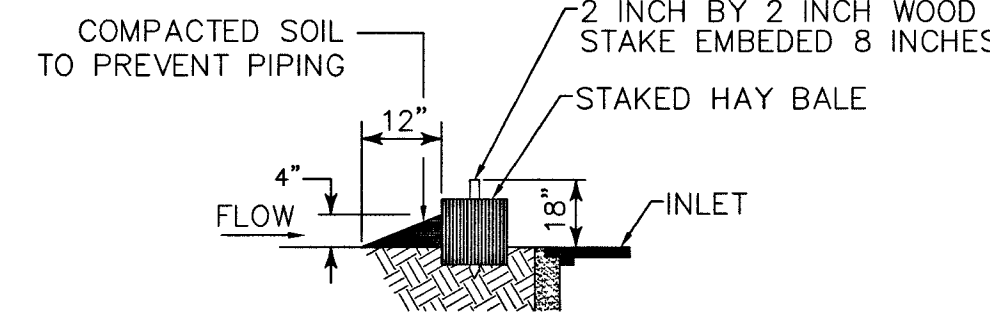
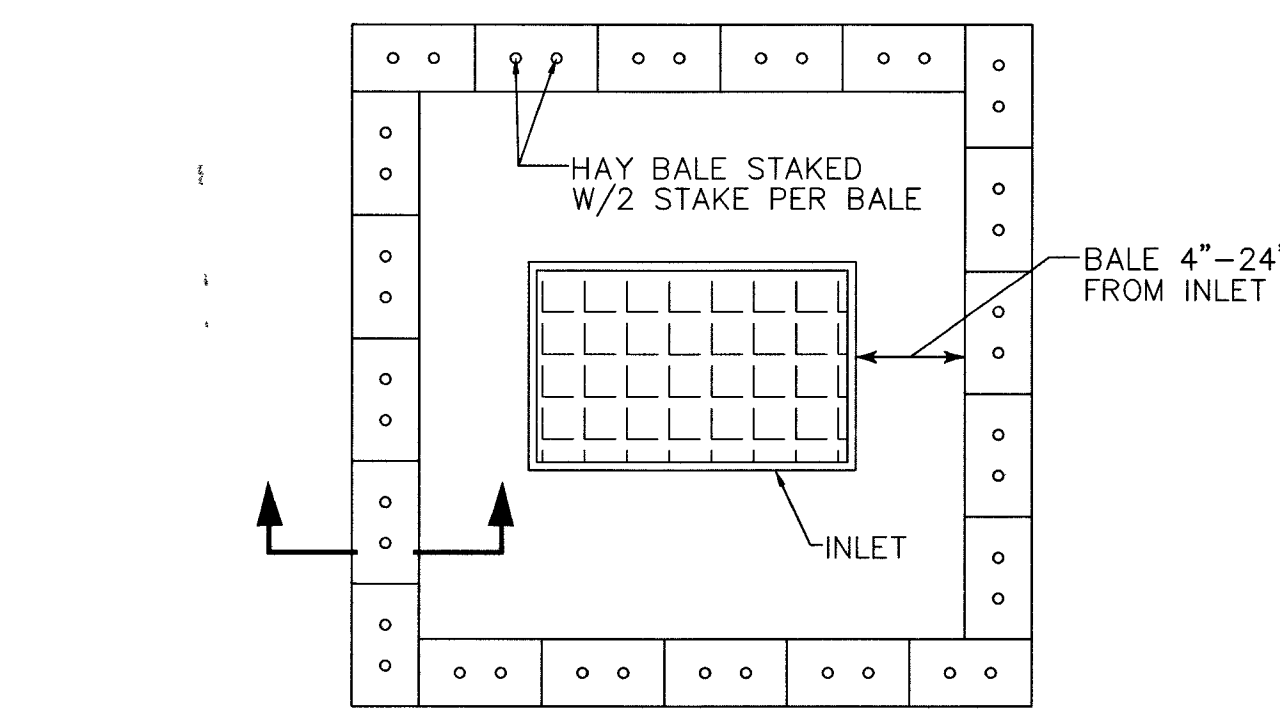


CONSTRUCTION NOTES:
1. SEE SPECIFICATION SECTION NO. 02365
-STABILIZED CONSTRUCTION ACCESS.

SYMBOL

STABILIZED CONSTRUCTION ACCESS

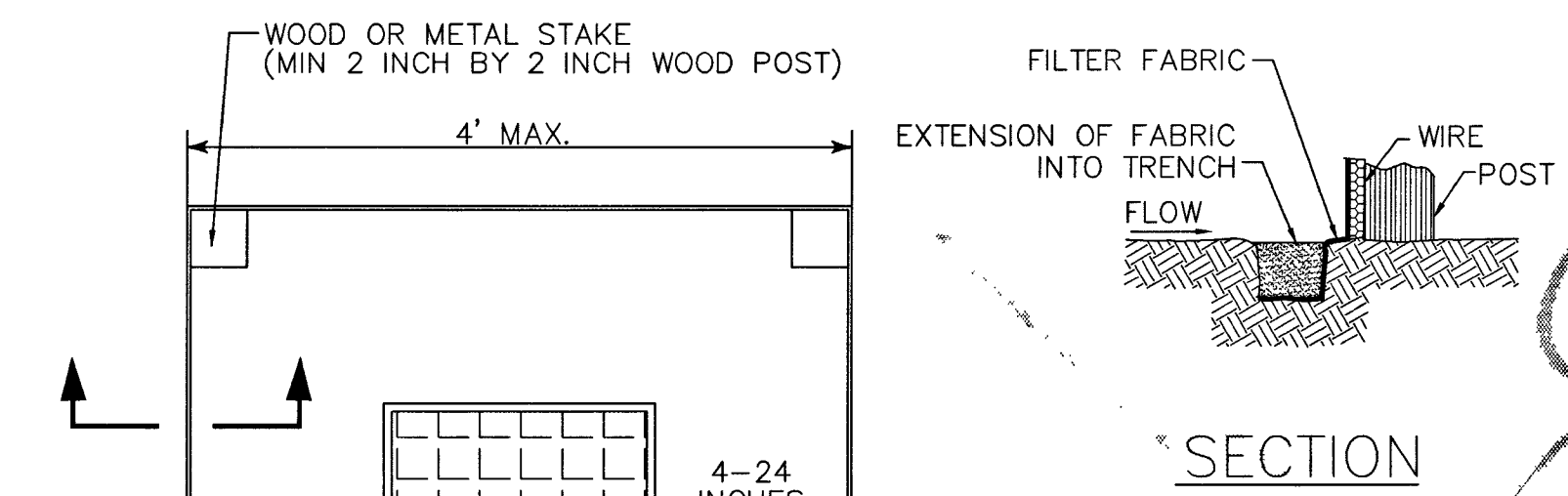
N.T.S



SYMBOL

HAY BALE INLET SEDIMENT FILTER

N.T.S



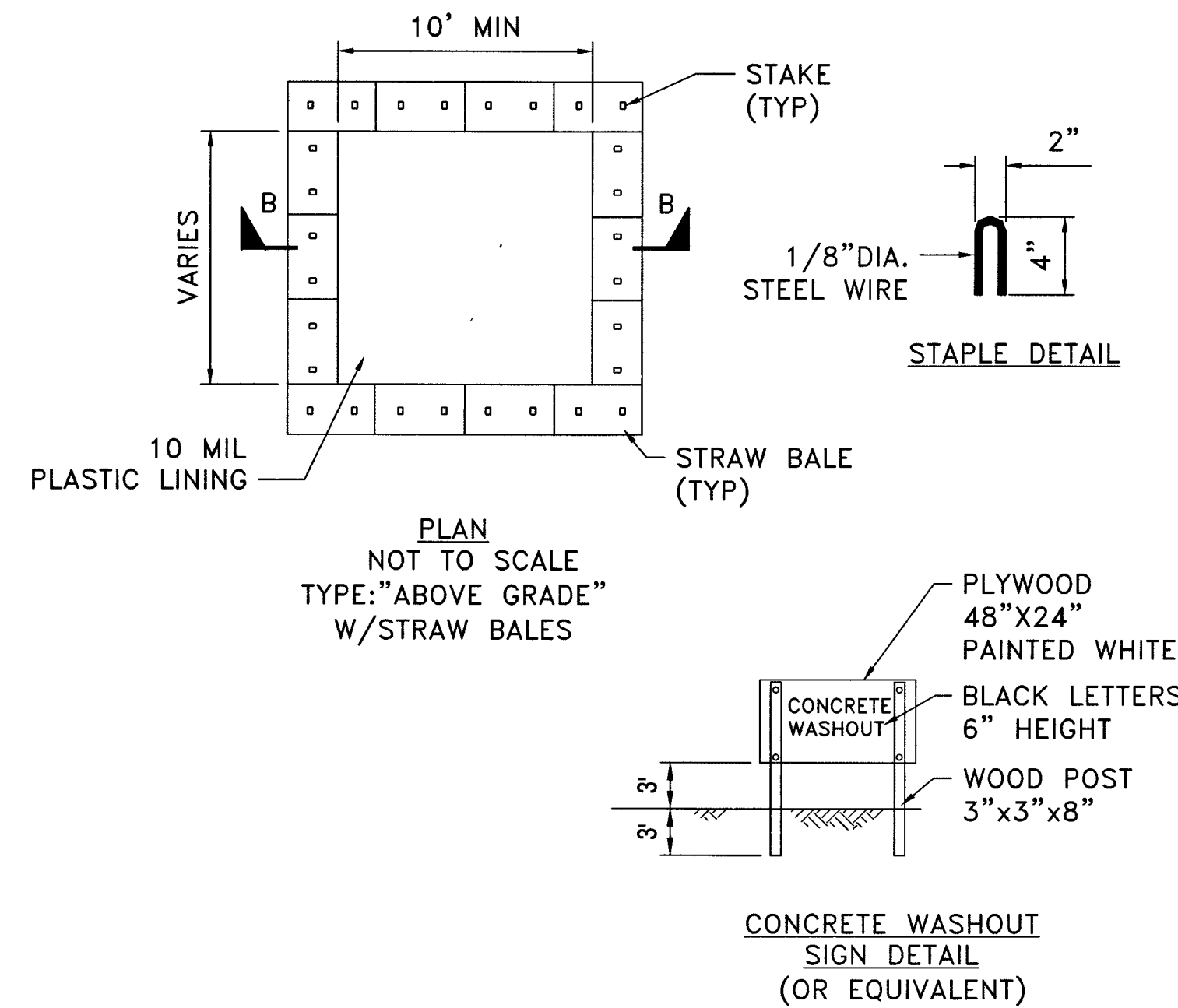
NOTES:
1. MAX. POST SPACING IS 4 FEET.
ADDITIONAL POST MAY BE ADDED.
POST SHALL BE PLACED ON EACH CORNER, AS A MINIMUM, AS SHOWN.

SYMBOL

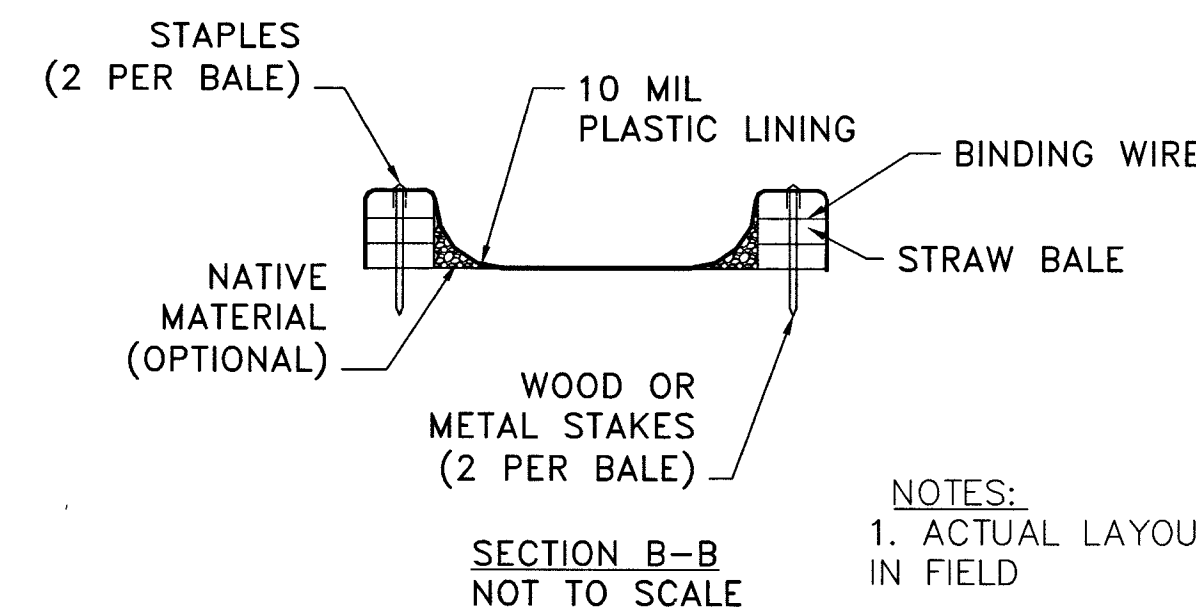
SILT FENCE INLET SEDIMENT FILTER

N.T.S

Trim Sheet



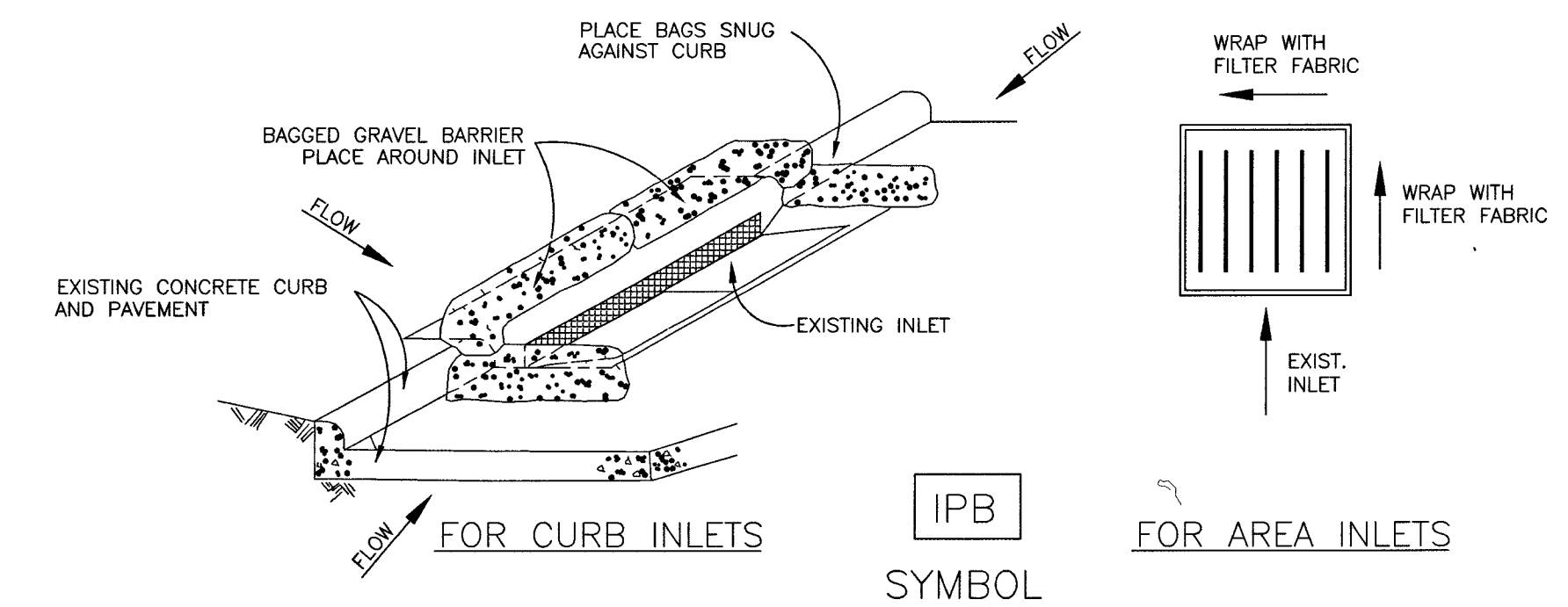
CONCRETE WASHOUT SIGN DETAIL (OR EQUIVALENT)



NOTES:
1. ACTUAL LAYOUT DETERMINED IN FIELD
2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

CONCRETE TRUCK WASHOUT DETAILS

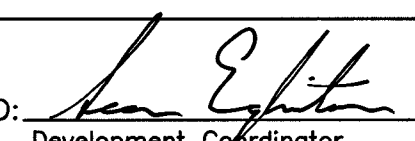
N.T.S



GENERAL NOTES:

1. BAGS OR WATTLES CAN BE USED FOR THIS APPLICATION.
2. PROVIDE WOVEN OR UNWOVEN GEOTEXTILE FILTER FABRIC FOR BAGS.
3. PROVIDE COARSE GRAVEL AND AGGREGATE MIX FOR FILL MATERIAL FOR BAGS. USE ONLY PARTICLES CONSISTING OF CLEAN, HARD, DURABLE MATERIALS FREE FROM ADHERENT COATINGS, SALT, ALKALI, DIRT, CLAY, LOAM, SHALE, SOFT OR FLAKY MATERIALS, OR ORGANIC AND INJURIOUS MATTER.
4. REMOVE SEDIMENT DEPOSIT WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-THIRD THE HEIGHT OF THE BARRIER.

INLET PROTECTION BARRIERS FOR STAGE II INLETS BAGGED GRAVEL BARRIER

APPROVED: 
DATE: 8/10/17

fax: 832-203-1674
tel: 832-274-2146
marcela@urbanareaco.com

URBAN-AREA ARCHITECTS



CSF CONSULTING, L.P.
CIVIL • STRUCTURAL • FORENSIC
ENGINEERING & SURVEYING
11301 FALLBROOK DR., SUITE 300
HOUSTON, TX 77060
TEL: 832.678.2110
FAX: 832.678.2115
TYPE FIRM NO. F-1330
CSF PROJECT # 2007

revisions:

SHOPPES @ RICHMOND LAKES
9115 FM 723 RD. RICHMOND, TX. 77406
CLINARD PROPERTIES
25207 DUNLAP MEADOWS LN. KATY, TX. 77494

date:

06-15-17

drawn by:

AZ

checked by:

DV

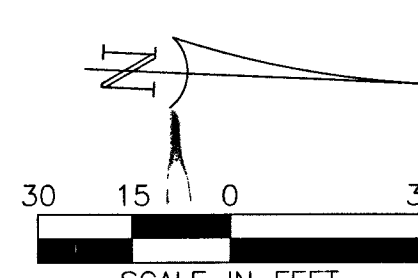
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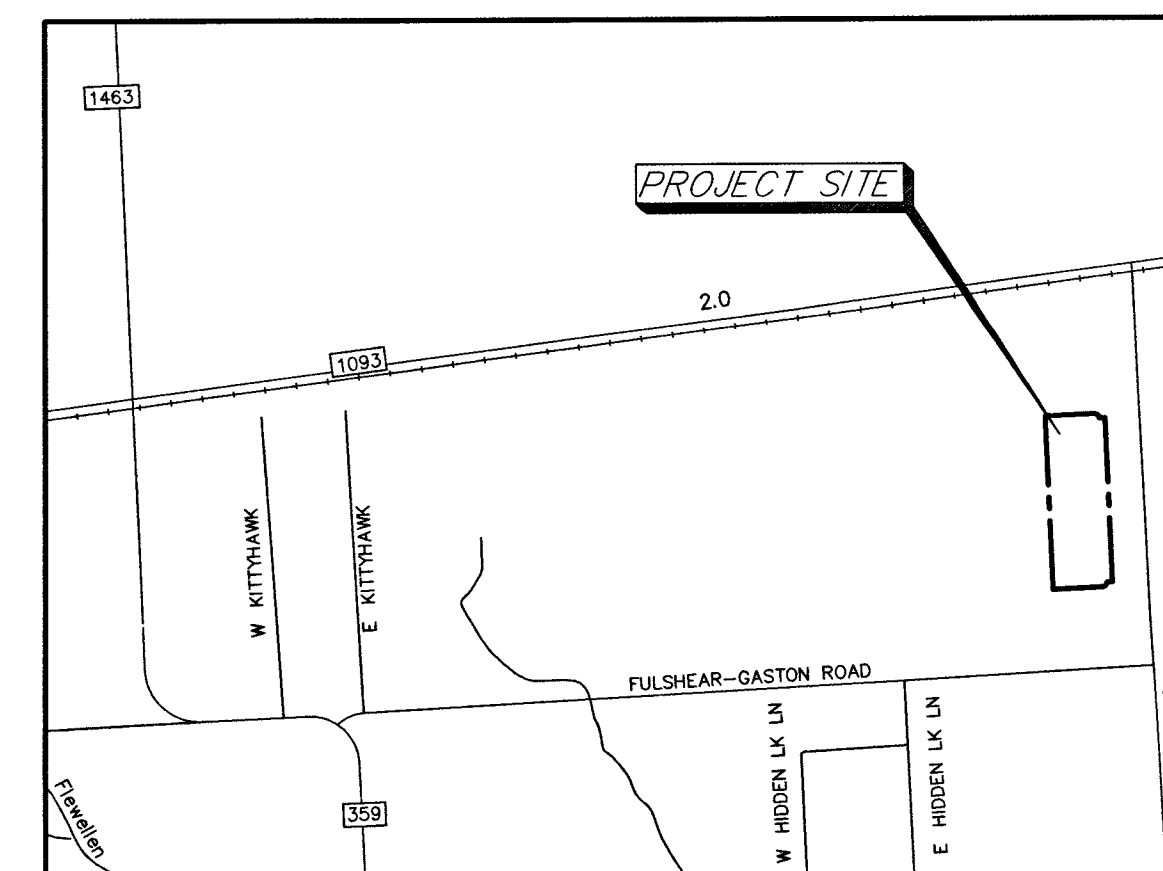
SWPPP DETAILS

sheet number:

C.003



B-B= BACK TO BACK OF CURB
F-F= FACE TO FACE OF CURB

[illegible]

Architectural drawing of a building section showing dimensions and structural details. The drawing includes a cross-section of a building with a roof and interior layout. Key dimensions and labels include:

- Overall width: 3.00'
- Overall height: 12.40'
- Roof slope: 1:3.7
- Interior dimensions: 11.25', 17.75', 1.32', 3.60', 20.75', 11.77', 10.00', 13.57'
- Labels: 13.57', 10.00', 11.77', 20.75', 3.60', 1.32', 17.75', 11.25', 3.00', 12.40'

APPROVED: 
Development Coordinator

DATE: 8/10/17

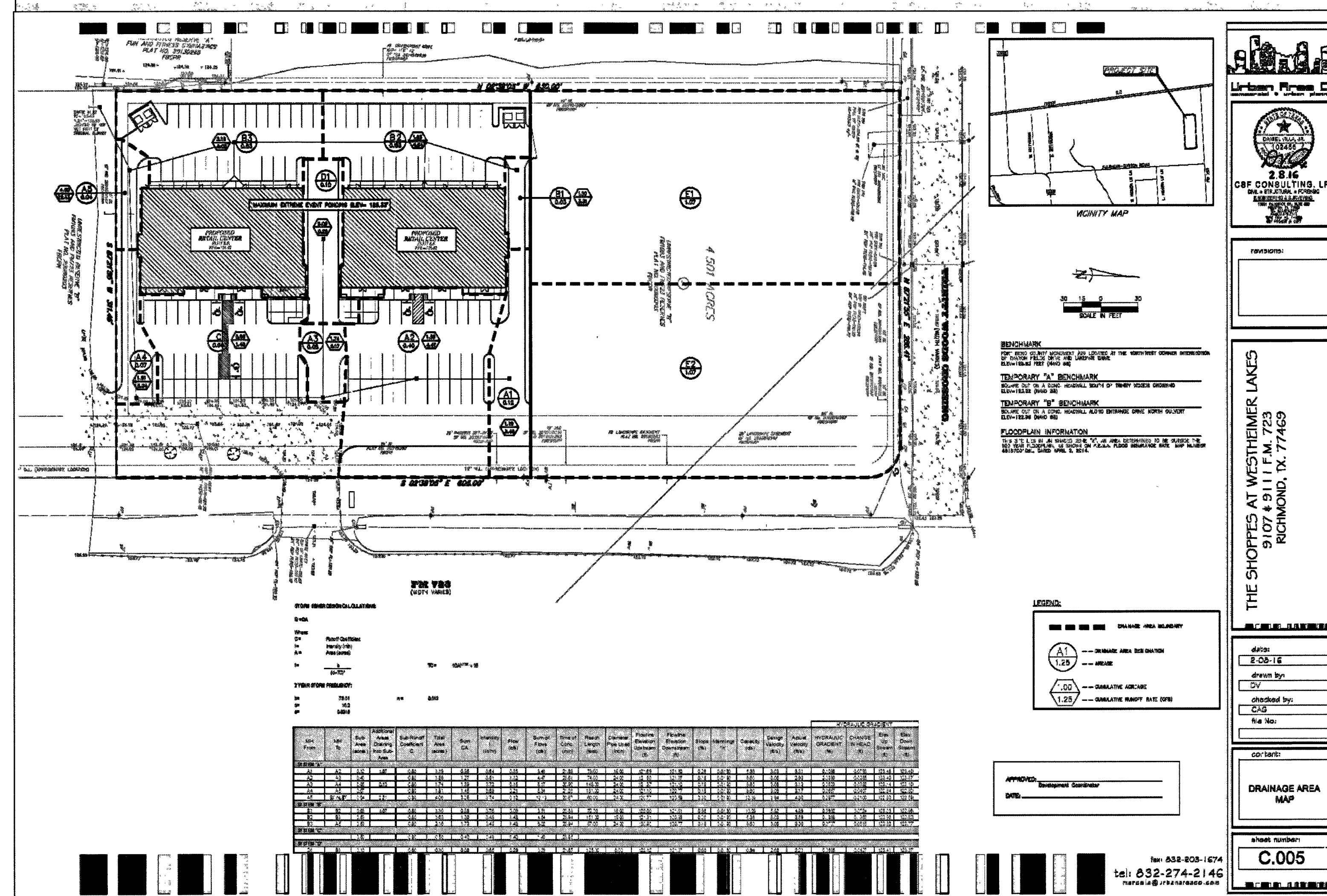
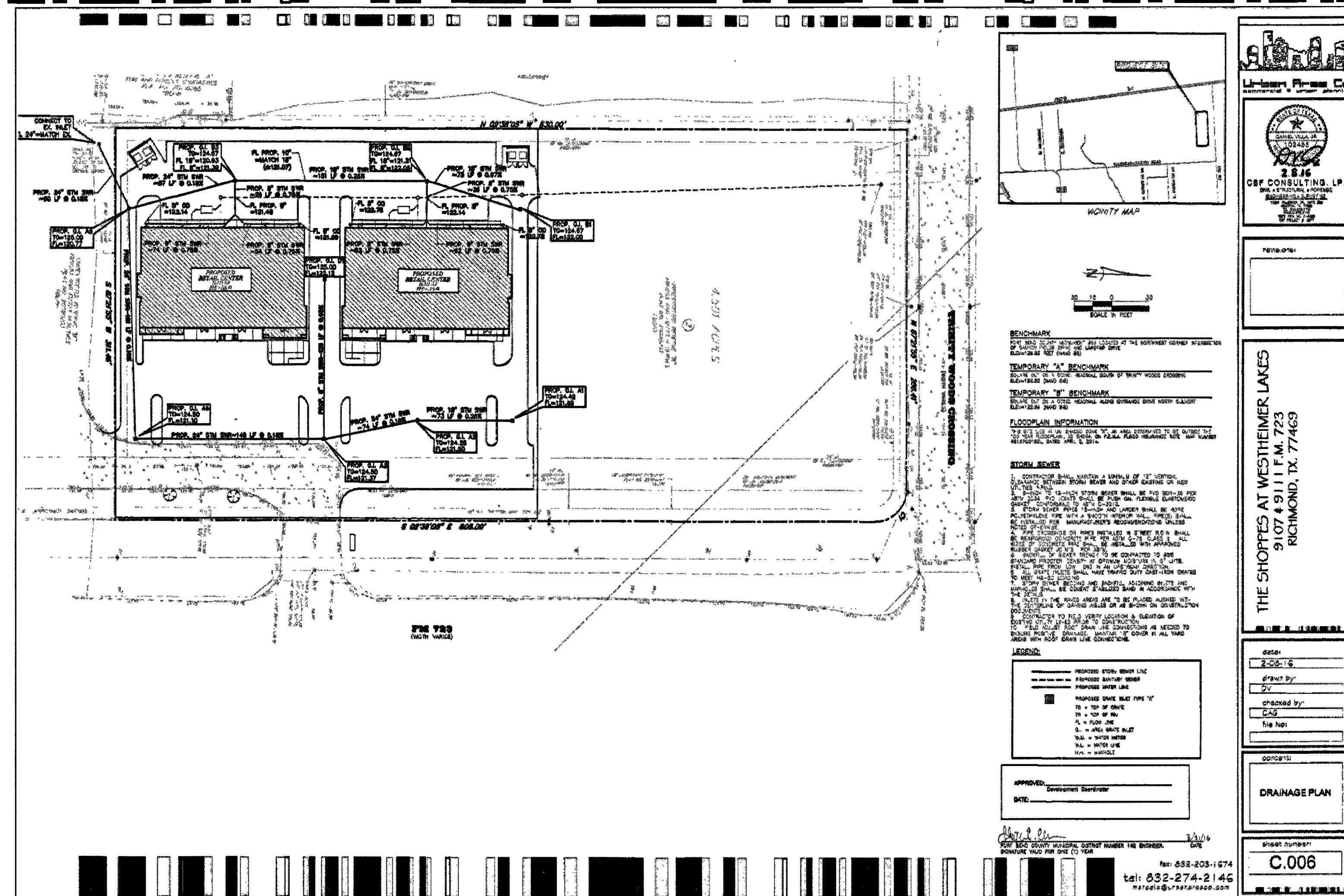
INSPECTION: THE PROJECT AND ALL PARTS THEREOF SHALL BE SUBJECT TO INSPECTION FROM TIME TO TIME BY INSPECTORS DESIGNATED BY FORT BEND COUNTY NO SUCH INSPECTION SHALL RELIEVE CONTRACTOR OF ANY OF ITS OBLIGATIONS HEREUNDER NEITHER FAILURE TO INSPECT NOR FAILURE TO DISCOVER OR REJECT ANY OF THE WORK AS NOT IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATION, REQUIREMENTS AND SPECIFICATIONS OF FORT BEND COUNTY OR ANY PROVISION OF THIS PROJECT SHALL BE CONSTRUED TO IMPLY AN ACCEPTANCE OF SUCH WORK OR TO RELIEVE THE CONTRACTOR OF ANY OF ITS OBLIGATIONS HEREUNDER

1. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING PUBLIC OR PRIVATE UTILITY LINES, INCLUDING BUT NOT LIMITED TO PAVING, WATER LINES, WASTEWATER COLLECTION SYSTEMS, STORM SEWER AND TRAFFIC SIGNALS DURING CONSTRUCTION. ALL DAMAGES SHALL BE REPAIRED IN ACCORDANCE WITH CURRENT EDITIONS OF CITY OF HOUSTON STANDARD CONSTRUCTION SPECIFICATIONS, DESIGN DETAILS AND DESIGN MANUALS. REPAIRS SHALL BE AT NO COST TO OWNER.
2. THE APPROXIMATE LOCATION OF EXISTING UTILITIES ARE GIVEN FOR REFERENCE ONLY. BEFORE COMMENCING THE WORK ON THIS CONTRACT, THE CONTRACTOR SHALL VERIFY BY FIELD INVESTIGATION THE ACTUAL LOCATIONS OF ALL UTILITY FACILITIES WITHIN AND ADJACENT TO THE LIMITS OF THE WORK THAT MAY BE AFFECTED BY THE WORK. CONFLICTS WHICH RESULT DUE TO NEGLIGENCE BY THE CONTRACTOR TO LOCATE, HORIZONTALLY AND VERTICALLY, EXISTING UTILITIES WHICH ARE SHOWN ON THE CONSTRUCTION DRAWINGS, OR WHICH THE CONTRACTOR HAS BEEN GIVEN NOTICE OR HAS KNOWLEDGE OF, SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF PORTIONS OF THE WORK OR EXTENSIVE CHANGES OCCASIONED BY THE FAILURE OF THE CONTRACTOR TO VERIFY THE LOCATION OF EXISTING UTILITIES AS DESCRIBED ABOVE SHALL BE BORNE BY THE CONTRACTOR.
3. CONTRACTOR IS TO CONTACT THE UTILITY COORDINATING COMMITTEE AT (713)223-4567 OR (1800)659-8344 FOR LOCATION OF EXISTING FACILITIES THAT MAY NOT BE SHOWN ON THE PLANS AT LEAST 24 HOURS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES
4. CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED BY THE "REGULATIONS OF FORT BEND COUNTY, TEXAS, FOR FLOOD PLAIN MANAGEMENT" PRIOR TO STARTING CONSTRUCTION.
5. CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED BY FORT BEND COUNTY, TEXAS PRIOR TO STARTING CONSTRUCTION OF UTILITIES AND/OR CULVERTS WITHIN FORT BEND COUNTY ROAD RIGHT-OF-WAY
6. CONTRACTOR SHALL COMPLY WITH O.S.H.A. REGULATIONS AND TEXAS STATE LAW CONCERNING TRENCH SAFETY SYSTEMS
7. AUTHORIZATION NOTICE ISSUE BY FORT BEND COUNTY PUBLIC INFRASTRUCTURE ENGINEERING DEPARTMENT. PERMIT REQUIRED PRIOR TO CONSTRUCTION OF UTILITIES OR LEFT TURN LANES WITHIN FORT BEND COUNTY ROAD RIGHT-OF-WAY. CONTACT FORT BEND COUNTY PERMIT OFFICE, (281.633.7502)

sheet number:

C.004

fax: 832-203-1674
tel: 832-274-2146
marcela@urbanareaco.com



NOT TO SCALE FOR REFERENCE ONLY

Trim Sheet

URBAN-AREA
ARCHITECTS

CSF CONSULTING, L.P.
CIVIL • STRUCTURAL • FORENSIC
ENGINEERING & SURVEYING
11301 FALLBROOK DR., SUITE 300
HOUSTON, TX. 77060
TEL: 832-678-2110
FAX: 832-678-2110
TYPE: FPM NO. 7-4385
CSF PROJECT # 3307

revisions:

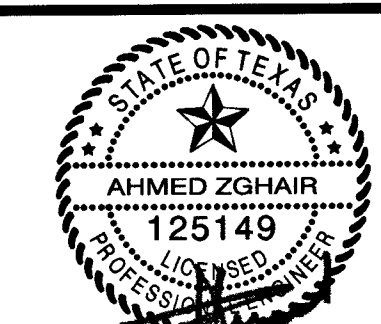
SHoppes @ RICHMOND
LAKES
9115 FM 723 RD. RICHMOND, TX. 77406
CLINARD PROPERTIES
25207 DUNLAP MEADOWS LN. KATY, TX. 77494

date:
06-15-17
drawn by:
AZ
checked by:
DV
file No:

content:
DRAINAGE AREA MAP
AND DRAINAGE PLAN
FOR EXISTING
BUILDINGS

sheet number:
C.005

fax: 832-203-1674
tel: 832-274-2146
marcela@urbanareaco.com



CSF CONSULTING, L.P.
CIVIL • STRUCTURAL • FORENSIC
ENGINEERING & SURVEYING
11301 FALLBROOK DR., SUITE 300
HOUSTON, TX 77056
TEL: 832-678-2115
FAX: 832-678-2115
TYPED FROM NO. 1-4395
CSF PROJECT # 3397

revisions:

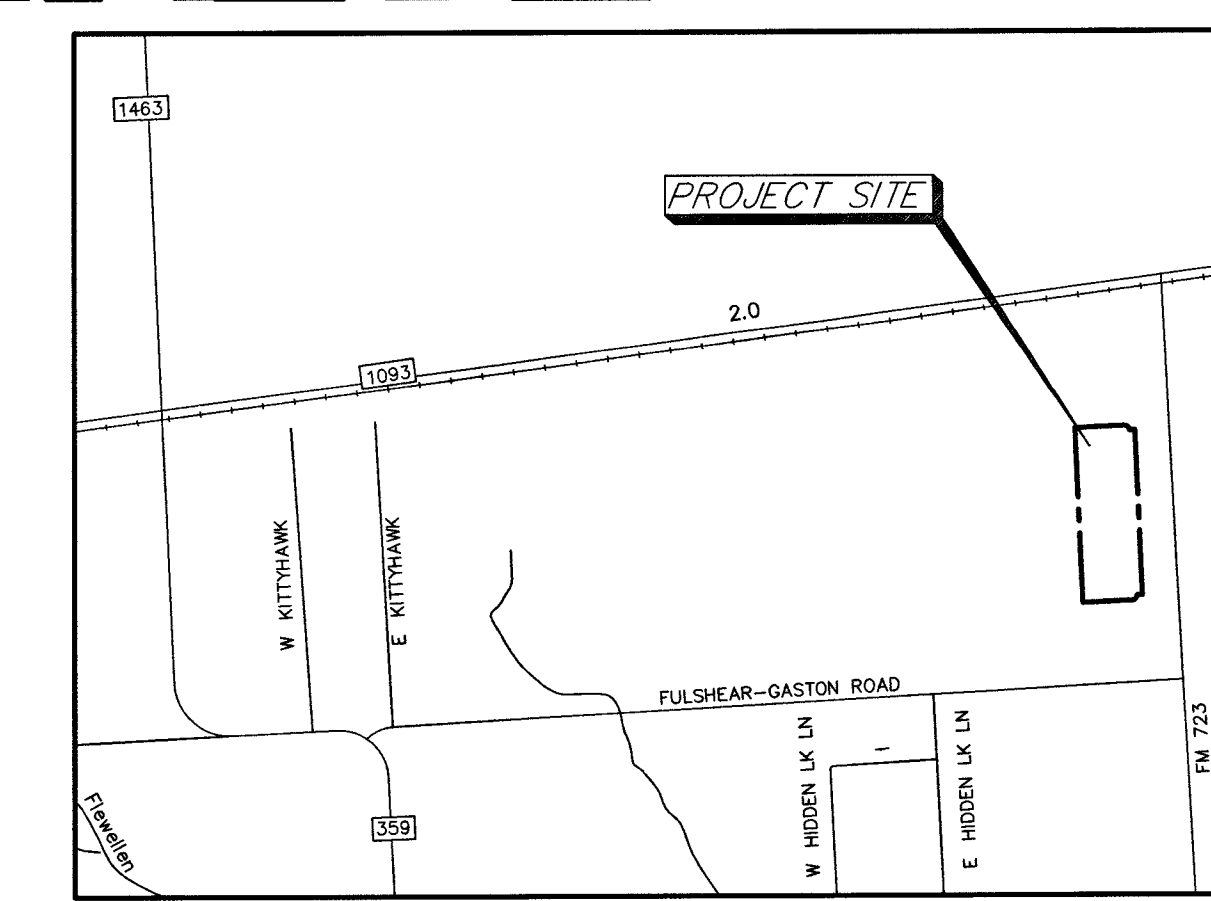
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SHOPPES @ RICHMOND LAKES
9115 FM 723 RD. RICHMOND, TX. 77406
CLINARD PROPERTIES
25207 DUNLAP MEADOWS LN. KATY, TX. 77494

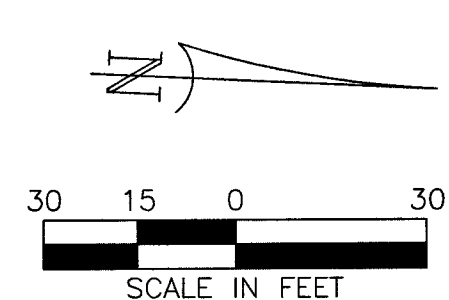
date:
06-15-17
drawn by:
AZ
checked by:
DV
file No:

content:
DRAINAGE AREA MAP

sheet number:
C.006



VICINITY MAP



BENCHMARK

FORT BEND COUNTY MONUMENT #99 LOCATED AT THE NORTHWEST CORNER INTERSECTION OF CANYON FIELDS DRIVE AND LAKEFAIR DRIVE
ELEV=125.83 FEET (NAVD 88)

TEMPORARY "A" BENCHMARK

SQUARE CUT ON A CONC. HEADWALL SOUTH OF TRINITY WOODS CROSSING
ELEV=123.22 (NAVD 88)

TEMPORARY "B" BENCHMARK

SQUARE CUT ON A CONC. HEADWALL ALONG ENTRANCE DRIVE NORTH CULVERT
ELEV=122.96 (NAVD 88)

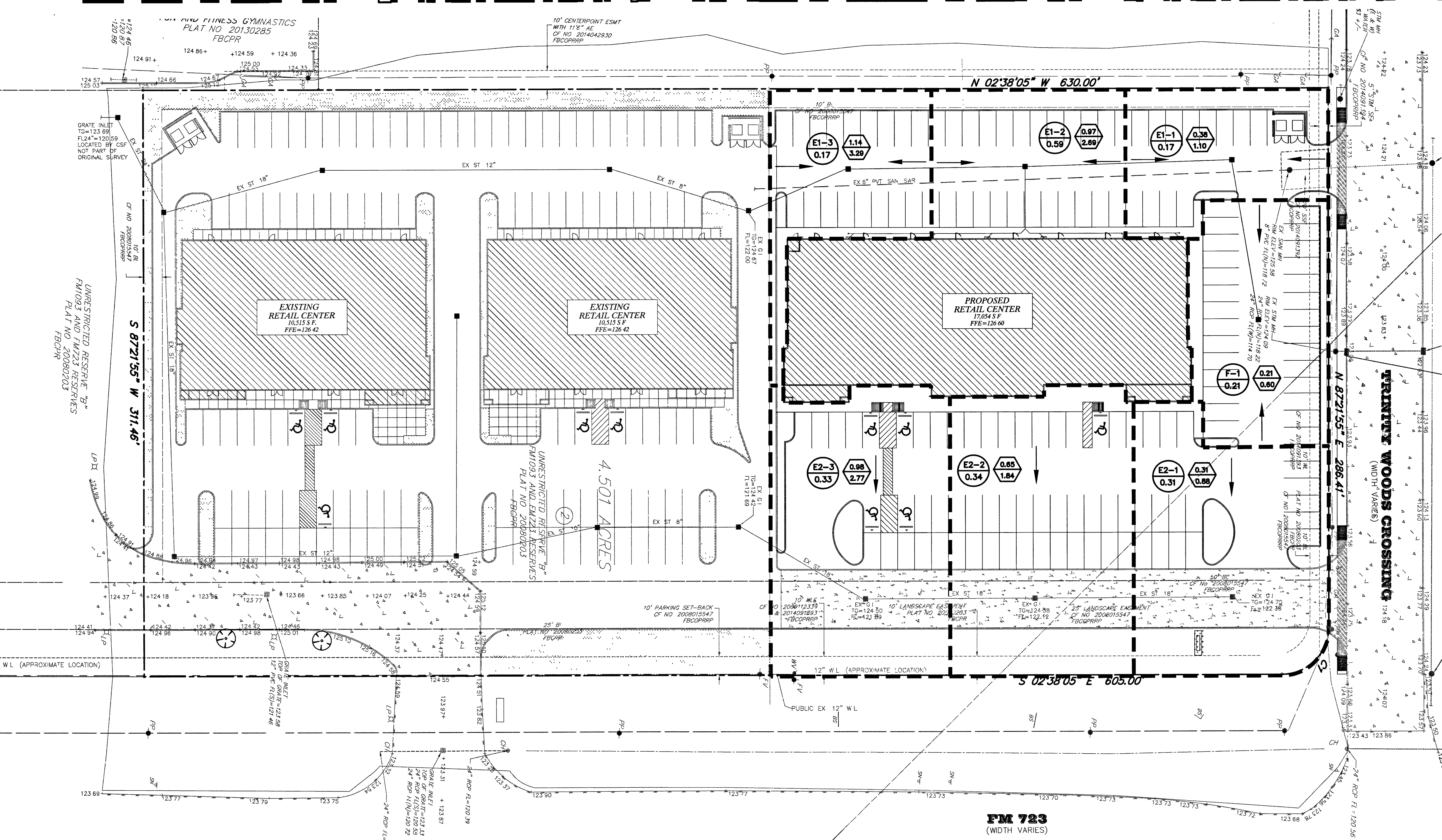
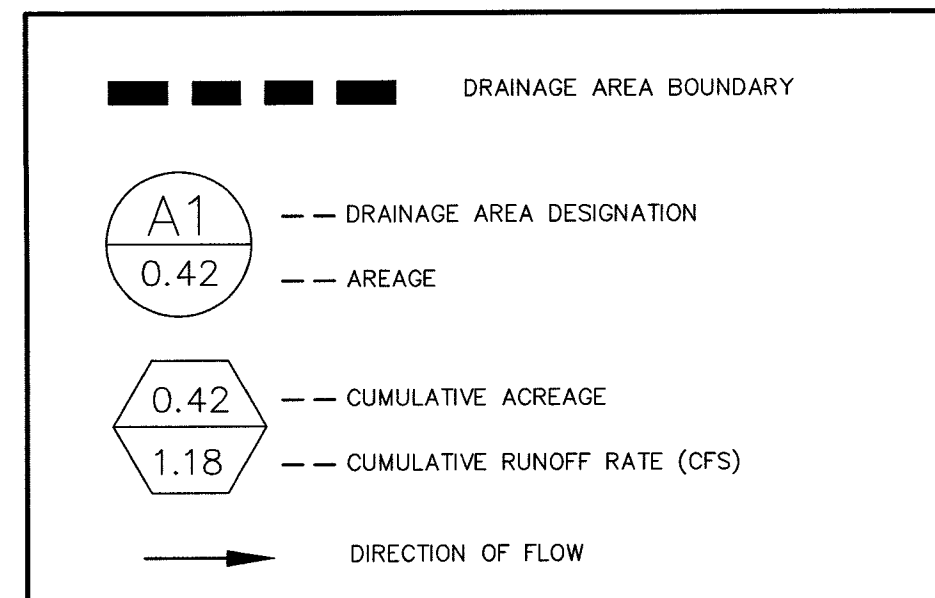
FLOODPLAIN INFORMATION

THIS SITE LIES IN UN SHADED ZONE "X", AN AREA DETERMINED TO BE OUTSIDE THE 100 YEAR FLOODPLAIN, AS SHOWN ON F.E.M.A FLOOD INSURANCE RATE MAP NUMBER 48157C0105L, DATED APRIL 2, 2014.

EXISTING / RECEIVING STORM SEWER SYSTEM NOTE :

PROPOSED DEVELOPMENT RUNOFF ACCOUNTED FOR BY EXISTING SOUTH DEVELOPMENT , PLEASE REFERENCE COPY OF PREVIOUSLY APPROVED PLANS ON SHEET (C 005)

LEGEND:



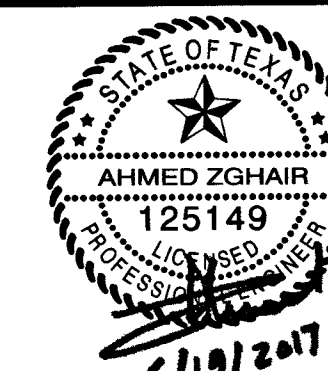
STORM SEWER DESIGN CALCULATIONS.

Q=CA
Where
C= Runoff Coefficient
I= Intensity (mm)
A= Area (acres)
I= $\frac{b}{(d+T)^n}$
TC= $10A^{0.785} + 15$
2 YEAR STORM FREQUENCY.
b= 75.01
d= 16.2
n= 0.8315
n= 0.013

																				HYDRAULIC GRADIENT			
MH From	MH To	Sub-Area (acres)	Additional Areas Draining Into Sub-Area (acres)	Sub-Runoff Coefficient C	Total Area (acres)	Sum CA	Intensity I (in/hr)	Flow (cfs)	Sum of Flows (cfs)	Time of Conc (min)	Reach Length (feet)	Diameter Pipe Used (inch)	Flowline Elevation Upstream (ft)	Flowline Elevation Downstream (ft)	Slope (%)	Mannings "n"	Capacity (cfs)	Design Velocity (ft/s)	Actual Velocity (ft/s)	HYDRAULIC GRADIENT (%)	CHANGE IN HEAD (ft)	Elev Up Stream (ft)	Elev Down Stream (ft)
SYSTEM "E1"																							
E1-1	E1-2	0.17	0.21	0.80	0.38	0.30	3.60	0.49	1.10	22.32	108.00	12.00	123.00	122.80	0.19	0.0130	1.53	1.95	2.20	0.0945	0.0690	124.38	124.31
E1-2	E1-3	0.59		0.80	0.97	0.78	3.47	1.64	2.69	24.11	92.00	12.00	122.80	122.45	0.38	0.0130	2.20	2.80	3.06	0.5709	0.4167	123.87	123.45
E1-3	EXIST B2	0.17		0.80	1.14	0.91	3.60	0.49	3.29	22.32	56.00	12.00	122.45	122.00	0.80	0.0130	3.19	4.07	4.94	0.8505	0.6208	124.31	123.69
SYSTEM "E2"																							
E2-1	E2-2	0.31		0.80	0.31	0.25	3.54	0.88	0.88	23.14	103.00	12.00	122.38	122.12	0.25	0.0130	1.79	2.28	2.25	0.0607	0.0443	123.81	123.76
E2-2	E2-3	0.34		0.80	0.65	0.52	3.53	0.96	1.84	23.27	88.00	18.00	122.12	121.89	0.26	0.0130	5.37	3.04	2.80	0.1905	0.0223	123.76	123.74
E2-3	A1	0.33		0.80	0.98	0.78	3.53	0.93	2.77	23.23	76.00	18.00	121.89	121.69	0.26	0.0130	5.39	3.05	3.05	0.1996	0.0508	123.74	123.69
SYSTEM "F1"																							
F-1	E1-1	0.21		0.80	0.21	0.17	3.58	0.60	0.60	22.60	85.00	8.00	123.25	123.00	0.29	0.0130	0.66	1.88	2.27	0.49	0.1810	0.18	0.00

San E. 8/10/17

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FAX: 832-678-2115
TYPED FROM NO. 1-4295
CSF PROJECT # 3297

revisions:

SHOPPES @ RICHMOND
LAKES
9115 FM 723 RD. RICHMOND, TX. 77406
CLINARD PROPERTIES
25207 DUNLAP MEADOWS LN. KATY, TX. 77494

date:

06-15-17

drawn by:

AZ

checked by:

DV

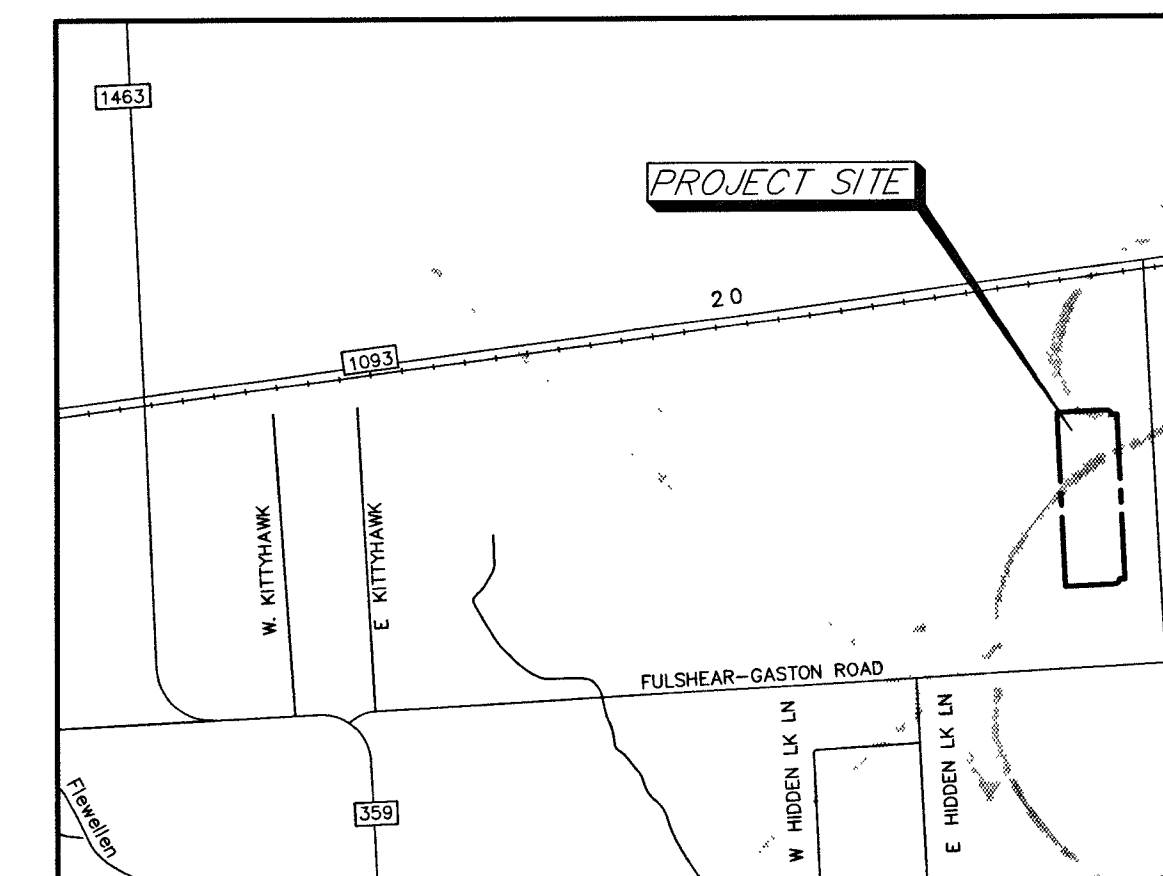
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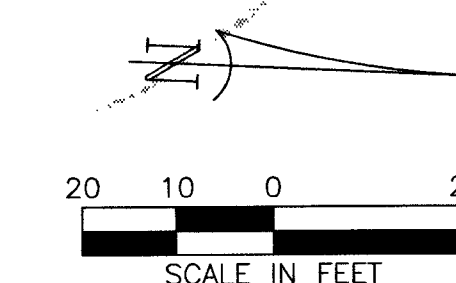
DRAINAGE PLAN

sheet number:

C.007



VICINITY MAP



BENCHMARK

FORT BEND COUNTY MONUMENT #99 LOCATED AT THE NORTHWEST CORNER INTERSECTION OF CANYON FIELDS DRIVE AND LAKEVIEW DRIVE
ELEV=125.83 FEET (NAVD 88)

TEMPORARY "A" BENCHMARK

SQUARE CUT ON A CONC. HEADWALL SOUTH OF TRINITY WOODS CROSSING
ELEV=123.22 (NAVD 88)

TEMPORARY "B" BENCHMARK

SQUARE CUT ON A CONC. HEADWALL ALONG ENTRANCE DRIVE NORTH CULVERT
ELEV=122.96 (NAVD 88)

FLOODPLAIN INFORMATION

THIS SITE LIES IN UN SHADED ZONE "X", AN AREA DETERMINED TO BE OUTSIDE THE 100 YEAR FLOODPLAIN, AS SHOWN ON F.E.M.A FLOOD INSURANCE RATE MAP NUMBER 48157C0105L, DATED APRIL 2, 2014.

STORM SEWER

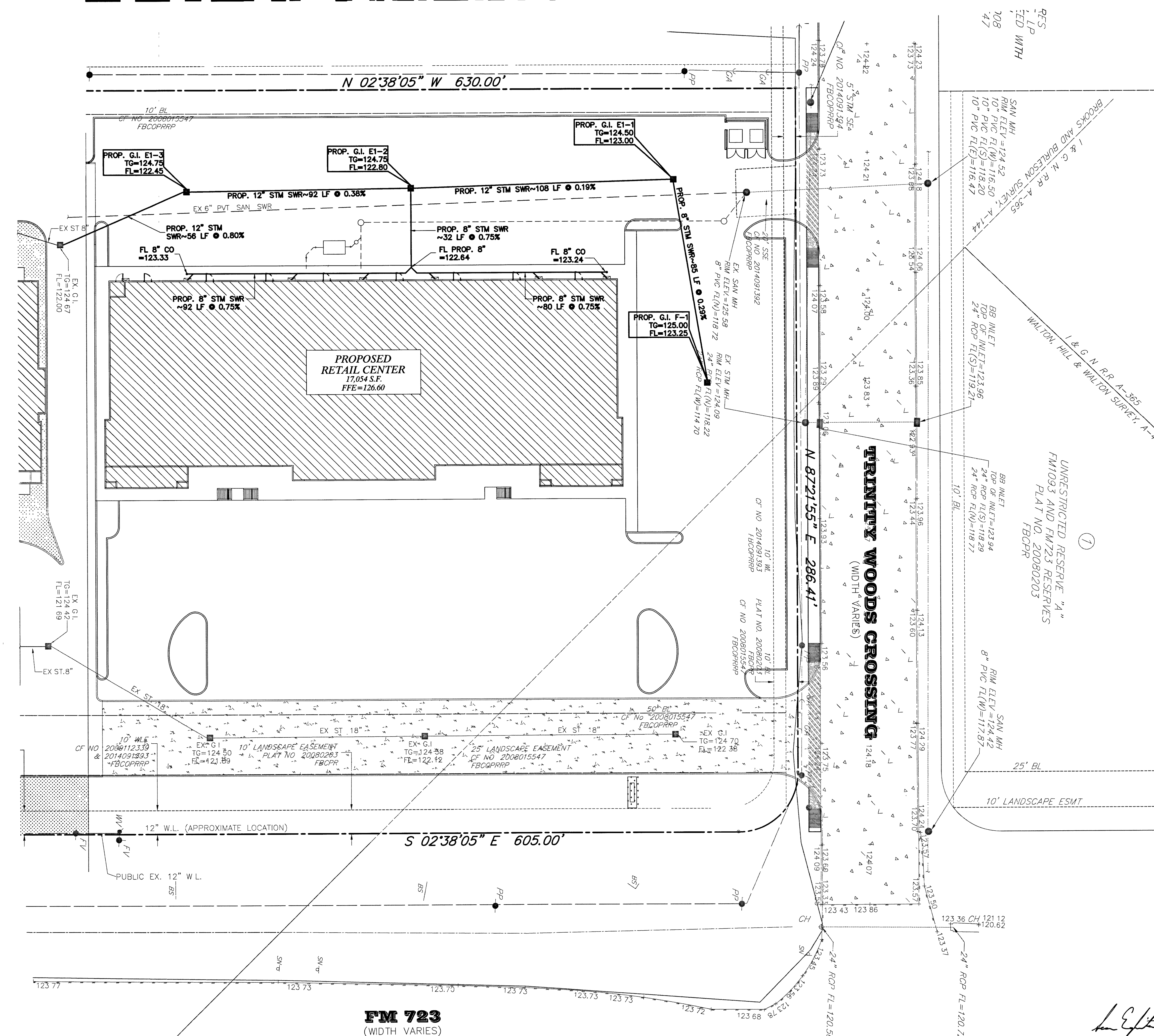
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 12" VERTICAL CLEARANCE BETWEEN STORM SEWER AND OTHER EXISTING OR NEW UTILITIES PIPING.
- 6-INCH TO 12-INCH STORM SEWER SHALL BE PVC SDR-35 PER ASTM 3034. PVC JOINTS SHALL BE PUSH ON, FLEXIBLE ELASTOMERIC GASKET CONFORMING TO ASTM D-3212.
- STORM SEWER PIPES 18-INCH AND LARGER SHALL BE HDPE POLYETHYLENE PIPE WITH A SMOOTH INTERIOR WALL. PIPE(S) SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS UNLESS NOTED OTHERWISE.
- PIPE CROSSINGS OR PIPES INSTALLED IN STREET R.O.W. SHALL BE REINFORCED CONCRETE PIPE PER ASTM C-76, CLASS III. ALL SIZES OF CONCRETE PIPE SHALL BE INSTALLED WITH APPROVED RUBBER GASKET JOINTS PER ASTM.
- BACKFILL OF SEWER TRENCH TO BE COMPACTED TO 95% STANDARD PROCTOR DENSITY AT OPTIMUM MOISTURE IN 6" LIFTS. INSTALL PIPE FROM LOW END IN AN UPSTREAM DIRECTION.
- ALL GRATE INLETS SHALL HAVE TRAFFIC DUTY CAST-IRON GRATES TO MEET HS-20 LOADING.
- STORM SEWER BEDDING AND BACKFILL, ADJOINING INLETS AND MANHOLES SHALL BE CEMENT STABILIZED SAND IN ACCORDANCE WITH THE DETAILS.
- INLETS IN THE PAVED AREAS ARE TO BE PLACED ALIGNED WITH THE CENTERLINE OF DRIVING AISLES OR AS SHOWN ON CONSTRUCTION DOCUMENTS.
- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF EXISTING UTILITY LINES PRIOR TO CONSTRUCTION.
- FIELD ADJUST ROOF DRAIN LINE CONNECTIONS AS NEEDED TO ENSURE POSITIVE DRAINAGE. MAINTAIN 18" COVER IN ALL YARD AREAS WITH ROOF DRAIN LINE CONNECTIONS.

LEGEND:

- PROPOSED STORM SEWER LINE
- PROPOSED SANITARY SEWER
- PROPOSED GRATE INLET TYPE "A"
- TO = TOP OF GRATE
- TR = TOP OF RIM
- FL = FLOW LINE
- GI = AREA GRATE INLET
- WM = WATER METER
- WL = WATER LINE
- MH = MANHOLE
- CO = CLEANOUT

FORT BEND COUNTY MUNICIPAL DISTRICT NUMBER 142 ENGINEER, DATE
SIGNATURE VALID FOR ONE (1) YEAR

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marcela@urbanareaco.com

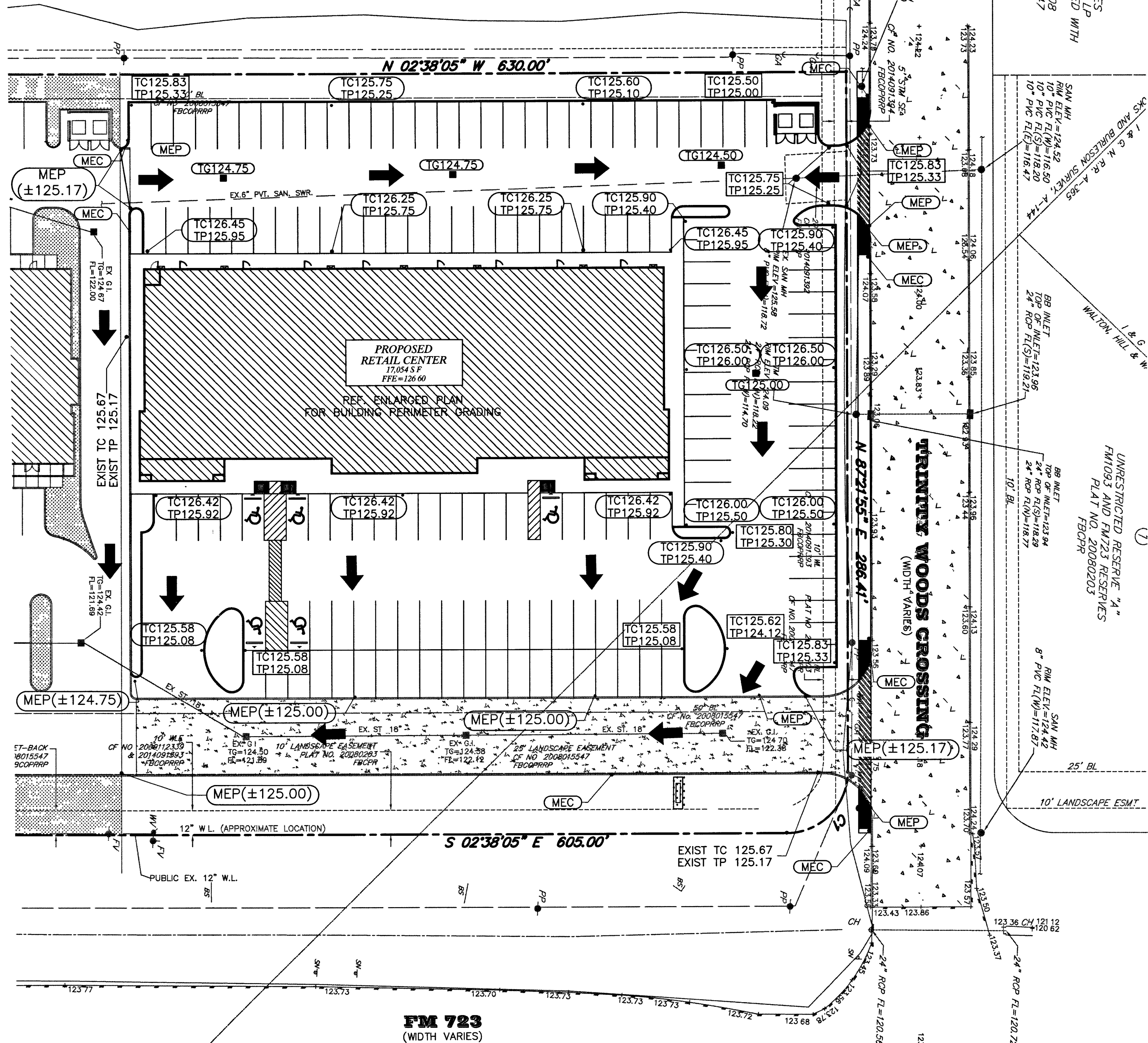


8/10/17



fax: 832-203-1674
tel: 832-274-2146
marcela@urbanareaco.com

CALLED 6.005 ACRES
CORPORATION OF THE PRESIDING
BISHOP OF THE CHURCH OF
JESUS CHRIST OF LATTER-DAY SAINTS
SPECIAL WARRANTY DEED
MAY 1, 2015
CF NO. 2015068158
FBCOPRRP



FM 723
(WIDTH VARIES)

EXTREME EVENT PONDING ELEVATION 125.33'

LEGEND:

- | | |
|----------------------|---|
| TC125.50 | PROPOSED TOP OF CURB ELEVATION |
| TP125.00 | PROPOSED TOP OF PAVEMENT ELEVATION |
| TC124.50 | PROPOSED TOP OF GRATE ELEVATION |
| MEC | MATCH EXISTING CURB ELEVATION |
| MEP | MATCH EXISTING PAVEMENT ELEVATION |
| TC=+6" EP | PROPOSED TOP OF CURB ELEVATION TO BE 6-INCHES ABOVE EXISTING PAVEMENT |
| MEP(±125.17) | MATCH EXISTING PAVEMENT ELEVATION (APPROXIMATE EXISTING ELEVATION) |
| TC125.83
TP125.33 | EXTREME EVENT PONDING ELEVATIONS |
| → | EXTREME EVENT SHEET FLOW DIRECTION |

GRADING

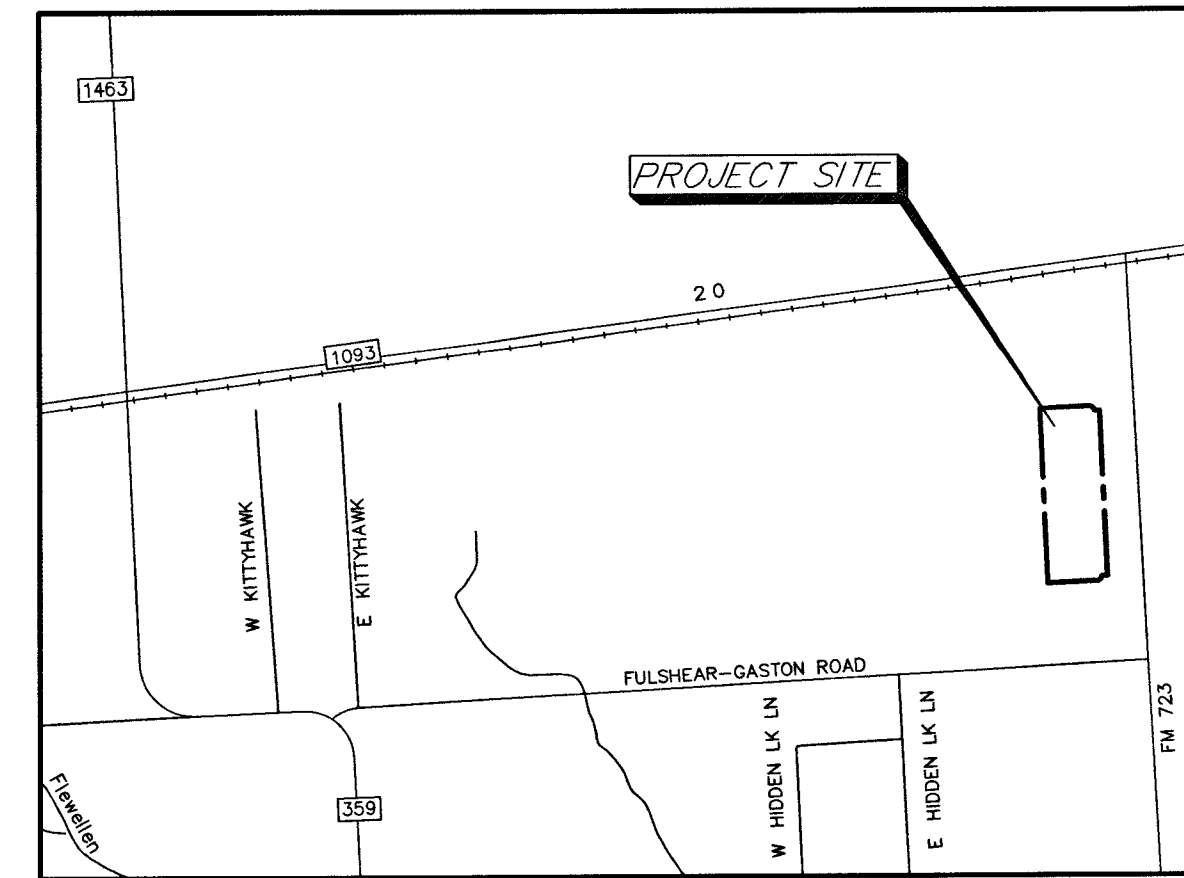
- CONTRACTOR SHALL CUT AND FILL SITE AS REQUIRED TO OBTAIN FINISHED ELEVATIONS SHOWN ON PLANS. COMPACT SELECTED BACKFILL TO 95% STANDARD PROCTOR DENSITY AS PER ASTM D-1558.
- YARD AREAS, SIDEWALKS AND PAVEMENT SHALL BE GRADED TO DRAIN AWAY FROM THE BUILDING(S). FINISHED SURFACES IN ACCESSIBLE AREAS SHALL CONFORM TO THE REQUIREMENTS AMERICAN WITH DISABILITIES ACT AND TEXAS ACCESSIBILITY STANDARDS. ACCESSIBLE ROUTES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS. ALL PAVING, SIDEWALKS AND RAMPS IN ACCESSIBLE AREAS SHALL COMPLY WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT, TEXAS ACCESSIBILITY STANDARDS AND THE FOLLOWING:
 - PARKING AND LOADING AREAS - MAXIMUM SLOPE OF 1.50 IN ALL DIRECTIONS IN ACCESSIBLE PARKING SPACES AND AISLES.
 - ACCESSIBLE ROUTES - MAXIMUM SLOPE OF 1.20 IN THE DIRECTION OF TRAVEL AND MAXIMUM CROSS SLOPE OF 1.50.
 - BUILDING ENTRANCES AND EXITS - AT ALL LOCATIONS 5'X5' (MINIMUM) ACCESSIBLE, CONCRETE WALK WITH THE MAXIMUM SLOPE OF 1.50 IN ALL DIRECTIONS.
- CONTRACTOR SHALL GRADE THE SITE TO MATCH EXISTING GROUND AT THE LIMITS OF THE PROJECT SITE. ALL DRAINAGE ENTERING THE PROJECT AREA SHALL BE INTERCEPTED IN THE FINAL GRADE. TRANSITIONS TO EXISTING GROUND THAT ARE DIFFERENT FROM THE PLANS SHALL BE COORDINATED PRIOR TO FINAL GRADING.
- ALL AREAS WITHIN THE PROJECT SITE SHALL BE GRADED TO DRAIN TO ON-SITE STORM SEWERS.
- CONTRACTOR SHALL VERIFY ALL ELEVATIONS, DIMENSIONS AND CONDITIONS IN THE FIELD BEFORE COMMENCING ANY WORK. CONTRACTOR SHALL REPORT ANY CONFLICTS OR VARIATIONS AND RESOLVE ALL CHANGES WITH THE OWNER AND/OR ENGINEER PRIOR TO COMMENCING WORK.
- EXCAVATIONS MATERIAL SHALL BE DISPOSED OF PROPERLY.
- TOP OF WALK ELEVATIONS AT ALL DOORS IS 34.73.

THE SHOPPES OF RICHMOND LAKES
MINIMUM SLAB ELEVATION ANALYSIS
FORT BEND COUNTY DRAINAGE DISTRICT

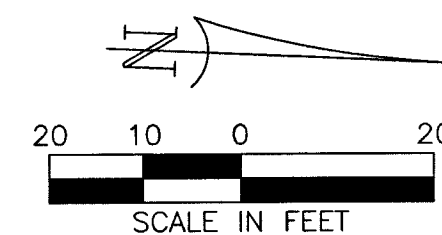
THE MINIMUM SLAB ELEVATION FOR THIS SECTION SHALL BE 126.60'. IT HAS BEEN DETERMINED USING THE FORT BEND COUNTY REGULATIONS OF SUBDIVISIONS, SEC 4.16 AND FORT BEND COUNTY DRAINAGE CRITERIA MANUAL REQUIREMENTS AS FOLLOWS:

- NOT LESS THAN EIGHTEEN INCHES ABOVE THE 100-YEAR FLOODPLAIN OR IMPACTING WATER SURFACE ELEVATION. THE IMPACTING 100-YEAR WATER SURFACE ELEVATION IS 123.40' WITHIN (HORSESHOE RIDGE DETENTION FACILITY) (MINIMUM SLAB IS 3.20' ABOVE).
- NOT LESS THAN TWELVE INCHES ABOVE THE MAXIMUM PONDING OR SHEET FLOW ELEVATION WITHIN THE SITE DURING AN EXTREME EVENT. THE MAXIMUM ANTICIPATED PONDING LEVEL WITHIN THE SITE IS AT AN ELEVATION OF 125.33' (MINIMUM SLAB ELEVATION IS 1.27' ABOVE).
- NOT LESS THAN 18 INCHES ABOVE THE HIGHEST NATURAL GROUND AT ANY POINT ON THE PERIMETER OF THE LOWEST SLAB. THE HIGHEST NATURAL GROUND AT THE PERIMETER OF THE LOWEST SLAB IS 125.10' (MINIMUM SLAB ELEVATION IS 1.50' ABOVE).

BASED ON THE CRITERIA LISTED ABOVE, THE MINIMUM SLAB ELEVATION SHALL 126.60' ABOVE MEAN SEA LEVEL



VICINITY MAP



BENCHMARK

FORT BEND COUNTY MONUMENT #99 LOCATED AT THE NORTHWEST CORNER INTERSECTION OF CANYON FIELDS DRIVE AND LAKEFAIR DRIVE
ELEV=125.83 FEET (NAVD 88)

TEMPORARY "A" BENCHMARK

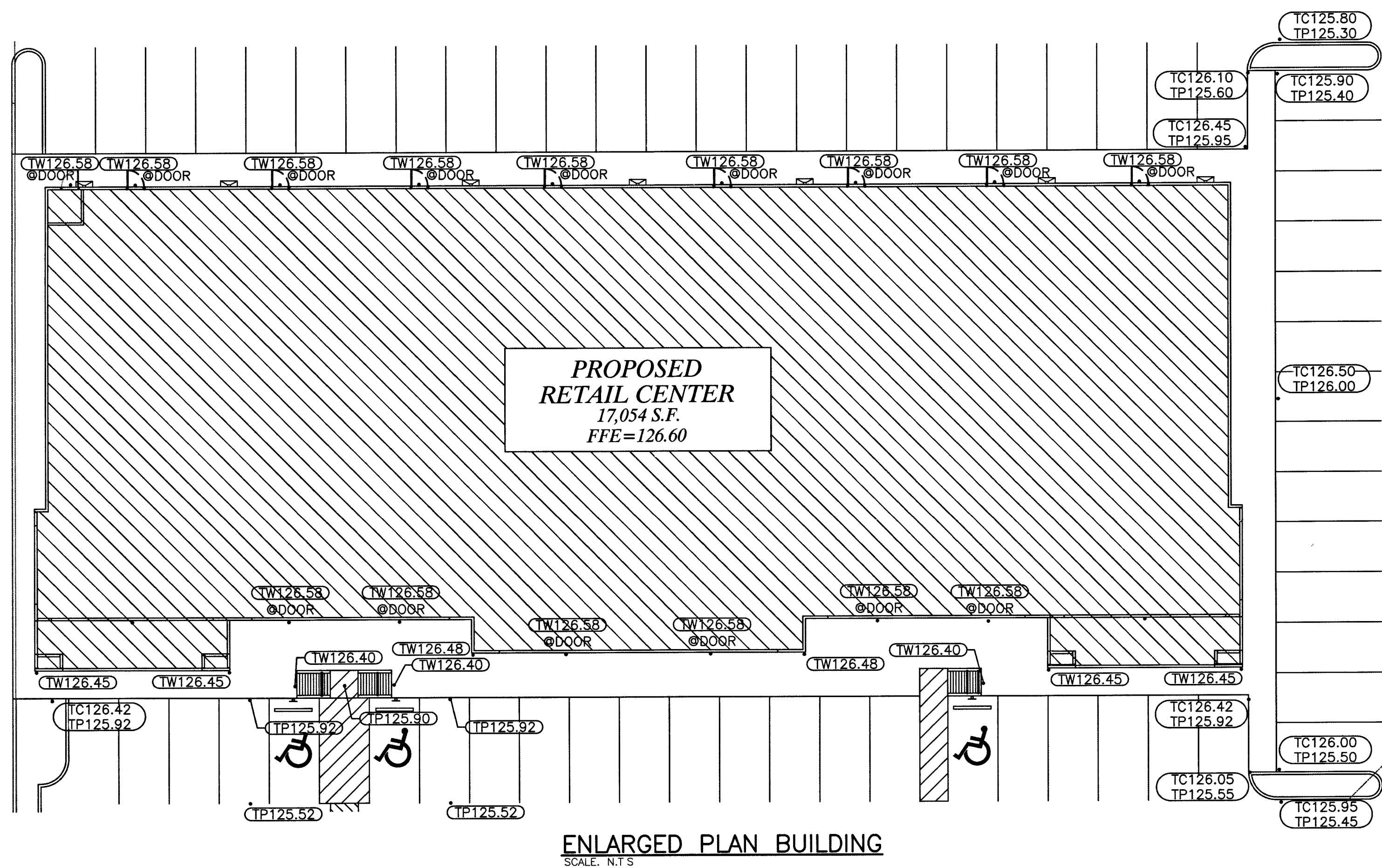
SQUARE CUT ON A CONC. HEADWALL SOUTH OF TRINITY WOODS CROSSING
ELEV=123.22 (NAVD 88)

TEMPORARY "B" BENCHMARK

SQUARE CUT ON A CONC. HEADWALL ALONG ENTRANCE DRIVE NORTH CULVERT
ELEV=122.96 (NAVD 88)

FLOODPLAIN INFORMATION

THIS SITE LIES IN UN SHADED ZONE "X", AN AREA DETERMINED TO BE OUTSIDE THE 100 YEAR FLOODPLAIN, AS SHOWN ON F.E.M.A FLOOD INSURANCE RATE MAP NUMBER 48157C0105L, DATED APRIL 2, 2014



ENLARGED PLAN BUILDING
SCALE: N.T.S.

8/10/17

FORT BEND COUNTY MUNICIPAL DISTRICT NUMBER 142 ENGINEER, DATE
SIGNATURE VALID FOR ONE (1) YEAR

URBAN-AREA
ARCHITECTS



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TDC FIRM NO. 110
CSF PROJECT # 3267

revisions:

SHOPPES @ RICHMOND
LAKES

9115 FM 723 RD. RICHMOND, TX. 77406

CLINARD PROPERTIES
25207 DUNLAP MEADOWS LN KATY TX. 77494

date:

06-15-17

drawn by:

AZ

checked by:

DV

file No:

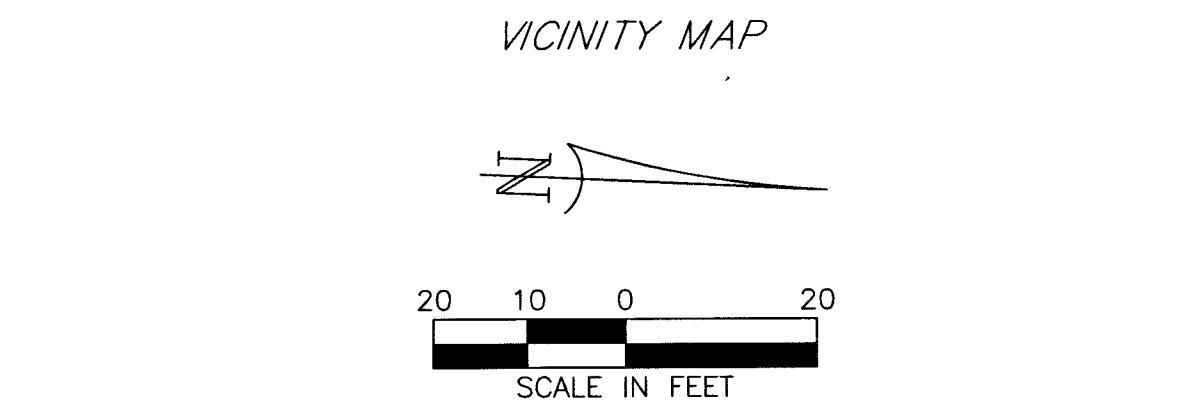
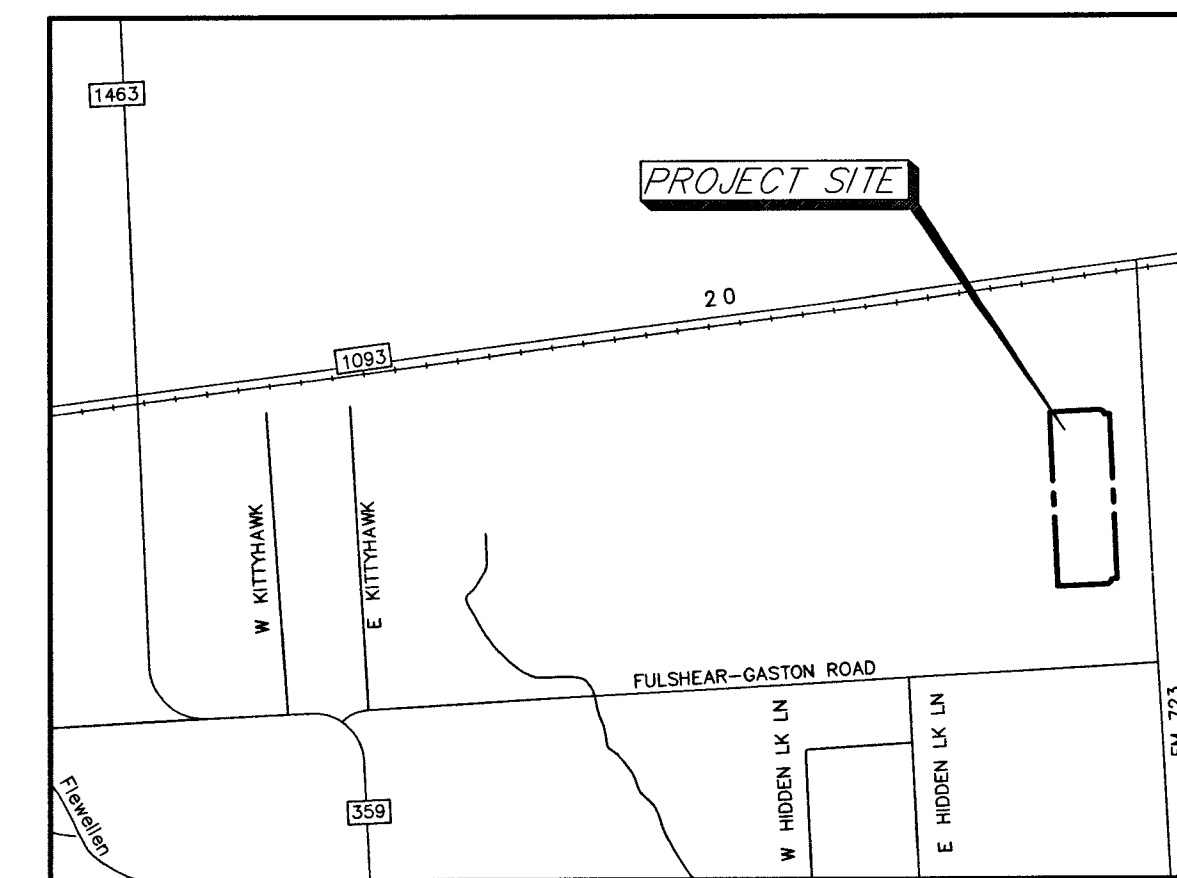
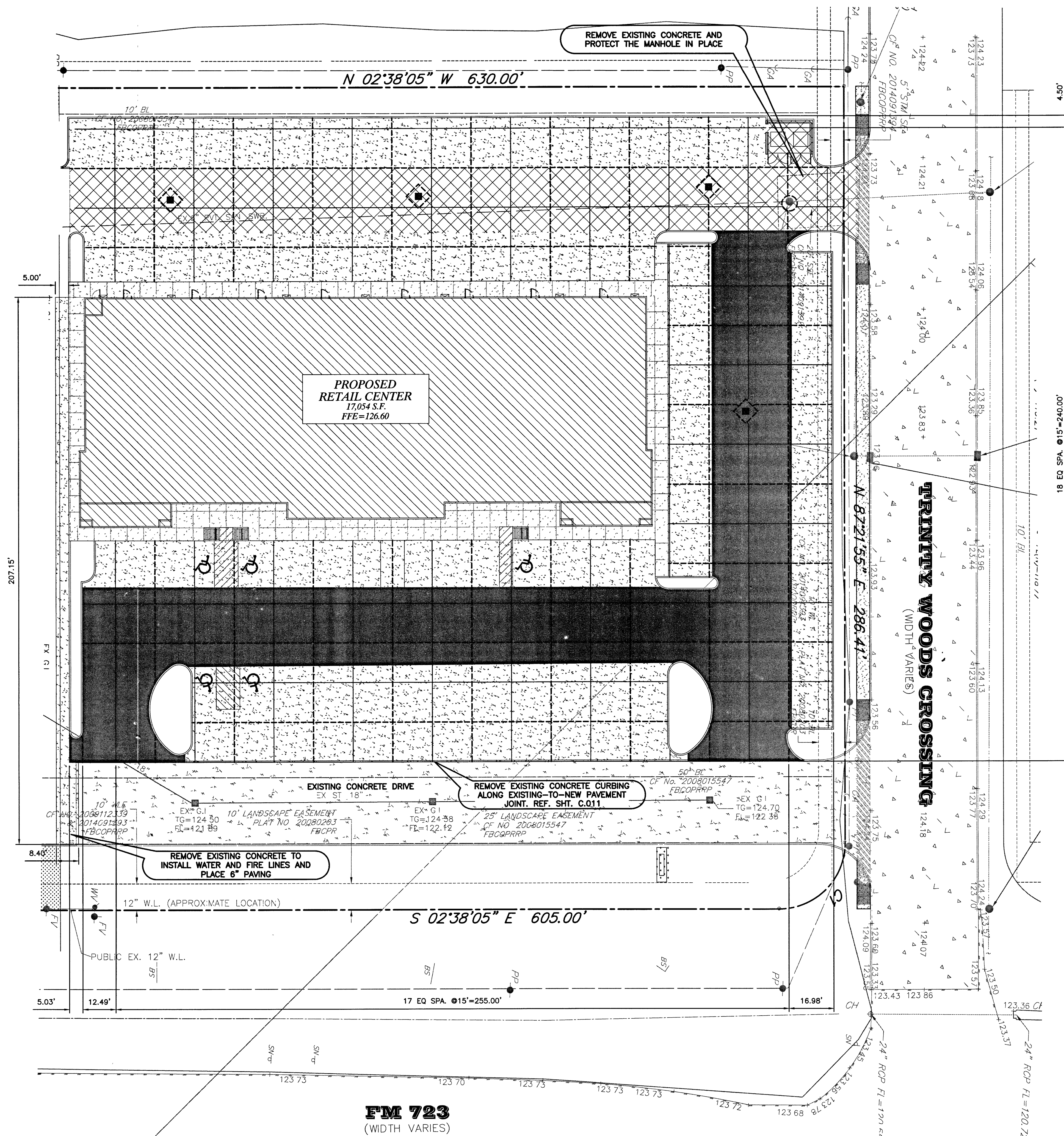
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GRADING PLAN

sheet number:

C.009

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BENCHMARK
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ELEV=125.83 FEET (NAVD 88)

TEMPORARY "A" BENCHMARK
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ELEV=123.22 (NAVD 88)

TEMPORARY "B" BENCHMARK
SQUARE CUT ON A CONC. HEADWALL ALONG ENTRANCE DRIVE NORTH CULVERT
ELEV=122.96 (NAVD 88)

FLOODPLAIN INFORMATION
THIS SITE LIES IN UN SHADED ZONE "X", AN AREA DETERMINED TO BE OUTSIDE THE 100 YEAR FLOODPLAIN, AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP NUMBER 48157C0105L, DATED APRIL 2, 2014

- PAVING**
1. PAVING AND SUBGRADE MATERIALS AND PROCEDURES TO BE IN CONFORMANCE WITH PROJECT DRAWINGS, SOILS REPORT, DETAILS ON PLANS AND PROJECT SPECIFICATIONS.
 2. CONTRACTOR SHALL CUT AND FILL SITE AS REQUIRED TO OBTAIN FINISHED ELEVATIONS SHOWN ON PLANS. COMPACT SELECTED BACKFILL TO 95% STANDARD PROCTOR DENSITY AS PER ASTM D-698.
 3. CONTRACTOR TO PROVIDE TEMPORARY MEASURES TO CONTROL STORM WATER RUN OFF DURING CONSTRUCTION AS REQUIRED TO MINIMIZE EROSION AND POLLUTION (REF. SHEET 5 & 6)
 4. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS FROM CONTROLLING GOVERNMENTAL AGENCIES
 5. REFERENCE GEOTECHNICAL REPORT FOR PREPARATION OF THE SITE SUBGRADE
 6. REFERENCE GEOTECHNICAL REPORT FOR RECOMMENDED & MINIMUM CONCRETE PAVEMENT STRENGTH @ AT 28 DAYS AND A MINIMUM FLEXURAL STRENGTH/MODULUS OF RUPTURE. COARSE AGGREGATE SHALL HAVE A MINIMUM DIAMETER OF ONE AND ONE-HALF (1-1/2) INCHES. TRAFFIC SHALL BE PROHIBITED ON NEWLY COMPLETED PAVEMENT. SAW CUT PAVEMENT JOINTS SHALL BE COMPLETED WITHIN 6 TO 12 HOURS AFTER CONCRETE IS PLACED.
 7. CONCRETE SHALL BE CURED BY PROTECTING IT AGAINST LOSS OF MOISTURE, RAPID TEMPERATURE CHANGE, FOR AT LEAST 3 DAYS AFTER CONCRETE PLACEMENT.
 8. REINFORCING STEEL SHALL BE NEW BILLET STEEL AS FOLLOWS: REBAR SHALL CONFORM TO ASTM A615, GRADE 60 FOR ALL BARS, WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185
 9. ALL PAVING SHALL BE CONSTRUCTED ON A STRAIGHT LINE GRADE BETWEEN ELEVATIONS SHOWN ON THE PLANS. CONTRACTOR SHALL CONFIRM IN THE FIELD THAT ALL PAVED AREAS ARE CONSTRUCTED TO DRAIN WITHOUT HOLDING WATER.
 10. ISOLATION JOINTS SHALL BE PLACED AT ALL LOCATIONS THAT SITE PAVING & SIDEWALKS ADJUT TO THE BUILDING AND OTHER SITE STRUCTURES. ISOLATION JOINTS SHALL HAVE A REMOVABLE TOP STRIP AND SHALL BE SEALED WITH PAVING JOINT SEALANT. (REF. SHT. "C.011")
 11. EXACT JOINT LOCATION SHALL BE SET IN FIELD.
 12. CONTRACTOR SHALL CONFIRM EXISTING ELEVATIONS ADJOINING PROPOSED PAVING TO ASSURE THAT COMPLETE PAVING WILL PROPERLY DRAIN AND WILL NOT OBSTRUCT EXISTING DRAINAGE.
 13. REFERENCE ARCHITECTURAL FOR SIDEWALK JOINT LAYOUT

LEGEND:

	4" CONCRETE SIDEWALK PAVEMENT (REF. SHT. "C.011")
	5" CONCRETE PAVEMENT (REF. SHT. "C.011")
	6" CONCRETE PAVEMENT (REF. SHT. "C.011")
	7" CONCRETE PAVEMENT (REF. SHT. "C.011")
	EXPANSION JOINT (EJ) (REF. SHT. "C.011")
	CONTROL JOINT (CJ) (REF. SHT. "C.011")

ONE-CALL NOTIFICATION SYSTEM
CALL BEFORE YOU DIG!!!
(713) 223-4567 (In Houston)
(New Statewide Number Outside Houston)
1-800-245-4545

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BASED ON INFORMATION PROVIDED ON SURVEY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK

APPROVED:
Development Coordinator
DATE: 8/10/17

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URBAN-AREA ARCHITECTS

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AHMED ZGHAIR
125149
6/19/2017
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TXPE 00440, F-4305
CSF PROJECT # 3297

revisions:

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SHOPPES @ RICHMOND LAKES

9115 FM 723 RD. RICHMOND, TX. 77406

CLINARD PROPERTIES
25207 DUNLAP MEADOWS LN. KATY, TX. 77494

date: 06-15-17

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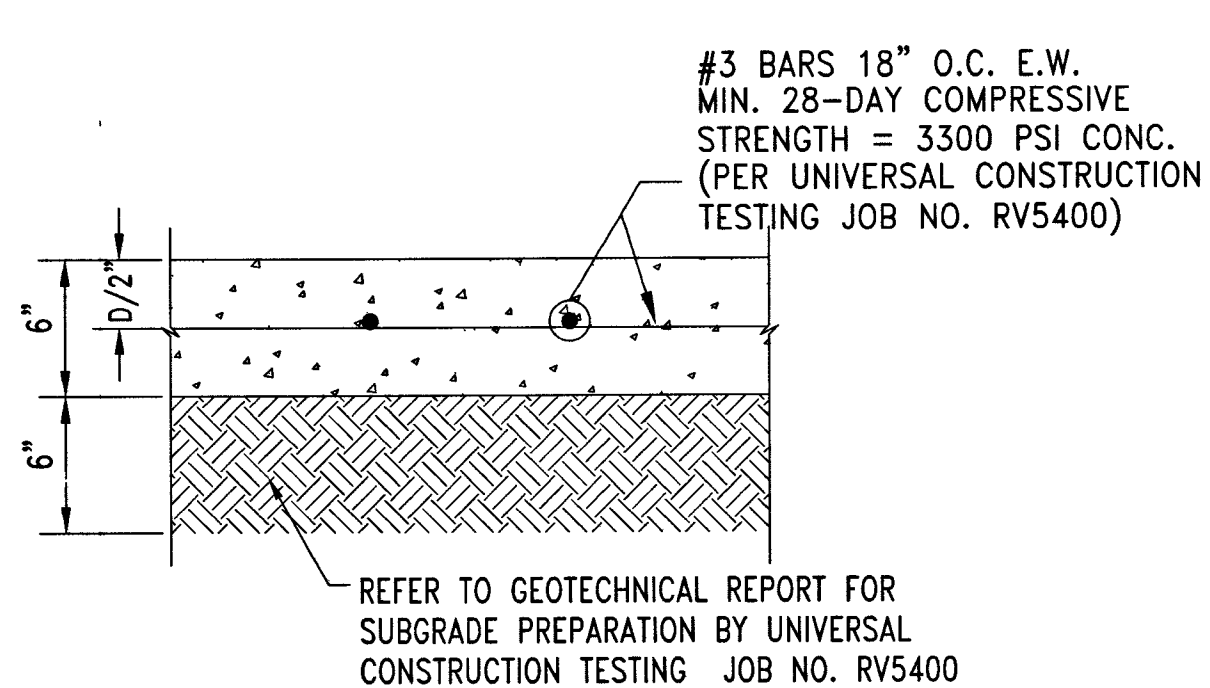
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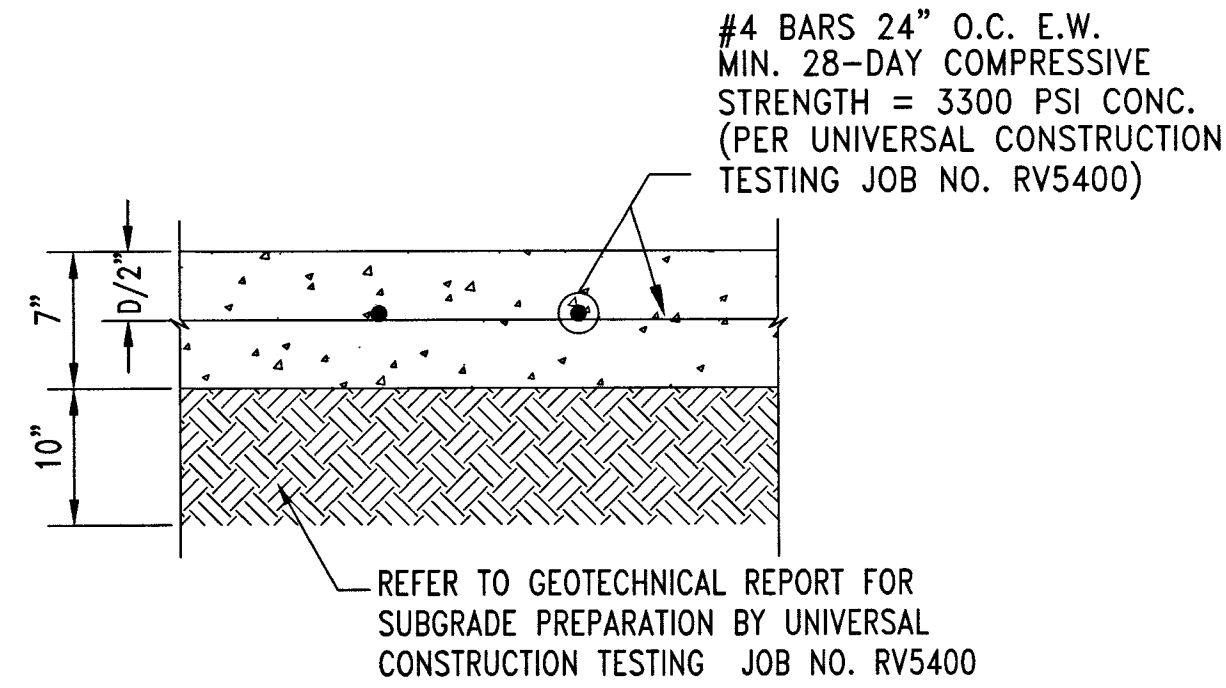
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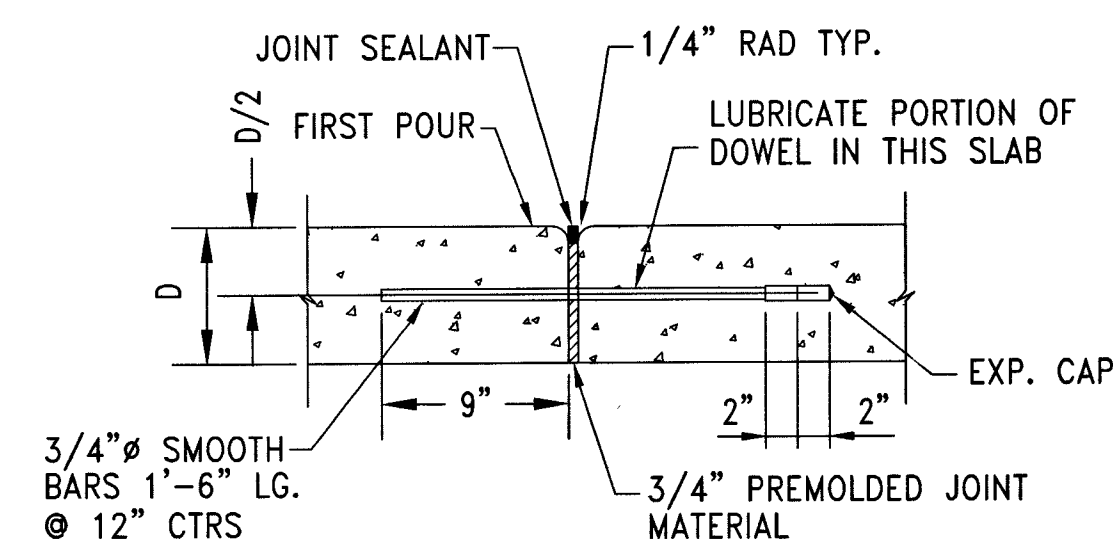
6" CONCRETE DESIGN

SCALE NTS



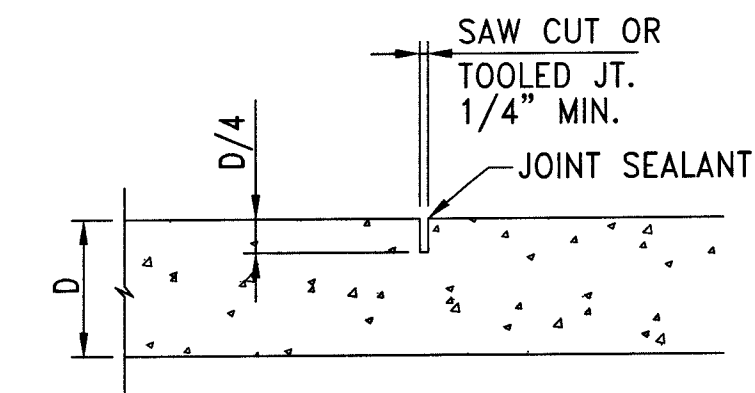
7" CONCRETE DESIGN

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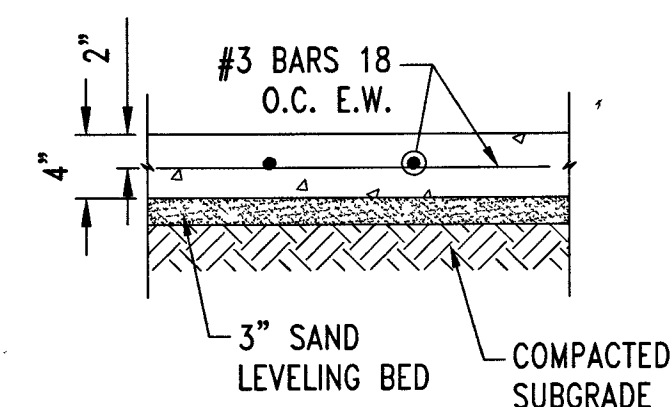
EXPANSION JOINT (EJ)

SCALE NTS



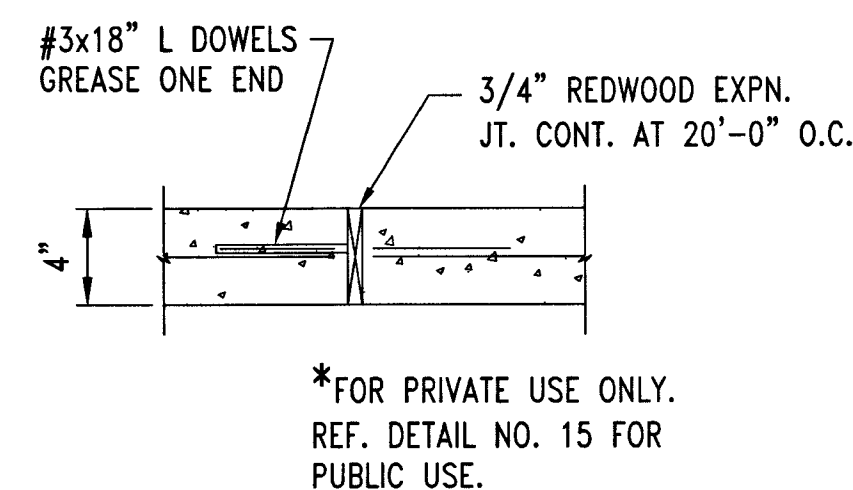
CONTROL JOINT (CJ)

SCALE NTS



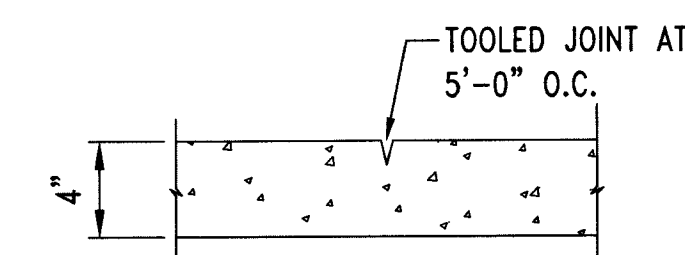
4" CONCRETE SIDEWALK DESIGN

SCALE NTS



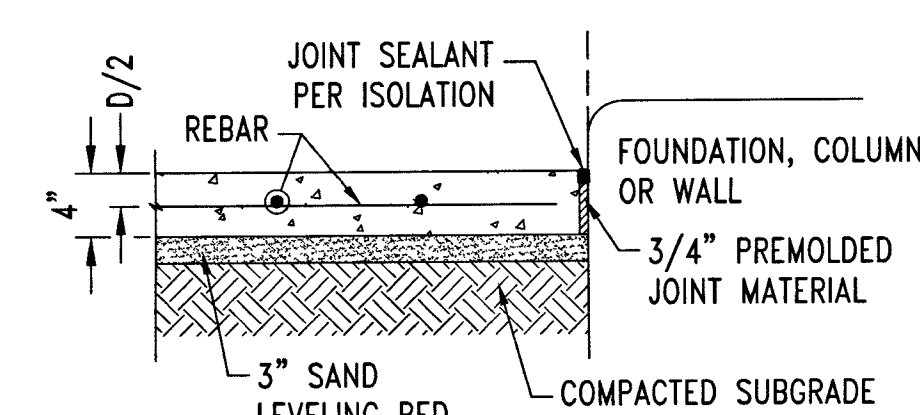
WALK EXPANSION JOINT

SCALE NTS



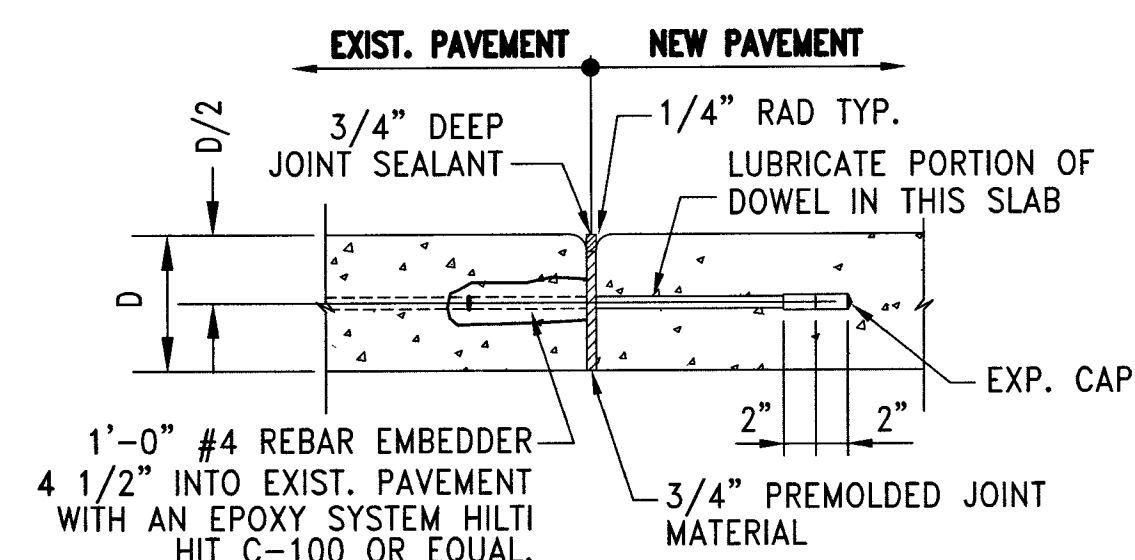
WALK JOINT

SCALE NTS



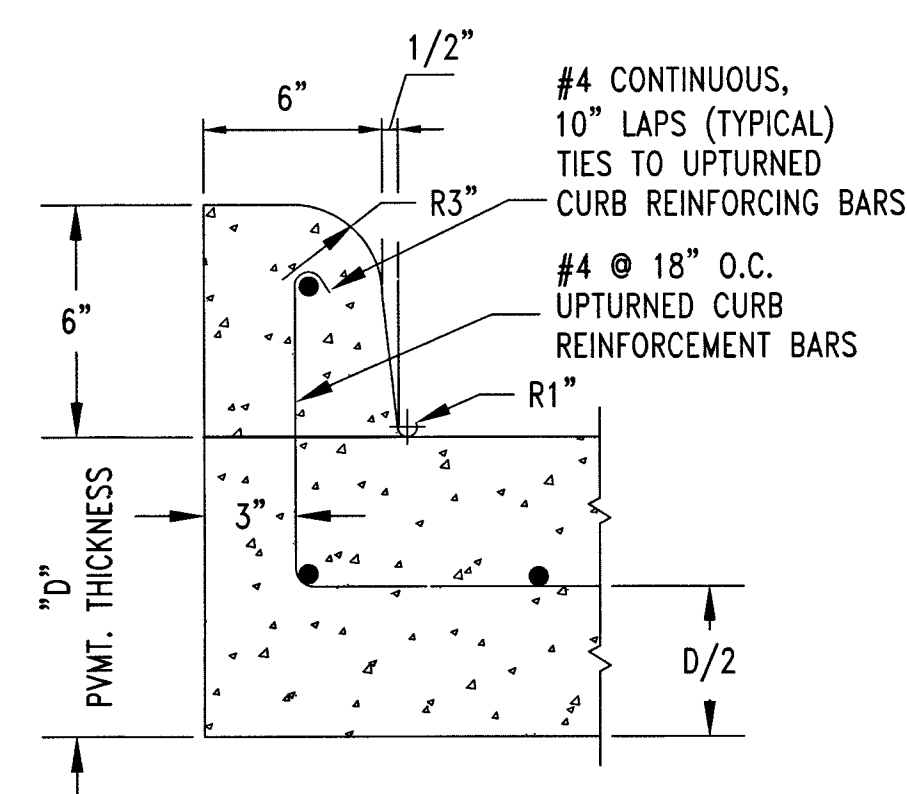
WALK ISOLATION JOINT

SCALE NTS



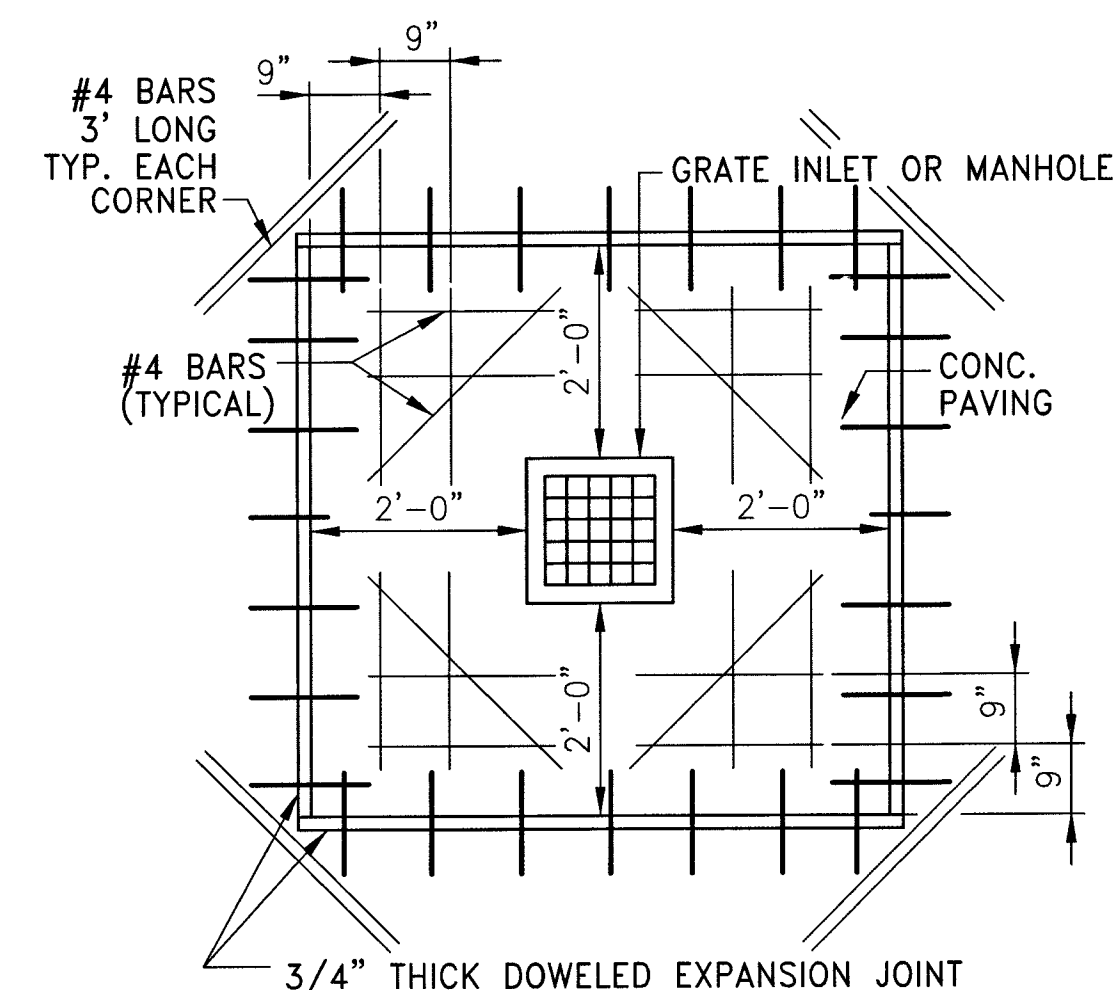
EXIST / NEW EXPANSION JT.

SCALE NTS



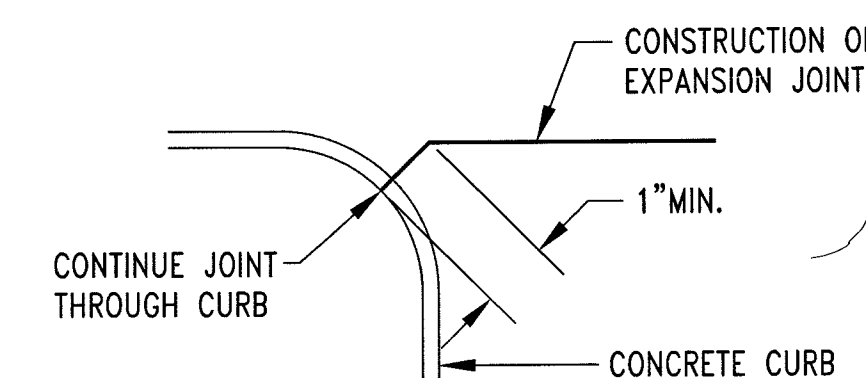
CONC. CURB & PAVING DETAIL

SCALE NTS



AREA GRATE INLET BLOCKOUT

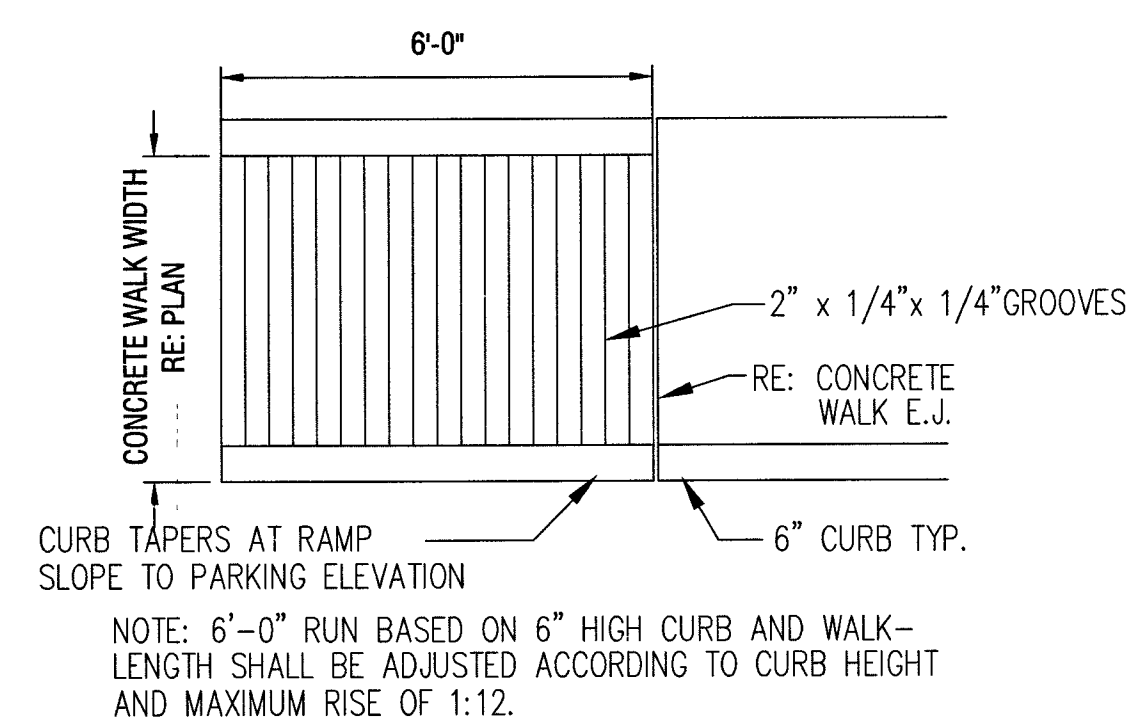
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NOTE:
ALL EXPANSION AND CONSTRUCTION
JOINTS SHOULD MEET THE CURB
AT A RIGHT ANGLE AND CONTINUE
THROUGH THE CURB.

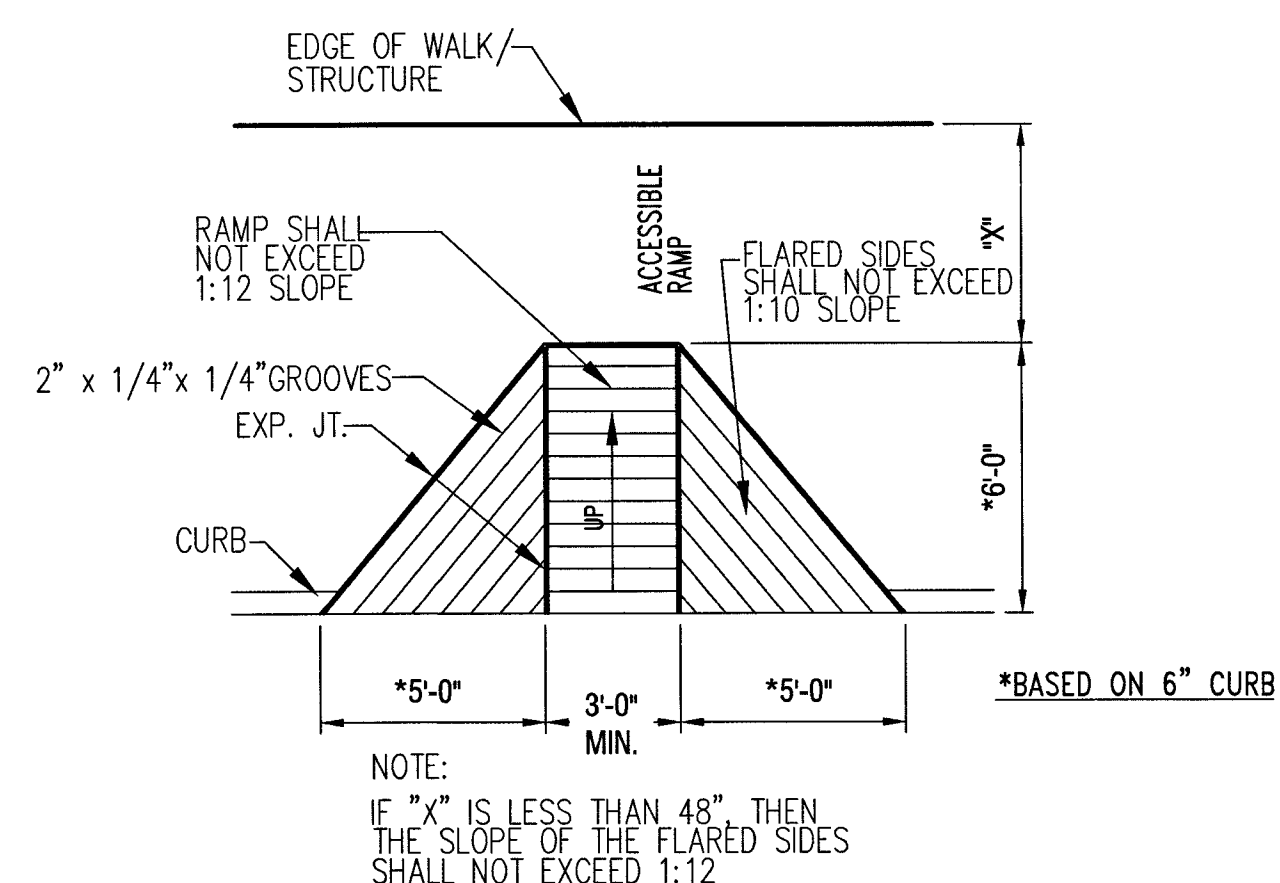
JOINT @ CURB RADIUS DETAIL

SCALE NTS



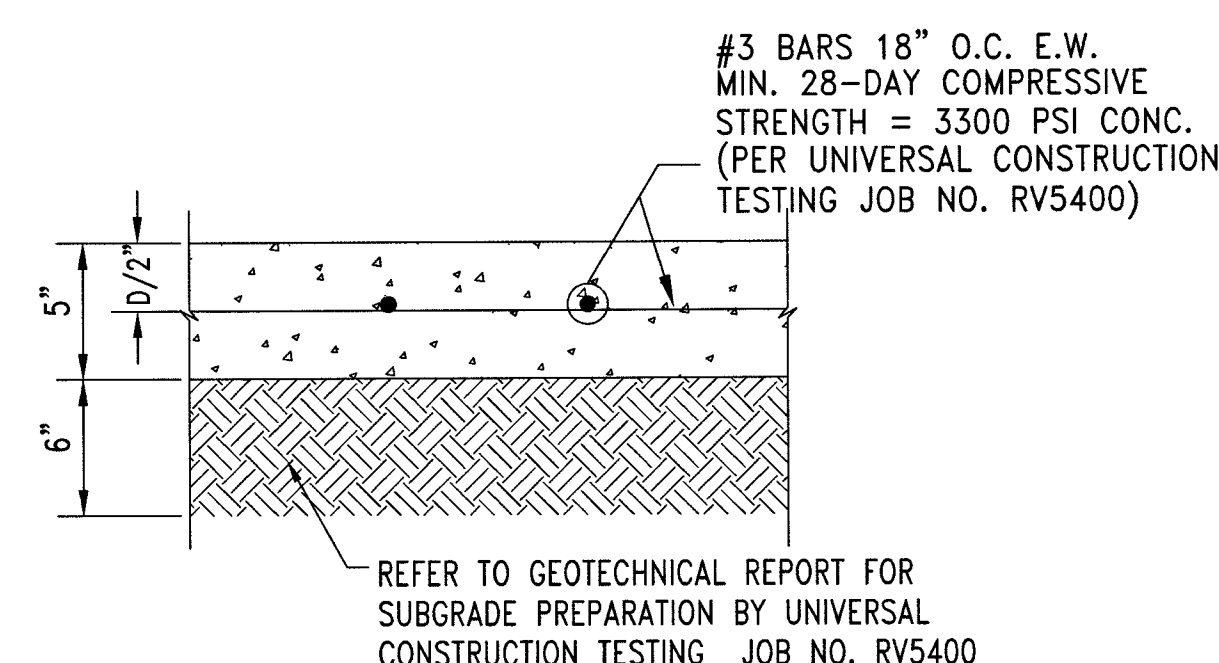
ADA-PARALLEL CURB RAMP

SCALE NTS



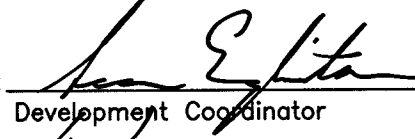
ADA-FLARED CURB RAMP

SCALE NTS



5" CONCRETE DESIGN

SCALE NTS

APPROVED: 
Development Coordinator
DATE: 8/10/17

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URBAN-AREA
ARCHITECTS



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TSP: FIRM NO. T-4362
CSF PROJECT # 3307

revisions:

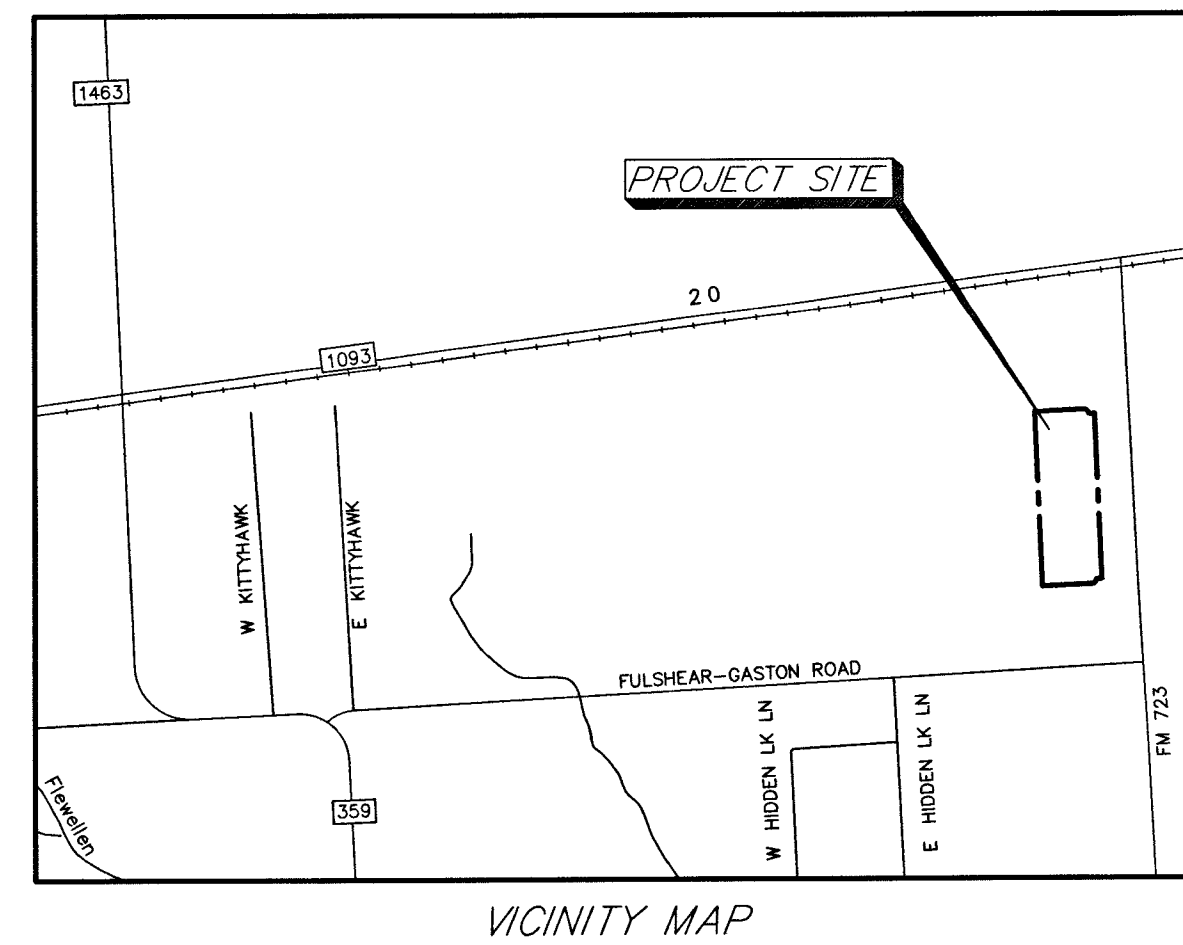
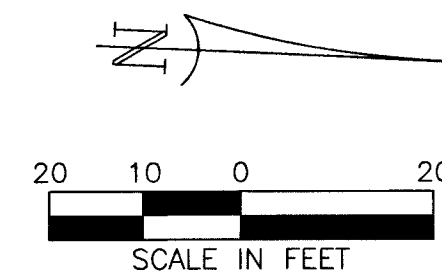
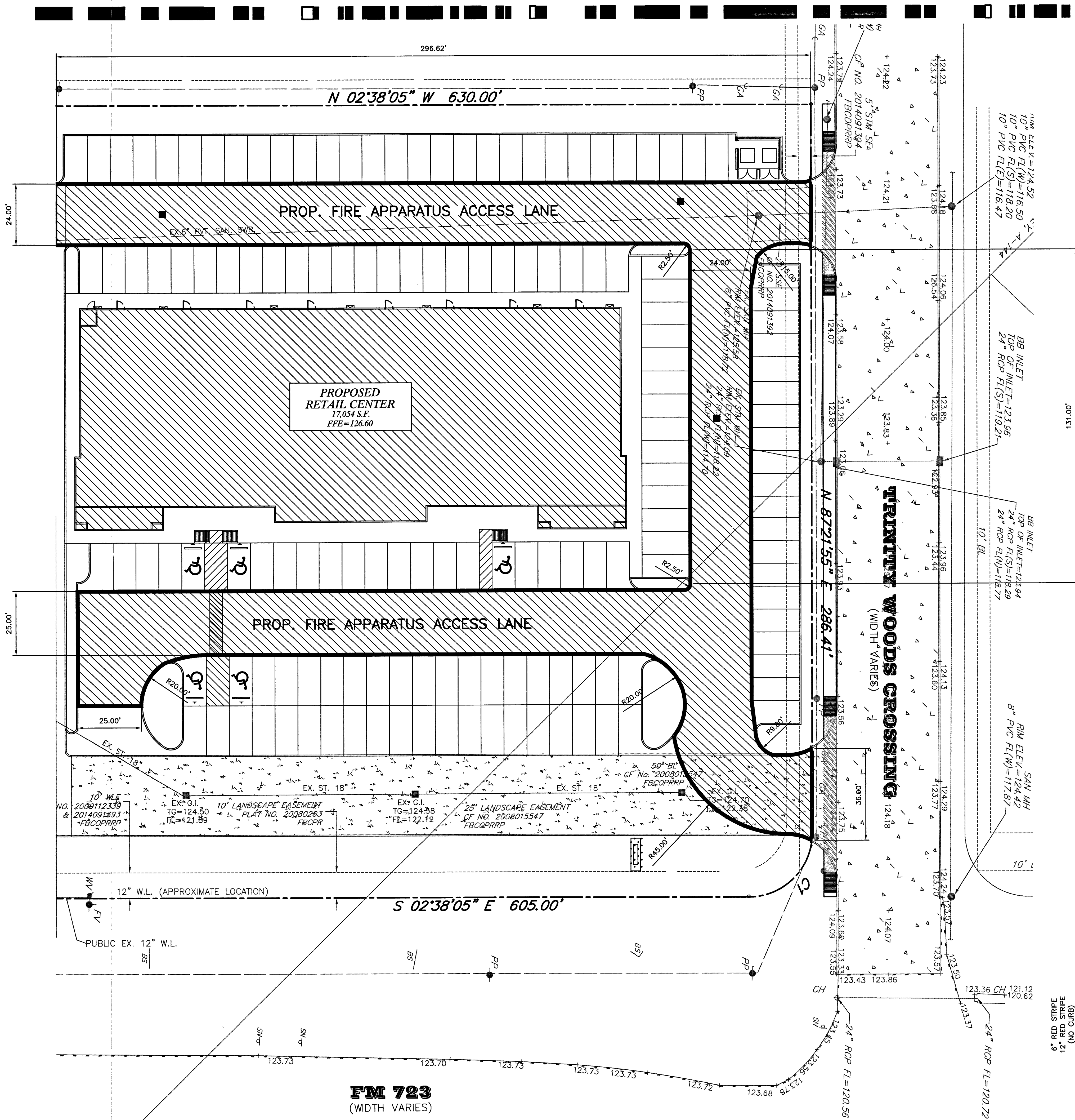
SHOPPES @ RICHMOND
LAKES
9115 FM 723 RD. RICHMOND, TX. 77406

CLINARD PROPERTIES
25207 DUNLAP MEADOWS LN. KATY, TX. 77494

date: 06-15-17
drawn by: AZ
checked by: DV
file No:

content:
PAVING DETAILS

sheet number:
C.011



BENCHMARK

FORT BEND COUNTY MONUMENT #99 LOCATED AT THE NORTHWEST CORNER INTERSECTION OF CANYON FIELDS DRIVE AND LAKEFAIR DRIVE
ELEV=125.83 FEET (NAVD 88)

TEMPORARY "A" BENCHMARK

SQUARE CUT ON A CONC. HEADWALL SOUTH OF TRINITY WOODS CROSSING
ELEV=123.22 (NAVD 88)

TEMPORARY "B" BENCHMARK

SQUARE CUT ON A CONC. HEADWALL ALONG ENTRANCE DRIVE NORTH CULVERT
ELEV=122.96 (NAVD 88)

FLOODPLAIN INFORMATION

THIS SITE LIES IN UN SHADED ZONE "X", AN AREA DETERMINED TO BE OUTSIDE THE 100 YEAR FLOODPLAIN, AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP NUMBER 48157C0105L, DATED APRIL 2, 2014.

FIRE LANE

- "FIRE LANE NO PARKING TOW-AWAY ZONE" TO BE PAINTED THE ENTIRE LENGTH OF DEDICATED FIRE LANE.
- FIRE LANE MARKINGS SHALL BE PLACED UPON THE VERTICAL SURFACE OF CURBS.
- WHERE THE ABOVE FIRE LANE MARKINGS ARE DETERMINED TO BE INADEQUATE IN CONTROLLING TRAFFIC OR NOT PRUDENT TO THE APPLICATION, THE PROPERTY OWNER WILL BE REQUIRED TO POST APPROVED FIRE LANE SIGNS IN PLACE OF PAINTED AREAS OF THE ROADWAY BOTH PUBLIC AND PRIVATE.
- WHEN RESTRIPING, ADDITIONS TO THE EXISTING FIRE LANES ARE NOT ALLOWED WITHOUT PRIOR APPROVAL OF THE FIRE DEPARTMENT.
- FIRE APPARATUS ACCESS ROADS 20 FEET TO 26 FEET WIDE SHALL BE POSTED ON BOTH SIDES AS A FIRE LANE.
- FIRE APPARATUS ACCESS ROADS MORE THAN 26 FEET WIDE TO 32 FEET WIDE SHALL BE POSTED ON ONE SIDE OF THE ROAD AS A FIRE LANE.
- WHERE A FIRE HYDRANT IS LOCATED ON A FIRE APPARATUS ACCESS ROAD, THE MINIMUM ROAD WIDTH SHALL BE 26 FEET.

MAINTENANCE

ALL DESIGNATED FIRE LANES/FIRE DEPARTMENT ACCESS ROADWAYS SHALL BE MAINTAINED AND KEPT IN A STATE OF GOOD REPAIR AT ALL TIMES BY THE OWNER OR PERSON IN CONTROL OF THE PREMISES. UPON NOTIFICATION THAT THE FIRE LANE IS NOT CLEARLY MARKED, THE FIRE LANE SHALL BE REPAIRED OR REPAINTED TO MEET THE CITY CODE FAILURE TO MAINTAIN THE FIRE LANE SHALL CONSTITUTE A VIOLATION OF THE FIRE CODE.

THIS DESIGN SHALL BE UTILIZED UNLESS OTHERWISE APPROVED BY THE CHIEF, FIRE MARSHAL OR AN AUTHORIZED REPRESENTATIVE OF THE FIRE DEPARTMENT.

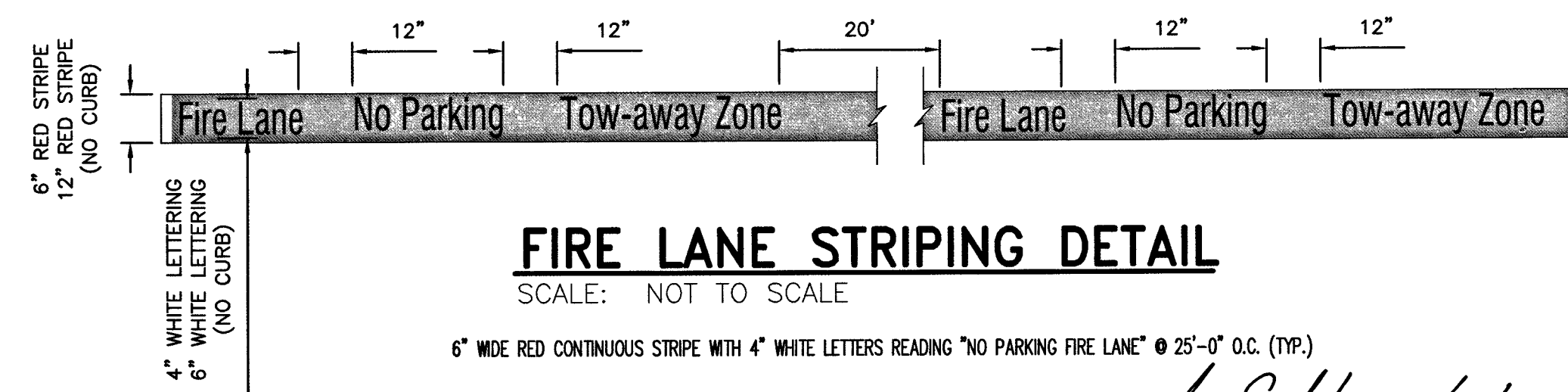
FIRE LANE STRIPING/MARKINGS

ALL REQUIRED FIRE LANES SHALL BE PROVIDED AND MAINTAINED WITH FIRE LANE STRIPING THAT CONSISTS OF A MINIMUM SIX INCH (6") WIDE RED BACKGROUND STRIPE WITH FOUR INCH (4") HIGH WHITE LETTERS STATING "FIRE LANE NO PARKING TOW-AWAY ZONE" TO BE PAINTED UPON THE RED STRIPE EVERY TWENTY FEET (20') ALONG THE ENTIRE LENGTH OF THE FIRE LANE SHOWING THE EXACT BOUNDARY OF THE FIRE LANE.

THE FIRE LANE MARKINGS SHALL BE UPON THE VERTICAL SURFACE OF THE CURB.

ON CURB-LESS DRIVEWAYS, THE DESIGN SHALL BE A TWELVE INCH (12") WIDE RED BACKGROUND STRIPE WITH SIX INCH (6") HIGH WHITE LETTERS STATING "FIRE LANE NO PARKING TOW-AWAY ZONE" TO BE PAINTED UPON THE RED STRIPE EVERY TWENTY FEET (20') ALONG THE ENTIRE LENGTH OF THE FIRE LANE SHOWING THE EXACT BOUNDARY OF THE FIRE LANE.

FIRE LANE - TOW-AWAY ZONE SIGNS, PAVEMENT STRIPING OR PAINTED WHEEL STOPS SHALL ALSO BE PLACED AT THE END OF ANY PARKING ROWS THAT EXTEND INTO THE OR WITHIN (5) FEET OF AN APPROVED ACCESS ROAD.



8/10/17
fax: 832-203-1674
tel: 832-274-2146
marcela@urbanareaco.com

URBAN-AREA ARCHITECTS

STATE OF TEXAS
AHMED ZGHAR
125149
6/19/2017
CSF CONSULTING, LP.
CIVIL • STRUCTURAL • FORENSIC
ENGINEERING & SURVEYING
11301 FALLBROOK DR., SUITE 300
HOUSTON, TX 77066
TEL: 832-678-2119
FAX: 832-678-2115
TYPE: FIRM NO. F-4365
CSF PROJECT F. 3297

revisions:

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SHOPPES @ RICHMOND LAKES

9115 FM 723 RD. RICHMOND, TX. 77406

CLINARD PROPERTIES
25207 DUNLAP MEADOWS LN KATY TX. 77494

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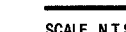
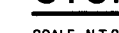
FIRE APPARATUS ACCESS LANE

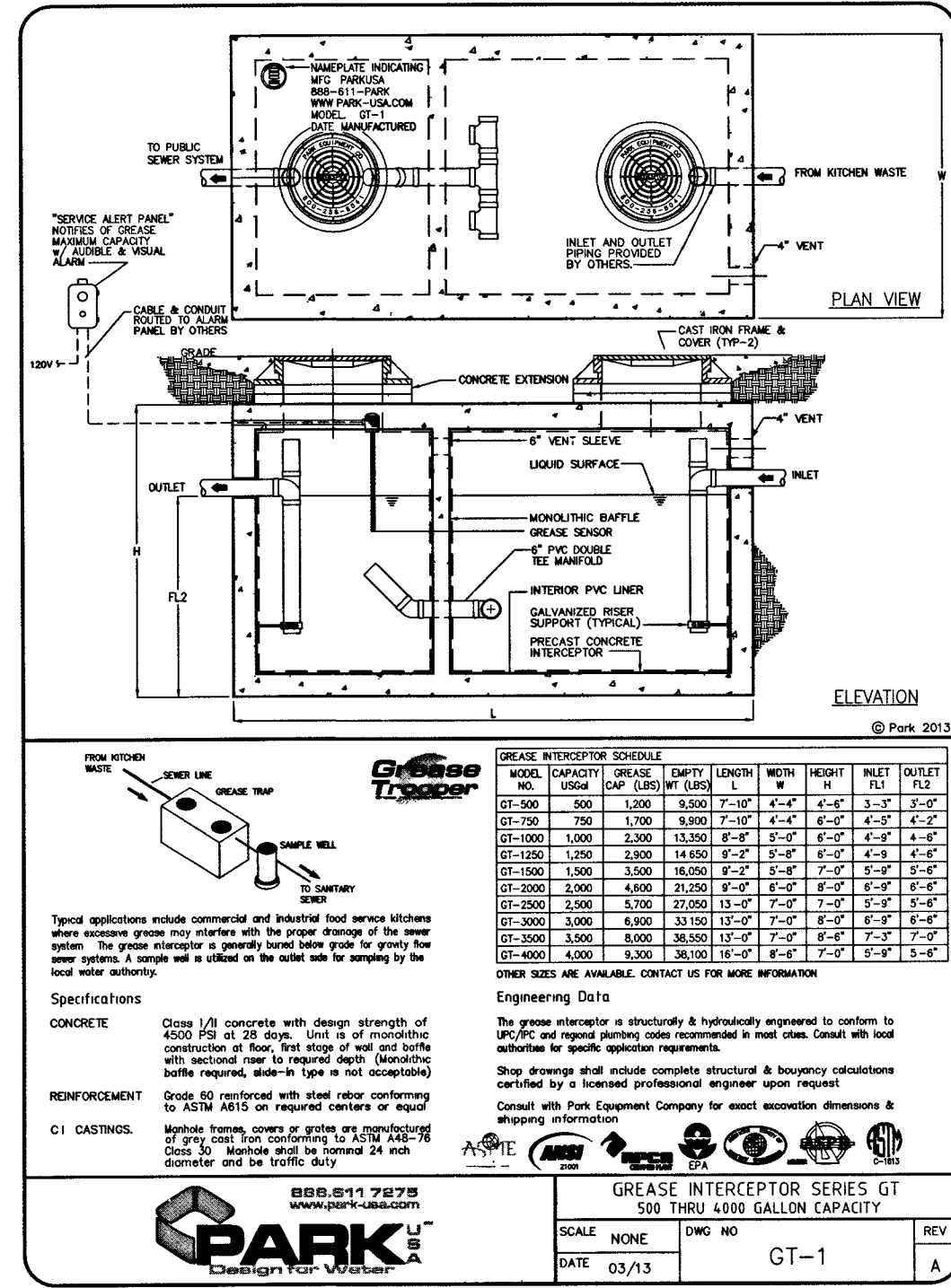
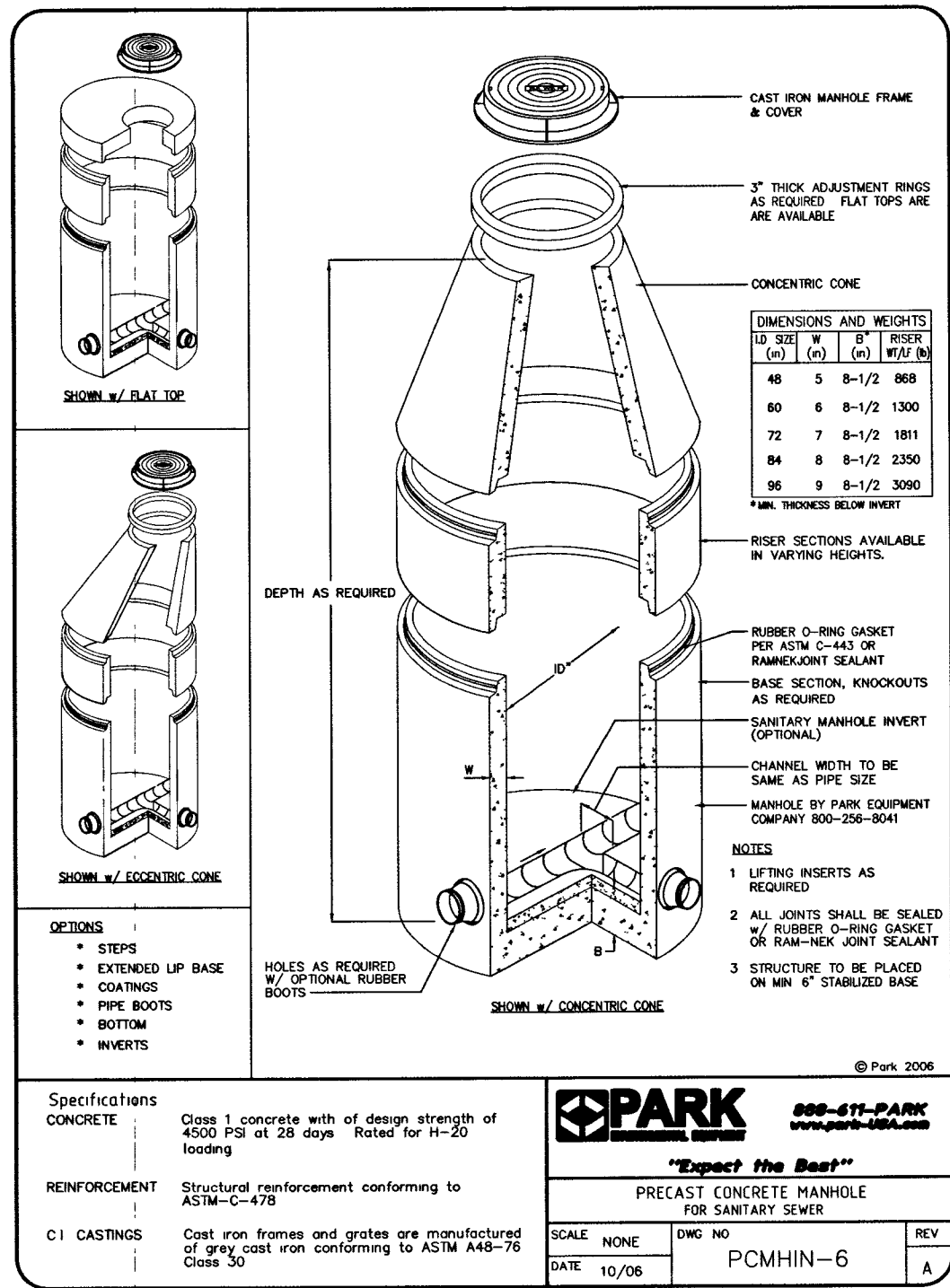
sheet number:
C.012



NOTE

SCALE N T





STATE OF TEXAS §
COUNTY OF FORT BEND §

We, Clinard Properties 3, LLC, acting by and through Michael Clinard, Managing Member, owner hereinafter referred to as Owners of the 4.501 acre tract described in the above and foregoing map of FM1093 AND FM723 RESERVES PARTIAL REPLAT No 1, do hereby make and establish said subdivision and development plan of said property according to all lines, dedications, restrictions, and notations on said maps or plat and hereby dedicate to the use of the public forever, all streets (except those streets designated as private streets, or permanent access easements), alleys, parks, water courses, drains, easements and public places shown thereon for the purposes and considerations therein expressed; and do hereby bind ourselves, our heirs, successors, and assigns to warrant and forever defend the title on the land so dedicated.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional seven feet, six inches (7' 6") for ten feet (10' 0") perimeter ground easements or seven feet, six inches (7' 6") for fourteen feet (14' 0") perimeter ground easements or five feet, six inches (5' 6") for sixteen feet (16' 0") perimeter ground easements, from a plane sixteen feet (16' 0") above the ground level upward, located adjacent to and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals twenty one feet, six inches (21' 6") in width.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional ten feet (10' 0") for ten feet (10' 0") back-to-back ground easements or eight feet (8' 0") for fourteen feet (14' 0") back-to-back ground easements or seven feet (7' 0") for sixteen feet (16' 0") back-to-back ground easements, from a plane sixteen feet (16' 0") above the ground level upward, located adjacent to both sides and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals thirty feet (30' 0") in width.

FURTHER, Owners do hereby covenant and agree that all of the property within the boundaries of this plat is hereby restricted to prevent the drainage of any septic tanks into any public or private street, permanent access easement, road or alley, or any drainage ditch, either directly or indirectly.

FURTHER, We do hereby covenant and agree that all of the property within the boundaries of this subdivision and adjacent to any drainage easement, ditch, gully, creek or natural drainage way shall hereby be restricted to keep such drainage ways and easements clear of fences, buildings, excessive vegetation and other obstructions to the operations and maintenance of the drainage facility and that such abutting property shall not be permitted to drain directly into this easement except by means of an approved drainage structure.

FURTHER, We do hereby dedicate to the public a strip of land twenty (20) feet wide on each side of the center line of any and all bayous, creeks, gullies, ravines, draws and drainage ditches located in said subdivision, as easements for drainage purposes. Fort Bend County or any other governmental agency shall have the right to enter upon said easement at any time and all times for the purposes of construction and maintenance of drainage facilities and structures.

FURTHER, We do hereby acknowledge the receipt of the "Orders for Regulation of Outdoor Lighting in the Unincorporated Areas of Fort Bend County, Texas", and do hereby covenant and agree and shall comply with this order as adopted by Fort Bend County Commissioners Court on March 23, 2004, and any subsequent amendments.

FURTHER, Owner hereby certify that this replat does not attempt to alter, amend, or remove any covenants or restrictions; we further certify that no portion of the preceding plat was limited by deed restriction to residential use for not more than two (2) residential units per lot.

IN TESTIMONY WHEREOF, Clinard Properties 3, LLC has caused these presents to be signed by Michael Clinard, its Managing Member, thereunto

authorized, this 23 day of May, 2016.

By: Clinard Properties 3, LLC

By: Michael Clinard
Managing Member

STATE OF TEXAS §
COUNTY OF FORT BEND §

BEFORE ME, the undersigned authority, on this day personally appeared Michael Clinard, Managing Member of Clinard Properties 3, LLC, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 23 day of May, 2016

Ciana Reyes
Notary Public in and for the State of Texas

Ciana Reyes
Print Name

My commission expires: 12/17/2018



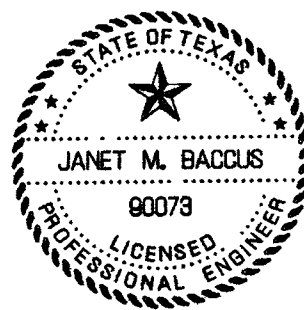
This is to certify that the Planning Commission of the City of Houston, Texas, has approved this plat and subdivision of FM1093 AND FM723 RESERVES PARTIAL REPLAT No 1 in conformance with the laws of the State of Texas and the ordinances of the City of Houston, as shown hereon, and authorized the recording of this plat this 1st day of June, 2016.

By: Mark A. Kilkenny or M. Sonny Garza
Title Chair Vice Chairman

By: Patrick Walsh, P.E.
Secretary



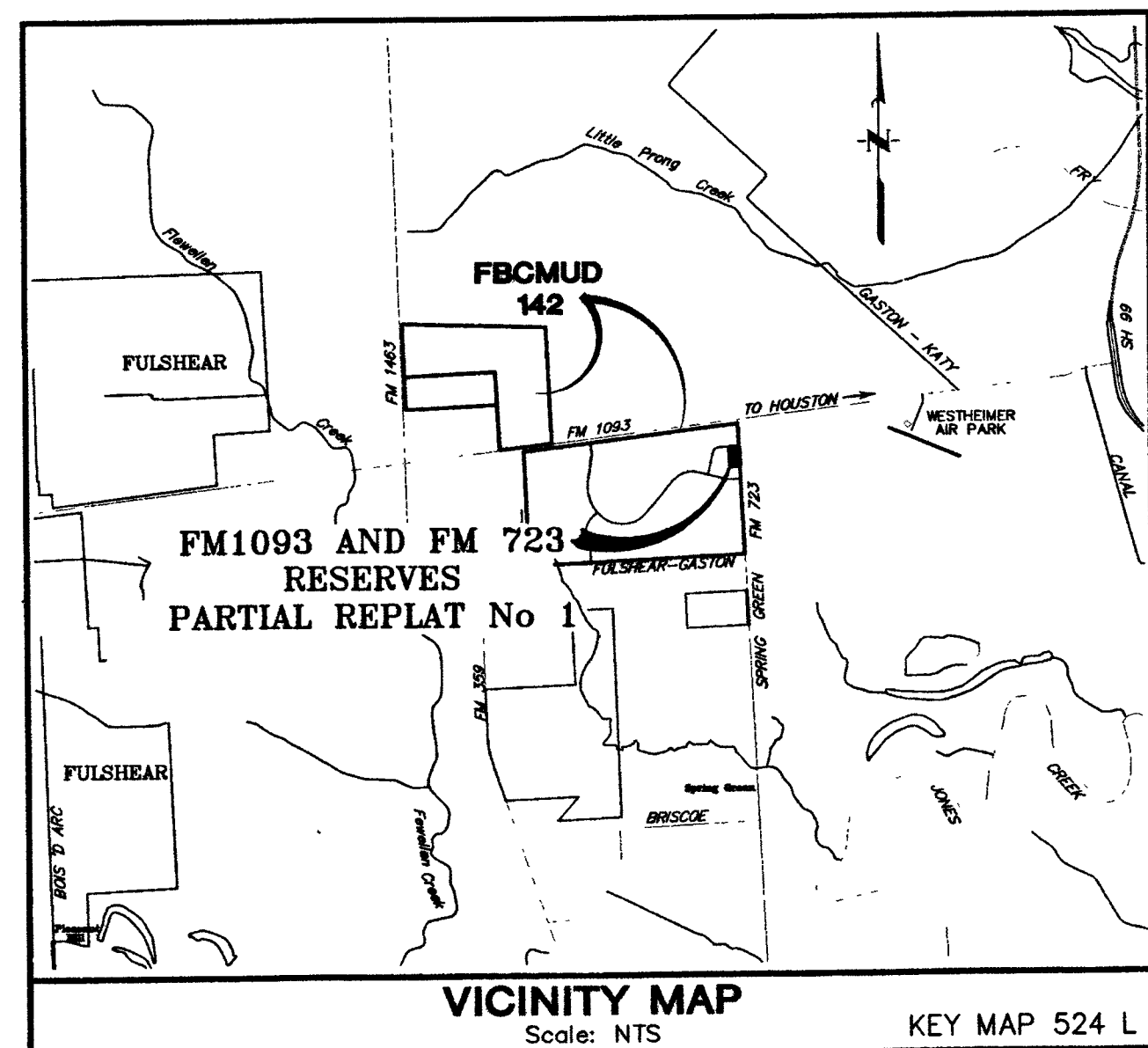
I, Janet M. Bacaus, a Professional Engineer registered in the State of Texas, do hereby certify that this plat meets all requirements of Fort Bend County, to the best of my knowledge.



Janet M. Bacaus
Janet M. Bacaus, P.E.
Professional Engineer No. 90073

I, Russell B. Tarasiewicz, am registered under the laws of the State of Texas to practice the profession of surveying and hereby certify that the above subdivision is true and accurate, was prepared from an actual survey of the property made under my supervision on the ground; that, except as shown all boundary corners, angles points, points of curvature and other points of reference have been marked with iron (or other objects of permanent nature) pipes or rods having an outside diameter of not less than five eighths (5/8) inch and a length of not less than three (3) feet; and that the plat boundary corners have been tied to the Texas Coordinate System of 1983, South Central Zone.

R.B. Tarasiewicz
Russell B. Tarasiewicz
Registered Professional Land Surveyor
Texas Registration No. 6575



I, Richard W. Stollie, P.E., Fort Bend County Engineer, do hereby certify that the plat of this subdivision complies with all of the existing rules and regulations of this office as adopted by the Fort Bend County Commissioners' Court. However, no certification is hereby given as to the effect of drainage from this subdivision on the intersecting drainage artery or parent stream or any other area or subdivision within the watershed.

Richard W. Stollie
Richard W. Stollie, P.E.
Fort Bend County Engineer

APPROVED BY THE Commissioners Court of Fort Bend County, Texas, this 28th day of June, 2016.

Richard W. Stollie
Richard W. Stollie, P.E.
Commissioner, Precinct 1

Grady Prestige
Grady Prestige
Commissioner, Precinct 2

Robert E. Hebert
Robert E. Hebert
County Judge

Andy Meyers
Andy Meyers
Commissioner, Precinct 3

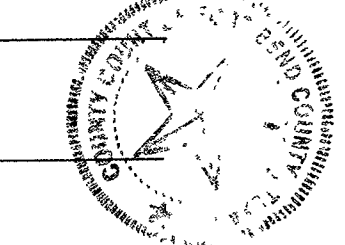
James Patterson
James Patterson
Commissioner, Precinct 4

THE STATE OF TEXAS §
COUNTY OF FORT BEND §

I, Laura Richard, County Clerk in and for Fort Bend County, hereby certify that the foregoing instrument with its certificate of authentication was filed for registration in my office on June 29, 2016 9:27 a'clock AM in Plat Number(s) 2016 0155 of the Plat Records of said County.

Witness my hand and seal of office, at Richmond, Texas, the day and date last above written.

Laura Richard
Laura Richard
Fort Bend County, Texas
By: Deputy
Deputy



FM1093 AND FM723 RESERVES

PARTIAL REPLAT No 1

A SUBDIVISION OF 4.501 ACRES OF LAND

ALSO BEING A PARTIAL REPLAT OF

RESERVE "B" OF

FM1093 AND FM723 RESERVES

AS RECORDED IN PLAT No 20080203

OF THE FORT BEND COUNTY PLAT RECORDS

OUT OF THE

BROOKS AND BURLESON SURVEY, A-144

WALTON, HILL & WALTON SURVEY, A-434

FORT BEND COUNTY, TEXAS

1 RESERVE 1 BLOCK

MAY 2016

REASON FOR REPLAT: TO CREATE ONE UNRESTRICTED RESERVE

OWNER:
CLINARD PROPERTIES 3, LLC
25207 DUNLAP MEADOWS LN
KATY, TEXAS 77494
713-208-7171

ENGINEER/SURVEYOR:
J.C. Jones
JONES CARTER
Texas Board of Professional Surveyors Registration No. 9,438
Texas Board of Professional Land Surveyors Registration No. 126636
2200 West Loop South, Suite 200, Houston, TX 77027-7111

8/10/17

SHEET 2 OF 2