



**PERMIT APPLICATION REVIEW FORM FOR
CABLE, CONDUIT, AND POLE LINE ACTIVITY
IN FORT BEND COUNTY**

**Fort Bend County
Engineering Department**
301 Jackson Suite 401
Richmond, Texas 77469
281.633.7500
Permits@fortbendcountytx.gov

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Right of Way Permit

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Commercial Driveway Permit

Permit No: 2017-15567

The following "Notice of Proposed Cable, Conduit, and/or Pole Line activity in Fort Bend County" and accompanying attachments have been reviewed and the notice conforms to appropriate regulations set by Commissioner's Court of Fort Bend County, Texas.

(1) COMPLETE APPLICATION FORM:

X
X
X

a. Name of road, street, and/or drainage ditch affected.

b. Vicinity map showing course of directions

c. Plans and specifications

(2) BOND:

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County Attorney, approval when applicable.

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Perpetual bond currently posted.

Bond No:



Amount: \$50,000.00

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Performance bond submitted.

Bond No:

Amount:

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Cashier's Check

Check No:

Amount:

(3) DRAINAGE DISTRICT APPROVAL (WHEN APPLICABLE):

Drainage District Approval

Date

We have reviewed this project and agree it meets minimum requirements.

Permit Administrator

Date



REVIEW BY FORT BEND COUNTY
COMMISSIONERS COURT

Fort Bend County
Engineering Department

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Commercial Driveway Permit

Permit No: 2017-15567

Applicant: CTC Concrete, Inc./J.Patrick Homes, Ltd.

Job Location Site: 8914 Marsh Creek Court, Richmond, TX 77406

Bond No. **Date of Bond:** 4/12/2016 **Amount:** \$50,000.00

The above applicant came to make use of certain Fort Bend County property subject to, "The Order Regulating the Laying, Construction, Maintenance, and Repair of Buried Cables, Conduits, and Pole Lines, In, Under, Across or Along Roads, Streets, Highways, and Drainage Ditches in Fort Bend County, Texas, Under the Jurisdiction of the Commissioners Court of Fort Bend County, Texas," as passed by the Commissioners Court of Fort Bend County, Texas, of the Minutes of the Commissioners Court of Fort Bend County, Texas, to the extent that such order is not inconsistent with Chapter 181, Vernon's Texas Statutes and Codes Annotated.


Notes:

1. Evidence of review by the Commissioners Court must be kept on the job site and failure to do so constitutes grounds for job shutdown.
2. Written notices are required:
 - a. 48 hours in advance of construction start up, and
 - b. When construction is completed and ready for final inspection, submit notification to Permit Administrator thru MyGovernmentOnline.org portal.
3. This permit expires one (1) year from date of permit if construction has not commenced.

On this 12th day of September, 2017, Upon Motion of Commissioner _____, seconded by Commissioner _____, duly put and carried, it is ORDERED, ADJUDGED AND DECREED that said notice of said above purpose is hereby acknowledged by the Commissioners Court of Fort Bend County, Texas, and that said notice be placed on record according to the regulation order thereof.

Signature

Presented to Commissioners Court and approved.

By: 
County Engineer

Date Recorded _____ Comm. Court No. _____

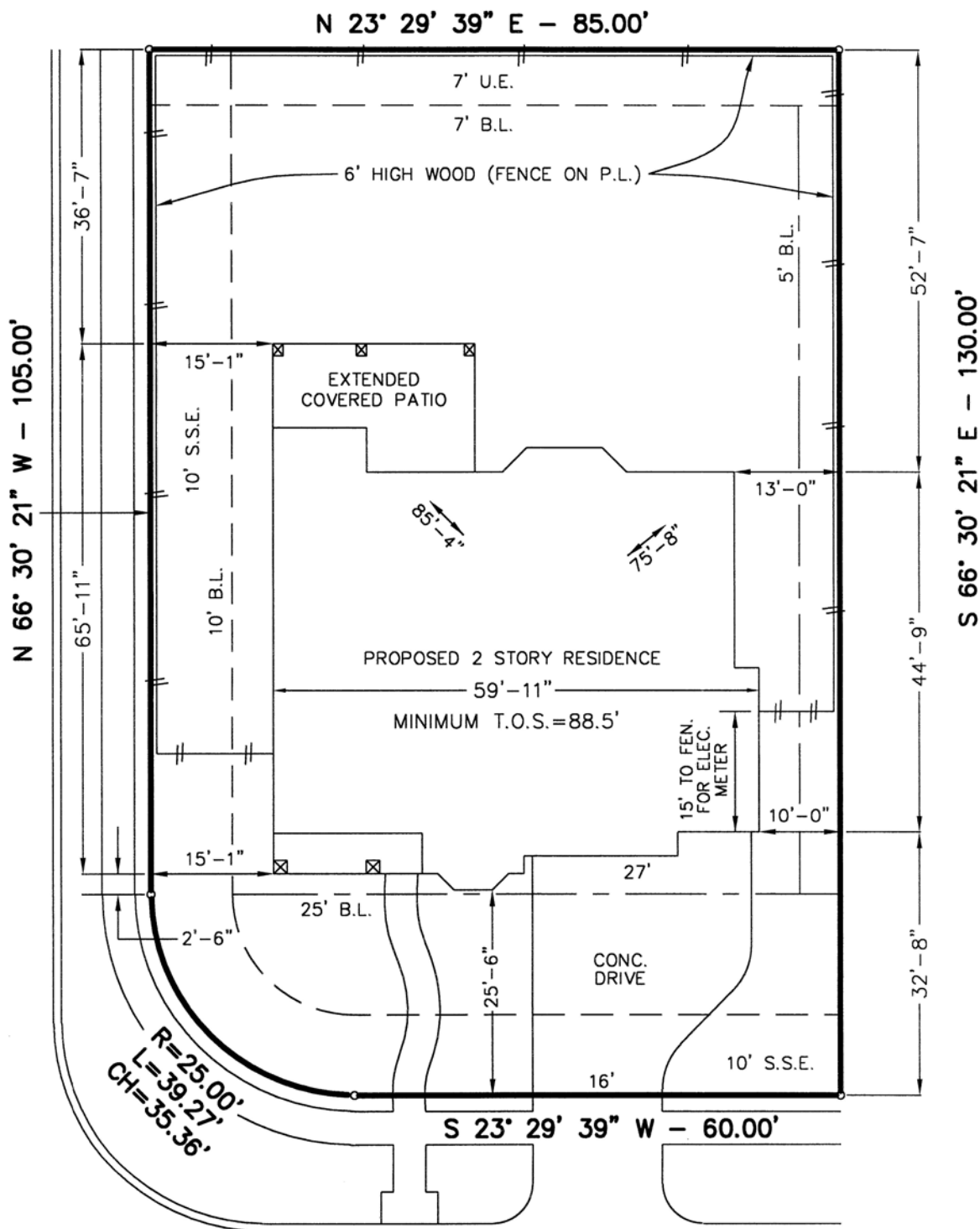
Clerk of Commissioners Court

By: N/A
Drainage District Engineer/Manager

By: _____
Deputy



MARSH CREEK COURT



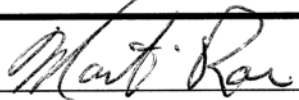
MARSH CREEK COURT

NOTES:

- THIS SITE PLAN WAS PERFORMED IN CONNECTION WITH INFORMATION PROVIDED IN TITLE REPORT G.F. NO. 1415743496 OF STEWART TITLE COMPANY, EFFECTIVE DATE OF JULY 27, 2017.
- RESTRICTIONS OF RECORD AS DESCRIBED AND RECORDED UNDER PLAT NO. 20130300 OF THE PLAT RECORDS OF FORT BEND COUNTY, TEXAS AND CLERK'S FILE NO. 2004075152, 2014030021, 2006055044, 2009132668, 2011094926, 2011111991, 2016050371, 201612176, 2016125177, 2016144137, 2016144138 AND 2017014886, MAY AFFECT THIS TRACT.
- THE SUBJECT PROPERTY IS AFFECTED BY AN AGREEMENT WITH CENTERPOINT ENERGY HOUSTON ELECTRIC, LLC TO PROVIDE ELECTRICAL SERVICE PER F.B.C.C.F. NO. 2014054794.

LOT AREA=10,916 SQ. FT./0.2506 AC.

NOTE: THE MINIMUM SLAB ELEVATION SHALL BE 88.50 FEET. IN NO CASE SHALL THE SLAB BE LESS THAN 18 INCHES ABOVE NATURAL GROUND.

SITE PLAN THIS IS NOT A BOUNDARY SURVEY AND SHOULD NOT BE USED AS SUCH.		SCALE: 1"=20'		J. PATRICK HOMES			
NOTE : BUILDER SHOULD VERIFY ALL BUILDING LINES, EASEMENTS, BUILDING RESTRICTIONS (DEED RESTRICTIONS, ETC.) AND ZONING ORDINANCES, IF ANY, THAT MAY AFFECT SUBJECT PROPERTY, BEFORE STARTING CONSTRUCTION. FINAL PLACEMENT OF STRUCTURES ON LOT WILL BE DETERMINED BASED ON SPECIFIC LOT CONDITIONS. THIS SITE PLAN IS FOR INFORMATIONAL PURPOSES ONLY.		DATE: 8-9-17					
		SUBDIVISION: LONG MEADOW FARMS, SEC. 35					
CHECKED BY:  ROE SURVEYING COMPANY 5019 Hardway Street Houston, Texas 77092 (713)957-3311		LOT: 19		BLOCK: 1		COUNTY: FORT BEND	
		ADDRESS: 8914 MARSH CREEK COURT					
		JOB NO. 1401-2078		PLAN: 4070.3 B (N)		DWG. LMF35L19B1	

CTC

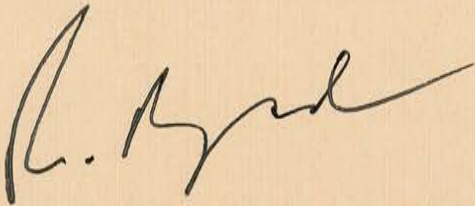
CONCRETE, INC.

August 17, 2016

CTC Concrete Traffic Control Plan

CTC Concrete's Traffic Control Plan is as follows:

- Concrete trucks (and crew's trucks) will be positioned in a manner where traffic will not be blocked, and passing traffic will have a clear path around the jobsite.
- If traffic flow around the jobsite is limited to 1-way only, we will manage the flow by alternating each direction.
- The jobsite area will be identified.
- Fresh-poured concrete will be marked with yellow "Caution" tape.
- Debris will be cleaned from street to keep traffic flow uninterrupted.



RICH MAYNARD, CTC CONCRETE