



**PERMIT APPLICATION REVIEW FORM FOR  
CABLE, CONDUIT, AND POLE LINE ACTIVITY  
IN FORT BEND COUNTY**

**Fort Bend County  
Engineering Department**  
301 Jackson Suite 401  
Richmond, Texas 77469  
281.633.7500  
[Permits@fortbendcountytx.gov](mailto:Permits@fortbendcountytx.gov)

- ☒ **Right of Way Permit**  
☐ **Commercial Driveway Permit**

Permit No: 2017-15465

The following "Notice of Proposed Cable, Conduit, and/or Pole Line activity in Fort Bend County" and accompanying attachments have been reviewed and the notice conforms to appropriate regulations set by Commissioner's Court of Fort Bend County, Texas.

**(1) COMPLETE APPLICATION FORM:**

- ☒ a. Name of road, street, and/or drainage ditch affected.  
☒ b. Vicinity map showing course of directions  
☒ c. Plans and specifications

**(2) BOND:**

- ☐ County Attorney, approval when applicable.
- ☐ Perpetual bond currently posted.      Bond No: \_\_\_\_\_ Amount: \_\_\_\_\_
- ☒ Performance bond submitted.      Bond No: XXXXXXXXXX Amount: \$5,000.00
- ☐ Cashier's Check      Check No: \_\_\_\_\_ Amount: \_\_\_\_\_

**(3) DRAINAGE DISTRICT APPROVAL (WHEN APPLICABLE):**

\_\_\_\_\_  
Drainage District Approval

\_\_\_\_\_  
Date

**We have reviewed this project and agree it meets minimum requirements.**

*Charles O. Ay*

\_\_\_\_\_  
Permit Administrator

\_\_\_\_\_  
Date

Deputy

**PERFORMANCE BOND COVERING ALL CABLE, CONDUIT AND/OR POLE LINE  
ACTIVITY IN, UNDER, ACROSS OR ALONG FORT BEND COUNTY ROAD,  
COMMERCIAL DRIVEWAY AND MEDIAN OPENINGS OR MODIFICATIONS  
(AUTHORIZED)**

BOND NO: [REDACTED]

THE STATE OF TEXAS           §

KNOW ALL MEN BY THESE PRESENTS:

COUNTY OF FORT BEND       §

THAT WE, Jerdon Enterprise, L.P. whose (address, phone) is 13403 Redfish Drive, Stafford, Texas 77477, 281-261-5000, Texas, hereinafter called the Principal, and Hartford Casualty Insurance Company, a Corporation existing under and by virtue of the laws of the state of Indiana and authorized to do an indemnifying business in the state of Texas, and whose principal office is located at (name/address/phone) Hartford Casualty Insurance Company, 19450 State Hwy 249, #400, Houston, Texas 77070, whose officer residing in the State of Texas, authorized to accept service in all suits and actions brought whining said state is Michael Heidrick and whose address is Hartford, 3000 Internet Blvd., #600, Frisco, Texas 75034, hereinafter called the Surety, and held and firmly bound unto, Robert E. Hebert, County Judge of Fort Bend County, Texas, or his successors in office, in the full sum of Five Thousand and No/100---- Dollars (\$5,000.00--) current, lawful money of the United States of America, to be paid to said Robert E. Hebert, County Judge of Fort Bend County, Texas, or his successors in office, to which payment well and truly to be made and done, we, the undersigned, bind ourselves and each of us, our heirs, executors, administrators, successors, assigns, and legal representatives, jointly and severally, by these presents.

THE CONDITION OF THIS BOND IS SUCH THAT, WHEREAS, the above bounden principal contemplates laying, constructing, maintaining and/or repairing one or more cables, conduits, and/or pole lines in, under, across and/or along roads, streets and highways, commercial driveway and median openings or modifications in the County of Fort Bend, and the State of Texas, under the jurisdiction of the Commissioners' Court of Fort Bend County, Texas, pursuant to the Commissioners' Court order adopted on the 1st day of December, A.D. 1980, recorded in Volume 13, of the Commissioners' Court Minutes of Fort Bend County, Texas, regulating same, which Commissioners' Court order is hereby referred to and made a part hereof for all purposes as though fully set out herein;

AND WHEREAS, the principal desires to provide Fort Bend County with a performance bond covering all such cable, conduit and/or pole line activity, commercial driveway and median openings or modifications;

NOW, THEREFORE, if the above bounden principal shall faithfully perform all its cable, conduit and/or pole line activity (including, but not limited to the laying, construction, maintenance and/or repair of cables, conduits and/or pole lines) in, under, across and/or along roads, streets and highways, commercial driveway and median openings or modifications in the County of Fort Bend and State of Texas, under the jurisdiction of the Commissioners Court of Fort Bend County, Texas, pursuant to and in accordance with minimum requirements and conditions of the above mentioned Commissioners' Court order set forth and specified to be by said principal done and performed, at the time and in the manner therein specified, and shall pay over and make good and reimburse Fort Bend County, all loss and damages which Fort Bend County may sustain by reason of any failure or default on the part of said principal, then this obligation shall be null and void, otherwise to remain in full force and effect.

This bond is payable at the County Courthouse in the County of Fort Bend and State of Texas.

It is understood that at any time Fort Bend County deems itself insecure under this bond, it may require further and/or additional bonds of the principal.

EXECUTED this 10th day of August, 2017.

Jerdon Enterprise, L.P.

PRINCIPAL

BY 

Hartford Casualty Insurance Company

SURETY

BY 

Sharon Cavanaugh, Attorney-in-Fact

# POWER OF ATTORNEY

Direct Inquiries/Claims to:

THE HARTFORD

BOND, T-12

One Hartford Plaza

Hartford, Connecticut 06155

[Bond.Claims@thehartford.com](mailto:Bond.Claims@thehartford.com)

call: 888-266-3488 or fax: 860-757-5835

KNOW ALL PERSONS BY THESE PRESENTS THAT:

Agency Name: MARSH & MCLENNAN AGENCY LLC

Agency Code: 61-610074

- |                                     |  |
|-------------------------------------|--|
| <input checked="" type="checkbox"/> | Hartford Fire Insurance Company, a corporation duly organized under the laws of the State of Connecticut         |
| <input checked="" type="checkbox"/> | Hartford Casualty Insurance Company, a corporation duly organized under the laws of the State of Indiana         |
| <input checked="" type="checkbox"/> | Hartford Accident and Indemnity Company, a corporation duly organized under the laws of the State of Connecticut |
| <input type="checkbox"/>            | Hartford Underwriters Insurance Company, a corporation duly organized under the laws of the State of Connecticut |
| <input type="checkbox"/>            | Twin City Fire Insurance Company, a corporation duly organized under the laws of the State of Indiana            |
| <input type="checkbox"/>            | Hartford Insurance Company of Illinois, a corporation duly organized under the laws of the State of Illinois     |
| <input type="checkbox"/>            | Hartford Insurance Company of the Midwest, a corporation duly organized under the laws of the State of Indiana   |
| <input type="checkbox"/>            | Hartford Insurance Company of the Southeast, a corporation duly organized under the laws of the State of Florida |

having their home office in Hartford, Connecticut, (hereinafter collectively referred to as the "Companies") do hereby make, constitute and appoint, **up to the amount of Unlimited :**

Sharon Cavanaugh, C.W. Adams, Roxanne G. Brune, Sharen Groppell, David R. Groppell, Francine Hay, Beverly A. Ireland, Edward L. Moore, Kurt A. Risk, James W. Tomforde, Gloria Villa of HOUSTON, Texas

their true and lawful Attorney(s)-in-Fact, each in their separate capacity if more than one is named above, to sign its name as surety(ies) only as delineated above by ☒, and to execute, seal and acknowledge any and all bonds, undertakings, contracts and other written instruments in the nature thereof, on behalf of the Companies in their business of guaranteeing the fidelity of persons, guaranteeing the performance of contracts and executing or guaranteeing bonds and undertakings required or permitted in any actions or proceedings allowed by law.

In Witness Whereof, and as authorized by a Resolution of the Board of Directors of the Companies on May 6, 2015 the Companies have caused these presents to be signed by its Senior Vice President and its corporate seals to be hereto affixed, duly attested by its Assistant Secretary. Further, pursuant to Resolution of the Board of Directors of the Companies, the Companies hereby unambiguously affirm that they are and will be bound by any mechanically applied signatures applied to this Power of Attorney.



*John Gray*

John Gray, Assistant Secretary

*M. Ross Fisher*

M. Ross Fisher, Senior Vice President

STATE OF CONNECTICUT

COUNTY OF HARTFORD

ss. Hartford

On this 11th day of January, 2016, before me personally came M. Ross Fisher, to me known, who being by me duly sworn, did depose and say: that he resides in the County of Hartford, State of Connecticut; that he is the Senior Vice President of the Companies, the corporations described in and which executed the above instrument; that he knows the seals of the said corporations; that the seals affixed to the said instrument are such corporate seals; that they were so affixed by authority of the Boards of Directors of said corporations and that he signed his name thereto by like authority.



CERTIFICATE

*Nora M. Stranko*

Nora M. Stranko  
Notary Public

My Commission Expires March 31, 2013

I, the undersigned, Assistant Vice President of the Companies, DO HEREBY CERTIFY that the above and foregoing is a true and correct copy of the Power of Attorney executed by said Companies, which is still in full force effective as of 10th day of August, 2017. Signed and sealed at the City of Hartford.



*Kevin Heckman*

Kevin Heckman, Assistant Vice President



## IMPORTANT NOTICE

To obtain information or make a complaint:

You may contact your agent.

You may call Hartford Insurance Group at the toll free telephone number for information or to make a complaint at:

**1-800-392-7805**

You may also write to The Hartford:

**The Hartford  
Hartford Financial Products  
2 Park Avenue, 5<sup>th</sup> Floor  
New York, New York 10016  
1-212-277-0400**

You may contact the Texas Department of Insurance to obtain information on companies, coverages, rights or complaints at:

**1-800-252-3439**

You may write the Texas Department of Insurance

P.O. Box 149104  
Austin, TX 78714-9104  
Fax Number (512) 490-1007  
Web: <http://www.tdi.state.tx.us>  
E-mail: [ConsumerProtection@tdi.state.tx.us](mailto:ConsumerProtection@tdi.state.tx.us)

**PREMIUM OR CLAIMS DISPUTES:** Should you have a dispute concerning your premium or about a claim you should contact the agent first. If the dispute is not resolved, you may contact the Texas Department of Insurance.

**ATTACH THIS NOTICE TO YOUR POLICY:** This notice is for your information only and does not become a part or condition of the attached document.

## AVISO IMPORTANTE

Para obtener informacion o para someter una queja.

Puede comunicarse con su agente.

Usted puede llamar al numero de telefono gratis de The Hartford Insurance Group para informacion o para someter una queja al

**1-800-392-7805**

Usted tambien puede escribir a The Hartford.

**The Hartford  
Hartford Financial Products  
2 Park Avenue, 5<sup>th</sup> Floor  
New York, New York 10016  
1-212-277-0400**

Puede comunicarse con el Departamento de Seguros de Texas para obtener informacion acerca de compañías, coberturas, derechos o quejas al:

**1-800-252-3439**

Puede escribir al Departamento de Seguros de Texas

P.O. Box 149104  
Austin, TX 78714-9104  
Fax Number (512) 490-1007  
Web: <http://www.tdi.state.tx.us>  
E-mail: [ConsumerProtection@tdi.state.tx.us](mailto:ConsumerProtection@tdi.state.tx.us)

**DISPUTAS SOBRE PRIMAS O RECLAMOS:** Si tiene una disputa concerniente a su prima o a un reclamo, debe comunicarse con su agente primero. Si no se resuelve la disputa, puede entonces comunicarse con el departamento (TDI).

**UNA ESTE AVISO A SU POLIZA:** Este aviso es solo para proposito de informacion y no se convierte en parte o condicion del documento adjunto.

### **Inquiries Regarding Claims**

Hartford Fire Insurance Company	Twin City Insurance Company
Hartford Casualty Insurance Company	Hartford Insurance Company of Illinois
Hartford Accident and Indemnity Company	Hartford insurance Company of the Midwest
Hartford Underwriters Insurance Company	Hartford Insurance Company of the Southeast

Please address inquiries regarding **Claims** for all surety and fidelity products issued by The Hartford's underwriting companies to the following:

Phone Number : 888-266-3488  
Fax - Claims : 860-757-5835 or 860-547-8265  
E-mail : [claims@1stepsurety.com](mailto:claims@1stepsurety.com)

Mailing Address : The Hartford  
The Hartford Fidelity & Bonding (BOND)  
Hartford Plaza  
690 Asylum Avenue  
Hartford, CT 06115



## REVIEW FORM

On May 25, 2017 the Fort Bend County Drainage District reviewed the:

1. Plans Sienna Plantation LID – Steepbank Levee Trails

2. Plat \_\_\_\_\_

3. Permit \_\_\_\_\_

and agrees that this project meets with minimum requirements of this department or office. The following comments may need to be addressed or observed.

The proposed improvements include work within the FBCDD Lower Oyster Creek (III) right-of-way. Sheet LC0.3 includes a note stating Sienna Plantation LID will be responsible for maintenance of the proposed trail. A no objection letter from the Sienna Plantation LID engineer is attached.  
Sheets LS 1.7 and 1.8 note the project shall not negatively impact existing drainage conditions in anyway, including the backslope swales within the FBCDD right-of-way. Sheet LS 1.7 specifically notes a minimum clearance of 14' shall be maintained between the top of the trail and the bottom of the railroad bridge. The plans specifically note that the contractor shall obtain a permit from the FBC Engineering Dept. prior to any work within the FBCDD Lower Oyster Creek (III) right-of-way.

  
Reviewed by: \_\_\_\_\_

  
Signature of Department Head

Based on review of the submitted information and stated conclusions, the Drainage District staff interposes no objection of the proposed drainage plan for the above referenced project.

Please note this does not necessarily mean that the entire supporting data and calculations have been completely checked and verified. However, the report is signed, dated and sealed by a Professional Engineer licensed to practice in the State of Texas, which therefore conveys the engineer's responsibility and accountability.



1904 W. Grand Parkway North  
Suite 100  
Katy, Texas 77449  
TBPE No F-1386

Phone 713.953.5200  
Fax 713.953.5026  
www.ljaengineering.com

July 26, 2016

Ms. Jaime Zwiener  
TBG Partners  
3050 Post Oak Blvd., Suite 1100  
Houston, TX 77056

Re: Steepbank Levee Trails  
Missouri City, Texas 77459  
Sienna Plantation Levee Improvement District  
LJA Project No.:1501-1500 (2.0)

Dear Ms. Zwiener:

As Sienna Plantation Levee Improvement District Engineer, I have reviewed the above referenced construction plans and offer no objections to the proposed design. However, please provide notation on the construction plans; "The levee shall not be excavated into nor stripped of vegetation." Construction outside of or on top of the original levee embankment is acceptable as you have shown.

Should you have any questions or need any additional information concerning these comments or plans, please call me at 713.953.5181.

Sincerely,

A handwritten signature in black ink, appearing to read 'Michael S. Rusk'. The signature is fluid and cursive, with the first name 'Michael' and last name 'Rusk' clearly distinguishable.

Michael S. Rusk, PE  
Vice President

MSR/ab



# CONSTRUCTION DOCUMENTS FOR: SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT

## STEEP BANK WEST LEVEE TRAILS & STEEPBANK EAST EXISTING LEVEE TRAIL IMPROVEMENTS



Landscape Architects • Planners  
3050 Post Oak Blvd., Suite 1100  
Houston, Texas 77056  
(713) 439-0027 Fax: (713) 439-0067  
Austin • Dallas • Fort Lauderdale  
Fort Worth • Houston • San Antonio • Tulsa

Project:  
SIENNA PLANTATION  
L.I.D.

STEEP BANK LEVEE TRAILS

SIENNA PLANTATION LEVEE  
IMPROVEMENT DISTRICT  
MISSOURI CITY, TEXAS

Project Number:  
H13277

Designed: AEH, JGZ  
Drawn: AEH  
Reviewed: JGZ, MM

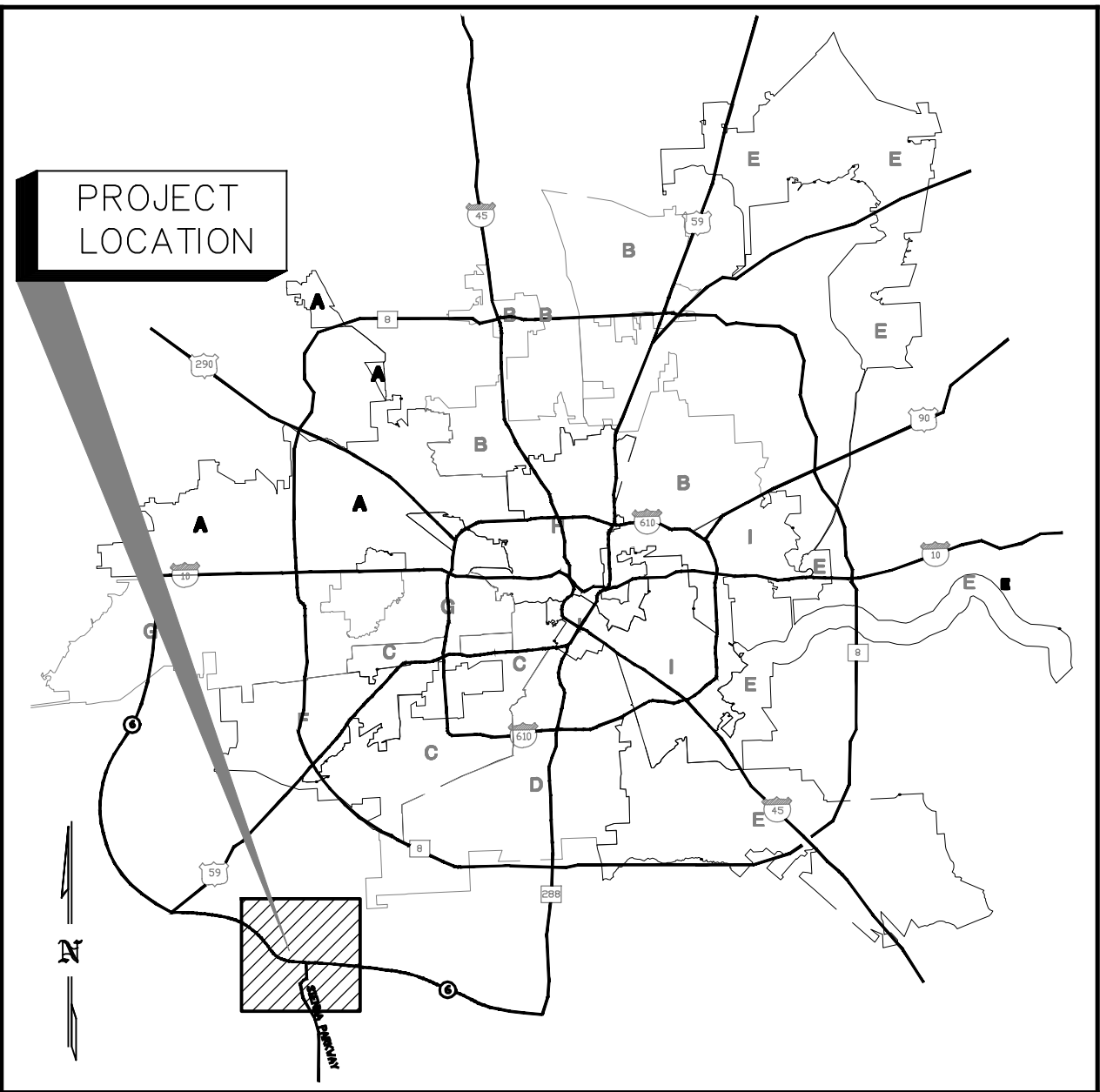
Date Issued:  
JULY 28, 2016

Revisions:  
△ 2017-04-12 PLATS TO SHEET LIST

Sheet Title:  
COVER

Sheet Number:  
LC 0.1

VICINITY MAP



LOCATION MAP



A PROJECT BY

**OWNER:**  
**SIENNA PLANTATION  
LEVEE IMPROVEMENT  
DISTRICT**  
C/O Muller Law Group, PLLC  
16555 Southwest Freeway, Suite 200  
Sugar Land, Texas 77479  
O: 281-500-6050  
F: 281-277-8207

**DISTRICT ENGINEER:**  
**LJA ENGINEERING, INC.**  
CONTACT: Amanda Carriage  
2929 Briarpark Drive, Suite 600  
Houston, TX 77042  
O: 713-953-5200

**LANDSCAPE ARCHITECT:**  
**TBG PARTNERS**  
CONTACT: Jamie Zweiner  
3050 Post Oak Blvd., Suite 1100  
Houston, TX 77056  
O: 713-439-0027  
F: 713-439-0067

**OWNER REPRESENTATIVE:**  
**2BITS CONSULTING, INC.**  
CONTACT: Elizabeth Shields  
O: 281-978-2014  
M: 281-757-9997  
beth@2BitsConsulting.com

INDEX OF SHEETS

INC.	DATE	ISSUE	SHEET TITLE	PAGE #
<b>Reference</b>				
■	JULY 28, 2016	FOR PERMIT	Cover	LC 0.1
■	JULY 28, 2016	FOR PERMIT	General Notes & Materials Schedule	LC 0.2
■	JULY 28, 2016	FOR PERMIT	LID Notes & Tree Protection	LC 0.3
<b>Sitework</b>				
■	ZE	FOR PERMIT	Overall Reference Plan - Steepbank West	LS 0.1
■	JULY 28, 2016	FOR PERMIT	Steepbank East Existing Trail Improvement Diagram	LS 0.2
■	JULY 28, 2016	FOR PERMIT	Sitework Plan	LS 1.1
■	JULY 28, 2016	FOR PERMIT	Sitework Plan	LS 1.2
■	JULY 28, 2016	FOR PERMIT	Sitework Plan	LS 1.3
■	JULY 28, 2016	FOR PERMIT	Sitework Plan	LS 1.4
■	JULY 28, 2016	FOR PERMIT	Sitework Plan	LS 1.5
■	JULY 28, 2016	FOR PERMIT	Sitework Plan	LS 1.6
■	JULY 28, 2016	FOR PERMIT	Sitework Plan	LS 1.7
■	JULY 28, 2016	FOR PERMIT	Sitework Plan	LS 1.8
■	JULY 28, 2016	FOR PERMIT	Sitework Details	LS 2.1

<b>Plats</b>				
■	March, 1996	Final Plat	Sienna Steep Bank Village Section One	Sheet 1
■	March, 1996	Final Plat	Sienna Steep Bank Village Section One	Sheet 2
■	March, 1996	Final Plat	Sienna Steep Bank Village Section One	Sheet 3
■	January, 1998	Final Plat	Sienna Steep Bank Village Section Two-A	Sheet 1
■	January, 1998	Final Plat	Sienna Steep Bank Village Section Two-A	Sheet 2
■	June, 1999	Final Plat	Sienna Steep Bank Village Section Four-A	Sheet 1
■	June, 1999	Final Plat	Sienna Steep Bank Village Section Four-A	Sheet 2
■	August, 2000	Final Plat	Sienna Steep Bank Village Section Four-B	Sheet 1
■	August, 2000	Final Plat	Sienna Steep Bank Village Section Four-B	Sheet 2
■	April 2001	Final Plat	Sienna Steep Bank Village Section Four-C	Sheet 1
■	April 2001	Final Plat	Sienna Steep Bank Village Section Four-C	Sheet 2
■	November 2001	Final Plat	Sienna Steep Bank Village Section Five-A	Sheet 1
■	November 2001	Final Plat	Sienna Steep Bank Village Section Five-A	Sheet 2
■	February 2003	Final Plat	Sienna Steep Bank Village Section Five-B	Sheet 1
■	February 2003	Final Plat	Sienna Steep Bank Village Section Five-B	Sheet 2
■	August 2005	Final Plat	Sienna Steep Bank Village Section Five-C	Sheet 1
■	August 2005	Final Plat	Sienna Steep Bank Village Section Five-C	Sheet 2

MISSOURI CITY APPROVAL  
APPROVAL VOID IF NO PROGRESS HAS BEEN  
MADE TOWARDS COMPLETION OF THE  
PROJECT WITHIN TWO YEARS OF DATE OF  
SIGNATURE

MISSOURI CITY- PUBLIC WORKS DEPARTMENT  
1522 TEXAS PARKWAY  
MISSOURI CITY, TX 77489  
PHONE: 281-403-8570  
FAX: 281-403-8898

DIRECTOR OF PUBLIC WORKS

SPLID BILLING CODE: 15A128



GENERAL NOTES & SPECIFICATIONS:

1.

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR HAVING EXAMINED THE PROJECT SITE, TO HAVE COMPARED IT WITH THE DRAWINGS AND SPECIFICATIONS, TO HAVE CAREFULLY EXAMINED THE CONTRACT DOCUMENTS, AND TO HAVE SATISFIED HIMSELF AS TO THE CONDITIONS UNDER WHICH THE WORK SHALL BE PERFORMED BEFORE SUBMITTING A PROPOSAL. NO ALLOWANCE OR ADDITIONAL COMPENSATION WILL SUBSEQUENTLY BE MADE IN BEHALF OF THE CONTRACTOR ON ACCOUNT OF HIS NEGLIGENCE OR FAILURE TO ACQUAINT HIMSELF WITH THE CONDITIONS OF THE SITE AND OF THE STREETS APPROACHING THE SITE.
2.

THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SUPERVISION NECESSARY TO ACCOMPLISH THE WORK AS SHOWN AND NOTED ON THE DRAWINGS UNLESS OTHERWISE SPECIFIED.
3.

CONTRACTOR IS RESPONSIBLE FOR CONTACTING UTILITY COMPANIES BEFORE EXCAVATION.
4.

CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE ORDINANCES AND LOCAL, STATE & FEDERAL CODES (MOST RECENT EDITIONS). REQUIRED PERMITS SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
5.

ANY CONFLICTING INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR THE LANDSCAPE ARCHITECT AND OWNER SHALL ASSUME THE CONTRACTOR HAS INCORPORATED THE COSTLIEST ITEM.
6.

OMISSIONS FROM THE DRAWINGS OR SPECIFICATIONS OR THE MIS-DESCRIPTION OF DETAILS OF WORK WHICH ARE MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH ARE CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS TO THE WORK, BUT THEY SHALL BE PERFORMED AS IF FULLY AND CORRECTLY SET FORTH AND DESCRIBED IN THE DRAWINGS AND/OR SPECIFICATIONS.
7.

DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN UNKNOWN CONFLICTS, OBSTRUCTIONS AND /OR GRADE DIFFERENCES EXIST THAT MAY HAVE NOT BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
8.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION WITH THEIR SUBCONTRACTORS TO ACCOMPLISH THEIR SCOPE OF WORK. CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH OTHER TRADES WORKING ON THE SITE SIMULTANEOUSLY. THE LANDSCAPE ARCHITECT'S APPROVAL OR DISAPPROVAL OF ANY SUBCONTRACTOR WILL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR THE PERFORMANCE OF THE WORK AS CALLED FOR UNDER THE CONTRACT DOCUMENTS.
9.

CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING IRRIGATION AND LANDSCAPE ON SITE FROM ANY DAMAGE. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS IMMEDIATELY.
10.

CONTRACTOR SHALL NOTIFY OWNER AND LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULING.
11.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING CONDITIONS, AND SHALL PERFORM FIELD MEASUREMENTS PRIOR TO FABRICATION AND/OR PURCHASE OF ANY MATERIAL AND SHALL CONTACT THE LANDSCAPE ARCHITECT SHOULD EXISTING CONDITIONS BE DIFFERENT FROM THE DESIGN DRAWINGS FOR THIS PROJECT. CONFLICTS ARISING DUE TO LACK OF COORDINATION SHALL BE THE RESPONSIBILITY AND THE EXPENSE OF THE CONTRACTOR.
12.

WHERE MATERIALS OR EQUIPMENT ARE SPECIFIED BY A TRADE OR BRAND NAME, IT IS NOT THE INTENTION OF THE OWNER TO DISCRIMINATE AGAINST AN EQUAL PRODUCT OF ANOTHER MANUFACTURER, BUT TO SET A DEFINITE STANDARD OF QUALITY OR PERFORMANCE. IN PREPARING HIS/HER PROPOSAL, EACH BIDDER IS EXPECTED TO INCLUDE IN HIS/HER BASE BID THE COST OF THE ITEM SO SPECIFIED. HOWEVER, IN CERTAIN TECHNICAL SPECIFICATION SECTIONS, MANUFACTURERS ARE LISTED FOLLOWED BY "OR EQUAL." IN CERTAIN OTHER TECHNICAL SPECIFICATION SECTIONS, MANUFACTURERS ARE LISTED WITH "OR EQUAL" NOT INCLUDED. IN THOSE ITEMS WHERE "OR EQUAL" IS NOT INCLUDED, IT IS HEREBY ADDED AND UNDERSTOOD TO BE INCLUDED, EVEN THOUGH NOT SPECIFICALLY STATED IN EACH AND EVERY TECHNICAL SPECIFICATION. IF A CONTRACTOR CHOOSES TO SUBMIT A SUGGESTED "OR EQUAL" PRODUCT IN LIEU OF A PRODUCT BY ONE OF THE NAMED MANUFACTURERS, OWNER WILL EVALUATE THE ITEM TO DETERMINE IF IT IS AN EQUAL. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL DATA REQUIRED TO EVALUATE AN ITEM SUBMITTED AS A SUGGESTED "OR EQUAL." OWNER'S DECISION ON WHETHER AN UNNAMED MANUFACTURER IS AN "EQUAL" IS TO BE FINAL. NO CLAIMS FOR ADDITIONAL COST, TIME DELAY, ETC. WILL BE ACCEPTED IF AN UNNAMED MANUFACTURER IS SUBMITTED BY CONTRACTOR AS A SUGGESTED "EQUAL" AND OWNER DECIDES THE ITEM IS NOT "EQUAL."
13.

CONTRACTOR MUST SUBMIT LIST OF ITEMS TO BE SUBMITTED AS A SUGGESTED "OR EQUAL" AT TIME OF BID SUBMISSION. NO ADDITIONAL SUGGESTED "OR EQUAL" ITEMS WILL BE CONSIDERED AFTER BID OPENING. ANY REQUIRED CHANGES TO THE DRAWINGS AND/OR EXISTING/PROPOSED STRUCTURES RESULTING FROM THE ACCEPTANCE OF CONTRACTOR'S ALTERNATES AND/OR SUBSTITUTIONS SHALL BE AT THE EXPENSE OF THE CONTRACTOR AND SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT AND THE OWNER FOR APPROVAL.
14.

PERFORMANCE AND DESIGN CRITERIA: WHERE PROFESSIONAL DESIGN SERVICES OR CERTIFICATIONS BY A DESIGN PROFESSIONAL ARE SPECIFICALLY REQUIRED OF CONTRACTOR BY THE CONTRACT DOCUMENTS, PROVIDE PRODUCTS AND SYSTEMS COMPLYING WITH SPECIFIC PERFORMANCE AND DESIGN CRITERIA INDICATED FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT.
15.

THE CONTRACTOR SHALL COORDINATE STORING OF MATERIALS, PARKING OF VEHICLES AND RESTRICTIONS OF WORK WITH THE OWNER. UNDER NO CIRCUMSTANCES SHALL ANY CONTRACTOR STORE MATERIALS OR PARK VEHICLES UNDER THE CANOPY OF EXISTING TREES.
16.

CONTRACTOR SHALL PROVIDE UNIT PRICES BASED ON QUANTITIES ON DOCUMENTS. FIELD CONDITIONS MAY REVISE ACTUAL LOCATION, INCREASING OR DECREASING THE EXTENT OF WORK BID. CHANGES TO THE EXTENT OF WORK RESULTING IN AN INCREASE WILL BE BASED ON UNIT PRICES AND PERFORMED SUBJECT TO APPROVAL OF THE LANDSCAPE ARCHITECT AND THE OWNER IN THE FORM OF A CHANGE ORDER.
17.

ALL WORK, AND REQUIRED INSPECTIONS THEREOF, CONCEALED BEHIND FINISHED CONSTRUCTION, SHALL BE ACCOMPLISHED PRIOR TO BEING COVERED BY THE FINISHED CONSTRUCTION. ANY WORK COVERED BEFORE INSPECTIONS HAVE BEEN MADE SHALL BE UNCOVERED WHEN AND AS DIRECTED, AT CONTRACTOR'S EXPENSE.
18.

IN CASE IT SHOULD BE NECESSARY TO MOVE THE PROPERTY OF ANY OWNER OF A PUBLIC UTILITY OR FRANCHISE, THE COST OF WHICH (BECAUSE OF THE TERMS OF ANY FRANCHISE OR FOR ANY OTHER REASON) MUST BE BORNE BY THE OWNER THEREOF, SUCH OWNER WILL, UPON PROPER APPLICATION BY THE CONTRACTOR, BE NOTIFIED BY THE LANDSCAPE ARCHITECT TO MOVE UPON PROPERTY WITHIN A REASONABLE SPECIFIED TIME, AND THE CONTRACTOR SHALL NOT INTERFERE WITH SAID PROPERTY UNTIL AFTER THE EXPIRATION OF THE TIME SPECIFIED.

19.

IN CASE IT SHOULD BE NECESSARY TO MOVE OR TEMPORARILY MAINTAIN THE PROPERTY OF ANY PUBLIC UTILITY OR ANY OTHER PROPERTY, THE COST OF WHICH IS NOT REQUIRED TO BE BORNE BY THE OWNER THEREOF, THE CONTRACTOR SHALL BEAR ALL EXPENSES INCIDENTAL TO THE REMOVAL OR TEMPORARY MAINTENANCE OF SUCH PROPERTY IN A MANNER SATISFACTORY TO THE OWNER THEREOF, WHETHER SUCH REMOVAL OR TEMPORARY MAINTENANCE BE DONE BY THE OWNER THEREOF, IT BEING UNDERSTOOD THAT IN SUCH CASE, SAID OWNER HAS THE OPTION OF DOING SUCH WORK WITH HIS OWN FORCES OR PERMITTING THE WORK TO BE DONE BY THE CONTRACTOR.
20.

THE DRAWINGS ESTABLISH LIMITS OF THE SITE OF CONSTRUCTION, RESTRICTIONS AND PERMANENT BENCH MARKS. ALL OTHER BENCH MARKS, STAKES, GRADES, LEVELS AND LINES SHALL BE ESTABLISHED AND MAINTAINED BY THE CONTRACTOR. ANY BENCH MARKS, STAKES, GRADES, LEVELS OR LINES DISTURBED DURING PROGRESS OF THE WORK UNDER THE CONTRACT SHALL BE ESTABLISHED AGAIN BY THE SURVEYOR AND SET BY THE CONTRACTOR. IN THE EVENT THAT EXISTING SURVEY, GRADE OR BOUNDARY STAKES OR PINS ARE DISTURBED DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR SHALL BEAR THE EXPENSE OF HAVING THE STAKES OR PINS REPLACED BY THE SURVEYOR ORIGINALLY PLACING THE STAKES OR PINS.
21.

ALL PARTS OF THE STRUCTURE OR MATERIALS SHALL BE PROTECTED FROM DAMAGE FROM ALL CAUSES UNTIL THE STRUCTURE OR MATERIALS IS ACCEPTED BY OWNER. ANY PARTS WHICH ARE DAMAGED SHALL BE REPAIRED OR REPLACED TO SATISFACTION OF LANDSCAPE ARCHITECT BEFORE THE STRUCTURE OR MATERIALS WILL BE ACCEPTED.
22.

THE OWNER RESERVES THE RIGHT TO OCCUPY OR USE ANY PART OR PARTS, OR THE ENTIRETY OF THE WORK AND GROUNDS WHEN THE LANDSCAPE ARCHITECT DEEMS THE SAME TO BE SAFE FOR USE OF OCCUPANCY. THE EXERCISING OF THIS RIGHT SHALL IN NO WAY CONSTITUTE ANY ACCEPTANCE OF SUCH PARTS, OR ANY PART OF THE WORK, NOR SHALL IT IN ANY WAY AFFECT THE DATES AND TIMES WHEN PAYMENTS SHALL BECOME DUE FROM THE OWNER TO THE CONTRACTOR, NOR SHALL IT IN ANY WAY PREJUDICE THE OWNER'S RIGHTS IN THE CONTRACTOR OR ANY BONDS GUARANTEEING THE SAME; THE CONTRACT TO BE DEEMED COMPLETED ONLY WHEN THE WORK CONTRACTED FOR SHALL BE DULY AND PROPERLY PERFORMED AND ACCEPTED BY THE OWNER.
23.

IN EXERCISING THE ABOVE RIGHT TO OCCUPY OR USE INCOMPLETE FACILITIES PRIOR TO THE EXPIRATION OF THE TIME LIMIT, THE OWNER SHALL NOT MAKE ANY USE WHICH WILL INCREASE THE COST TO THE CONTRACTOR NOR MATERIALLY DELAY HIM IN THE EXECUTION OF HIS CONTRACT WITHOUT EXTENDING SUCH TIME OF COMPLETION. IN EXERCISING THE ABOVE RIGHT TO OCCUPY OR USE INCOMPLETE FACILITIES THE OWNER WILL PROVIDE ADEQUATE INSURANCE COVERAGE FOR PROTECTION OF CONTRACTOR DURING THE REMAINDER OF CONTRACT.
24.

SHOULD THE OWNER REQUEST THAT ANY PORTION OF ANY EQUIPMENT OF THE PROJECT BE OPERATED PREVIOUS TO THE FINAL COMPLETION AND ACCEPTANCE OF THE WORK, THE CONTRACTOR SHALL CONSENT, AND SUCH OPERATIONS SHALL BE UNDER THE SUPERVISION AND DIRECTION OF THE CONTRACTOR. THE EXPENSE OF UTILITIES SO USED WILL BE PAID BY OWNER, AS SEPARATE AND DISTINCT FROM ANY MONIES PAID ON ACCOUNT OF THE CONTRACT. SUCH PRELIMINARY OPERATION OR PAYMENT THEREFORE, SHALL NOT BE CONSTRUED AS ACCEPTANCE OF ANY OF THE WORK OF THIS CONTRACT.
25.

CONTRACTOR SHALL ASSUME ALL RISKS OF LOSS OR DAMAGE TO, OR DESTRUCTION OF, THE WORK OR ANY PART THEREOF, INCLUDING OWNER-FURNISHED MATERIALS AND EQUIPMENT WHICH IS TO BE INCORPORATED IN THE WORK, FROM ANY CAUSE, EXCEPTING LOSS, DAMAGE, OR DESTRUCTION INSURED UNDER ARTICLE II WHICH OCCURS PRIOR TO THE COMPLETION AND ACCEPTANCE OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES THAT MAY OCCUR TO THE ADJOINING IMPROVEMENTS OR STREETS, AND OR AN ACCIDENT TO ANY PERSON OR PERSONS IN AND ABOUT THE CONSTRUCTION SITE OR ADJACENT STREETS, AND FOR DAMAGES DONE TO ADJOINING PROPERTY OR THE WORK OF OTHERS DURING THE PROGRESS OF THE WORK UNDER THE CONTRACT. THE CONTRACTOR SHALL DEFEND AND SAVE HARMLESS, THE OWNER AND THE LANDSCAPE ARCHITECT FROM ACTIONS, SUITS, OR OTHER LEGAL PROCEEDINGS THAT MAY BE INSTITUTED ON SUCH CLAIMS OR DEMAND.

SUBMITTALS

1.

CONTRACTOR SHALL PREPARE AND SUBMIT A COMPLETE LIST OF ALL REQUIRED SUBMITTALS AND SAMPLES WITH 10 CALENDAR DAYS UPON WRITTEN NOTICE TO PROCEED.
2.

PROCESSING TIME: ALLOW ENOUGH TIME FOR SUBMITTAL REVIEW, INCLUDING TIME FOR RESUBMITTALS, AS FOLLOWS. TIME FOR REVIEW SHALL COMMENCE ON ARCHITECT'S RECEIPT OF SUBMITTAL.

A.

INITIAL REVIEW: ALLOW 15 DAYS FOR INITIAL REVIEW OF EACH SUBMITTAL. ALLOW ADDITIONAL TIME IF PROCESSING MUST BE DELAYED TO PERMIT COORDINATION WITH SUBSEQUENT SUBMITTALS. ARCHITECT WILL ADVISE CONTRACTOR WHEN A SUBMITTAL BEING PROCESSED MUST BE DELAYED FOR COORDINATION.

B.

CONCURRENT REVIEW: WHERE CONCURRENT REVIEW OF SUBMITTALS BY ARCHITECT'S CONSULTANTS, OWNER, OR OTHER PARTIES IS REQUIRED, ALLOW 21 DAYS FOR INITIAL REVIEW OF EACH SUBMITTAL.

C.

ALLOW 15 DAYS FOR PROCESSING EACH RESUBMITTAL.

D.

NO EXTENSION OF THE CONTRACT TIME WILL BE AUTHORIZED BECAUSE OF FAILURE TO TRANSMIT SUBMITTALS ENOUGH IN ADVANCE OF THE WORK TO PERMIT PROCESSING.

3.

SHOP DRAWINGS: PREPARE PROJECT-SPECIFIC INFORMATION, DRAWN ACCURATELY TO SCALE. DO NOT BASE SHOP DRAWINGS ON REPRODUCTIONS OF THE CONTRACT DOCUMENTS OR STANDARD PRINTED DATA.

A.

PREPARATION: INCLUDE THE FOLLOWING INFORMATION, AS APPLICABLE:

A.A.

DIMENSIONS.

A.B.

IDENTIFICATION OF PRODUCTS.

A.C.

FABRICATION AND INSTALLATION DRAWINGS.

A.D.

ROUGHING-IN AND SETTING DIAGRAMS.

A.E.

WIRING DIAGRAMS SHOWING FIELD-INSTALLED WIRING, INCLUDING POWER, SIGNAL, AND CONTROL WIRING.

A.F.

SHOPWORK MANUFACTURING INSTRUCTIONS.

A.G.

TEMPLATES AND PATTERNS.

A.H.

SCHEDULES.

A.I.

DESIGN CALCULATIONS.

A.J.

COMPLIANCE WITH SPECIFIED STANDARDS.

A.K.

NOTATION OF COORDINATION REQUIREMENTS.

A.L.

NOTATION OF DIMENSIONS ESTABLISHED BY FIELD MEASUREMENT.
- CLOSEOUT PROCEDURES
- SUBSTANTIAL COMPLETION
1.

BEFORE REQUESTING INSPECTION FOR DETERMINING DATE OF SUBSTANTIAL COMPLETION, COMPLETE THE FOLLOWING. LIST ITEMS BELOW THAT ARE INCOMPLETE IN REQUEST.

A.

PREPARE A LIST OF ITEMS TO BE COMPLETED AND CORRECTED (PUNCH LIST), THE VALUE OF ITEMS ON THE LIST, AND REASONS WHY THE WORK IS NOT COMPLETE.

B.

ADVISE OWNER OF PENDING INSURANCE CHANGEOVER REQUIREMENTS.

C.

SUBMIT SPECIFIC WARRANTIES, WORKMANSHIP BONDS, MAINTENANCE SERVICE AGREEMENTS, FINAL CERTIFICATIONS, AND SIMILAR DOCUMENTS.

D.

OBTAIN AND SUBMIT RELEASES PERMITTING OWNER UNRESTRICTED USE OF THE WORK AND ACCESS TO SERVICES AND UTILITIES. INCLUDE OCCUPANCY PERMITS, OPERATING CERTIFICATES, AND SIMILAR RELEASES.

E.

PREPARE AND SUBMIT PROJECT RECORD DOCUMENTS, OPERATION AND MAINTENANCE MANUALS, DAMAGE OR SETTLEMENT SURVEYS, PROPERTY SURVEYS, AND SIMILAR FINAL RECORD INFORMATION.
- F.

DELIVER TOOLS, SPARE PARTS, EXTRA MATERIALS, AND SIMILAR ITEMS TO LOCATION DESIGNATED BY OWNER. LABEL WITH MANUFACTURER'S NAME AND MODEL NUMBER WHERE APPLICABLE.

G.

MAKE FINAL CHANGE/OVER OF PERMANENT LOCKS AND DELIVER KEYS TO OWNER. ADVISE OWNER'S PERSONNEL OF CHANGE/OVER IN SECURITY PROVISIONS.

H.

COMPLETE STARTUP TESTING OF SYSTEMS.

I.

SUBMIT TEST/ADJUST/BALANCE RECORDS.

J.

TERMINATE AND REMOVE TEMPORARY FACILITIES FROM PROJECT SITE, ALONG WITH MOCKUPS, CONSTRUCTION TOOLS, AND SIMILAR ELEMENTS.

K.

ADVISE OWNER OF CHANGE/OVER IN HEAT AND OTHER UTILITIES.

L.

SUBMIT CHANGE/OVER INFORMATION RELATED TO OWNER'S OCCUPANCY, USE, OPERATION, AND MAINTENANCE.

M.

COMPLETE FINAL CLEANING REQUIREMENTS, INCLUDING TOUCHUP PAINTING.

N.

TOUCH UP AND OTHERWISE REPAIR AND RESTORE MARRED EXPOSED FINISHES TO ELIMINATE VISUAL DEFECTS.
2.

INSPECTION: SUBMIT A WRITTEN REQUEST FOR INSPECTION FOR SUBSTANTIAL COMPLETION. ON RECEIPT OF REQUEST, ARCHITECT AND CONSTRUCTION MANAGER WILL EITHER PROCEED WITH INSPECTION OR NOTIFY CONTRACTOR OF UNFULFILLED REQUIREMENTS. LANDSCAPE ARCHITECT WILL PREPARE THE CERTIFICATE OF SUBSTANTIAL COMPLETION AFTER INSPECTION OR WILL NOTIFY CONTRACTOR OF ITEMS, EITHER ON CONTRACTOR'S LIST OR ADDITIONAL ITEMS IDENTIFIED BY LANDSCAPE ARCHITECT, THAT MUST BE COMPLETED OR CORRECTED BEFORE CERTIFICATE WILL BE ISSUED.
3.

REINSPECTION: REQUEST REINSPECTION WHEN THE WORK IDENTIFIED IN PREVIOUS INSPECTIONS AS INCOMPLETE IS COMPLETED OR CORRECTED.
4.

RESULTS OF COMPLETED INSPECTION WILL FORM THE BASIS OF REQUIREMENTS FOR FINAL COMPLETION.
- FINAL COMPLETION
1.

PRELIMINARY PROCEDURES: BEFORE REQUESTING FINAL INSPECTION FOR DETERMINING DATE OF FINAL COMPLETION, COMPLETE THE FOLLOWING:

A.

SUBMIT A FINAL APPLICATION FOR PAYMENT ACCORDING TO DIVISION 1 SECTION "PAYMENT PROCEDURES."

B.

SUBMIT CERTIFIED COPY OF ARCHITECT'S SUBSTANTIAL COMPLETION INSPECTION LIST OF ITEMS TO BE COMPLETED OR CORRECTED (PUNCH LIST), ENDORSED AND DATED BY ARCHITECT. THE CERTIFIED COPY OF THE LIST SHALL STATE THAT EACH ITEM HAS BEEN COMPLETED OR OTHERWISE RESOLVED FOR ACCEPTANCE.

C.

SUBMIT EVIDENCE OF FINAL, CONTINUING INSURANCE COVERAGE COMPLYING WITH INSURANCE REQUIREMENTS.

D.

SUBMIT PEST-CONTROL FINAL INSPECTION REPORT AND WARRANTY.

E.

INSTRUCT OWNER'S PERSONNEL IN OPERATION, ADJUSTMENT, AND MAINTENANCE OF PRODUCTS, EQUIPMENT, AND SYSTEMS. SUBMIT DEMONSTRATION AND TRAINING VIDEOTAPEs.

2.

INSPECTION: SUBMIT A WRITTEN REQUEST FOR FINAL INSPECTION FOR ACCEPTANCE. ON RECEIPT OF REQUEST, ARCHITECT AND CONSTRUCTION MANAGER WILL EITHER PROCEED WITH INSPECTION OR NOTIFY CONTRACTOR OF UNFULFILLED REQUIREMENTS. ARCHITECT WILL PREPARE A FINAL CERTIFICATE FOR PAYMENT AFTER INSPECTION OR WILL NOTIFY CONTRACTOR OF CONSTRUCTION THAT MUST BE COMPLETED OR CORRECTED BEFORE CERTIFICATE WILL BE ISSUED.
3.

REINSPECTION: REQUEST REINSPECTION WHEN THE WORK IDENTIFIED IN PREVIOUS INSPECTIONS AS INCOMPLETE IS COMPLETED OR CORRECTED.
- RECORD DOCUMENTS AND MANUALS
1.

SUBMIT ALL AS-BUILT DRAWINGS, WRITTEN WARRANTIES AND OPERATION AND MAINTENANCE MAUALS AT THE TIME OF REQUEST FOR SUBSTANATIAL COMPLETION.
- FINAL CLEANING
1.

CONTRACTOR TO PROVIDE FINAL CLEANING OF PROJECT SITE TO THE SATISFACTION OF THE OWNER AND LANDSCAPE ARCHITECT. CLEAN AND REMOVE ALL ITEMS FROM PROJECT SITE, SWEEP AND REMOVE DEBRIS FROM ALL SURFACES, REMOVE LABELS AND REPAIR ANY MARRED, EXPOSED FINISH SURFACES. REPLACE FINISHES AND SURFACES THAT CANNOT BE SATISFACTORILY REPAIRED OR RESTORED OR THAT ALREADY SHOW EVIDENCE OF REPAIR OR RESTORATION.
2.

REPLACE PARTS SUBJECT TO UNUSUAL OPERATING CONDITIONS.
- REINSPECTION
1.

ADDITIONAL RE-INSPECTIONS DUE TO THE CONTRACTORS FAILURE TO ADEQUATELY COMPLETE WORK AT THE TIME OF REQUEST FOR SUBSTANTIAL COMPLETION OR FAILURE TO COMPLETE PUNCH LIST ITEMS WILL BE CHARGED TO THE CONTRACTOR AND WITHELD FROM RETAINAGE AT A RATE OF \$500 PER REINSPECTION.
- CONCRETE SPECIFICATIONS
1.

ALL CONCRETE CONSTRUCTION, DETAILING AND ERECTION SHALL CONFORM TO THE FOLLOWING:

A.

ACI #301: SPECIFICATIONS

B.

ACI #318: BUILDING CODE REQUIREMENTS

C.

ACI #315: MANUAL OF STANDARD PRACTICE

2.

CONCRETE MATERIALS SHALL CONFORM TO THE FOLLOWING ASTM REQUIREMENTS"

A.

AGGREGATE - C33

B.

READY MIXED CONCRETE - C94

C.

PORTLAND CEMENT - C150

D.

FIELD CYLINDERS - C31

E.

COMPRESSIVE TESTING - C39

3.

ALL CONCRETE SHALL BE NORMAL WEIGHT CONCRETE WEIGHING NOT MORE THAN 145 PCF AND SHALL HAVE A MINIMUM CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS OF 3000 PSI.

4.

THE WATER/CEMENT RATIO FOR STRUCTURAL CONCRETE SHALL NOT EXCEED 0.53.

5.

TOTAL AIR CONTENT SHALL BE 3 TO 5 PERCENT.

6.

CONCRETE TEST CYLINDERS SHALL BE OBTAINED FOR EVERY 50 CUBIC YARDS OF CONCRETE PLACED, OR ANY PORTION THEREOF DEPOSITED IN A SINGLE DAY, AS FOLLOWS:

A.

FOUR (4) CONCRETE TEST CYLINDERS SHALL BE MOLDED FROM EACH SPECIMEN AND CURED ACCORDING TO ASTM C31. COMPRESSIVE TEST RESULTS SHALL BE PERFORMED ON ONE CYLINDER AT 7 DAYS AND TWO CYLINDERS AT 28 DAYS. THE FOURTH CYLINDER SHALL BE RETAINED FOR 56 DAYS AND TESTED ONLY IF THE AVERAGE STRENGTH OF THE 28 DAY TEST RESULTS DO NOT MEET THE MINIMUM COMPRESSIVE STRENGTH SPECIFIED.

B.

CONDUCT A SLUMP TEST FOR EACH SPECIMEN.

7.

PUMPED CONCRETE SHALL MEET THESE ADDITIONAL REQUIREMENTS:

A.

MAXIMUM COARSE AGGREGATE SIZE - 1 INCH

B.

INCREASE CEMENT FACTOR BY 1/2 SACK PER CUBIC YARD.

C.

MAXIMUM SLUMP - 5 INCHES

D.

DO NOT PUMP THROUGH AN ALUMINUM TUBE.

8.

CONCRETE SHALL NOT BE PLACED PRIOR TO APPROVAL OF THE CONCRETE MIX DESIGNS BY THE LANDSCAPE ARCHITECT. THE MIX DESIGNS SHALL NOT BE APPROVED PRIOR TO RECEIPT OF COMPRESSIVE TEST RESULTS FROM AN INDEPENDENT TESTING LABORATORY CERTIFYING ADEQUATE STRENGTH OF THE MIX DESIGNS AT 28 DAYS.
- PLANTING SPECIFICATIONS
1.

ALL DISTURBED AREAS WITHIN LIMITS OF CONSTRUCTION ARE TO RECEIVE BERMUDA HYDROMULCH UNLESS OTHERWISE SPECIFIED.

2.

HYDROMULCHING BETWEEN SEPT. 15 & APRIL 15, SEED WITH ANNUAL RYE GRASS, SCALP RYE & RE-APPLY COMMON BERMUDA HYDROMULCH IN LATE APRIL. ENSURE BERMUDA TURF IS ESTABLISHED. WEEDS SHOULD BE ERADICATED WITHIN ESTABLISHMENT AREA.

3.

TURF ESTABLISHMENT TO START AS SOON AS FINAL GRADING OF ANY DISTURBED AREAS WITHIN THE LEVEE DISTRICT'S RIGHT-OF-WAY IS COMPLETED.

4.

DUE TO THE ABSENCE OF IRRIGATION IN THE PROJECT AREA, HANDWATERING SHOULD BE ASSUMED BY CONTRACTOR UNTIL ESTABLISHMENT OF TURF.

5.

CONTINUOUS 2' WIDE SOD STRIP TO BE PLACED ON EITHER SIDE OF DECOMPOSED GRANITE & CONCRETE TRAIL.
- GRADING & EROSION CONTROL NOTES:
1.

VERIFY EXISTING CONTOURS AS SHOWN. FINAL GRADING TO BE APPROVED IN FIELD BY THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL ROUGH GRADE AND DRAG FINISH ALL GRADING PER APPROVAL OF THE LANDSCAPE ARCHITECT. EARTHWORK SHALL BE PLACED WITHIN + 1/10' VERTICALLY AND + 1' HORIZONTAL AS SHOWN ON PLANS.

2.

ALL EARTHWORK SHALL HAVE MAXIMUM 3:1 SLOPES UNLESS OTHERWISE NOTED.

3.

GRADE ALL SLOPES FOR POSITIVE DRAINAGE AND TO PREVENT WATER FROM STANDING. CONTRACTOR SHALL ENSURE THAT EARTHWORK DOES NOT OBSTRUCT DRAINAGE FLOW. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY SHOULD SUCH CONDITIONS ARISE.

4.

ALL SLOPES SHALL BE SMOOTH AND UNIFORM. LEVEL AND GENTLY CROWN TOP OF SLOPES. BLEND TOE OF SLOPES INTO EXISTING GRADES.

5.

CONTRACTOR TO NOTIFY OWNER OF ANY MANHOLE, UTILITY BOX OR GATE VALVE ADJUSTMENTS REQUIRED PRIOR TO PLACING ANY FILL OR DOING ANY CUTTING OF GRADES. LOCATIONS OF ALL UTILITIES SHOWN ON PLANS ARE APPROXIMATE AND SHALL BE VERIFIED IN FIELD. ALL ADJUSTMENTS SHALL BE AS PER CITY AND/OR COUNTY DESIGN STANDARDS.

6.

CONTRACTOR SHALL COMPLY WITH LOCAL, STATE & FEDERAL STORM WATER PROTECTION AND TCEQ STANDARDS.
- | MATERIALS SCHEDULE |  |                                  |  |  |   |
|--------------------|--|----------------------------------|--|--|---|
| PAVING             |  |                                  |  |  |   |
| KEY                | DESCRIPTION /MODEL NUMBER  | COLOR                            | FINISH   | CONTACT  | REMARKS   |
| P.1                | DECOMPOSED GRANITE   | TAN                              | N/A  | LOCAL SOURCE                                       | CONTRACTOR TO PROVIDE SAMPLE & MOCK-UP FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO INSTALLATION.  |
| P.2                | CONCRETE   | GRAY, MATCH EXISTING SIENNA      | MEDIUM BROOM   | LOCAL SOURCE                                       | CONTRACTOR TO PROVIDE MOCK-UP FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO INSTALLATION.   |
| FURNISHING         |  |                                  |  |  |   |
| F.1                | DUMOR 6' BENCH<br>MODEL: 57-60PL   | CEDAR COLOR SLATS<br>BLACK METAL | RECYCLED PLASTIC SLATS<br>POWDER-COATED STEEL<br>FRAME | COMPANY: PAUL E. ALLEN CO.<br>PHONE: (888)877-4887 | INSTALL PER MANUFACTURER'S SPECIFICATIONS; PROVIDE CUTSHEET & COLOR SAMPLES FOR APPROVAL PRIOR TO ORDERING. TO BE FIELD LOCATED W/ LAND. ARCHITECT PRIOR TO INSTALLATION. |
| F.2                | DUMOR TRASH RECEPTACLE<br>MODEL: 41-32PL-S-1, 32 GAL PLASTIC LINER, 10" DIA. OPENING | CEDAR COLOR SLATS<br>BLACK METAL | RECYCLED PLASTIC SLATS<br>POWDER-COATED STEEL<br>FRAME | COMPANY: PAUL E. ALLEN CO.<br>PHONE: (888)877-4887 | INSTALL PER MANUFACTURER'S SPECIFICATIONS; PROVIDE CUTSHEET & COLOR SAMPLES FOR APPROVAL PRIOR TO ORDERING. TO BE FIELD LOCATED W/ LAND. ARCHITECT PRIOR TO INSTALLATION. |
| DRAINAGE           |  |                                  |  |  |   |
| D.1                | 12" HDPE CULVERT PIPE  | N/A                              | N/A  | LOCAL SOURCE                                       | CONTRACTOR TO VERIFY PIPE DIMENSION & MINIMUM REQUIRED COVER W/CIVIL ENGINEER   |
- 
- 
- Landscape Architects • Planners  
3050 Post Oak Blvd., Suite 1100  
Houston, Texas 77056  
(713) 439-0027 Fax: (713) 439-0067  
Austin • Dallas • Fort Lauderdale  
Fort Worth • Houston • San Antonio • Tulsa
- Project:  
**SIENNA PLANTATION  
L.I.D.**
- STEEP BANK LEVEE TRAILS**
- SIENNA PLANTATION LEVEE  
IMPROVEMENT DISTRICT**
- MISSOURI CITY, TEXAS**
- Project Number:  
**H13277**
- Designed: AEH, JGZ
- Drawn: AEH
- Reviewed: JGZ, MM
- Date Issued:  
JULY 28, 2016
- Revisions:  
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- Sheet Title:  
**GENERAL NOTES &  
MATERIAL SCHEDULE**
- Sheet Number:  
**LC 0.2**



LEEVE PROTECTION NOTES:

1.

CONSTRUCTION SHALL BE IN ACCORDANCE WITH PROCEDURES AND RECOMMENDATIONS STATED IN THE SIENNA NORTH LEEVE GEOTECHNICAL ENGINEERING REPORT, SIENNA PLANTATION, FORT BEND COUNTY, TEXAS, PREPARED BY PARADIGM, INC., UNLESS STATED DIFFERENTLY ON PLANS.
2.

THE LEEVE BODY SHALL BE CONSTRUCTED OF COHESIVE SOILS FREE OF ROOTS, SILT, ORGANIC MATTER DELETERIOUS MATERIAL, AND DEBRIS. ALL LEEVE FILL MATERIAL SHALL CONSIST OF MAYS, SANDY CLAYS, OR SILTY CLAYS THAT HAVE PLASTICITY INDICES (PI'S) OF 20 OR GREATER. SOILS WITH SIGNIFICANT SILT OR SAND SEAMS WITHIN THE CLAY MATRIX SHALL NOT BE USED FOR LEEVE FILL. HIGHER PI SOILS SHALL NOT BE BLENDED WITH SANDS TO CREATE COHESIVE SELECT FILL.
3.

THE PROPOSED LEEVE ALIGNMENT SHALL BE CLEARED OF TREES AND SHRUBS, AND THE GROUND STRIPPED OF ALL VEGETATION, ORGANIC MATTER, AND 6" OF TOP SOIL. AFTER STRIPPING, THE LEEVE SUBGRADE SHALL BE PROOFROLLED. ANY WEAK SOILS ENCOUNTERED SHALL BE REMOVED AND REPLACED WITH CLAY FILL MATERIALS COMPACTED IN 8" LOOSE LIFTS TO 95% STANDARD PROCTOR DENSITY WITH A MOISTURE CONTENT OF 3% OF OPTIMUM MOISTURE CONTENT.
4.

ALL STUMPS SHALL BE GRUBBED TO THEIR FULL DEPTH WITHIN THE PROPOSED LEEVE ALIGNMENT AND GRUB HOLES ARE TO BE FILLED USING PROPERLY COMPACTED LEEVE FILL MATERIALS COMPACTED IN 8" LOOSE LIFTS TO 95% STANDARD PROCTOR DENSITY WITH A MOISTURE CONTENT OF 3% OPT
5.

IF TEMPORARY BURN PITS ARE PERMITTED TO DISPOSE OF ON-SITE TREES, BURN PITS SHALL NOT BE LOCATED WITHIN THE LIMITS OF THE PROPOSED LEEVE.
6.

AFTER PROOFROLLING, THE SUBGRADE SOILS SHALL BE SCARIFIED TO AT LEAST 4 INCHES IN DEPTH. THE FIRST LIFT OF FILL SOIL SHALL THEN BE PLACED IN A MAXIMUM 8-INCH THICK LOOSE LIFT. THE LIFT SHALL BE COMPACTED TO AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698). THE MOISTURE CONTENT DURING PLACEMENT AND COMPACTION SHALL BE AT OR WITHIN THREE PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT.
7.

AFTER COMPACTION WITH VERIFICATION OF DENSITY AND MOISTURE CONTENT, THE COMPACTED FILL SURFACE SHALL BE SCARIFIED TO AT LEAST 2 INCHES IN DEPTH BEFORE THE NEXT 8 INCH THICK LOOSE LIFT IS PLACED AND COMPACTED. EACH LIFT OF THE LEEVE SHALL BE COMPACTED USING THE SCARIFICATION, LIFT THICKNESS, COMPACTION, AND MOISTURE CRITERIA PRESENTED.
8.

IF SANDY OR SURFICIAL CONDITIONS (AS DETERMINED BY THE TESTING LAB) ARE PRESENT IN THE VICINITY OF THE PROPOSED LEEVE ALIGNMENT, A KEY MUST BE CONSTRUCTED TO REDUCE UNDERSEEPAGE POTENTIAL. THE KEY SHALL BE AT LEAST 2 FEET DEEP OR SUFFICIENTLY DEEP TO TOE INTO CLAY SOILS. THE KEY MUST BE CONSTRUCTED WITH PROPERLY COMPACTED LEEVE FILL MATERIAL.
9.

IF RAINFALL OCCURS, EXPOSED FILL SHALL BE SEALED WITH A SMOOTH ROLLER TO PREVENT INFILTRATION. THE LEEVE SHALL BE GRADED DURING CONSTRUCTION TO PREVENT PONDING OF RUNOFF.
10.

IN AREAS WHERE THE PROPOSED LEEVE IS TO TIE INTO EXISTING LEEVES, BENCHES MUST BE USED TO REDUCE THE POTENTIAL FOR A SHEAR PLANE TO DEVELOP ALONG THE INTERFACE. THE BENCHES SHALL BE NO GREATER THAN 3 FEET HIGH AND AT LEAST 6 FEET IN WIDTH.
11.

EXISTING LEEVE SHALL BE PROTECTED DURING CONSTRUCTION OF THE PROPOSED LEEVE.
12.

THE COMPLETED LEEVE SHALL BE HYDROMULCH SEEDED TO CONTROL EROSION.
13.

FILL AREAS ACTING AS A BASE FOR THE LEEVE SHALL BE FILLED WITH THE SAME TYPE OF FILL MATERIALS REQUIRED IN THE LEEVE BODY AND BY THE SAME FILL METHODS USED IN THE CONSTRUCTION OF THE LEEVE.
14.

THE L.I.D. ENGINEER SHALL BE NOTIFIED OF ANY EXISTING WATER WELLS LOCATED IN THE LEEVE R.O.W. AT THE ENGINEER'S DISCRETION. THE EXISTING WATER WELLS SHALL BE REMOVED AND CAPPED 5 FEET BELOW NATURAL GROUND (MIN.)
15.

CONTRACTOR SHALL CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM @ 1-800-DIG-TEST (344-8377) PRIOR TO BEGINNING CONSTRUCTION AROUND THE VERIZON SOUTHWEST INC. FIBER OPTIC CABLE LINES FOR INFORMATION REGARDING THE LOCATION & DEPTH OF CABLE LINES
16.

CONTRACTOR SHALL OBTAIN A PERMIT FROM THE F.B.C. ENGINEERING DEPARTMENT, (281)633-7500, PRIOR TO ANY WORK WITHIN THE FORT BEND COUNTY DRAINAGE DISTRICT'S LOWER OYSTER CREEK (III) RIGHT-OF-WAY.

TREE PROTECTION NOTES:

1.

ALL TREES SHOWN ON THIS PLAN TO BE RETAINED OR REPLANTED SHALL BE PROTECTED DURING CONSTRUCTION.
2.

TREE PROTECTION FENCES SHALL BE ERECTED ACCORDING TO ISA STANDARDS AND THE GUIDELINES TO FOLLOWED FOR TREE PROTECTION.
3.

TREE PROTECTION FENCES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING OR GRADING), AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT.
4.

FENCES SHALL COMPLETELY SURROUND THE TREE OR CLUSTERS OF TREES; SHALL BE LOCATED AT THE OUTERMOST LIMITS OF THE TREE BRANCHES (DRIPLINE); AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROJECT IN ORDER TO PREVENT THE FOLLOWING:

A.

SOIL COMPACTION IN THE ROOT ZONE AREA RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIALS.

B.

ROOT ZONE DISTURBANCES DUE TO GRADE CHANGES (GREATER THAN 6 INCHES CUT OR FILL) OR TRENCHING NOT REVIEWED AND AUTHORIZED BY THE CITY ARBORIST OR LANDSCAPE ARCHITECT.

C.

WOUNDS TO EXPOSED ROOTS, TRUNK OR LIMBS BY MECHANICAL EQUIPMENT.

D.

OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL STORAGE, CONCRETE TRUCK CLEANING, AND FIRES.
5.

EXCEPTIONS TO INSTALLING FENCES AT TREE DRIPLINES MAY BE PERMITTED IN THE FOLLOWING CASES:

A.

WHERE PERMEABLE PAVING IS TO BE INSTALLED, ERECT THE FENCE AT THE OUTER LIMITS OF THE PERMEABLE PAVING AREA.

B.

WHERE TREES ARE CLOSE TO PROPOSED BUILDINGS, ERECT THE FENCE NO CLOSER THAN 6 FEET TO THE BUILDING.

C.

WHERE THERE ARE SEVERE SPACE CONSTRAINTS DUE TO TRACT SIZE, OR OTHER SPECIAL REQUIREMENTS, CONTACT THE LANDSCAPE ARCHITECT.
6.

WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN A FENCE THAT IS CLOSER THAN 4 FEET TO A TREE TRUNK, PROTECT THE TRUCK WITH STRAPPED-ON PLANKING TO A HEIGHT OF 8 FEET (OR TO THE LIMITS OF LOWER BRANCHING) IN ADDITION TO THE REDUCED FENCING PROVIDED.
7.

ALL GRADING WITHIN PROTECTED ROOT ZONE AREAS SHALL BE DONE BY HAND OR WITH SHALL EQUIPMENT TO MINIMIZE ROOT DAMAGE. PRIOR TO GRADING, RELOCATE PROTECTIVE FENCING TO 2 FEET BEHIND THE GRADE CHANGE AREA.
8.

ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL AS SOON AS POSSIBLE. IF EXPOSED ROOT AREAS ARE NOT BACKFILLED WITHIN 2 DAYS, COVER THEM WITH ORGANIC MATERIAL IN A MANNER WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION.
9.

**PRIOR TO EXCAVATION OR GRADE CUTTING WITHIN TREE DRIPLINES, A CLEAN CUT SHALL BE MADE BETWEEN THE DISTURBED AND UNDISTURBED ROOT ZONES WITH A ROCK SAW OR SIMILAR EQUIPMENT TO MINIMIZE DAMAGE TO REMAINING ROOTS.**
10.

TREES MOST HEAVILY IMPACTED BY CONSTRUCTION ACTIVITIES WILL BE WATERED DEEPLY ONCE A WEEK DURING PERIODS OF HOT, DRY WEATHER. TREE CROWNS ARE TO BE SPRAYED WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
11.

WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE ROOT ZONE.

12.

ANY TRENCHING REQUIRED FOR THE INSTALLATION OF LANDSCAPE IRRIGATION SHALL BE PLACED AS FAR FROM EXISTING TREE TRUNKS AS POSSIBLE.
13.

PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC AND CONSTRUCTION EQUIPMENT SHALL TAKE PLACE BEFORE CONSTRUCTION BEGINS (BEFORE DAMAGE OCCURS). ALL FINISHED PRUNING MUST BE DONE ACCORDING TO RECOGNIZED, APPROVED STANDARDS OF THE INDUSTRY; REFERENCE THE NATIONAL ARBORIST ASSOCIATION PRUNING STANDARDS FOR SHADE TREES, CLASS IV OF PRUNING (AVAILABLE ON REQUEST FROM THE CITY ARBORIST).
14.

ALL WOUNDS WHICH OCCUR TO TREE TRUNKS AND LIMBS MUST BE REPAIRED WITHIN 24 HOURS OF OCCURRENCE BY BARK TRACING TO REMOVE DAMAGED WOOD AND BARK AND THOROUGHLY SEALED WITH AN ACCEPTABLE TREE WOUND DRESSING. THIS SPECIFICALLY APPLIES TO WOUNDS CREATED BY CONSTRUCTION VEHICLES AND EQUIPMENT, INSTALLATION OF TOWERS AND PIERS, AND STRINGING OF ELECTRICAL LINES.
15.

TREES APPROVED FOR REMOVAL OR REPLANTING SHALL BE REMOVED IN A MANNER WHICH DOES NOT IMPACT TREES TO BE PRESERVED.

TREE REMOVAL NOTES:

1.

CONTRACTOR SHALL BE FAMILIAR WITH ALL EXISTING SITE CONDITIONS AND UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY OF ANY COST INCURRED DUE TO BODILY INJURY AND/OR DAMAGE OF OWNER'S PROPERTY OR SAID UTILITIES. CONTRACTOR IS RESPONSIBLE FOR CONTACTING UTILITY COMPANIES BEFORE DEMOLITION. CONTRACTOR SHALL LOCATE AND VERIFY CONDITION OF UTILITIES PRIOR TO ANY DEMOLITION. EXTREME CARE SHALL BE EXERCISED IN DEMOLITION AND WORKING NEAR EXISTING UTILITIES.
2.

ANY CONFLICTING INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
3.

DO NOT WILLFULLY PROCEED WITH DEMOLITION AS DESIGNED WHEN UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY HAVE NOT BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
4.

CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING TREES ON SITE FROM ANY DAMAGE. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS IMMEDIATELY.
5.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING CONDITIONS. CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT SHOULD EXISTING CONDITIONS BE DIFFERENT FROM THE DESIGN DRAWINGS FOR THIS PROJECT. CONFLICTS ARISING DUE TO LACK OF COORDINATION SHALL BE THE RESPONSIBILITY AND THE EXPENSE OF THE CONTRACTOR.
6.

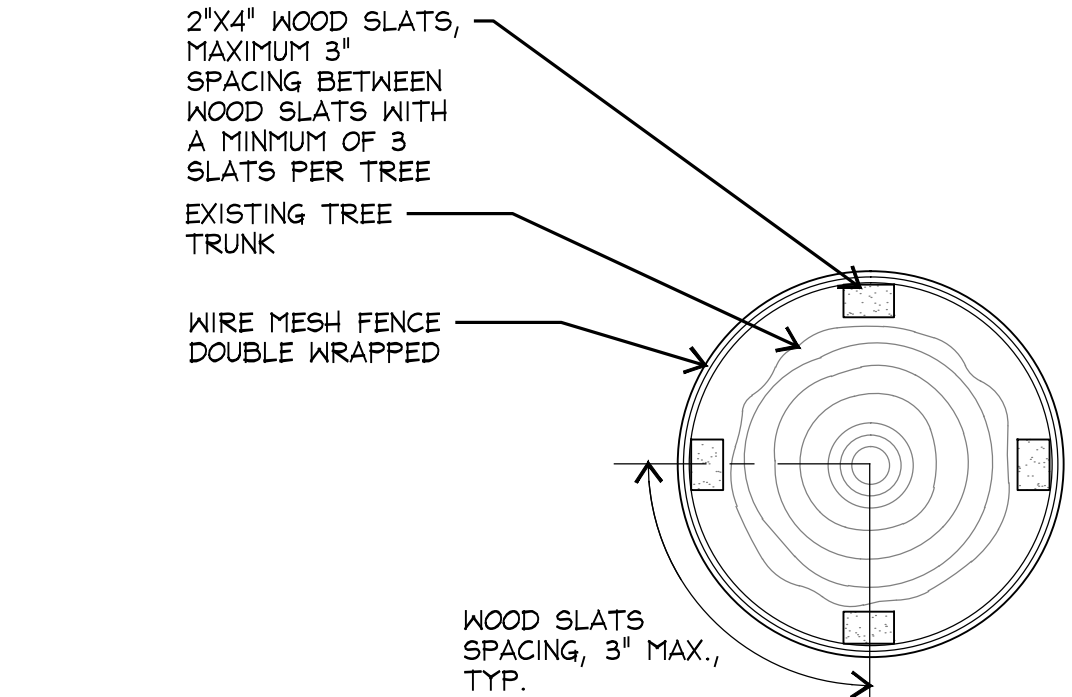
ALL DEMOLITION COVERED BY THESE CONTRACT DOCUMENTS SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF ALL APPLICABLE CITY, COUNTY, AND OSHA CODES AND STANDARDS INCLUDING BUT NOT LIMITED TO THE UNIFORM BUILDING CODE, ENACTED BY THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS, MOST RECENT EDITION, AND AMENDMENTS AS ADOPTED BY THE LOCAL GOVERNMENT.
7.

THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SUPERVISION NECESSARY TO ACCOMPLISH THE WORK AS SHOWN AND NOTED ON THE DRAWINGS UNLESS OTHERWISE SPECIFIED.
8.

CONTRACTOR TO COORDINATE LOCATION LIMITS OF TREE PROTECTION IN FIELD WITH LANDSCAPE ARCHITECT.

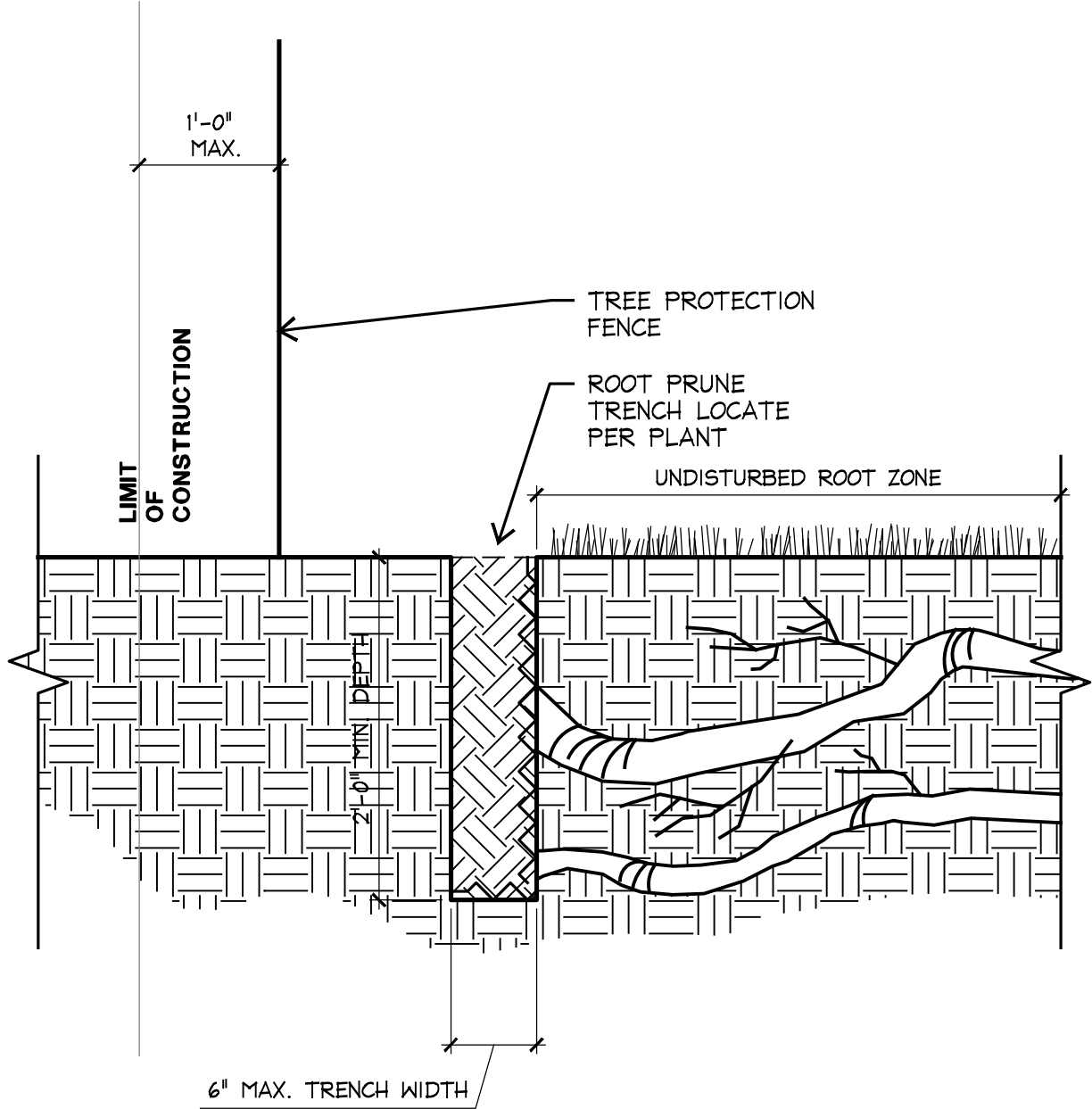
MAINTENANCE NOTE:

SIENNA PLANTATION LEEVE IMPROVEMENT DISTRICT SHALL MAINTAIN THE PROPOSED TRAIL AFTER TURNOVER.



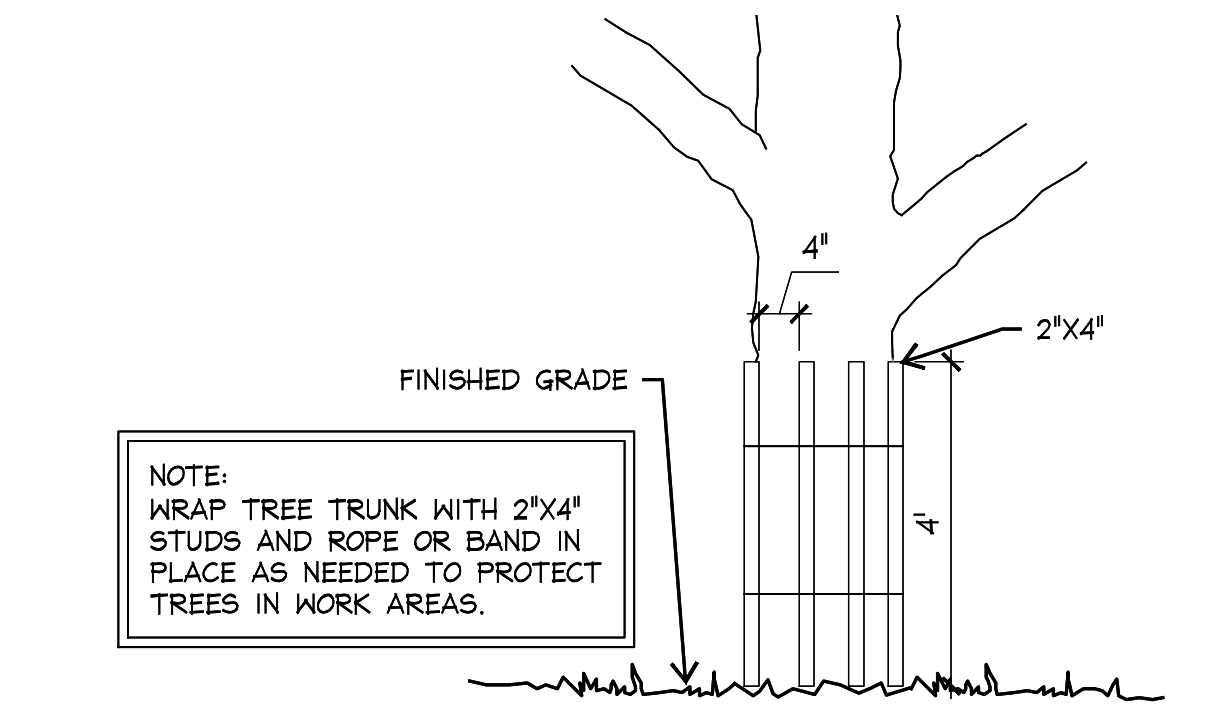
4 TREE PROTECTION - WOOD SLATS

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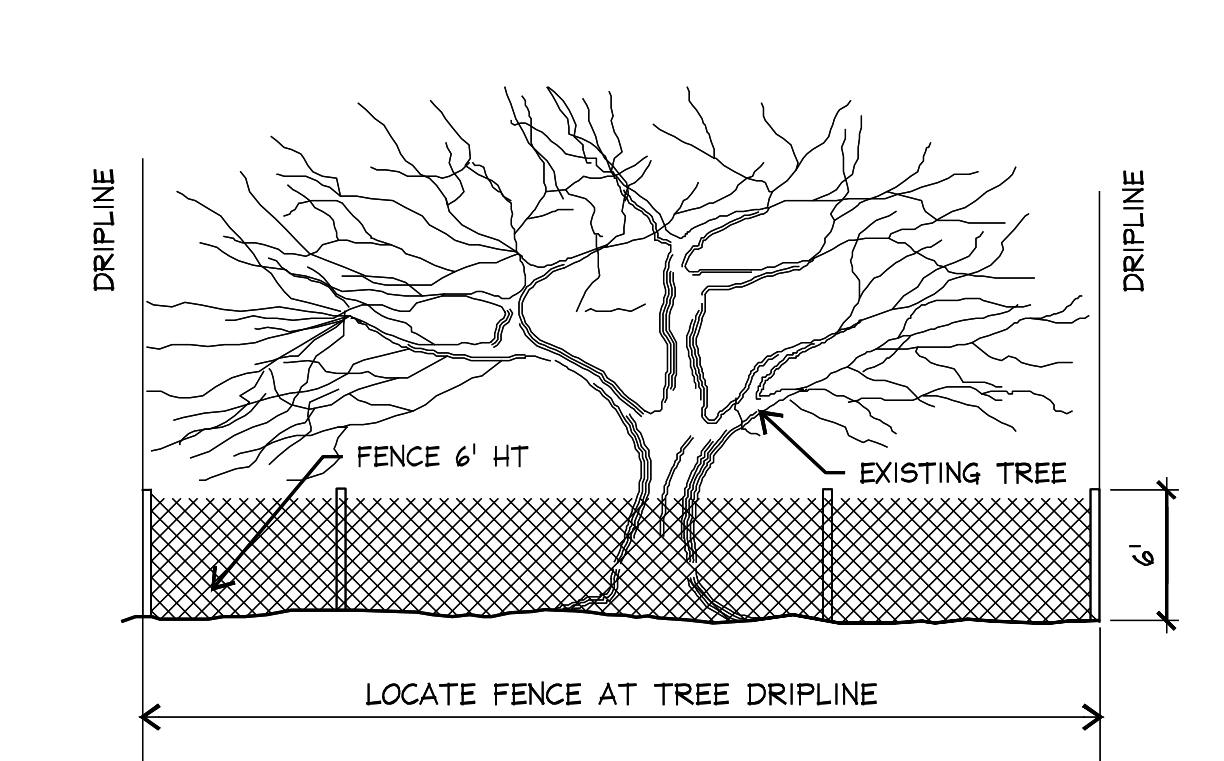
3 TREE PROTECTION - ROOT PRUNE

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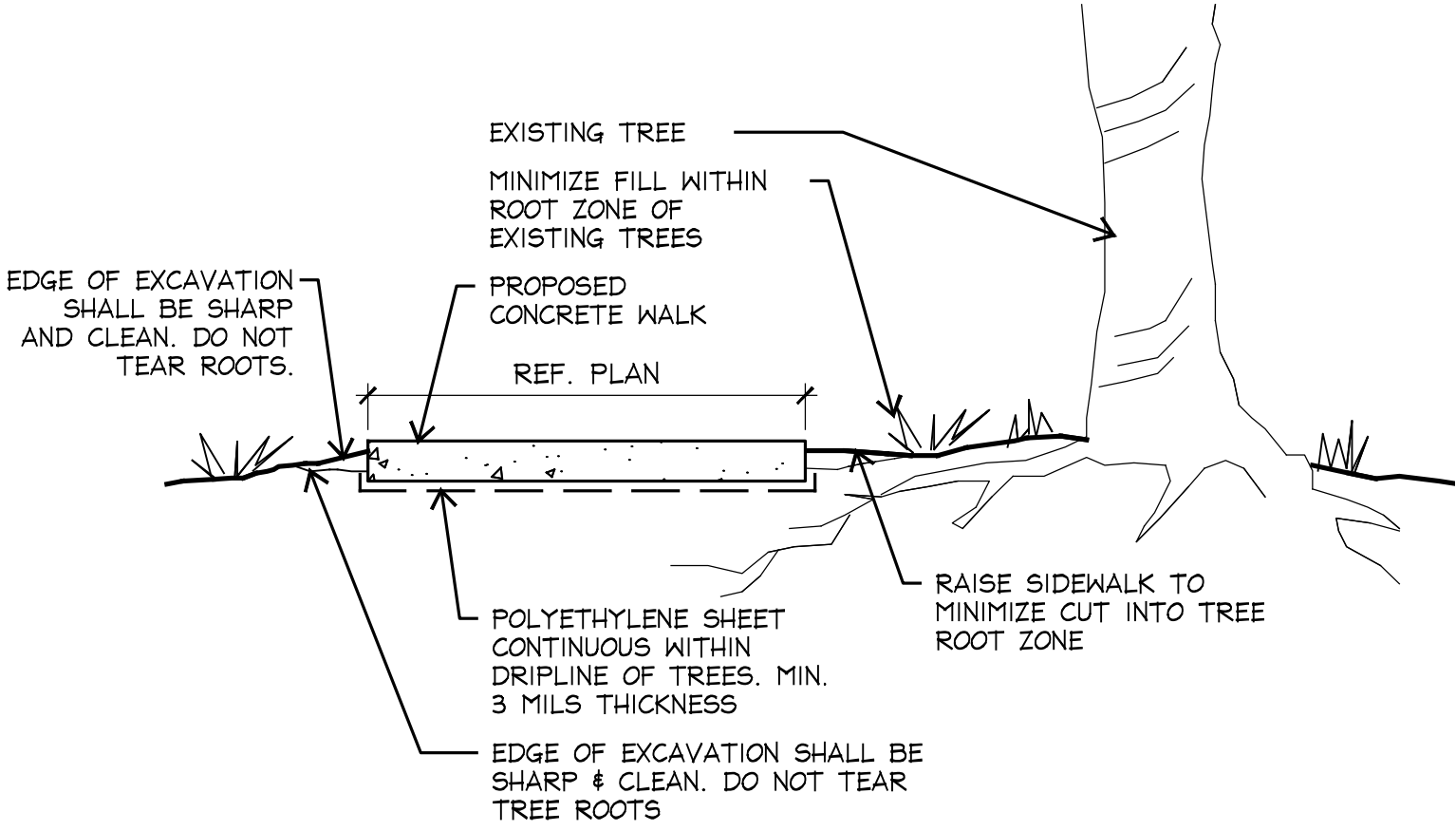
2 TREE PROTECTION - TRUNK

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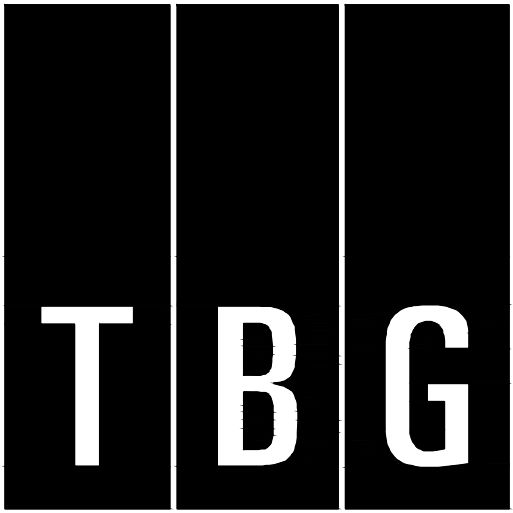
1 TREE PROTECTION - FENCE

NOT TO SCALE



5 TREE PROTECTION - WALK NEAR TREE

NOT TO SCALE



Project:  
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L.I.D.

STEEPBANK LEEVE TRAILS

SIENNA PLANTATION LEEVE  
IMPROVEMENT DISTRICT  
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Project Number:  
H13277

Designed: AEH, JGZ

Drawn: AEH

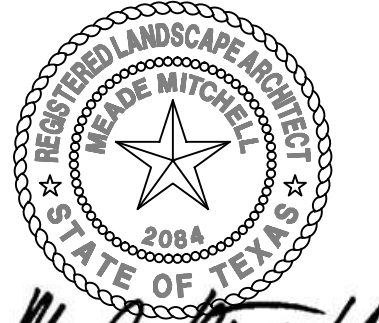
Reviewed: JGZ, MM

Date Issued:  
MAY 24, 2017

Revisions:  
5/24/2017; FBDD Revision

Sheet Title:  
GENERAL NOTES &  
MATERIAL SCHEDULE

Sheet Number:  
LC 0.3



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Project:  
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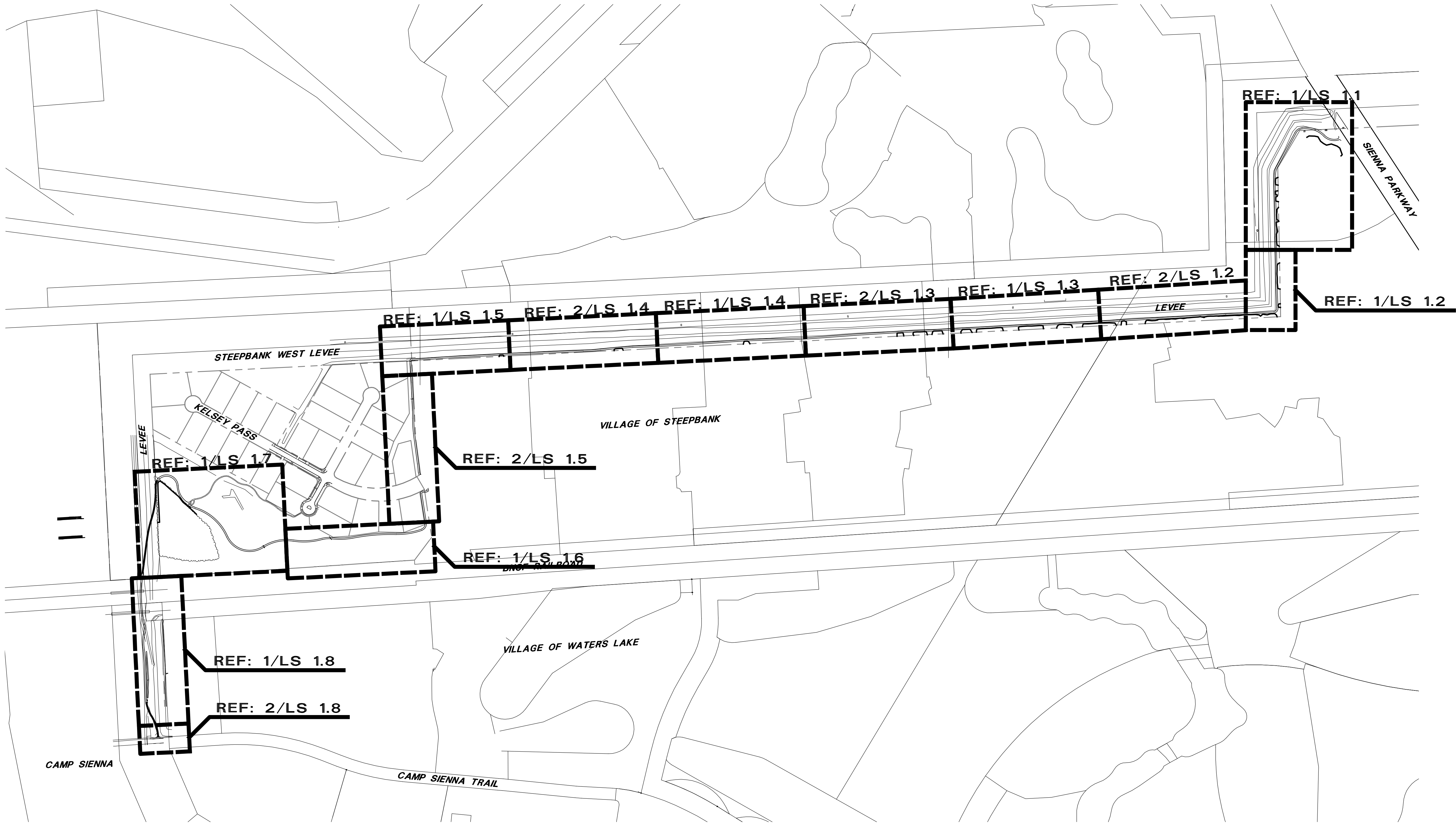
Designed: AEH, JGZ  
Drawn: AEH  
Reviewed: JGZ

Date Issued:  
JULY 28, 2016

Revisions:  
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Sheet Title:  
**OVERALL REFERENCE  
PLAN - STEEPBANK  
WEST**

Sheet Number:  
**LS 0.1**



**1 OVERALL REFERENCE PLAN - STEEPBANK WEST**  
PLAN







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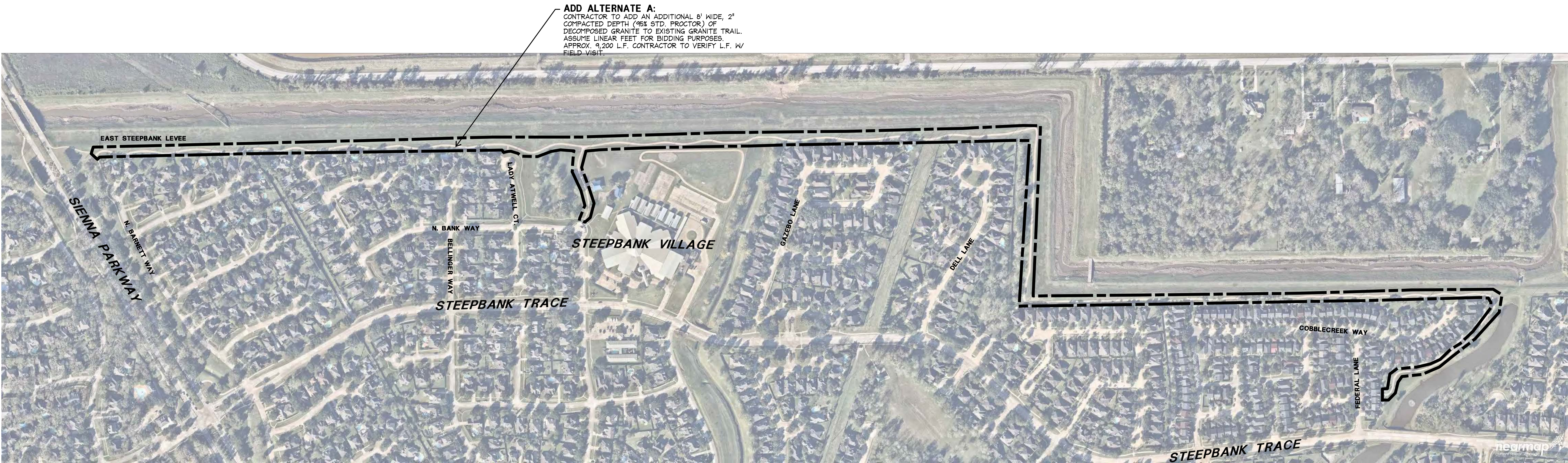
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Drawn: AEH  
Reviewed: JGZ

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Revisions:  
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Sheet Title:  
STEEPBANK EAST EX.  
TRAIL IMPROVEMENT  
DIAGRAM - ADD. ALT.

Sheet Number:  
LS 0.2





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## STEEPBANK LEVEE TRAILS

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H13277

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Reviewed: JGZ

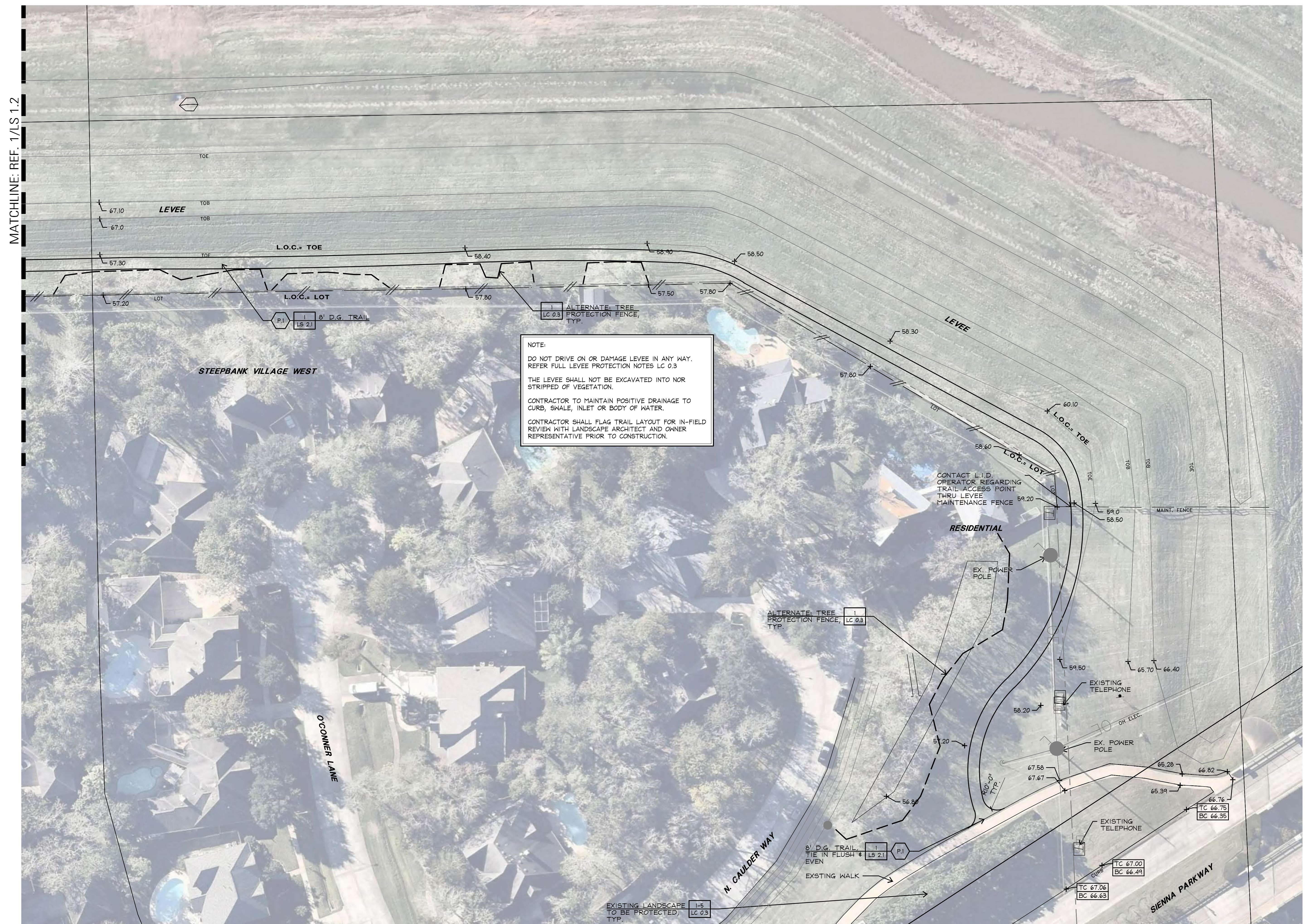
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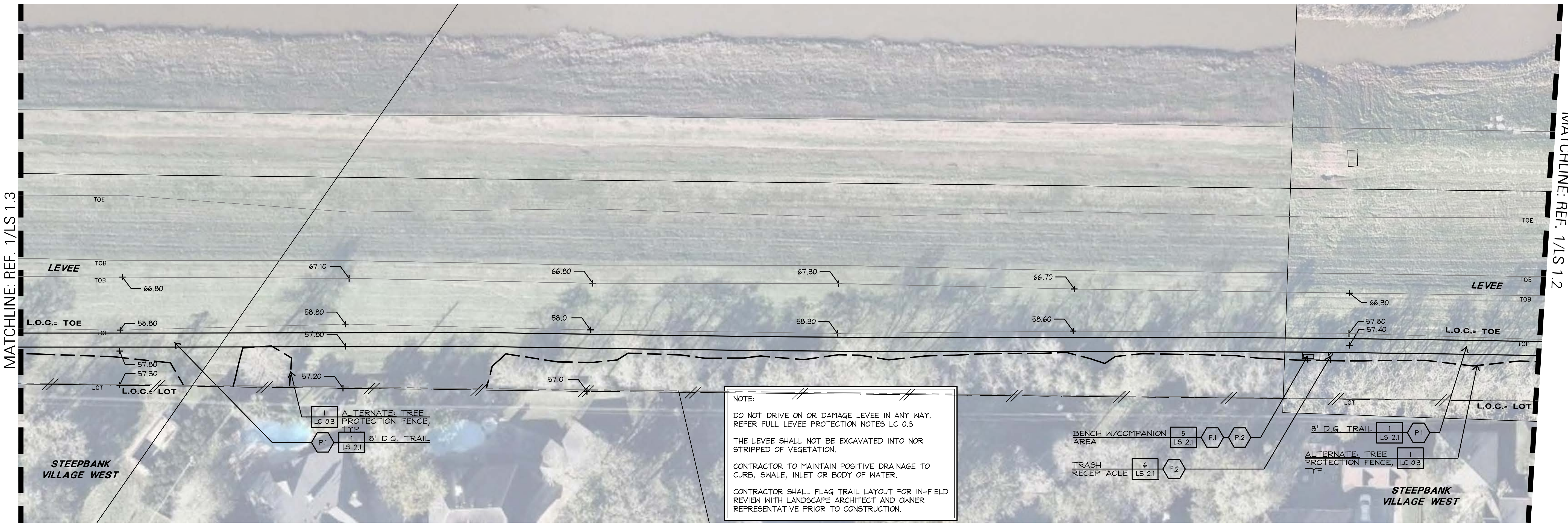
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LS 1.1

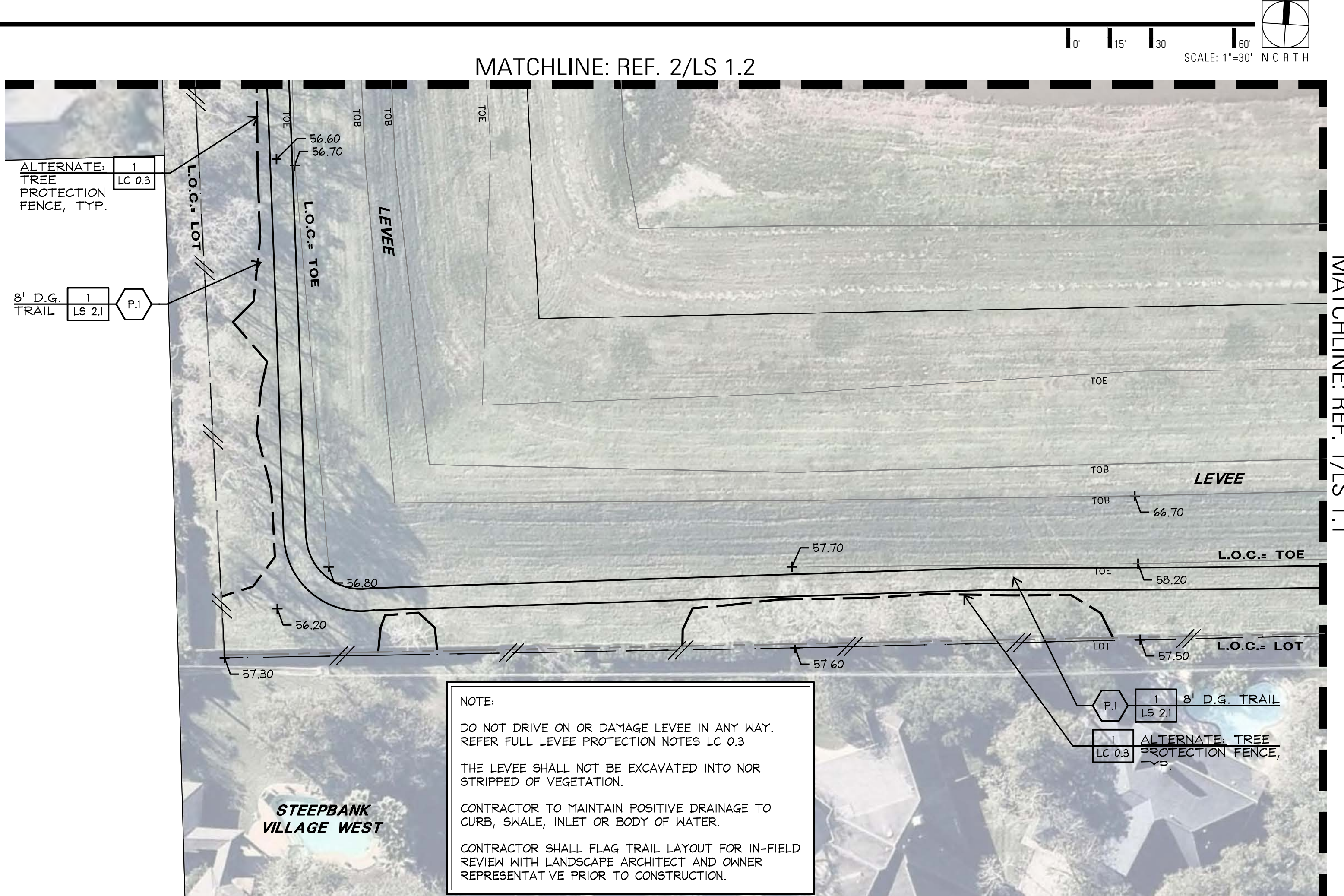






## 2 LANDSCAPE SITEWORK

PLAN



## 1 LANDSCAPE SITEWORK

PLAN



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Reviewed: JGZ

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Sheet Title:  
**SITEWORK PLAN**

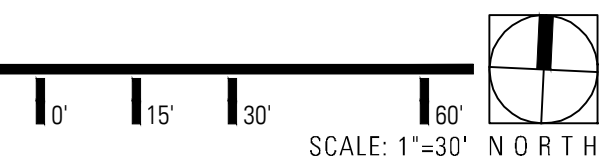
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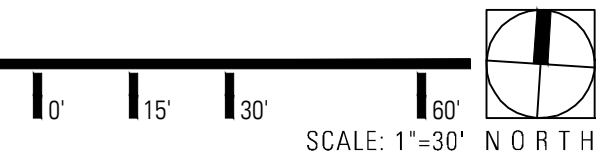
## 2 LANDSCAPE SITEWORK

PLAN



## 1 LANDSCAPE SITEWORK

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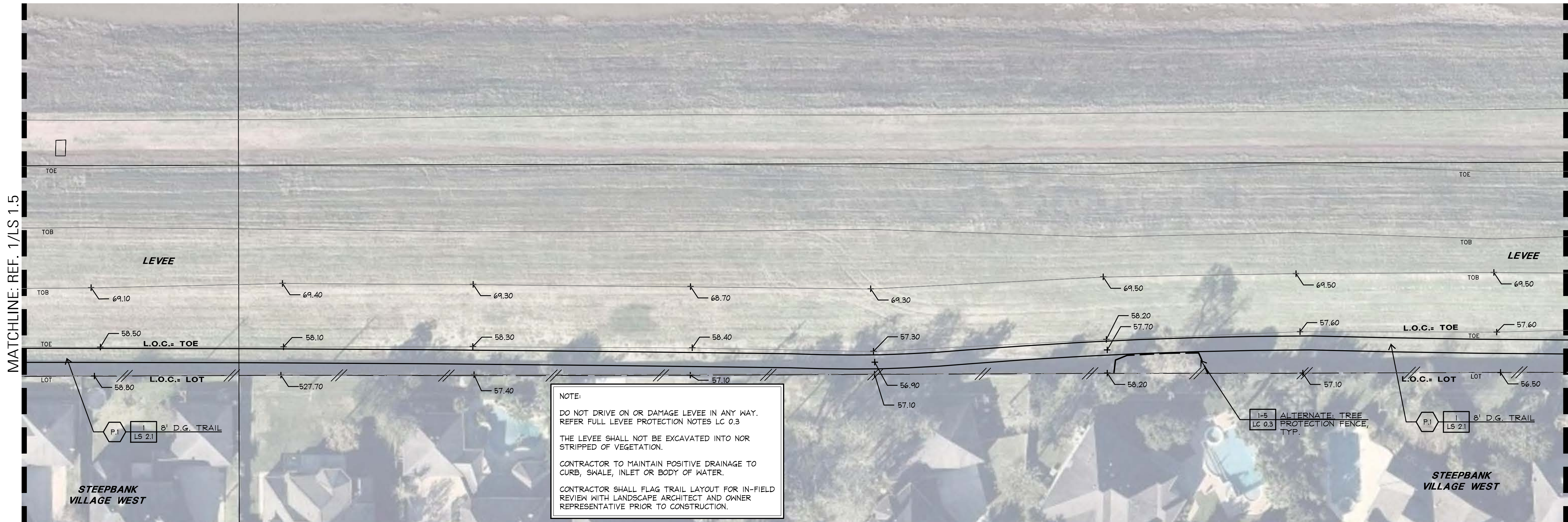
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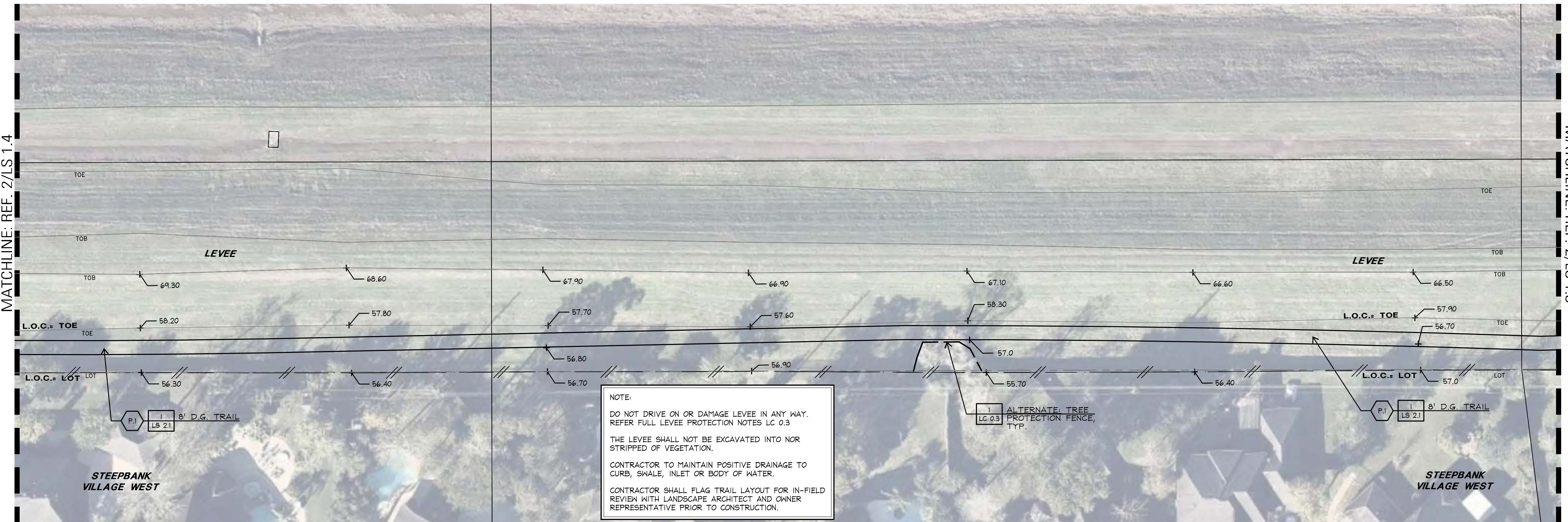
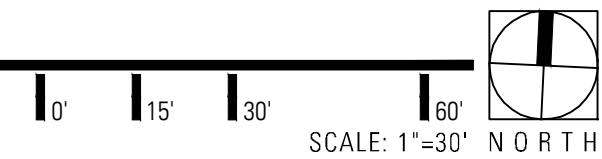
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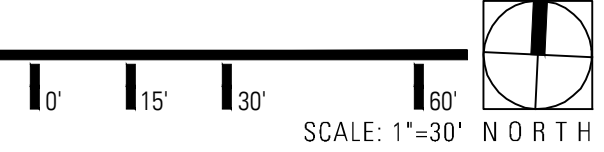
## 2 LANDSCAPE SITEWORK

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## 1 LANDSCAPE SITEWORK

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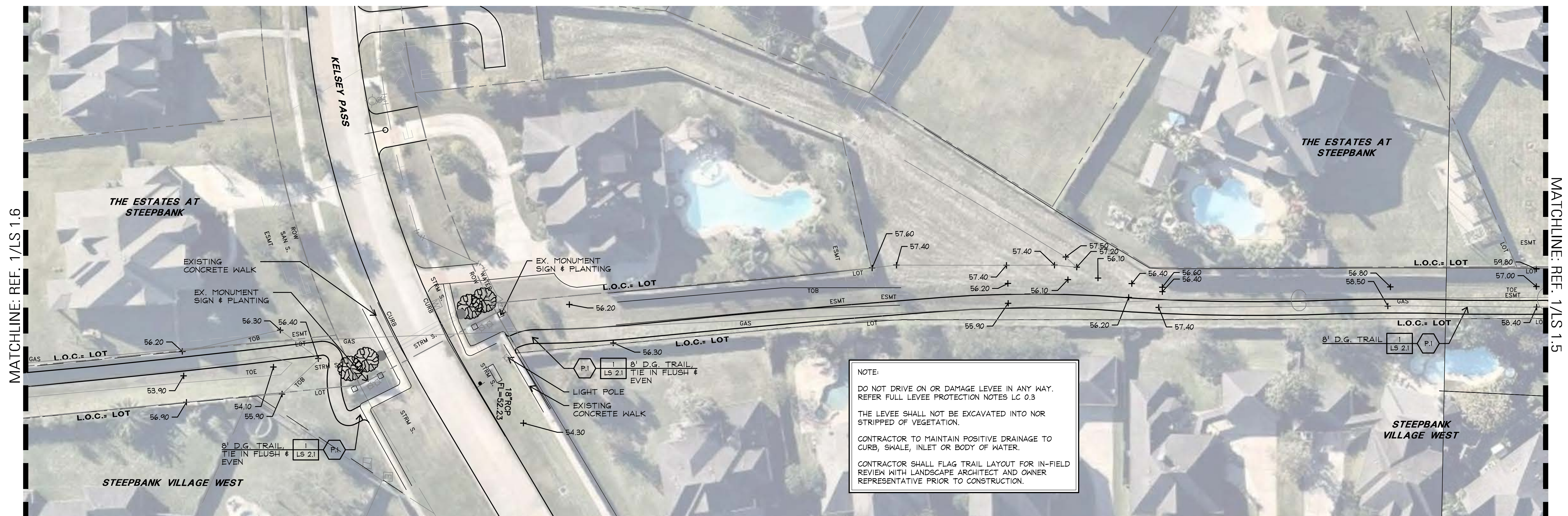
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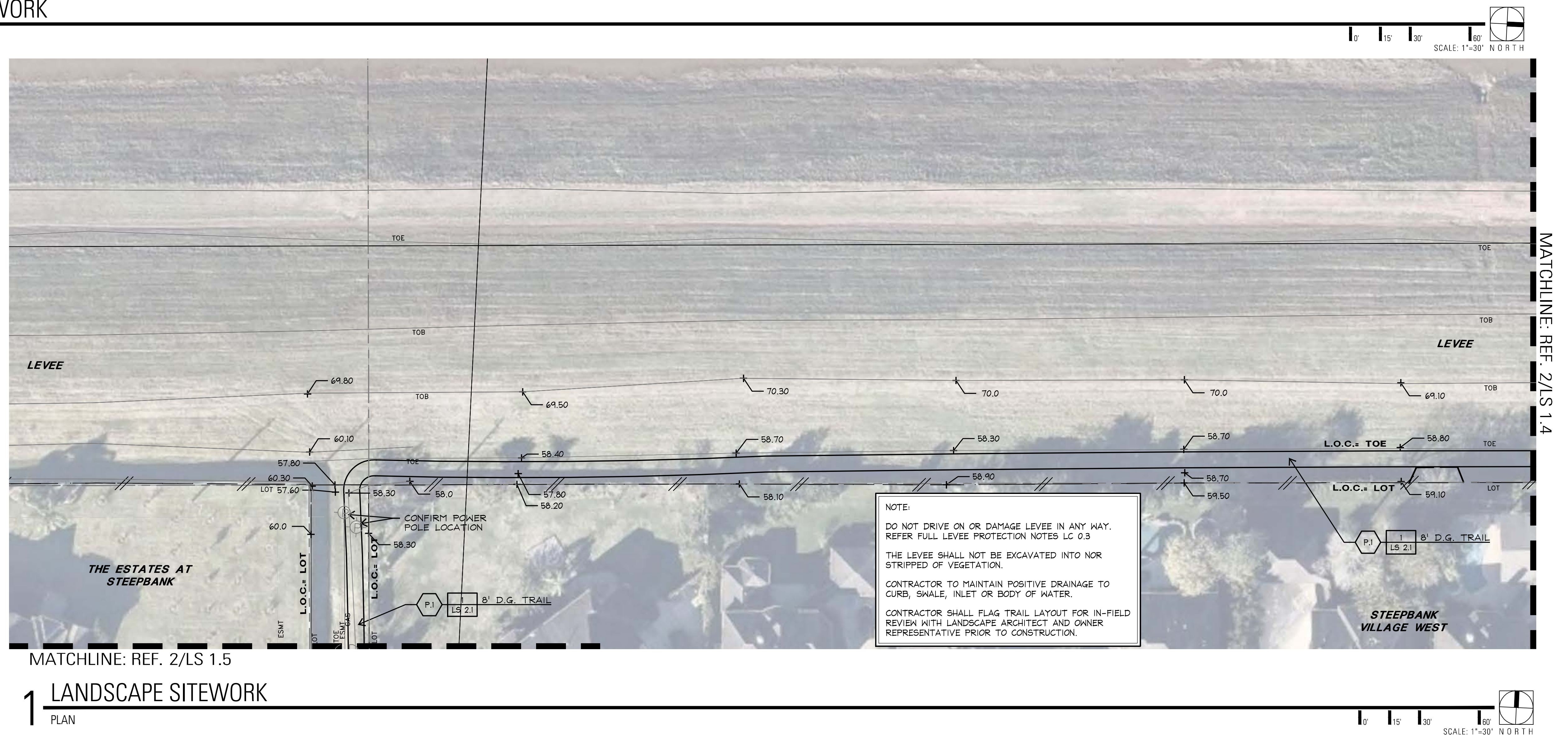
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## 2 LANDSCAPE SITEWORK







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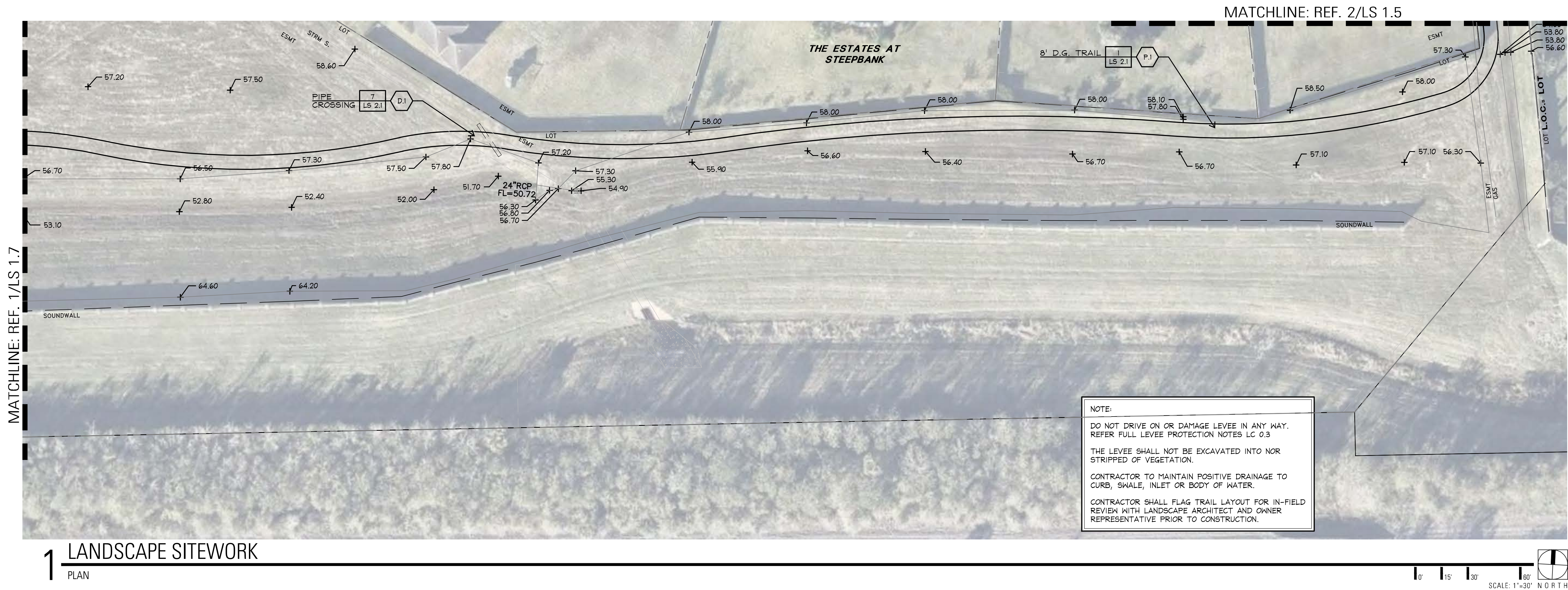
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Drawn: AEH  
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**JULY 28, 2016**

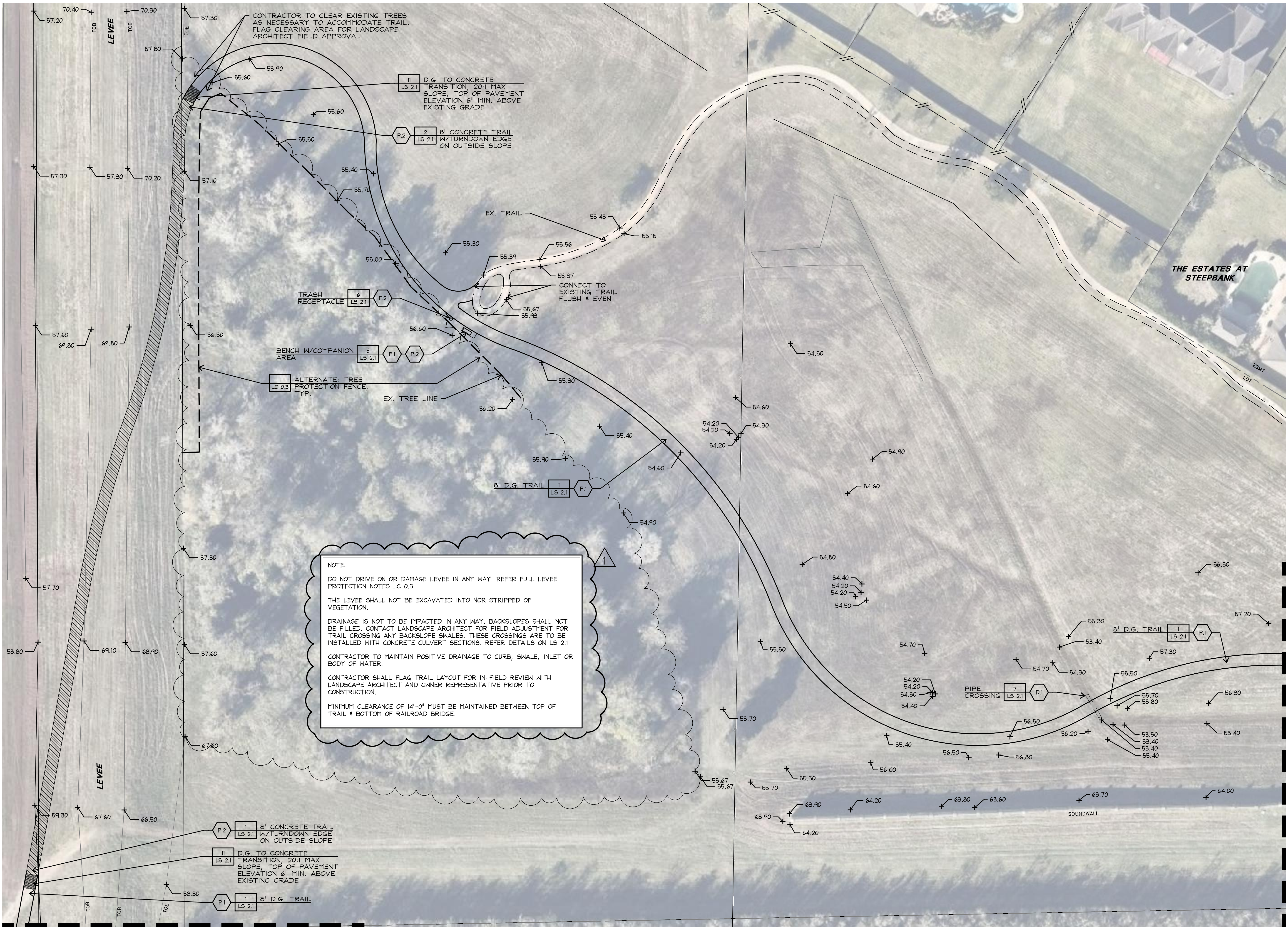
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**LS 1.6**







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Drawn: AEH

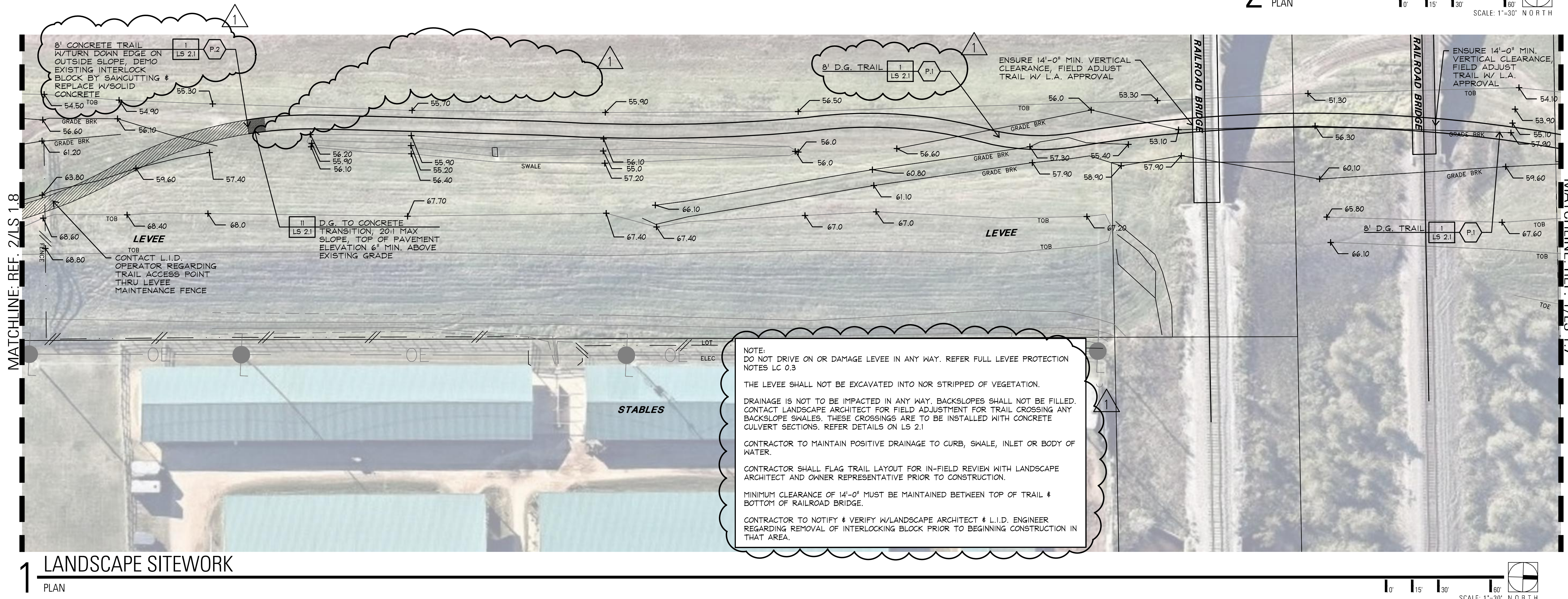
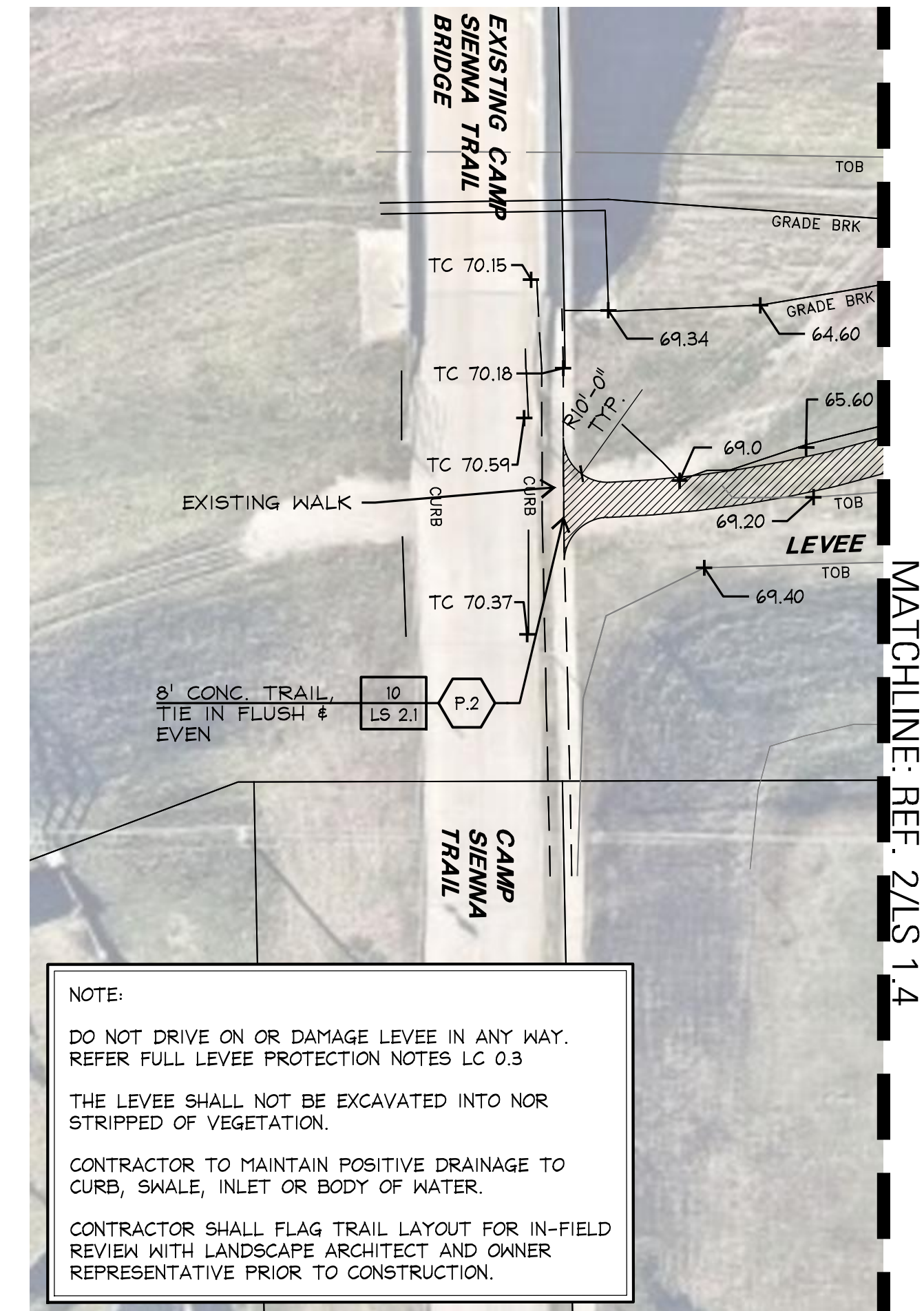
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JULY 28, 2016

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△ 2017-04-12 FBDD COMMENTS

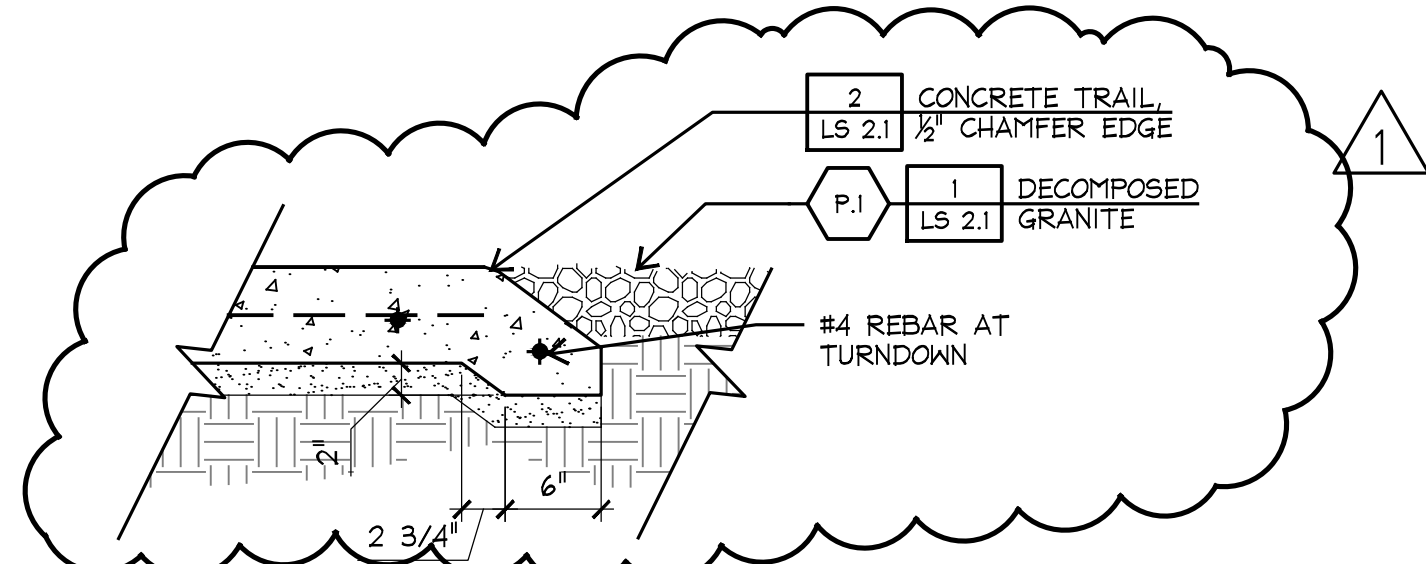
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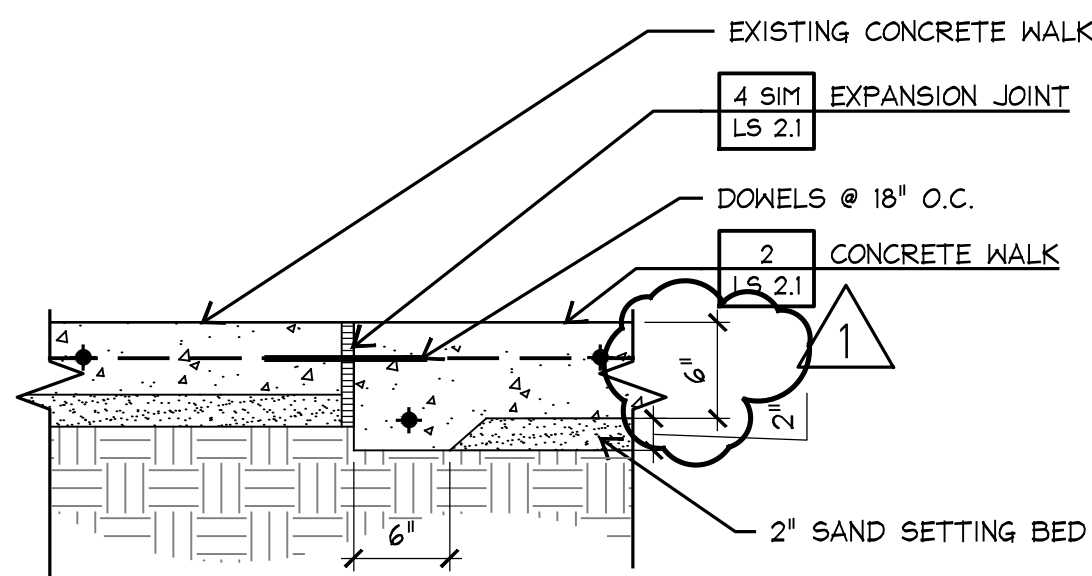




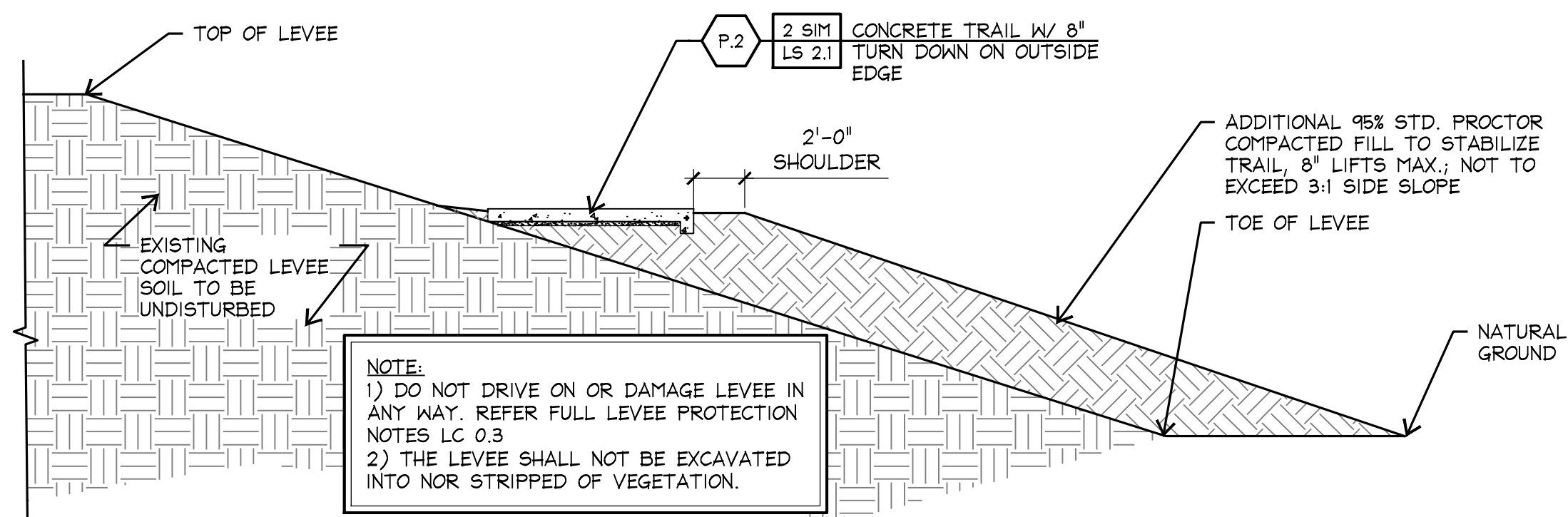
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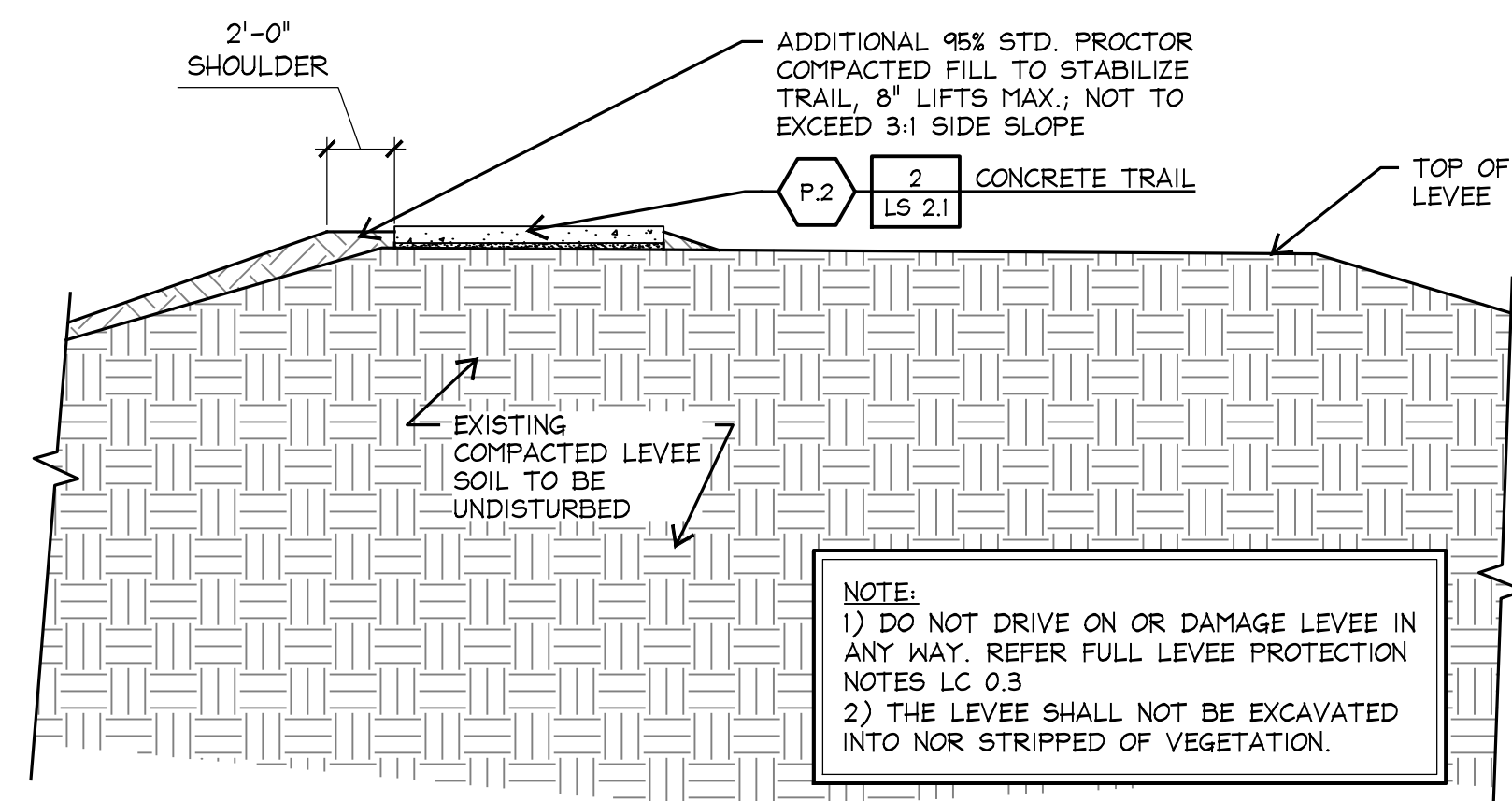
11 CONC. WALK AT D.G. TRAIL CONNECTION  
SECTION SCALE: 1"=1'-0"



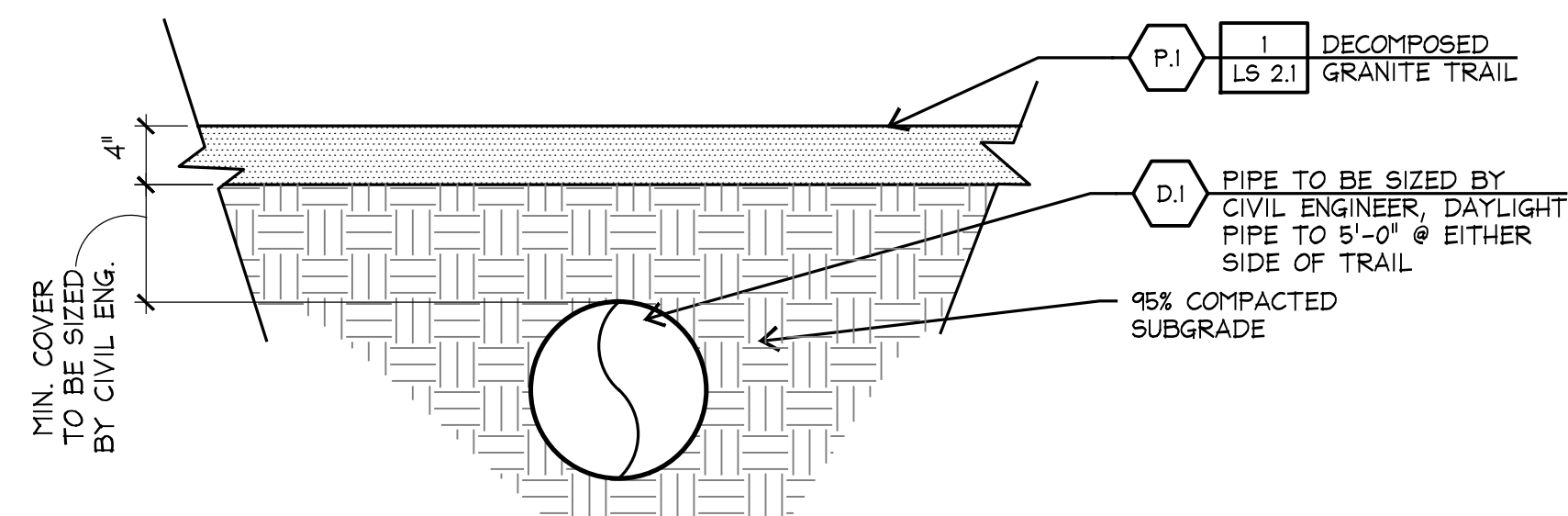
10 TURN DOWN CONC. WALK AT EXIST. WALK  
SECTION SCALE: 1"=1'-0"



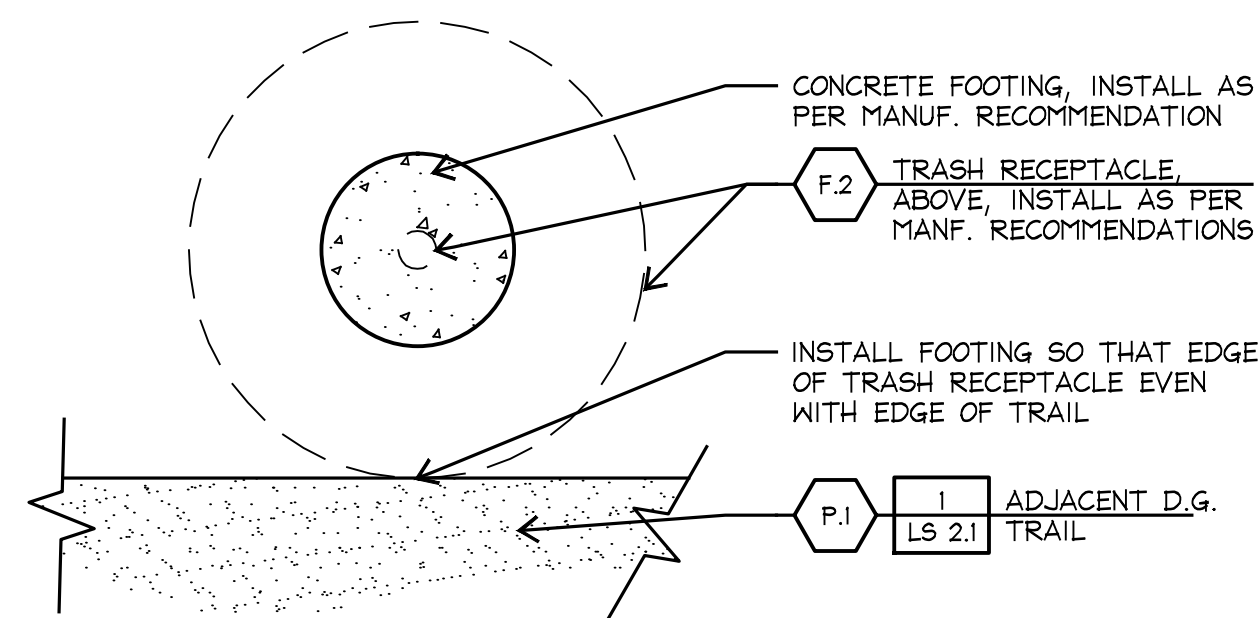
9 CONCRETE LEVEE TRAIL AT SIDE SLOPE  
SECTION SCALE: 3/16"=1'-0"



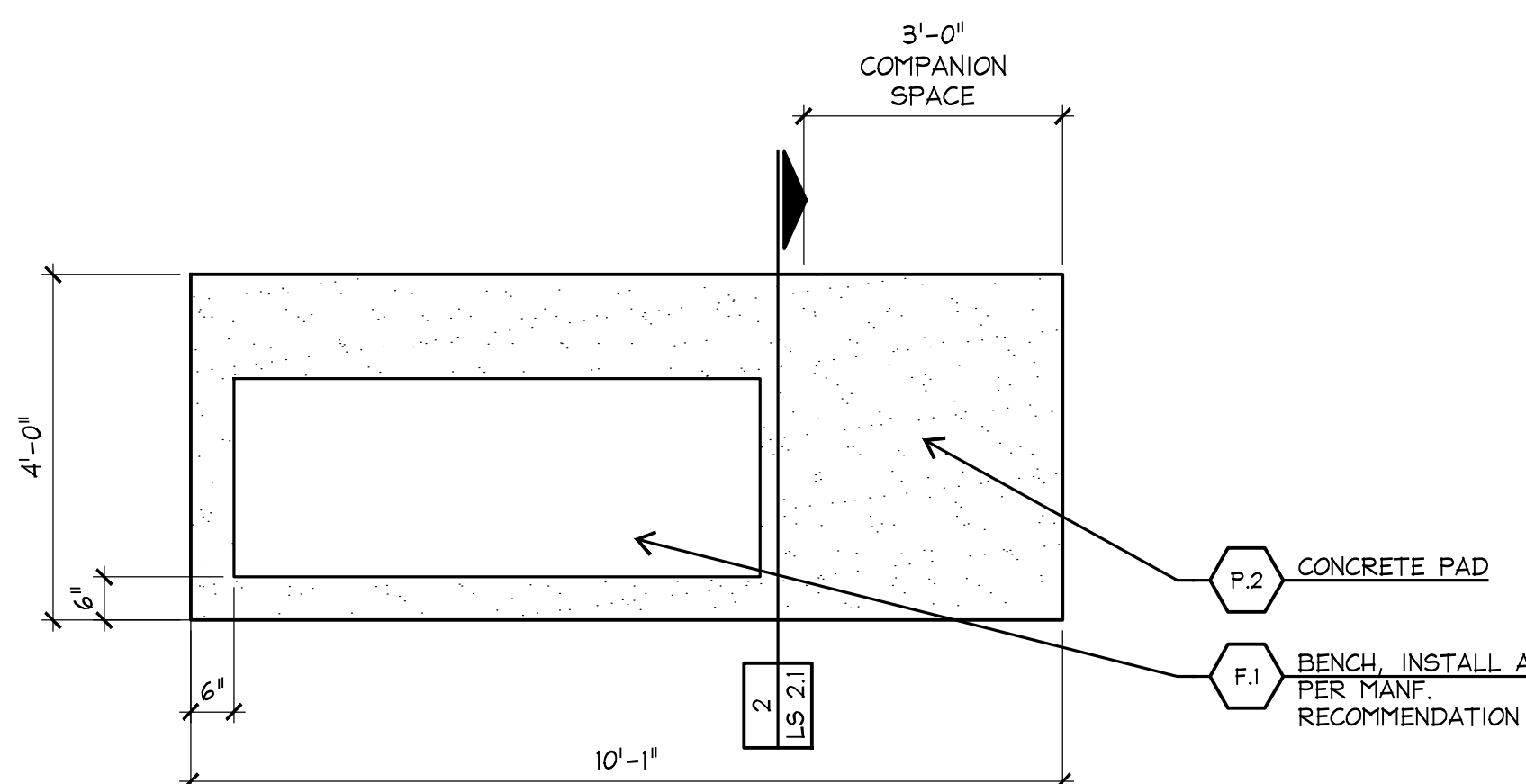
8 CONCRETE LEVEE TRAIL AT TOP OF LEVEE  
SECTION SCALE: 3/16"=1'-0"



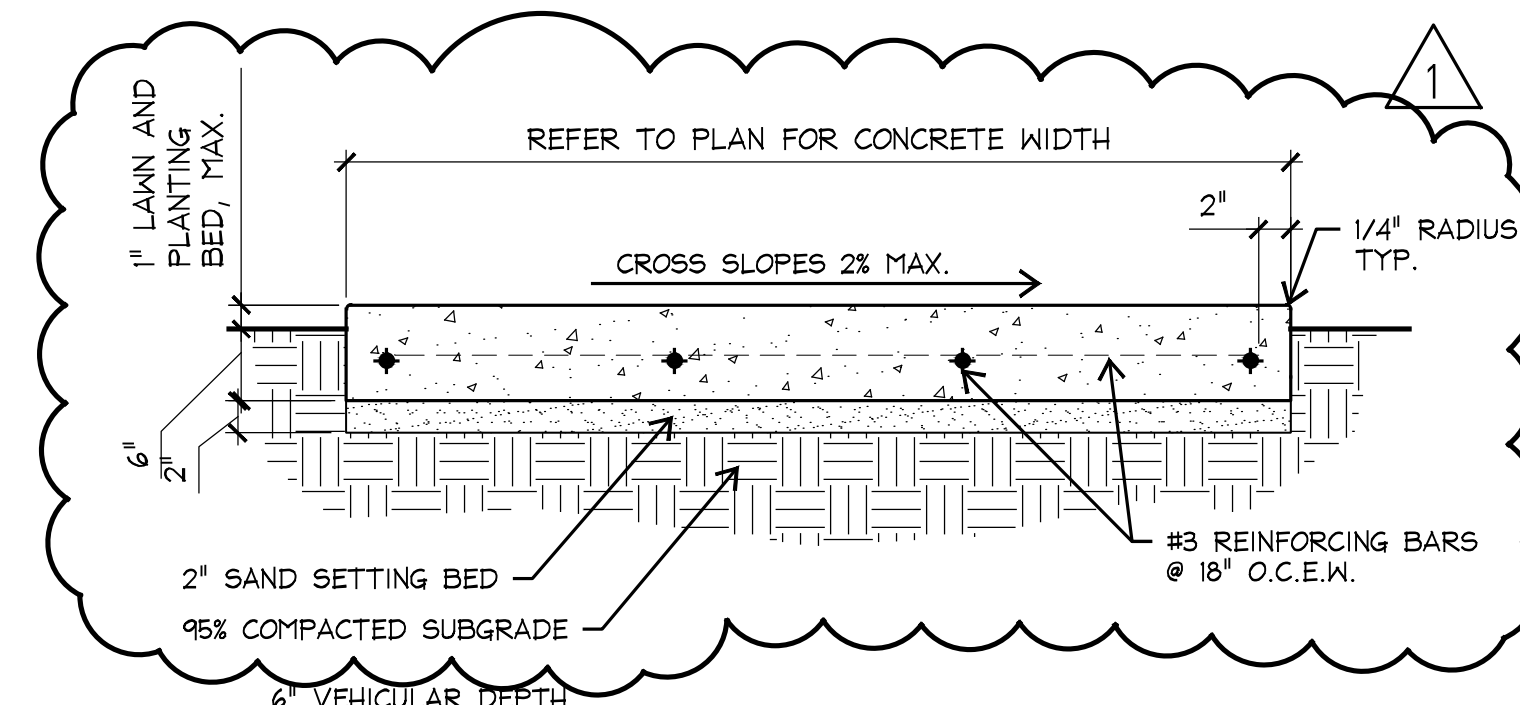
7 PIPE CROSSING  
SECTION SCALE: 1"=1'-0"



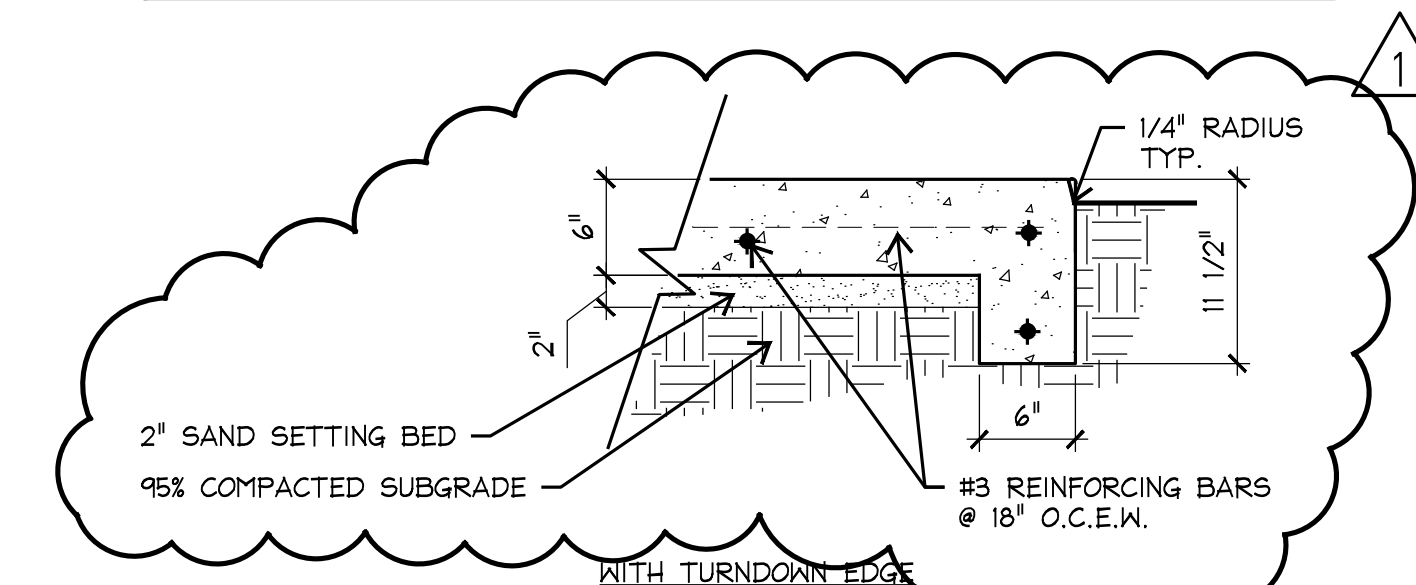
6 TRASH PAD  
PLAN SCALE: 1"=1'-0"



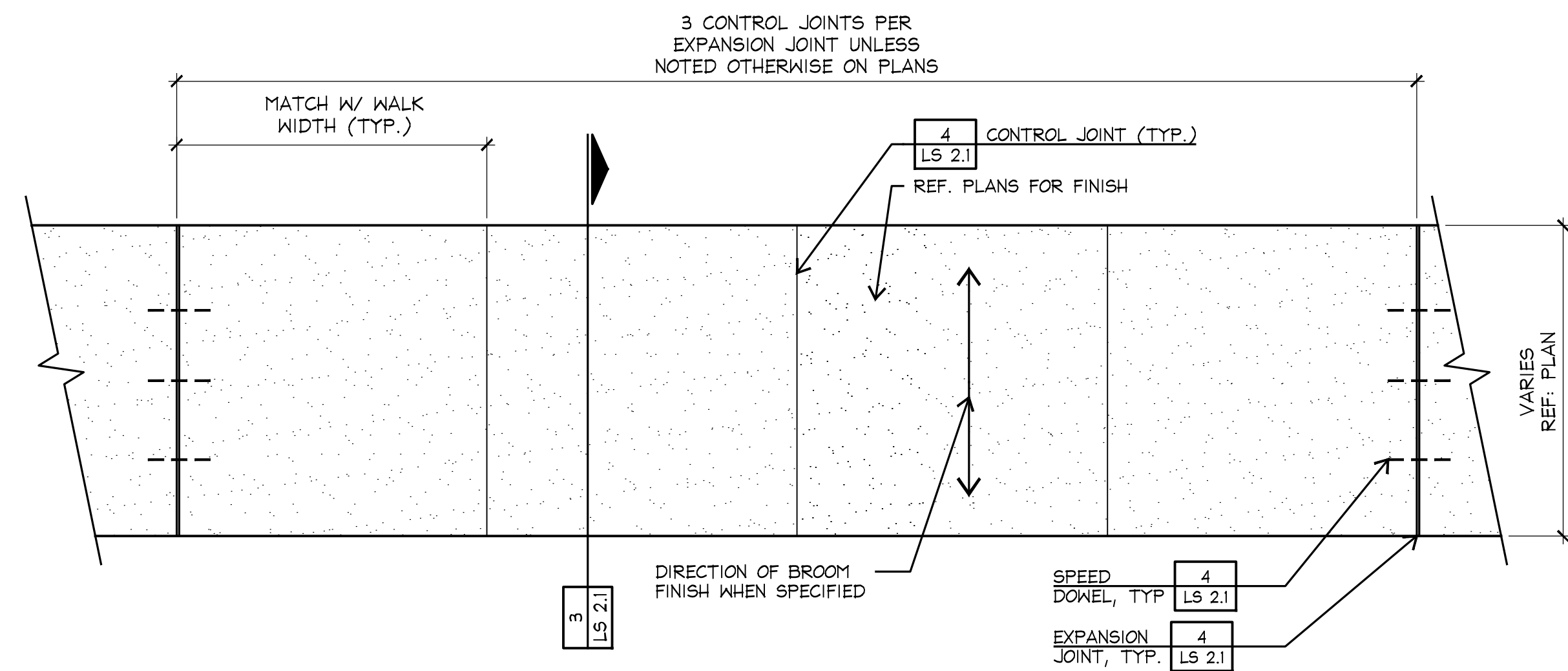
5 BENCH PAD  
PLAN SCALE: 1/2"=1'-0"



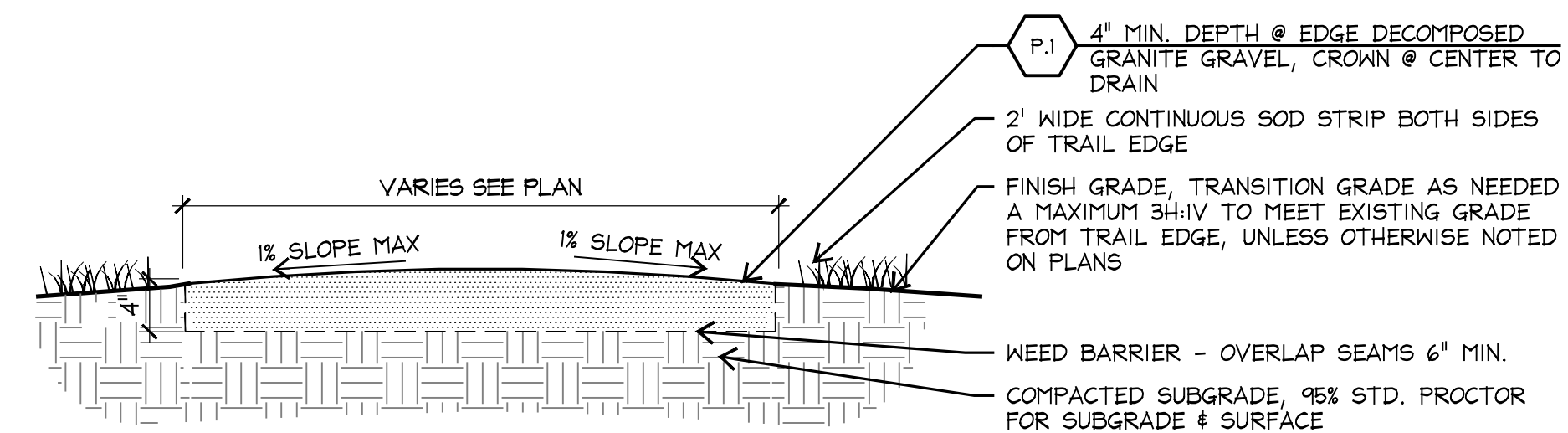
3 CONCRETE TRAIL  
SECTION SCALE: 1"=1'-0"



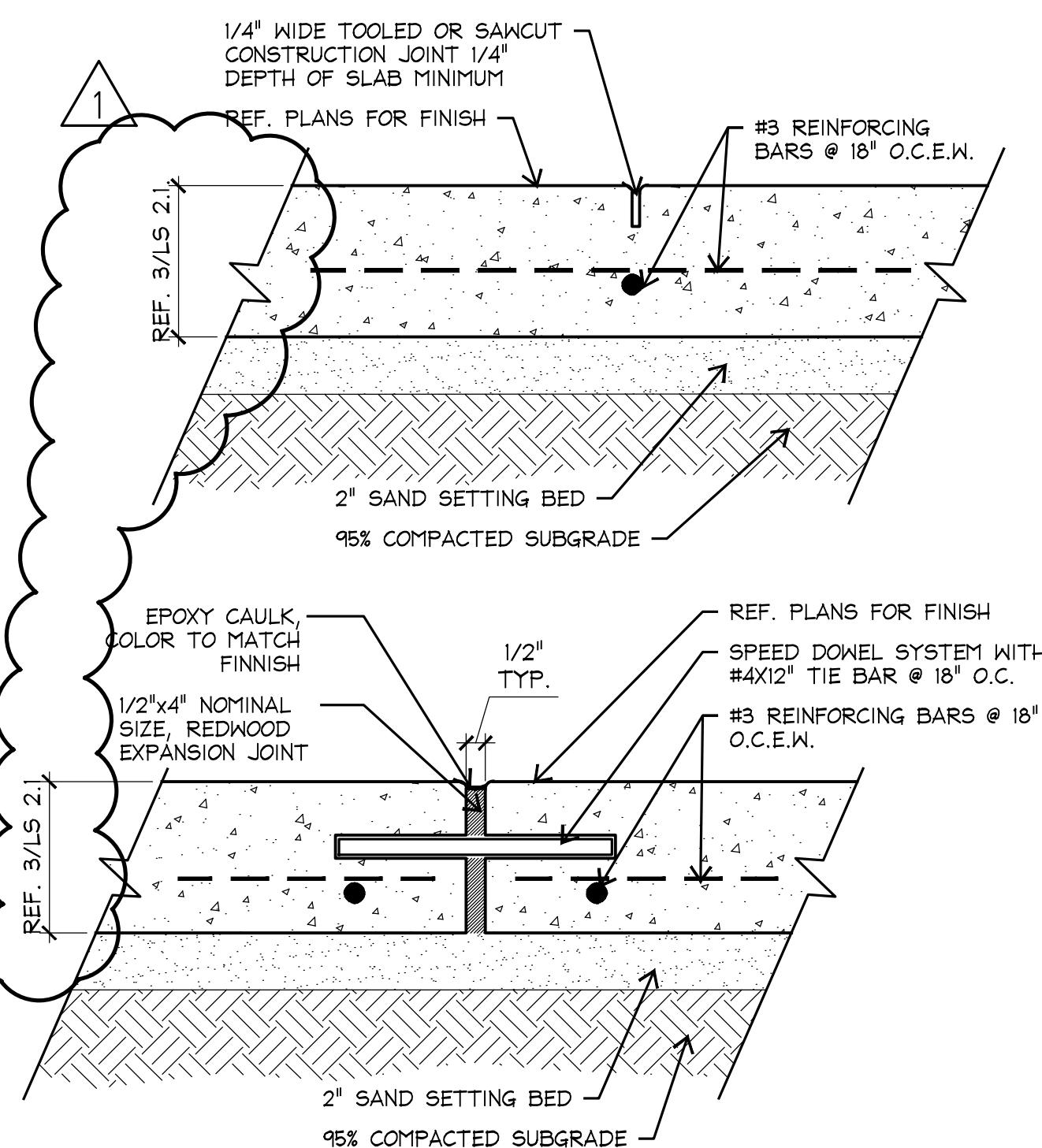
3 CONCRETE TRAIL  
SECTION SCALE: 1"=1'-0"



2 CONCRETE TRAIL  
PLAN SCALE: 1/2"=1'-0"



1 DECOMPOSED GRANITE TRAIL  
SECTION SCALE: 1"=1'-0"



4 CONTROL/EXPANSION JOINT  
SECTION SCALE: 3"=1'-0"



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Project:  
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STEEPBANK LEVEE TRAILS

SIENNA PLANTATION LEVEE  
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Drawn: AEH

Reviewed: JGZ, MM

Date Issued:  
JULY 28, 2016

Revisions:  
2017-04-12 FBDD COMMENTS

Sheet Title:  
SITEWORK DETAILS

Sheet Number:

LS 2.1

STATE OF TEXAS  
COUNTY OF FORT BEND

WE, AFG JOHNSON DEVELOPMENT, L.L.C., ACTING BY AND THROUGH  
DOUG GOFF, GENERAL MANAGER AND SECRETARY, RESPECTIVELY  
OWNERS, HEREBY CERTIFY THAT THE PLAT OF SIENNA STEEP BANK VILLAGE SECTION ONE, DO HEREBY  
MAKE AND ESTABLISH SAID SUBDIVISION AND DEVELOPMENT PLAT OF SAID PROPERTY  
ACCORDING TO ALL LINES, DEDICATIONS, RESTRICTIONS, AND NOTATIONS ON SAID MAPS  
OF PLAT, AND HEREBY DEDICATE TO THE USE OF THE PUBLIC, FOREVER, ALL STREETS,  
ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES SHOWN  
THEREON FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED; AND DO HEREBY  
BIND ITSELF, ITS HEIRS AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE  
TO THE LAND SO DEDICATED.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE  
USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSES, FOREVER, UNOBSTRUCTED AERIAL  
EASEMENTS, THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL ELEVEN  
FEET SIX INCHES (11' 6") FOR TEN FEET (10' 0") PERIMETER GROUND EASEMENTS  
OR FIVE FEET SIX INCHES (5' 6") FOR SIXTEEN FEET (16' 0") PERIMETER GROUND  
EASEMENTS FROM A PLANE SIXTEEN FEET (16' 0") ABOVE GROUND LEVEL UPWARD, LOCATED  
ADJACENT TO AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED  
WITH AERIAL EASEMENTS (U.E. & A.E.) AS INDICATED AND DEPICTED HEREON, WHEREBY  
THE AERIAL EASEMENT TOTALS TWENTY ONE FEET, SIX INCHES (21' 6") IN WIDTH.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE  
USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSES, FOREVER, UNOBSTRUCTED AERIAL  
EASEMENTS, THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL TEN  
FEET (10' 0") FOR TEN FEET (10' 0") BACK-TO-BACK GROUND EASEMENTS OR SEVEN  
FEET (7' 0") FOR SIXTEEN FEET (16' 0") BACK-TO-BACK GROUND EASEMENTS FROM A  
PLANE SIXTEEN FEET (16' 0") ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO BOTH  
SIDES AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH  
AERIAL EASEMENTS (U.E. & A.E.) AS INDICATED AND DEPICTED HEREON, WHEREBY THE  
AERIAL EASEMENT TOTALS THIRTY FEET (30' 0") IN WIDTH.

FURTHER, OWNERS DO HEREBY DECLARE THAT ALL PARCELS OF LAND DESIGNATED AS  
LOTS IN THIS PLAT ARE INTENDED FOR THE CONSTRUCTION OF SINGLE FAMILY RESIDENTIAL  
DWELLING UNITS THEREON AND SHALL BE RESTRICTED FOR SAME UNDER THE TERMS AND  
CONDITIONS OF SUCH RESTRICTIONS FILED SEPARATELY.

FURTHER, OWNERS DO HEREBY COVENANT AND AGREE THAT ALL OF THE PROPERTY  
WITHIN THE BOUNDARIES OF THIS PLAT SHALL BE RESTRICTED TO PREVENT THE DRAINAGE  
OF ANY SEPTIC TANKS INTO ANY PUBLIC OR PRIVATE STREET, ROAD OR ALLEY OR ANY  
DRAINAGE DITCH, EITHER DIRECTLY OR INDIRECTLY.

FURTHER, OWNERS DO HEREBY DEDICATE TO THE PUBLIC A STRIP OF LAND TWENTY  
(20') FEET WIDE ON EACH SIDE OF THE CENTERLINE OF ANY AND ALL BAYOUS, CREEKS,  
GULLIES, RAVINES, DRAINS, SLUDGES, OR OTHER NATURAL DRAINAGE COURSES LOCATED IN  
SAID PLAT AS EASEMENTS FOR DRAINAGE PURPOSES. FORT BEND COUNTY OR ANY OTHER  
GOVERNMENTAL AGENCY SHALL HAVE THE RIGHT TO ENTER UPON SAID EASEMENT AT ANY AND  
ALL TIMES FOR THE PURPOSES OF CONSTRUCTION AND MAINTENANCE OF DRAINAGE  
FACILITIES AND STRUCTURES.

FURTHER, OWNERS DO HEREBY COVENANT AND AGREE THAT ALL OF THE PROPERTY  
WITHIN THE BOUNDARIES OF THIS SUBDIVISION AND ADJACENT TO ANY DRAINAGE EASEMENT,  
DITCH, GULLY, CREEK, OR NATURAL DRAINAGE WAY SHALL HEREBY BE RESTRICTED TO KEEP  
SUCH DRAINAGE WAYS AND EASEMENTS CLEAR OF FENCES, BUILDINGS, EXCESSIVE  
VEGETATION AND OTHER OBSTRUCTIONS TO THE OPERATIONS AND MAINTENANCE OF THE  
DRAINAGE FACILITY AND THAT SUCH ADJOINING PROPERTY SHALL NOT BE PERMITTED TO  
DRAIN DIRECTLY INTO THIS EASEMENT EXCEPT BY MEANS OF AN APPROVED DRAINAGE  
STRUCTURE.

FURTHER, OWNERS DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF ALL PROPERTY  
IMMEDIATELY ADJACENT TO THE BOUNDARIES OF THE ABOVE AND FOREGOING PLAT OF SIENNA  
STEEP BANK VILLAGE SECTION ONE WHERE BUILDING SETBACK LINES OR PUBLIC UTILITY  
EASEMENTS ARE TO BE ESTABLISHED OUTSIDE THE BOUNDARIES OF THE ABOVE AND FOREGOING  
PLAT AND DO HEREBY MAKE AND ESTABLISH ALL BUILDING SETBACK LINES AND DEDICATE TO  
THE USE OF THE PUBLIC FOREVER ALL PUBLIC UTILITY EASEMENTS SHOWN IN SAID  
ADJACENT ACREAGE.

WE FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTIONS MADE HEREIN  
ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES  
REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE  
GROWTH NEEDS OF THE CITY. WE, OUR SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM,  
DAMAGE, OR CAUSE OF ACTION THAT WE MAY HAVE AS A RESULT OF THE DEDICATION OR  
EXACTIONS MADE HEREIN.

IN TESTIMONY WHEREOF, AFG JOHNSON DEVELOPMENT, L.L.C., HAS CAUSED THESE  
PRESENTS TO BE SIGNED BY DOUG GOFF, ITS GENERAL MANAGER, THEREUNTO AUTHORIZED,  
ATTESTED BY ITS SECRETARY, JEAN FARLEY AND ITS COMMON SEAL HEREUNTO  
AFFIXED THIS 4 DAY OF SEPTEMBER, 1996.

AFG JOHNSON DEVELOPMENT, L.L.C.

BY: *[Signature]*  
DOUG GOFF, GENERAL MANAGER

ATTEST: *[Signature]*  
JEAN FARLEY, SECRETARY

STATE OF TEXAS  
COUNTY OF FORT BEND

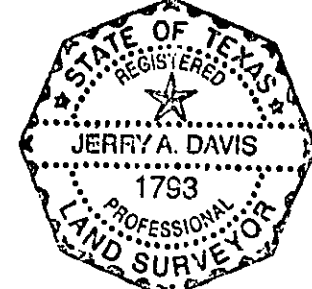
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED  
DOUG GOFF AND JEAN FARLEY, GENERAL MANAGER AND SECRETARY, RESPECTIVELY OF AFG  
JOHNSON DEVELOPMENT, L.L.C., KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE  
SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY  
EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE  
CAPACITY THEREIN AND HEREIN SET OUT, AND AS THE ACT AND DEED OF SAID CORPORATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 4th DAY OF SEPTEMBER, 1996.



*[Signature]*  
NOTARY PUBLIC IN AND FOR THE  
STATE OF TEXAS  
MY COMMISSION EXPIRES 6-20-97

I, JERRY A. DAVIS, AN AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO  
PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THE ABOVE  
SUBDIVISION IS TRUE AND CORRECT, WAS PREPARED FROM AN ACTUAL SURVEY OF THE  
PROPERTY MADE UNDER SUPERVISION ON THE GROUND, AND THAT ALL BOUNDARY CORNERS,  
ANGLE POINTS, AND POINTS OF CURVATURE HAVE BEEN MARKED WITH IRON (OR OTHER  
SUITABLE PERMANENT FERROUS METAL) PIPES OR RODS HAVING AN OUTSIDE DIAMETER OF  
NOT LESS THAN FIVE EIGHTHS INCH (5/8") AND A LENGTH OF NOT LESS THAN THREE FEET  
(3') (SEE NOTE 9); AND THAT THE PLAT BOUNDARY CORNERS HAVE BEEN TIED TO THE  
NEAREST SURVEY CORNER.



*[Signature]*  
JERRY A. DAVIS  
REGISTERED PROFESSIONAL LAND SURVEYOR  
TEXAS REGISTRATION NO. 1793

I, CALVIN T. LADNER, A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF  
TEXAS DO HEREBY CERTIFY THAT THIS PLAT MEETS ALL REQUIREMENTS OF FORT BEND  
COUNTY AND THE CITY OF MISSOURI CITY.

*[Signature]*  
CALVIN T. LADNER, P.E.  
REGISTERED PROFESSIONAL ENGINEER  
TEXAS REGISTRATION NO. 60240

THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF  
MISSOURI CITY, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF SIENNA STEEP BANK  
VILLAGE SECTION ONE IN CONFORMANCE WITH THE LAWS OF THE STATE OF TEXAS  
AND THE ORDINANCES OF THE CITY OF MISSOURI CITY AS SHOWN HEREON AND AUTHORIZED  
THE RECORDING OF THIS PLAT THIS 3rd DAY OF SEPTEMBER, 1996.

*[Signature]*  
CHAIRMAN ROBERT L. KEATH  
VICE CHAIRMAN STAN PARKER

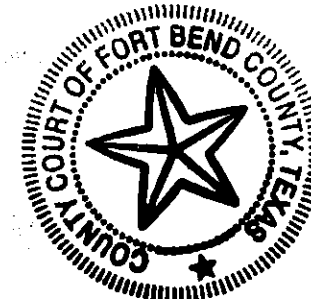
I, D. JESSE HEGEMIER, FORT BEND COUNTY ENGINEER, DO HEREBY CERTIFY THAT  
THE PLAT OF THIS SUBDIVISION COMPLIES WITH ALL OF THE EXISTING RULES  
AND REGULATIONS OF THIS OFFICE AS ADOPTED BY THE FORT BEND COUNTY COMMISSIONER'S  
COURT, HOWEVER NO CERTIFICATION IS HEREBY GIVEN AS TO THE EFFECT OF DRAINAGE  
FROM THIS SUBDIVISION ON THE INTERCEPTING DRAINAGE ARTERY OR PARENT STREAM OR  
ON ANY OTHER AREA OR SUBDIVISION WITHIN THE WATERSHED.

*[Signature]*  
D. JESSE HEGEMIER, P.E.  
FORT BEND COUNTY ENGINEER

APPROVED BY THE COMMISSIONER'S COURT OF FORT BEND COUNTY, TEXAS, THIS  
5th DAY OF SEPTEMBER, 1996.  
R.L. "BOB" O'SHELES, COMMISSIONER, PRECINCT 1  
GRADY PRESTAGE, COMMISSIONER, PRECINCT 2

*[Signature]*  
MICHAEL D. ROZELL, COUNTY JUDGE  
*[Signature]*  
BOB LUTTS, COMMISSIONER, PRECINCT 4

I, DIANNE WILSON, COUNTY CLERK IN AND FOR FORT BEND COUNTY, HEREBY  
CERTIFY THAT THE FOREGOING INSTRUMENT WITH ITS CERTIFICATE OF AUTHENTICATION  
WAS FILED FOR RECORDATION IN MY OFFICE ON SEP 24, 1996, AT  
11:06 A.M. IN SLICE NO. 1523 A/B OF THE PLAT RECORDS OF  
SAID COUNTY.  
WITNESS MY HAND AND SEAL OF OFFICE, AT RICHMOND, TEXAS, THE DAY AND DATE  
LAST ABOVE WRITTEN.

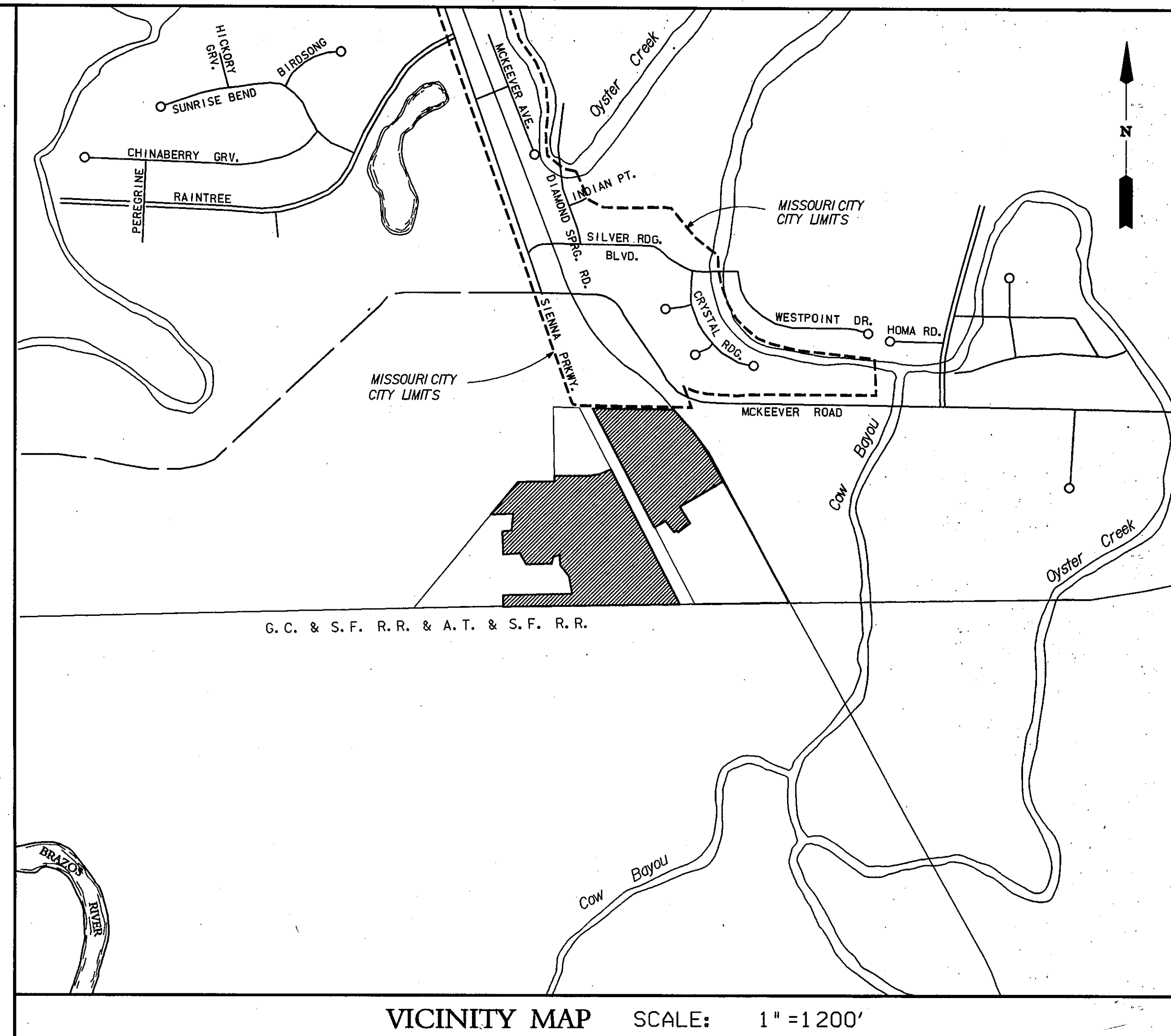


DIANNE WILSON, CLERK OF THE COUNTY  
FORT BEND COUNTY, TEXAS  
BY: *[Signature]*  
TERRY DANKS, DEPUTY

SHEET 2

SHEET 3

SCALE: 1"=200'



# FINAL PLAT OF SIENNA STEEP BANK VILLAGE SECTION ONE

A SUBDIVISION OF 88.756 ACRES LOCATED IN THE  
THOMAS BARNETT LEAGUE, A-7 AND ALSO BEING OUT OF  
THE AFG DEVELOPMENT, L.L.C. 598.270 ACRES KNOWN AS TRACT TWO  
RECORDED IN FILE NO. 9640265 OF THE OFFICIAL RECORDS OF  
FORT BEND COUNTY, FORT BEND COUNTY, TEXAS

166 LOTS 13 RESERVES 6 BLOCKS

MARCH 22, 1996 JOB NO. 68143.006

SCALE: 1"=100'

OWNER:

AFG JOHNSON DEVELOPMENT, L.L.C.

DOUG GOFF, GENERAL MANAGER  
5005 RIVERWAY, SUITE 110, HOUSTON, TEXAS 77056 PH. (713) 960-9977  
ENGINEER:

**LJA** Land Development Engineering  
& Surveying, Inc.  
2929 Briarpark Drive, Suite 500, Houston, Texas 77042-3703  
Phone 713.953.5200 Fax 713.953.5026

JERRY A. DAVIS,  
REGISTERED PROFESSIONAL LAND SURVEYOR,  
TEXAS REGISTRATION NO. 1793

CALVIN T. LADNER,  
REGISTERED PROFESSIONAL ENGINEER,  
TEXAS REGISTRATION NO. 60240

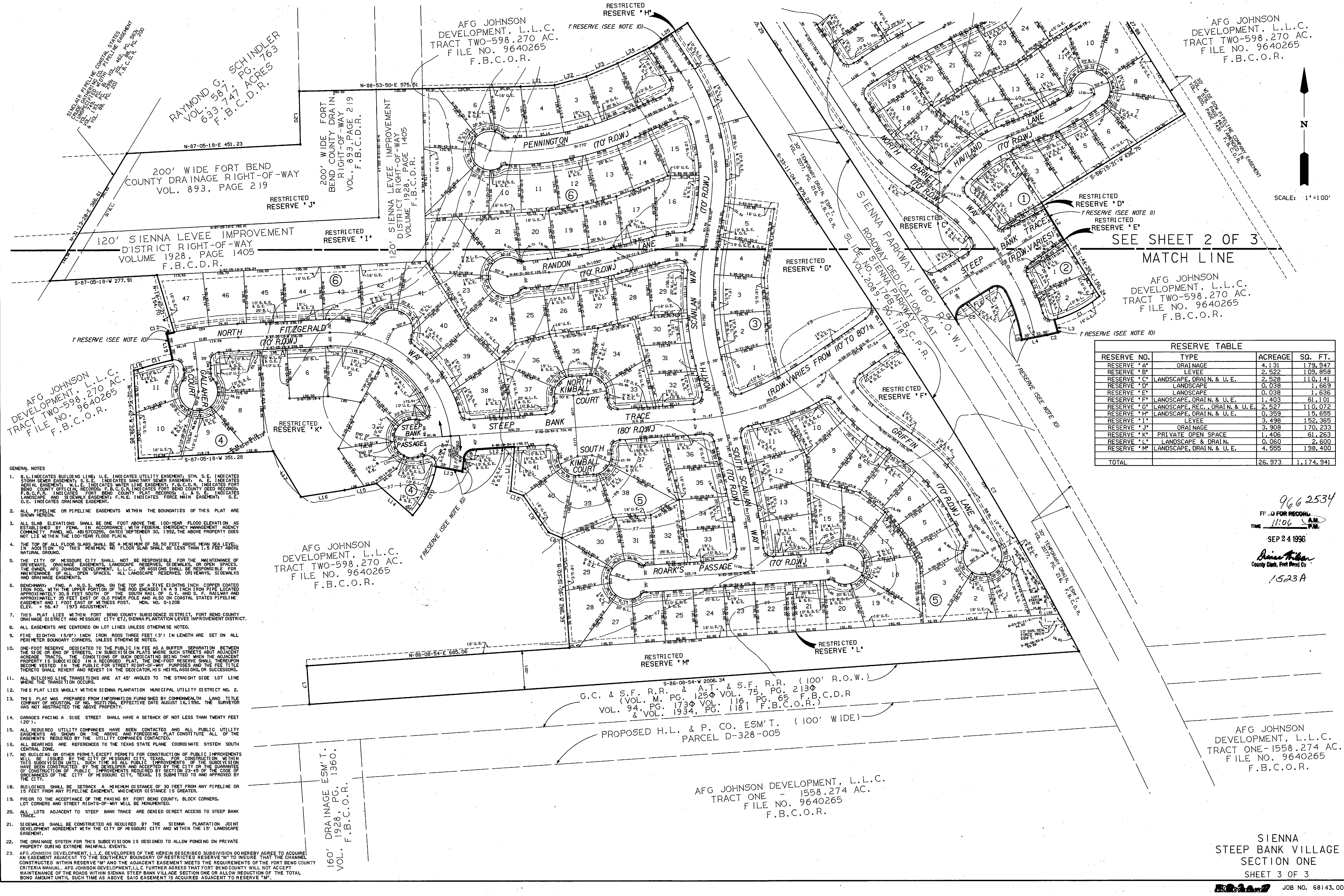
SHEET 1 OF 3

JOB NO. 68143.006









SEE SHEET 2 OF 3  
MATCH LINE

AFG JOHNSON  
DEVELOPMENT, L.L.C.  
TRACT TWO-598.270 AC.  
FILE NO. 9640265  
F.B.C.O.R.

RESERVE TABLE			
RESERVE NO.	TYPE	ACREAGE	SQ. FT.
RESERVE "A"	ORAINAGE	4.131	179,947
RESERVE "B"	LEVEE	2.522	109,858
RESERVE "C"	LANDSCAPE, DRAIN. & U. E.	2.528	110,141
RESERVE "D"	LANDSCAPE	0.038	1,669
RESERVE "E"	LANDSCAPE	0.038	1,669
RESERVE "F"	LANDSCAPE, ORAIN. & U. E.	1.403	61,101
RESERVE "G"	LANDSCAPE, REC., ORAIN. & U. E.	2.527	110,072
RESERVE "H"	LANDSCAPE, DRAIN. & U. E.	0.359	15,655
RESERVE "I"	LEVEE	3.498	152,365
RESERVE "J"	ORAINAGE	3.308	170,233
RESERVE "K"	PRIVATE OPEN SPACE	1.406	61,263
RESERVE "L"	LANDSCAPE & DRAIN.	0.060	2,600
RESERVE "M"	LANDSCAPE, DRAIN. & U. E.	4.555	198,400
TOTAL		26.973	1,174,941

- GENERAL NOTES
1. B.L. INDICATES BUILDING LINE; U.E. INDICATES UTILITY EASEMENT; S.M. S.E. INDICATES STORM SEWER EASEMENT; S.S.E. INDICATES SANITARY SEWER EASEMENT; A.E. INDICATES AERIAL EASEMENT; L.L.E. INDICATES WATER LINE EASEMENT; F.B.C.O.R. INDICATES FORT BEND COUNTY OFFICIAL RECORDS; F.B.C.O.R. INDICATES FORT BEND COUNTY DEED RECORDS; F.B.C.O.R. INDICATES FORT BEND COUNTY PLAT RECORDS; L.L.E. INDICATES LANDSCAPE AND SIDEWALK EASEMENT; F.M.E. INDICATES FORCE MAIN EASEMENT; D.L. O.E. INDICATES DRAINAGE EASEMENT.
  2. ALL PIPELINE OR PIPELINE EASEMENTS WITHIN THE BOUNDARIES OF THIS PLAT ARE SHOWN HEREON.
  3. ALL SLAB ELEVATIONS SHALL BE ONE FOOT ABOVE THE 100-YEAR FLOOD ELEVATION AS ESTABLISHED BY FEMA. IN ACCORDANCE WITH FEDERAL EMERGENCY MANAGEMENT AGENCY COMMUNITY PANEL NO. 481570255, DATED SEPTEMBER 30, 1992, THE ABOVE PROPERTY DOES NOT LIE WITHIN THE 100-YEAR FLOOD PLAIN.
  4. THE TOP OF ALL FLOOR SLABS SHALL BE A MINIMUM OF 58.50 FEET ABOVE MEAN SEA LEVEL IN ADDITION TO THIS MINIMUM, NO FLOOR SLAB SHALL BE LESS THAN 1.5 FEET ABOVE NATURAL GROUND.
  5. THE CITY OF MISSOURI CITY SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF DRIVEWAYS, DRAINAGE EASEMENTS, LANDSCAPE RESERVES, SIDEWALKS, OR OPEN SPACES. THE OWNER, AFG JOHNSON DEVELOPMENT, L.L.C., OR ASSIGNS SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL OPEN SPACES. ALL LANDSCAPE RESERVES, DRIVEWAYS, SIDEWALKS AND DRAINAGE EASEMENTS.
  6. BENCHMARK: F.M.D. A N.G.S. MON. ON THE TOP OF A FIVE EIGHTHS INCH COPPER COATED IRON ROD, WITH THE UPPER PORTION OF THE ROD ENCASED IN A 5 INCH IRON PIPE LOCATED APPROXIMATELY 30.8 FEET SOUTH OF THE SOUTH RAIL OF A V. AND S. F. RAILWAY AND APPROXIMATELY 39 FEET EAST OF OLD POWER POLE AND ALSO ON COASTAL STATES PIPELINE EASEMENT AND 1 FOOT EAST OF WITNESS POST. MON. NO. S-1208 ELEV. = 56.47 ± 1975 ADJUSTMENT.
  7. THIS PLAT LIES WITHIN FORT BEND COUNTY SUBSIDENCE DISTRICT, FORT BEND COUNTY DRAINAGE DISTRICT AND MISSOURI CITY ETJ, SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT.
  8. ALL EASEMENTS ARE CENTERED ON LOT LINES UNLESS OTHERWISE NOTED.
  9. FIVE EIGHTHS (5/8") INCH IRON RODS THREE FEET (3') IN LENGTH ARE SET ON ALL PERIMETER BOUNDARY CORNERS, UNLESS OTHERWISE NOTED.
  10. ONE-FOOT RESERVE, DEDICATED TO THE PUBLIC IN FEE AS A BUFFER SEPARATION BETWEEN THE SIDE OR END OF STREETS, IN SUBDIVISION PLATS WHERE SUCH STREETS ADJACENT ADJACENT TRACTS. THE CONDITIONS OF SUCH DEDICATING BEING THAT WHEN THE ADJACENT PROPERTY IS SUBDIVIDED IN A RECORDED PLAT, THE ONE-FOOT RESERVE SHALL THEREUPON BECOME VESTED IN THE PUBLIC FOR STREET RIGHT-OF-WAY PURPOSES AND THE TITLE THERETO SHALL REVERT AND REVEST IN THE DEDICATOR, HIS HEIRS, ASSIGNS OR SUCCESSORS.
  11. ALL BUILDING LINE TRANSITIONS ARE AT 45° ANGLES TO THE STRAIGHT SIDE LOT LINE WHERE THE TRANSITION OCCURS.
  12. THIS PLAT LIES WHOLLY WITHIN SIENNA PLANTATION MUNICIPAL UTILITY DISTRICT NO. 2.
  13. THIS PLAT WAS PREPARED FROM INFORMATION FURNISHED BY COMMONWEALTH LAND TITLE COMPANY OF HOUSTON, OF NO. 9627178A, EFFECTIVE DATE AUGUST 16, 1996. THE SURVEYOR HAS NOT ABSTRACTED THE ABOVE PROPERTY.
  14. GARAGES FACING A SIDE STREET SHALL HAVE A SETBACK OF NOT LESS THAN TWENTY FEET (20').
  15. ALL REQUIRED UTILITY COMPANIES HAVE BEEN CONTACTED AND ALL PUBLIC UTILITY EASEMENTS AS SHOWN ON THE ABOVE AND FOREGOING PLAT CONSTITUTE ALL OF THE EASEMENTS REQUIRED BY THE UTILITY COMPANIES CONTACTED.
  16. ALL BEARINGS ARE REFERENCED TO THE TEXAS STATE PLANE COORDINATE SYSTEM SOUTH CENTRAL ZONE.
  17. NO BUILDING OR OTHER PERMIT, EXCEPT PERMITS FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS WILL BE ISSUED BY THE CITY OF MISSOURI CITY, TEXAS, FOR CONSTRUCTION WITHIN THIS SUBDIVISION UNTIL SUCH TIME AS ALL PUBLIC IMPROVEMENTS OF THE SUBDIVISION HAVE BEEN CONSTRUCTED BY THE DEVELOPER AND ACCEPTED BY THE CITY OR THE GUARANTEE OF CONSTRUCTION OF PUBLIC IMPROVEMENTS REQUIRED BY SECTION 23-45 OF THE CODE OF ORDINANCES OF THE CITY OF MISSOURI CITY, TEXAS, IS SUBMITTED TO AND APPROVED BY THE CITY.
  18. BUILDINGS SHALL BE SETBACK A MINIMUM DISTANCE OF 30 FEET FROM ANY PIPELINE OR 15 FEET FROM ANY PIPELINE EASEMENT, WHICHEVER DISTANCE IS GREATER.
  19. PRIOR TO THE ACCEPTANCE OF THE PAVING BY FORT BEND COUNTY, BLOCK CORNERS, LOT CORNERS AND STREET RIGHTS-OF-WAY WILL BE MONUMENTED.
  20. ALL LOTS ADJACENT TO STEEP BANK TRACE ARE DENIED DIRECT ACCESS TO STEEP BANK TRACE.
  21. SIDEWALKS SHALL BE CONSTRUCTED AS REQUIRED BY THE SIENNA PLANTATION JOINT DEVELOPMENT AGREEMENT WITH THE CITY OF MISSOURI CITY AND WITHIN THE 15' LANDSCAPE EASEMENT.
  22. THE DRAINAGE SYSTEM FOR THIS SUBDIVISION IS DESIGNED TO ALLOW PONDING ON PRIVATE PROPERTY DURING EXTREME RAINFALL EVENTS.
  23. AFG JOHNSON DEVELOPMENT, L.L.C., DEVELOPERS OF THE HEREIN DESCRIBED SUBDIVISION HEREBY AGREE TO ACQUIRE AN EASEMENT ADJACENT TO THE SOUTHERLY BOUNDARY OF RESTRICTED RESERVE "M" TO INSURE THAT THE CHANNEL CONSTRUCTED WITHIN RESERVE "M" AND THE ADJACENT EASEMENT MEETS THE REQUIREMENTS OF THE FORT BEND COUNTY CRITERIA MANUAL. AFG JOHNSON DEVELOPMENT, L.L.C. FURTHER AGREES THAT FORT BEND COUNTY WILL NOT ACCEPT MAINTENANCE OF THE ROADS WITHIN SIENNA STEEP BANK VILLAGE SECTION ONE OR ALLOW REDUCTION OF THE TOTAL BOND AMOUNT UNTIL SUCH TIME AS ABOVE SAID EASEMENT IS ACQUIRED ADJACENT TO RESERVE "M".

AFG JOHNSON  
DEVELOPMENT, L.L.C.  
TRACT TWO-598.270 AC.  
FILE NO. 9640265  
F.B.C.O.R.

G.C. & S.F. R.R. & A.T. & S.F. R.R. (100' R.O.W.)  
(VOL. M, PG. 125 VOL. 75, PG. 213)  
(VOL. 94, PG. 173 VOL. 116, PG. 65 F.B.C.O.R.)  
& VOL. 1934, PG. 1181 F.B.C.O.R.)  
PROPOSED H.L. & P. CO. ESM'T. (100' WIDE)  
PARCEL D-328-005

AFG JOHNSON DEVELOPMENT, L.L.C.  
TRACT ONE - 1558.274 AC.  
FILE NO. 9640265  
F.B.C.O.R.

AFG JOHNSON  
DEVELOPMENT, L.L.C.  
TRACT ONE-1558.274 AC.  
FILE NO. 9640265  
F.B.C.O.R.

SIENNA  
STEEP BANK VILLAGE  
SECTION ONE  
SHEET 3 OF 3

966 2534  
FILED FOR RECORD  
TIME 11:06 A.M.  
SEP 24 1996  
Binae Tiller  
County Clerk, Fort Bend Co.  
1523A



STATE OF TEXAS  
COUNTY OF FORT BEND

WE, AFG JOHNSON DEVELOPMENT, L.L.C., ACTING BY AND THROUGH DOUG GOFF AND JEAN FARLEY, GENERAL MANAGER AND SECRETARY RESPECTIVELY OF AFG JOHNSON DEVELOPMENT, L.L.C., OWNERS, HERINAFTER REFERRED TO AS OWNERS OF THE 17.342 ACRE TRACT DESCRIBED IN THE ABOVE AND FOREGOING MAP OF SIENNA STEEP BANK VILLAGE SECTION TWO-A, DO HEREBY MAKE AND ESTABLISH SAID SUBDIVISION AND DEVELOPMENT PLAN OF SAID PROPERTY ACCORDING TO ALL LINES, DEDICATIONS, RESTRICTIONS, AND NOTATIONS ON SAID MAPS OR PLAT, AND HEREBY DEDICATE TO THE USE OF THE PUBLIC, FOREVER, ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINAGE, EASEMENTS, AND PUBLIC PLACES SHOWN THEREON FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, AND DO HEREBY BIND ITSELF, ITS HEIRS, AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE TO THE LAND SO DEDICATED.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSES, FOREVER, UNOBTSTRUCTED AERIAL EASEMENTS, THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL ELEVEN FEET (11') SIX INCHES (1 1/2") FOR TEN FEET (10') PERMETER GROUND EASEMENTS OR FIVE FEET (5') SIX INCHES (5 1/2") FOR SIXTEEN FEET (16') PERMETER GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16') ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. & A.E.) AS INDICATED AND DEPICTED HEREON, WHEREBY THE AERIAL EASEMENT TOTALS TWENTY ONE FEET, SIX INCHES (21' 6") IN WIDTH.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSES, FOREVER, UNOBTSTRUCTED AERIAL EASEMENTS, THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL TEN FEET (10') FOR TEN FEET (10') BACK-TO-BACK GROUND EASEMENTS OR SEVEN FEET (7') FOR SIXTEEN FEET (16') BACK-TO-BACK GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16') ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO BOTH SIDES AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. & A.E.) AS INDICATED AND DEPICTED HEREON, WHEREBY THE AERIAL EASEMENT TOTALS THIRTY FEET (30') IN WIDTH.

FURTHER, OWNERS DO HEREBY DECLARE THAT ALL PARCELS OF LAND DESIGNATED AS LOTS ON THIS PLAT ARE INTENDED FOR THE CONSTRUCTION OF SINGLE FAMILY RESIDENTIAL DWELING UNITS, HEREON AND SHALL BE RESTRICTED FOR SAME UNDER THE TERMS AND CONDITIONS OF SUCH RESTRICTIONS FILED SEPARATELY.

FURTHER, OWNERS DO HEREBY COVENANT AND AGREE THAT ALL OF THE PROPERTY WITHIN THE BOUNDARIES OF THIS PLAT SHALL BE RESTRICTED TO PREVENT THE DRAINAGE OF ANY SEPTIC TANKS INTO ANY PUBLIC OR PRIVATE STREET, ROAD OR ALLEY OR ANY DRAINAGE DITCH, EITHER DIRECTLY OR INDIRECTLY.

FURTHER, OWNERS DO HEREBY DEDICATE TO THE PUBLIC A STRIP OF LAND TWENTY (20') FEET WIDE ON EACH SIDE OF THE CENTERLINE OF ANY AND ALL BAYOUS, CREEKS, GULLIES, RAVINES, DRAWS, SLOUGHS, OR OTHER NATURAL DRAINAGE COURSES LOCATED IN SAID PLAT, AS EASEMENTS FOR DRAINAGE PURPOSES. FORT BEND COUNTY OR ANY OTHER GOVERNMENTAL AGENCY SHALL HAVE THE RIGHT TO ENTER UPON SAID EASEMENT AT ANY AND ALL TIMES FOR THE PURPOSES OF CONSTRUCTION AND MAINTENANCE OF DRAINAGE FACILITIES AND STRUCTURES.

FURTHER, OWNERS DO HEREBY COVENANT AND AGREE THAT ALL OF THE PROPERTY WITHIN THE BOUNDARIES OF THIS SUBDIVISION AND ADJACENT TO AND ADJOINING SAID DITCH, GULLY, CREEK OR NATURAL DRAINAGE WAY SHALL HEREBY BE RESTRICTED TO KEEP SUCH DRAINAGE WAYS AND EASEMENTS CLEAR OF FENCES, BUILDINGS, EXCESSIVE VEGETATION, AND OTHER OBSTRUCTIONS TO THE OPERATION AND MAINTENANCE OF THE DRAINAGE FACILITY, AND THAT SUCH ADJUTING PROPERTY SHALL NOT BE PERMITTED TO DRAIN DIRECTLY INTO THIS EASEMENT EXCEPT BY MEANS OF AN APPROVED DRAINAGE STRUCTURE.

FURTHER, OWNERS DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF ALL PROPERTY IMMEDIATELY ADJACENT TO THE BOUNDARIES OF THE ABOVE AND FOREGOING SIENNA STEEP BANK VILLAGE SECTION TWO-A WHERE BUILDING SETBACK LINES OR PUBLIC UTILITY EASEMENTS ARE TO BE ESTABLISHED OUTSIDE THE BOUNDARIES OF THE ABOVE AND FOREGOING PLAT AND DO HEREBY MAKE AND ESTABLISH ALL BUILDING SETBACK LINES AND DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL PUBLIC UTILITY EASEMENTS SHOWN IN SAID ADJACENT ACREAGE.

WE FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTIONS MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS OF THE CITY; WE, OUR SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT WE MAY HAVE AS A RESULT OF THE DEDICATION OR EXACTIONS MADE HEREIN.

IN TESTIMONY WHEREOF, AFG JOHNSON DEVELOPMENT, L.L.C., HAS CAUSED THESE PRESENTS TO BE SIGNED BY DOUG GOFF, ITS GENERAL MANAGER, THEREUNTO AUTHORIZED, ATTESTED BY ITS SECRETARY, JEAN FARLEY AND ITS COMMON SEAL HERETO AFFIXED THIS 30th DAY OF January, 1998.

AFG JOHNSON DEVELOPMENT, L.L.C.

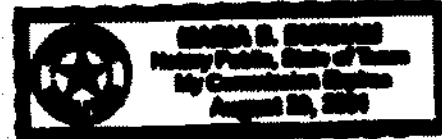
BY: DOUG GOFF, GENERAL MANAGER

ATTEST: JEAN FARLEY, SECRETARY

STATE OF TEXAS  
COUNTY OF FORT BEND

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED DOUG GOFF, GENERAL MANAGER OF AFG JOHNSON DEVELOPMENT, L.L.C. KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN AND HEREIN SET OUT, AND AS THE ACT AND DEED OF SAID CORPORATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 30th DAY OF January, 1998.

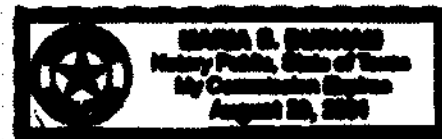


NOTARY PUBLIC IN AND FOR THE  
STATE OF TEXAS  
MY COMMISSION EXPIRES: 8/12/2001

STATE OF TEXAS  
COUNTY OF FORT BEND

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JEAN FARLEY, SECRETARY OF AFG JOHNSON DEVELOPMENT, L.L.C. KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN AND HEREIN SET OUT, AND AS THE ACT AND DEED OF SAID CORPORATION.

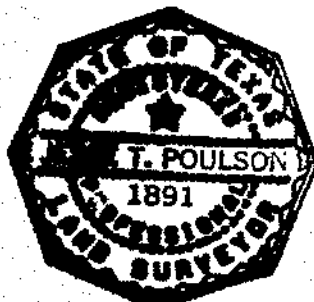
GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 30th DAY OF January, 1998.



NOTARY PUBLIC IN AND FOR THE  
STATE OF TEXAS  
MY COMMISSION EXPIRES: 8/12/2001

JESSE T. POULSON, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE SUBDIVISION IS TRUE AND CORRECT, WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND, AND THAT ALL BOUNDARY CORNERS, ANGLE POINTS, AND POINTS OF CURVATURE HAVE BEEN MARKED WITH IRON OR OTHER SUITABLE PERMANENT FERROUS METAL PIPES OR RODS HAVING AN OUTSIDE DIAMETER OF NOT LESS THAN FIVE EIGHTHS (5/8") AND A LENGTH OF NOT LESS THAN THREE FEET (3'). (SEE NOTE 9.) AND THAT THE PLAT BOUNDARY CORNERS HAVE BEEN TIED TO THE NEAREST SURVEY CORNER.

JESSE T. POULSON  
REGISTERED PROFESSIONAL LAND SURVEYOR  
TEXAS REGISTRATION NO. 1891



JERROLD L. GRAHAM JR., A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF TEXAS DO HEREBY CERTIFY THAT THIS PLAT MEETS ALL REQUIREMENTS OF FORT BEND COUNTY AND THE CITY OF MISSOURI CITY.

JERROLD L. GRAHAM JR.  
REGISTERED PROFESSIONAL ENGINEER  
TEXAS REGISTRATION NO. 66480



THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF MISSOURI CITY, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF SIENNA STEEP BANK VILLAGE SECTION TWO-A, IN CONFORMANCE WITH THE LAWS OF THE STATE OF TEXAS AND THE ORDINANCES OF THE CITY OF MISSOURI CITY, AS SHOWN HEREON AND AUTHORIZED THE RECORDING OF THIS PLAT THIS DAY OF February, 1998.

BY: CHAIRMAN ROBERT A. PATIN  
BY: VICE CHAIRMAN, STAN PARKER

I, D. JESSE HEGEMER, FORT BEND COUNTY ENGINEER, DO HEREBY CERTIFY THAT THE PLAT OF THIS SUBDIVISION COMPLIES WITH ALL OF THE EXISTING RULES AND REGULATIONS OF THIS OFFICE AS ADOPTED BY THE FORT BEND COUNTY COMMISSIONER'S COURT. HOWEVER, NO CERTIFICATION IS HEREBY GIVEN AS TO THE EFFECT OF DRAINAGE FROM THIS SUBDIVISION ON THE INTERCEPTING DRAINAGE ARTERY OR PARENT STREAM OR ON ANY OTHER AREA OR SUBDIVISION WITHIN THE WATERSHED.

D. JESSE HEGEMER, P.E.  
FORT BEND COUNTY ENGINEER

APPROVED BY THE COMMISSIONER'S COURT OF FORT BEND COUNTY, TEXAS, THIS 24th DAY OF February, 1998.

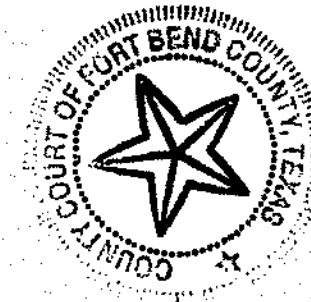
R.L. "BOB" D'ARTELES, COMMISSIONER, PRECINCT 1  
GRADY PRESTAGE, COMMISSIONER, PRECINCT 2

MICHAEL D. ROZELL, COUNTY JUDGE

W. A. LANDY MEYERS, COMMISSIONER, PRECINCT 3  
BOB LUTTS, COMMISSIONER, PRECINCT 4

I, DIANNE WILSON, COUNTY CLERK IN AND FOR FORT BEND COUNTY, HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORDATION IN MY OFFICE ON February 24, 1998, AT 3:25 O'CLOCK P.M., IN SLIDE NO. 16846 OF THE PLAT RECORDS OF SAID COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE, AT RICHMOND, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

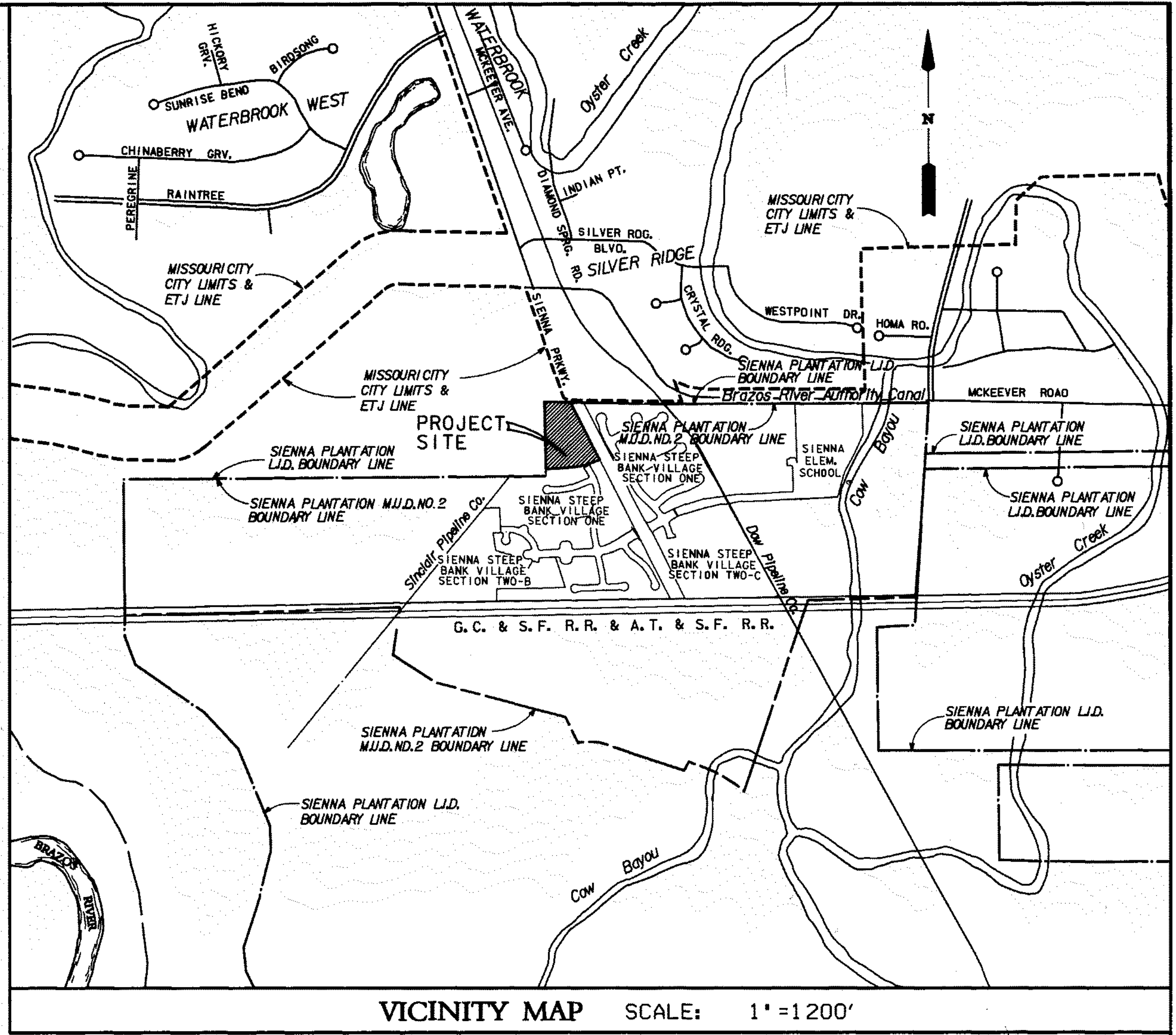


DIANNE WILSON, CLERK OF THE COUNTY  
FORT BEND COUNTY, TEXAS  
DEPUTY  
CINDY TWARDOWSKI

#### GENERAL NOTES

- B.L. INDICATES BUILDING LINE; U.E. INDICATES UTILITY EASEMENT; S.E. INDICATES STORM SEWER EASEMENT; S.S.E. INDICATES SANITARY SEWER EASEMENT; A.E. INDICATES AERIAL EASEMENT; W.L.E. INDICATES WATER LINE EASEMENT; F.B.C.D.R. INDICATES FORT BEND COUNTY OFFICIAL RECORDS; F.B.C.D.R. INDICATES FORT BEND DEED RECORDS; F.B.C.P.R. INDICATES FORT BEND COUNTY PLAT RECORDS; L. & S.E. INDICATES LANDSCAPE AND SIDEWALK EASEMENTS; F.M.E. INDICATES FORCE MAIN EASEMENT; D.E. INDICATES DRAINAGE EASEMENT.
- ALL PIPELINE OR PIPELINE EASEMENTS WITHIN THE BOUNDARIES OF THIS PLAT ARE SHOWN HEREON.
- ALL SLAB ELEVATIONS SHALL BE ONE FOOT ABOVE THE 100-YEAR FLOOD ELEVATION AS ESTABLISHED BY FEMA. IN ACCORDANCE WITH FEDERAL EMERGENCY MANAGEMENT AGENCY COMMUNITY PANEL NO. 481522273, MAP REVISED JANUARY 3, 1997, THIS PLAT LIES IN ZONE "X", OUTSIDE THE 100-YEAR FLOOD PLAIN.
- THE TOP OF ALL FLOOR SLABS SHALL BE A MINIMUM OF 55.50 FEET ABOVE MEAN SEA LEVEL. IN ADDITION TO THIS MINIMUM, NO FLOOR SLAB SHALL BE LESS THAN 1.5 FEET ABOVE NATURAL GROUND.
- THE CITY OF MISSOURI CITY SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF DRIVEWAYS, DRAINAGE EASEMENTS, LANDSCAPE RESERVES, SIDEWALKS, OR OPEN SPACES. THE OWNER, AFG JOHNSON DEVELOPMENT, L.L.C., OR ASSIGNS SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL OPEN SPACES, ALL LANDSCAPE RESERVES, DRIVEWAYS, SIDEWALKS AND DRAINAGE EASEMENTS.
- BENCHMARK: F.M.D. A N.G.S. MON. ON THE TOP OF A FIVE EIGHTHS INCH COPPER COATED IRON ROD, WITH THE UPPER PORTION OF THE ROD ENCASED IN A 5 INCH IRON PIPE LOCATED APPROXIMATELY 30.8 FEET SOUTH OF THE SOUTH RAIL OF G.V. AND S.F. RAILWAY AND APPROXIMATELY 95 FEET EAST OF OLD POWER POLE AND ALSO ON COASTAL STATES PIPELINE EASEMENT AND 1 FOOT EAST OF WITNESS POST. MON. NO. S-1208 ELEV. = 56.47 1973 ADJUSTMENT.
- THIS PLAT LIES WITHIN FORT BEND COUNTY SUBSIDENCE DISTRICT, FORT BEND COUNTY DRAINAGE DISTRICT, SIENNA PLANTATION CITY, E.T.J. SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT AND SIENNA PLANTATION MUNICIPAL UTILITY DISTRICT NO. 2.
- ALL EASEMENTS ARE CENTERED ON LOT LINES UNLESS OTHERWISE NOTED.
- FIVE EIGHTHS (5/8") INCH IRON RODS THREE FEET (3') IN LENGTH ARE SET ON ALL PERIMETER BOUNDARY CORNERS, UNLESS OTHERWISE NOTED.
- ALL BUILDING LINE TRANSITIONS ARE AT 45° ANGLES TO THE STRAIGHT SIDE LOT LINE WHERE THE TRANSITION OCCURS.
- THIS PLAT LIES WHOLLY WITHIN SIENNA PLANTATION MUNICIPAL UTILITY DISTRICT NO. 2.
- THIS PLAT WAS PREPARED FROM INFORMATION FURNISHED BY COMMONWEALTH LAND TITLE COMPANY OF HOUSTON, TEXAS NO. 98271888, EFFECTIVE DATE DECEMBER 30, 1997. THE SURVEYOR HAS NOT ABSTRACTED THE ABOVE PROPERTY.

- DAMAGES FACING A SIDE STREET SHALL HAVE A SETBACK OF NOT LESS THAN TWENTY FEET (20').
- ALL REQUIRED UTILITY COMPANIES HAVE BEEN CONTACTED AND ALL PUBLIC UTILITY EASEMENTS AS SHOWN ON THE ABOVE AND FOREGOING PLAT CONSTITUTE ALL OF THE EASEMENTS REQUIRED BY THE UTILITY COMPANIES CONTACTED.
- ALL BEARINGS ARE REFERENCED TO THE TEXAS STATE PLANE COORDINATE SYSTEM SOUTH CENTRAL ZONE.
- NO BUILDING OR OTHER PERMIT, EXCEPT PERMITS FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS WILL BE ISSUED BY THE CITY OF MISSOURI CITY, TEXAS, FOR CONSTRUCTION WITHIN THIS SUBDIVISION UNTIL SUCH TIME AS ALL PUBLIC IMPROVEMENTS OF THE SUBDIVISION HAVE BEEN CONSTRUCTED BY THE DEVELOPER AND ACCEPTED BY THE CITY OR THE GUARANTEE OF CONSTRUCTION OF PUBLIC IMPROVEMENTS REQUIRED BY SECTION 23-45 OF THE CODE OF ORDINANCES OF THE CITY OF MISSOURI CITY, TEXAS, IS SUBMITTED TO AND APPROVED BY THE CITY.
- BUILDINGS SHALL BE SETBACK A MINIMUM DISTANCE OF 30 FEET FROM ANY PIPELINE OR 15 FEET FROM ANY PIPELINE EASEMENT, WHICHEVER DISTANCE IS GREATER.
- PRIOR TO THE BEGINNING OF THE ONE-YEAR MAINTENANCE PERIOD FOR UTILITIES AND PAVING BY FORT BEND COUNTY, ALL BLOCK CORNERS AND STREET RIGHTS-OF-WAY WILL BE MONUMENTED.
- SIDEWALKS SHALL BE CONSTRUCTED AS REQUIRED BY THE SIENNA PLANTATION JOINT DEVELOPMENT AGREEMENT WITH THE CITY. SIDEWALKS SHALL BE CONSTRUCTED AS REQUIRED BY SECTIONS 22-14 AND 23-32 OF THE CODE OF ORDINANCES OF THE CITY OF MISSOURI CITY. PRIOR TO ACCEPTANCE OF STREETS WITHIN THIS SUBDIVISION BY FORT BEND COUNTY INTO THE ONE-YEAR MAINTENANCE PERIOD, SIDEWALKS SHALL BE CONSTRUCTED BY THE DEVELOPER ALONG ALL STREETS WHERE HOUSES DO NOT FRONT OR SIDE. BEFORE CERTIFICATES OF OCCUPANCY SHALL BE ISSUED, BUILDERS OF HOMES SHALL CONSTRUCT SIDEWALKS ALONG STREETS ON WHICH HOMES FRONT AND ALONG STREETS ON WHICH HOMES SIDE.
- THE DRAINAGE SYSTEM FOR THIS SUBDIVISION IS DESIGNED TO ALLOW PONDING ON PRIVATE PROPERTY DURING EXTREME RAINFALL EVENTS.
- METER LOCATION: IN ACCORDANCE WITH HOUSTON LIGHTING & POWER COMPANY SERVICE STANDARDS, ARTICLE 406.32, ELECTRIC METERS SHALL BE LOCATED IN AN AREA ACCESSIBLE WITHOUT CUSTOMER ASSISTANCE, AND NOT BLOCKED BY FENCES, WALLS OR GATES. FOR FURTHER INFORMATION IN THE SUGAR LAND DISTRICT AREA, CALL (281) 961-2555.
- THIS PLAT IS SUBORDINATED BY:  
KURT D. DONOFOR, TRUSTEE, RESIDENTIAL FUNDING CORPORATION, A DELAWARE CORPORATION, AS RECORDED IN FILE NO. 981246 OFFICIAL RECORDS OF FORT BEND COUNTY, TEXAS.



VICINITY MAP SCALE: 1"=1200'

## ADDRESS PLAT OF SIENNA STEEP BANK VILLAGE SECTION TWO-A

A SUBDIVISION OF 17.342 ACRES LOCATED IN THE  
THOMAS BARNETT LEAGUE, A-7 AND ALSO BEING OUT OF  
THE AFG JOHNSON DEVELOPMENT, L.L.C. 598.270 ACRES KNOWN  
AS TRACT TWO RECORDED IN FILE NO. 9640265 OF THE OFFICIAL  
RECORDS OF FORT BEND COUNTY, TEXAS

16 LOTS 3 RESERVES 1 BLOCK

JANUARY, 1998 JOB NO. 68143.006

100 50 0 100 200  
SCALE: 1"=100'

OWNER:  
AFG JOHNSON DEVELOPMENT, L.L.C.

DOUG GOFF, GENERAL MANAGER  
5005 RIVERWAY, SUITE 110, HOUSTON, TEXAS 77056 PH. (713) 960-9977

ENGINEER:

LJA Engineering & Surveying, Inc.  
2925 B-T Park Drive Suite 500 Houston, Texas 77042-3703 Phone: 713.953.9200 Fax: 713.953.9026

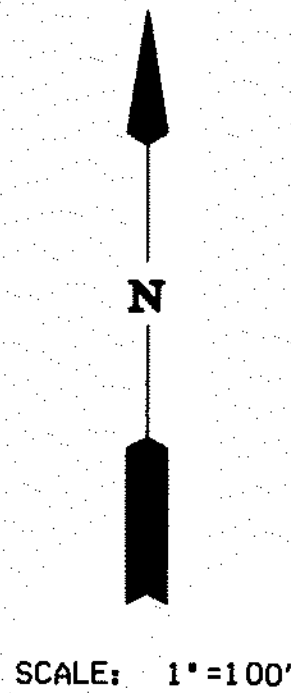


JESSE T. POULSON,  
REGISTERED PROFESSIONAL LAND SURVEYOR,  
TEXAS REGISTRATION NO. 1891

JERROLD L. GRAHAM JR.,  
REGISTERED PROFESSIONAL ENGINEER,  
TEXAS REGISTRATION NO. 66480

981246  
FILED FOR RECORD  
3:25  
FEB 24 1998





RAYMOND G. SCHINDLER  
VOL. 587, PG. 763  
633.747 ACRES  
F.B.C.D.R.

RAYMOND G. SCHINDLER  
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F.B.C.D.R.

RAYMOND G. SCHINDLER  
VOL. 587, PG. 763  
633.747 ACRES  
F.B.C.D.R.

CURVE TABLE									
CURVE	BEARING	LENGTH	CHORD	AREA	PERCENTAGE	CHORD BEARING	CHORD	AREA	PERCENTAGE
1	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00
2	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00
3	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00
4	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00
5	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00
6	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00
7	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00
8	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00
9	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00
10	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00
11	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00
12	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00
13	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00
14	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00
15	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00

LINE TABLE									
LINE	BEARING	LENGTH	CHORD	AREA	PERCENTAGE	CHORD BEARING	CHORD	AREA	PERCENTAGE
1	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00
2	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00
3	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00
4	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00
5	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00
6	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00
7	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00
8	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00
9	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00
10	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00
11	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00
12	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00
13	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00
14	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00
15	N 87° 13' 36" E	436.46	436.46	100.00	100.00	S 87° 13' 36" W	436.46	100.00	100.00

RESERVE TABLE			
RESERVE NO.	TYPE	ACREAGE	SQ. FT.
RESERVE "A"	LANDSCAPE, DRAIN. & U.E.	1.011	44,030
RESERVE "B"	LEVEE	3.405	148,342
RESERVE "C"	DRAINAGE	6.101	265,747
TOTAL		10.517	458,119

9812408  
FILED FOR RECORD  
TIME 3:25 PM  
FEB 24 1998  
Diana Miller  
County Clerk, Fort Bend Co., Texas  
1687A

SIENNA  
STEEP BANK VILLAGE  
SECTION TWO-A  
SHEET 2 OF 2



STATE OF TEXAS  
COUNTY OF FORT BEND

WE, AFG JOHNSON DEVELOPMENT, L.L.C., ACTING BY AND THROUGH W. DOUGLAS GOFF, GENERAL MANAGER AND SECRETARY RESPECTIVELY OF AFG JOHNSON DEVELOPMENT, L.L.C., WE SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT, ACTING BY AND THROUGH FLOYD DELLINGER AND KENDALL BECKMAN, PRESIDENT AND DIRECTOR, RESPECTIVELY OF SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT, WE NEWMARK HOMES L.P., ACTING BY AND THROUGH STEVE VAN HORN, PRESIDENT AND SECRETARY, RESPECTIVELY OF NEWMARK HOMES L.P., WE WEEKLEY HOMES L.P., ACTING BY AND THROUGH WILLIAM E. ULRICH II, PRESIDENT AND SECRETARY, RESPECTIVELY OF WEEKLEY HOMES, AND WE, PERRY HOMES, ACTING BY AND THROUGH GERALD W. NOTES, PRESIDENT AND SECRETARY, RESPECTIVELY OF PERRY HOMES, OWNERS, HERINAFTER REFERRED TO AS OWNERS OF THE 35.087 ACRE TRACT DESCRIBED IN THE ABOVE AND FOREGOING PLAT OF SIENNA STEEP BANK VILLAGE, SECTION FOUR-A, A PARTIAL REPLAT, DO HEREBY MAKE AND ESTABLISH SAID DEVELOPMENT PLAT OF SAID PROJECTED SUBDIVISION, ACCORDING TO ALL LINES, DESIGNATIONS, RESTRICTIONS, AND NOTATIONS ON SAID MAPS OR PLATS, AND HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER, ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES SHOWN THEREON FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, AND DO HEREBY BIND ITSELF, ITS HEIRS, AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE TO THE LAND SO DEDICATED.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSES, FOREVER, UNDESTRUCTURED AERIAL EASEMENTS, THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL ELEVATION FEET SIX INCHES (1' 6") FOR TEN FEET (10' 0") PERIMETER GROUND EASEMENTS OR SEVEN FEET SIX INCHES (7' 6") FOR FOURTEEN FEET (14' 0") PERIMETER GROUND EASEMENTS, FROM A PLANE SIX FEET (6' 0") ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. & A.E.) AS INDICATED AND DEFINED HEREON, WHEREBY THE AERIAL EASEMENTS TOTAL TWENTY-ONE FEET, SIX INCHES (21' 6") IN WIDTH.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSES, FOREVER, UNDESTRUCTURED AERIAL EASEMENTS, THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL ELEVATION FEET SIX INCHES (1' 6") FOR TEN FEET (10' 0") BACK-TO-BACK GROUND EASEMENTS OR EIGHT FEET (8' 0") FOR SIXTEEN FEET (16' 0") BACK-TO-BACK GROUND EASEMENTS, FROM A PLANE SIX FEET (6' 0") ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO BOTH SIDES AND ADJOINING PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. & A.E.) AS INDICATED AND DEFINED HEREON, WHEREBY THE AERIAL EASEMENTS TOTAL THIRTY FEET (30' 0") IN WIDTH.

FURTHER, OWNERS DO HEREBY DECLARE THAT ALL PARCELS OF LAND DESIGNATED AS LOTS ON THIS PLAT FOR THE CONSTRUCTION OF SINGLE FAMILY RESIDENTIAL DWELLING UNITS THEREON AND SHALL BE RESTRICTED FOR SAME UNDER THE TERMS AND CONDITIONS OF SUCH RESTRICTIONS FILED SEPARATELY.

FURTHER, OWNERS DO HEREBY COVENANT AND AGREE THAT ALL OF THE PROPERTY WITHIN THE BOUNDARIES OF THIS PLAT SHALL BE RESTRICTED TO PREVENT THE DRAINAGE OF ANY SEPTIC TANKS INTO ANY PUBLIC OR PRIVATE STREET, ROAD OR ALLEY OR ANY DRAINAGE DITCH, OR INTO ANY DRAINAGE DITCH OR INTO ANY DRAINAGE DITCH.

FURTHER, OWNERS DO HEREBY COVENANT AND AGREE THAT ALL OF THE PROPERTY WITHIN THE BOUNDARIES OF THIS SUBDIVISION AND ADJACENT TO ANY DRAINAGE EASEMENT, DITCH, GULLY, CREEK OR NATURAL DRAINAGE WAY SHALL HEREBY BE RESTRICTED TO KEEP SUCH DRAINAGE EASEMENTS, DITCHES, GULLIES, CREEKS OR NATURAL DRAINAGE WAYS OPEN AND FREE FROM OBSTRUCTIONS TO THE OPERATIONS AND MAINTENANCE OF THE DRAINAGE FACILITY, AND THAT SUCH ADJUTING PROPERTY SHALL NOT BE PERMITTED TO DRAIN DIRECTLY INTO THE DRAINAGE FACILITY OR INTO ANY DRAINAGE DITCH OR INTO ANY DRAINAGE DITCH.

FURTHER, OWNERS DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF ALL PROPERTY IMMEDIATELY ADJACENT TO THE BOUNDARIES OF THE ABOVE AND FOREGOING PLAT OF SIENNA STEEP BANK VILLAGE, SECTION FOUR-A, A PARTIAL REPLAT, WHERE BUILDING SETBACK LINES OR PUBLIC UTILITY EASEMENTS ARE TO BE ESTABLISHED OUTSIDE THE BOUNDARIES OF THE ABOVE AND FOREGOING PLAT AND DO HEREBY MAKE AND ESTABLISH SAID BUILDING SETBACK LINES AND DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL PUBLIC UTILITY EASEMENTS SHOWN IN SAID ADJACENT ACREAGE.

WE FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTIONS MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPLY WITH THE PRESENT AND FUTURE GROWTH NEEDS OF THE CITY OF FORT BEND, TEXAS. OUR SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT WE MAY HAVE AS A RESULT OF THE DEDICATION OR EXACTIONS MADE HEREIN.

IN TESTIMONY WHEREOF, AFG JOHNSON DEVELOPMENT, L.L.C., HAS CAUSED THESE PRESENTS TO BE SIGNED BY W. DOUGLAS GOFF, ITS GENERAL MANAGER, THEREUNTO AUTHORIZED, ATTESTED BY ITS SECRETARY, JEAN FARLEY, AND ITS COMMON SEAL HEREUNTO AFFIXED THIS 30th DAY OF JUNE, 1999.

AFG JOHNSON DEVELOPMENT, L.L.C.

BY: *W. Douglas Goff*

ATTEST: *Jean Farley*  
JEAN FARLEY

STATE OF TEXAS  
COUNTY OF FORT BEND

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED W. DOUGLAS GOFF, GENERAL MANAGER OF AFG JOHNSON DEVELOPMENT, L.L.C., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN AND HEREIN SET OUT, AND AS THE ACT AND DEED OF SAID CORPORATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 30th DAY OF JUNE, 1999.  
*Patricia Callagher*  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS  
MY COMMISSION EXPIRES: June 24, 2002

STATE OF TEXAS  
COUNTY OF FORT BEND

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JEAN FARLEY, SECRETARY OF AFG JOHNSON DEVELOPMENT, L.L.C., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN AND HEREIN SET OUT, AND AS THE ACT AND DEED OF SAID CORPORATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 30th DAY OF JUNE, 1999.  
*Patricia Callagher*  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS  
MY COMMISSION EXPIRES: June 24, 2002

IN TESTIMONY WHEREOF, SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT HAS CAUSED THESE PRESENTS TO BE SIGNED BY FLOYD DELLINGER, ITS PRESIDENT, THEREUNTO AUTHORIZED, ATTESTED BY ITS DIRECTOR, KENDALL BECKMAN AND ITS COMMON SEAL HEREUNTO AFFIXED THIS 29th DAY OF JUNE, 1999.

SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT

BY: *Floyd Dellinger*

ATTEST: *Kendall Beckman*  
KENDALL BECKMAN, DIRECTOR

STATE OF TEXAS  
COUNTY OF FORT BEND

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED FLOYD DELLINGER AND KENDALL BECKMAN OF SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT, KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN AND HEREIN SET OUT, AND AS THE ACT AND DEED OF SAID CORPORATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 29th DAY OF JUNE, 1999.  
*Marie D. Cooper*  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS  
MY COMMISSION EXPIRES: 3-1-2000

IN TESTIMONY WHEREOF, NEWMARK HOMES L.P., HAS CAUSED THESE PRESENTS TO BE SIGNED BY Steve Van Horn, ITS Senior Vice President, THEREUNTO AUTHORIZED, ATTESTED BY ITS SECRETARY, J.M. Beckman AND ITS COMMON SEAL HEREUNTO AFFIXED THIS 30th DAY OF JUNE, 1999.

NEWMARK HOMES L.P.

BY: *Steve Van Horn*

ATTEST: *J.M. Beckman*  
J.M. Beckman, Senior Vice President

GENERAL NOTES

1. B.L. INDICATES BUILDING LINE; U.E. INDICATES UTILITY EASEMENT; STM. S.E. INDICATES STORM SEWER EASEMENT; S.S.E. INDICATES SANITARY SEWER EASEMENT; A.E. INDICATES AERIAL EASEMENT; W.L.E. INDICATES WATER LINE EASEMENT; F.B.C.D. INDICATES FORT BEND COUNTY DISTRICT; F.B.C.P.R. INDICATES FORT BEND COUNTY PLAT RECORDS; L.S.E. INDICATES LANDSCAPE EASEMENT; F.M.E. INDICATES FORCE MAIN EASEMENT; D.E. INDICATES DRAINAGE EASEMENT; S.W.E. INDICATES SIDEWALK EASEMENT.
2. THE MINIMUM SLAB ELEVATION WILL BE 18" ABOVE TOP OF CURB IN FRONT OF LOTS OR 12" ABOVE THE 100-YEAR FLOOD ELEVATION, WHICHEVER IS GREATER. THE MINIMUM FINISHED FLOOR ELEVATION SHALL BE ONE FOOT ABOVE THE 100-YEAR FLOOD ELEVATION AS DETERMINED BY THE FLOOD INSURANCE RATE MAP DATED JANUARY 3, 1997 AND SHALL MEET STANDARDS ESTABLISHED BY FEMA AND ALL APPLICABLE CITY REQUIREMENTS, INCLUDING THE CITY INFRASTRUCTURE CODE AS RECORDED IN MAP REVISED JANUARY 3, 1997. THIS PLAT LIES IN ZONE "X", OUTSIDE THE 100-YEAR FLOOD PLAIN.
3. ALL PIPELINE OR PIPELINE EASEMENTS WITHIN THE BOUNDARIES OF THIS PLAT ARE SHOWN HEREON.
4. ALL SLAB ELEVATIONS SHALL BE ONE FOOT ABOVE THE 100-YEAR FLOOD ELEVATION AS ESTABLISHED BY FEMA, IN ACCORDANCE WITH FEDERAL EMERGENCY MANAGEMENT AGENCY COMMUNITY PANEL NO. 48100070.1, MAP REVISED JANUARY 3, 1997. THIS PLAT LIES IN ZONE "X", OUTSIDE THE 100-YEAR FLOOD PLAIN.
5. THE TOP OF ALL FLOOR SLABS SHALL BE A MINIMUM OF 66.50 FEET ABOVE MEAN SEA LEVEL. IN ADDITION TO THIS MINIMUM, NO FLOOR SLAB SHALL BE LESS THAN 1.5 FEET ABOVE NATURAL GROUND.
6. THE CITY OF MISSOURI CITY SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF DRIVEWAYS, DRAINAGE EASEMENTS, LANDSCAPE RESERVES, SIDEWALKS, OR OPEN SPACES. THE OWNER, AFG JOHNSON DEVELOPMENT, L.L.C., OR ASSIGNS SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL OPEN SPACES.
7. BENCHMARK: FND. A N.G.S. MON. ON THE TOP OF A FIVE EIGHTHS (5/8") INCH COPPER COATED IRON ROD, WITH THE UPPER PORTION OF THE ROD ENCASED IN A 5 1/8" INCH IRON PIPE LOCATED APPROXIMATELY 30.8 FEET SOUTH OF THE SOUTH RAIL OF G.V. AND S.F. RAILWAY AND APPROXIMATELY 25 FEET EAST OF OLD POWER POLE AND ALSO ON CONCRETE STATION STAKE PIPELINE EASEMENT AND 1 FOOT EAST OF WITNESS POST, MON. NO. S-1208 ELEV. = 66.47 1973 ADJUSTMENT.
8. THIS PLAT LIES WITHIN FORT BEND COUNTY SUBSIDENCE DISTRICT, FORT BEND COUNTY DRAINAGE DISTRICT, MISSOURI CITY ETJ, SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT AND SIENNA PLANTATION MUNICIPAL UTILITY DISTRICT NO. 2.
9. ALL EASEMENTS ARE CENTERED ON LOT LINES UNLESS OTHERWISE NOTED.
10. ONE-FOOT RESERVE DEDICATED TO THE PUBLIC IN FEE AS A BUFFER SEPARATION BETWEEN THE SIDE OR END OF STREETS, IN SUBDIVISION PLATS WHERE SUCH STREETS ADJACENT ACREAGE TRACTS TO THE PUBLIC, SUCH DEDICATING BEING THAT WHEN THE ADJACENT PROPERTY IS SUBDIVIDED IN A RECORDED PLAT, THE ONE-FOOT RESERVE SHALL THEREUPON BECOME VESTED IN THE PUBLIC FOR STREET RIGHT-OF-WAY PURPOSES AND THE FEE TITLE THERETO SHALL REVERT AND REVEST IN THE DEDICATOR, HIS HEIRS, ASSIGNS, OR SUCCESSORS.
11. FIVE EIGHTHS (5/8") INCH IRON RODS THREE FEET (3') IN LENGTH ARE SET ON ALL PERIMETER BOUNDARY CORNERS, UNLESS OTHERWISE NOTED. STREET RIGHTS-OF-WAY OR BLOCK CORNERS HAVE NOT BEEN MONUMENTED.
12. ALL BUILDING LINE TRANSITIONS ARE AT 45° ANGLES TO THE STRAIGHT SIDE LOT LINE WHERE THE TRANSITION OCCURS.
13. THIS PLAT LIES WHOLLY WITHIN SIENNA PLANTATION MUNICIPAL UTILITY DISTRICT NO. 2.
14. THIS PLAT WAS PREPARED FROM INFORMATION FURNISHED BY COMMONWEALTH LAND TITLE COMPANY OF HOUSTON, TX, NO. 9627178J, EFFECTIVE DATE JANUARY 11, 1999. THE SURVEYOR HAS NOT ABSTRACTED THE ABOVE PROPERTY.

STATE OF TEXAS  
COUNTY OF FORT BEND

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Steve Van Horn, AND J.M. Beckman, OF NEWMARK HOMES L.P., KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN AND HEREIN SET OUT, AND AS THE ACT AND DEED OF SAID CORPORATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 30th DAY OF JUNE, 1999.  
*Barbara Seitz*  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS  
MY COMMISSION EXPIRES: 3-10-2001

IN TESTIMONY WHEREOF, WEEKLEY HOMES L.P., HAS CAUSED THESE PRESENTS TO BE SIGNED BY WILLIAM E. ULRICH II, ITS DIVISION PRESIDENT, THEREUNTO AUTHORIZED, ATTESTED BY ITS SECRETARY, MELISSA TITMOUTH AND ITS COMMON SEAL HEREUNTO AFFIXED THIS 30th DAY OF JUNE, 1999.

WEEKLEY HOMES L.P.

BY: *William E. Ulrich II*  
WILLIAM E. ULRICH II  
ATTEST: *Melissa Titmuth*  
MELISSA TITMOUTH

STATE OF TEXAS  
COUNTY OF FORT BEND

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED WILLIAM E. ULRICH II AND MELISSA TITMOUTH OF WEEKLEY HOMES L.P., KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN AND HEREIN SET OUT, AND AS THE ACT AND DEED OF SAID CORPORATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 30th DAY OF JUNE, 1999.  
*Wanda Crawford*  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS  
MY COMMISSION EXPIRES: 2-18-00

IN TESTIMONY WHEREOF, PERRY HOMES, HAS CAUSED THESE PRESENTS TO BE SIGNED BY GERALD W. NOTES, ITS EXECUTIVE VICE PRESIDENT, THEREUNTO AUTHORIZED, ATTESTED BY ITS ASSISTANT SECRETARY, BRAD TODDS AND ITS COMMON SEAL HEREUNTO AFFIXED THIS 29th DAY OF JUNE, 1999.

PERRY HOMES

BY: *Gerald W. Notes*  
GERALD W. NOTES, EXECUTIVE VICE PRESIDENT  
ATTEST: *Brad Todds*  
BRAD TODDS, ASSISTANT SECRETARY

STATE OF TEXAS  
COUNTY OF FORT BEND

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED GERALD W. NOTES AND BRAD TODDS OF PERRY HOMES, KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN AND HEREIN SET OUT, AND AS THE ACT AND DEED OF SAID CORPORATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 29th DAY OF JUNE, 1999.  
*Shirley R. Kunk*  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS  
MY COMMISSION EXPIRES:

1. JESSE T. POULSON, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THE ABOVE SUBDIVISION IS TRUE AND CORRECTLY PREPARED FROM A FIELD SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND AND THAT ALL BOUNDARY CORNERS, ANGLE POINTS, AND POINTS OF CURVATURE HAVE BEEN MARKED WITH IRON OR OTHER SUITABLE PERMANENT FERROUS OR METAL PIPES OR METAL PAVING AN OUTSIDE DIAMETER NOT LESS THAN FIVE EIGHTHS (5/8") INCH (5/8") AND A LENGTH OF NOT LESS THAN THREE FEET (3') (SEE NOTE 8.) AND THAT THE PLAT BOUNDARY CORNERS HAVE BEEN TIED TO THE NEAREST SURVEY CORNER.

*Jesse T. Poulson*  
JESSE T. POULSON  
REGISTERED PROFESSIONAL LAND SURVEYOR  
TEXAS REGISTRATION NO. 1891

15. GARAGES FACING A SIDE STREET SHALL HAVE A SETBACK OF NOT LESS THAN TWENTY FEET (20').
16. ALL REQUIRED UTILITY COMPANIES HAVE BEEN CONTACTED AND ALL PUBLIC UTILITY EASEMENTS AS SHOWN ON THE ABOVE AND FOREGOING PLAT CONSTITUTE ALL OF THE EASEMENTS REQUIRED BY THE UTILITY COMPANIES CONTACTED.
17. ALL BEARINGS ARE REFERENCED TO THE TEXAS STATE PLANE COORDINATE SYSTEM SOUTH CENTRAL ZONE.
18. NO BUILDING OR OTHER PERMIT, EXCEPT PERMITS FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS WILL BE ISSUED BY THE CITY OF MISSOURI CITY, TEXAS, FOR CONSTRUCTION WITHIN THIS SUBDIVISION UNTIL SUCH TIME AS ALL PUBLIC IMPROVEMENTS OF THE SUBDIVISION HAVE BEEN CONSTRUCTED BY THE DEVELOPER AND ACCEPTED BY THE CITY OR THE GUARANTEE OF CONSTRUCTION OF PUBLIC IMPROVEMENTS REQUIRED BY SECTION 82-175 OF THE CODE OF ORDINANCES OF THE CITY OF MISSOURI CITY, TEXAS, IS SUBMITTED TO AND APPROVED BY THE CITY.
19. BUILDINGS SHALL BE SETBACK A MINIMUM DISTANCE OF 30 FEET FROM ANY PIPELINE OR 15 FEET FROM ANY PIPELINE EASEMENT, WHICHEVER DISTANCE IS GREATER.
20. PRIOR TO THE BEGINNING OF THE ONE-YEAR MAINTENANCE PERIOD FOR UTILITIES AND PAVING BY FORT BEND COUNTY, ALL BLOCK CORNERS AND STREET RIGHTS-OF-WAY WILL BE MONUMENTED.
21. SIDEWALK/TRAILS SHALL BE CONSTRUCTED AS REQUIRED BY THE SIENNA PLANTATION JOINT DEVELOPMENT AGREEMENT WITH THE CITY OF MISSOURI CITY AND AS REQUIRED BY SECTIONS 46-191 AND 82-165 OF THE CODE OF ORDINANCES FOR THE CITY OF MISSOURI CITY. SIDEWALK/TRAILS SHALL BE CONSTRUCTED BY THE DEVELOPER ALONG ALL STREETS WHERE HOUSES DO NOT FRONT OR SIDE PRIOR TO ACCEPTANCE OF STREETS WITHIN THIS SUBDIVISION BY FORT BEND COUNTY INTO THE ONE YEAR MAINTENANCE PERIOD, BEFORE CERTIFICATES OF OCCUPANCY SHALL BE ISSUED. BUILDERS OF HOMES SHALL CONSTRUCT SIDEWALKS ALONG STREETS ON WHICH HOMES FRONT AND ALONG STREETS ON WHICH HOMES SIDE.
22. THE DRAINAGE SYSTEM FOR THIS SUBDIVISION IS DESIGNED TO ALLOW PONDING ON PRIVATE PROPERTY DURING EXTREME RAINFALL EVENTS.
23. AFG JOHNSON DEVELOPMENT, L.L.C., DEVELOPERS OF THE HEREIN DESCRIBED SUBDIVISION DO HEREBY AGREE TO ACQUIRE AN EASEMENT ADJACENT TO THE SOUTHERLY BOUNDARY OF RESTRICTED RESERVE "P" TO INSURE THAT THE CHANNEL CONSTRUCTED WITHIN RESERVE "P" AND THE ADJACENT EASEMENT MEETS THE REQUIREMENTS OF THE FORT BEND COUNTY DRAINAGE CRITERIA MANUAL. AFG JOHNSON DEVELOPMENT, L.L.C., FURTHER AGREES THAT FORT BEND COUNTY WILL NOT ACCEPT MAINTENANCE OF THE ROADS WITHIN SIENNA STEEP BANK VILLAGE SECTION FOUR OR ALLOW REDUCTION OF THE TOTAL BOND AMOUNT UNTIL SUCH TIME AS ABOVE SAID EASEMENT IS ACQUIRED ADJACENT TO RESERVE "P".
24. METER LOCATION: IN ACCORDANCE WITH HOUSTON LIGHTING & POWER COMPANY SERVICE STANDARDS, ARTICLE 406.52, ELECTRIC METERS SHALL BE LOCATED IN AN AREA ACCESSIBLE WITHOUT CUSTOMER ASSISTANCE, AND NOT BLOCKED BY FENCES, WALLS OR GATES. FOR FURTHER INFORMATION IN THE SUGAR LAND DISTRICT AREA, CALL (281) 561-2995.
25. THIS PLAT IS SUBORDINATED BY:  
KURT O. NONDORF, TRUSTEE, RESIDENTIAL FUNDING CORPORATION, A DELAWARE CORPORATION, AS RECORDED IN FILE NO. \_\_\_\_\_.
26. DRIVEWAY APPROACHES SHALL BE PROVIDED IN ACCORDANCE WITH THE MISSOURI CITY DRIVEWAY APPROACH POLICY AS REQUIRED UNDER THE PROVISIONS OF SUGGESTIONS 46-162 AND 82-161 OF THE CODE OF ORDINANCES OF THE CITY OF MISSOURI CITY, TEXAS.

I, JERROLD L. GRAHAM JR., A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF TEXAS DO HEREBY CERTIFY THAT THIS PLAT MEETS ALL REQUIREMENTS OF FORT BEND COUNTY AND THE CITY OF MISSOURI CITY.

*Jerrold L. Graham Jr.*  
JERROLD L. GRAHAM JR.  
REGISTERED PROFESSIONAL ENGINEER  
TEXAS REGISTRATION NO. 66480

THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF MISSOURI CITY, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF SIENNA STEEP BANK VILLAGE SECTION FOUR-A, A PARTIAL REPLAT, IN CONFORMANCE WITH THE LAWS OF THE STATE OF TEXAS AND THE ORDINANCES OF THE CITY OF MISSOURI CITY AS SHOWN HERE ON AND AUTHORIZED THE RECORDING OF THIS PLAT THIS 30th DAY OF JUNE, 1999.

BY: *Robert L. Heath*  
CHAIRMAN, ROBERT L. HEATH  
BY: *James W. Keller*  
VICE CHAIRMAN, JAMES W. KELLER

I, D. JESSE HEGEMER, FORT BEND COUNTY ENGINEER, DO HEREBY CERTIFY THAT THE PLAT IS SUBORDINATE TO ALL COULDS WITH ALL OF THE EXISTING RULES AND REGULATIONS OF THIS OFFICE AS ADOPTED BY THE FORT BEND COUNTY COMMISSIONER'S COURT, HOWEVER, NO CERTIFICATION IS HEREBY GIVEN AS TO THE EFFECT OF ORAINGRA FROM THIS SUBDIVISION ON THE INTERCEPTING DRAINAGE ARTERY OR PARENT STREAM OR ON ANY OTHER AREA OR SUBDIVISION WITHIN THE WATERSHED.

*D. Jesse Hegemer*  
D. JESSE HEGEMER, P.E.  
FORT BEND COUNTY ENGINEER

APPROVED BY THE COMMISSIONER'S COURT OF FORT BEND COUNTY, TEXAS, THIS 6th DAY OF JUNE, 1999.

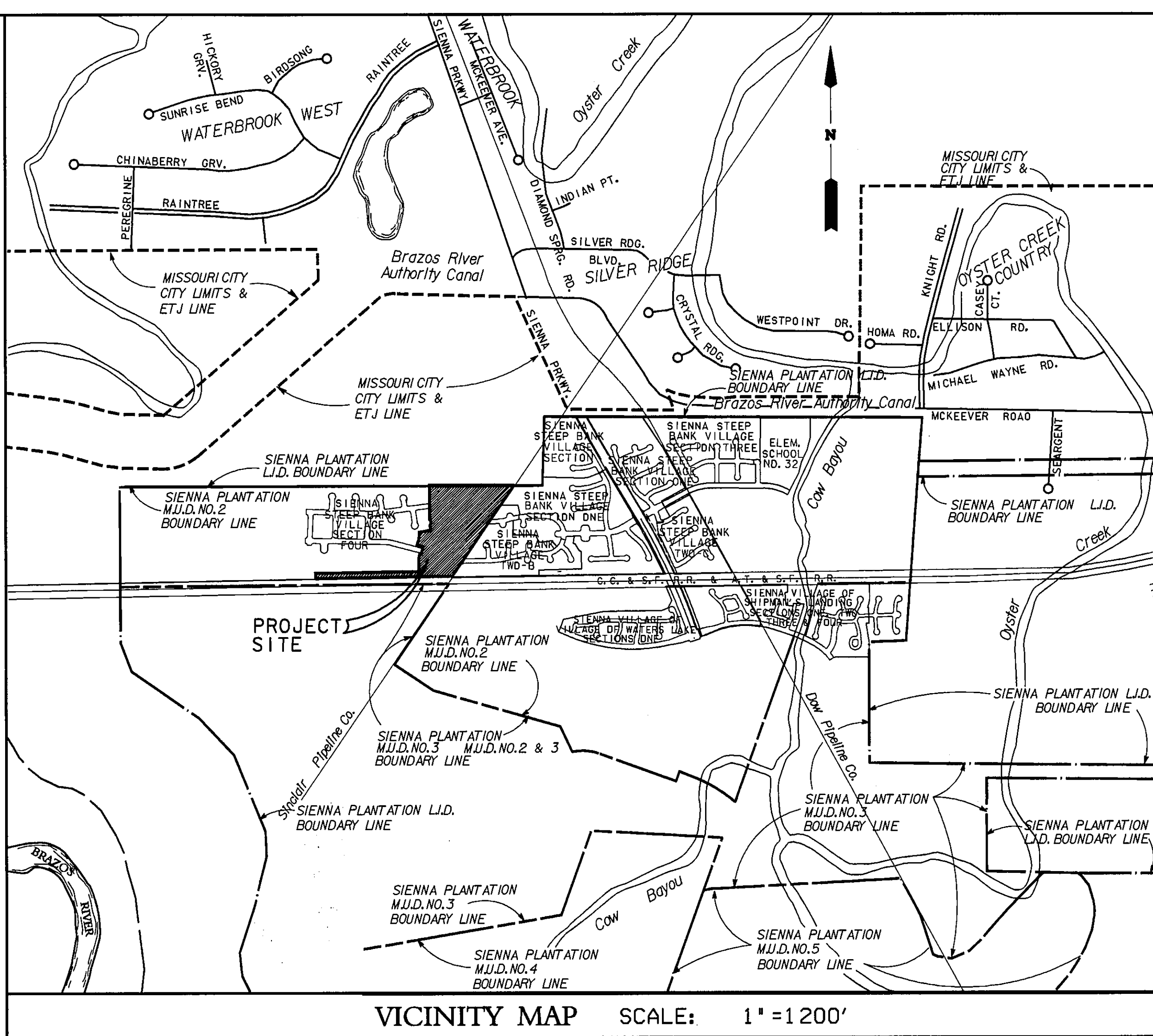
*Bradley Prestage*  
R.L. "BOB" O'SHELES  
COMMISSIONER, PRECINCT 1  
*Bradley Prestage*  
BRADLEY PRESTAGE,  
COMMISSIONER, PRECINCT 2

*Jim Adolphus*  
JIM ADOLPHUS, COUNTY JUDGE  
*W.A. Landy*  
W.A. LANDY, MEYERS  
COMMISSIONER, PRECINCT 3  
*James Patterson*  
JAMES PATTERSON,  
COMMISSIONER, PRECINCT 4

I, DIANNE WILSON, COUNTY CLERK IN AND FOR FORT BEND COUNTY, HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT, WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECDERATION IN MY OFFICE ON June 11, 1999, AT 3:49 O'CLOCK P. M., IN SLIDE NO. 8165 ADD THE PLAT RECORDS OF SAID COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE, AT RICHMOND, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

*Dianne Wilson*  
DIANNE WILSON, CLERK OF THE COUNTY OF FORT BEND COUNTY, TEXAS  
DEPUTY CLERK: *Debra Wardlaw*  
DEBRA WARDLAW



VICINITY MAP SCALE: 1" = 1200'

# SIENNA STEEP BANK VILLAGE SECTION FOUR-A

A SUBDIVISION OF 35.087 ACRES AND BEING A PARTIAL REPLAT OF THE SIENNA STEEP BANK VILLAGE SECTION FOUR PLAT RECORDED IN SLIDE NO'S 1772A & 1772B OF THE FORT BEND COUNTY PLAT RECORDS LOCATED IN THE THOMAS BARNETT LEAGUE, A-7 AND ALSO BEING OUT OF THE AFG JOHNSON DEVELOPMENT, L.L.C. 598.270 ACRES KNOWN AS TRACT TWO RECORDED IN FILE NO. 9640265 OF THE OFFICIAL RECORDS OF FORT BEND COUNTY, TEXAS

REASON FOR REPLAT: TO PROVIDE FOR PHASED CONSTRUCTION

43 LOTS 9 RESERVES 4 BLOCKS  
JUNE 27, 1999 JOB NO. 1193-1104-M06

SCALE: 1" = 100'

OWNERS:  
AFG JOHNSON DEVELOPMENT, L.L.C.

W. DOUGLAS GOFF, GENERAL MANAGER  
3777 SIENNA PARKWAY MISSOURI CITY, TEXAS 77459 PH. (281) 778-7277

SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT  
1001 FANNIN, 2003 FIRST CITY TOWER, HOUSTON, TEXAS 77002-6760

NEWMARK HOMES L.P.  
1200 SOLDIERSFIELD DRIVE SUGAR LAND, TEXAS 77479-4031

WEEKLEY HOMES L.P.  
14444 NORTHWEST FREEWAY HOUSTON, TEXAS 77040

PERRY HOMES  
P.O. BOX 34306 HOUSTON, TEXAS 77234-4306

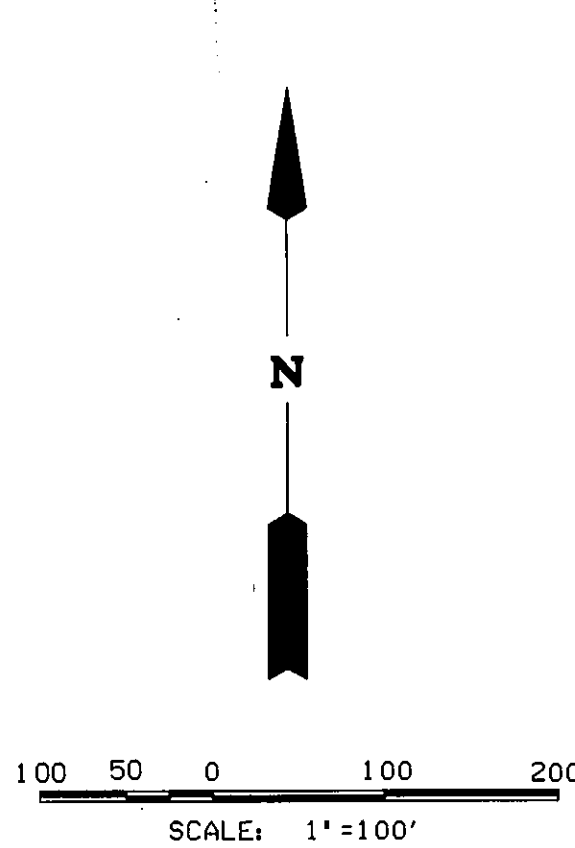
ENGINEER:

LJA Engineering & Surveying, Inc.  
2925 Eldridge Drive Suite 500  
Houston, Texas 77042-3703

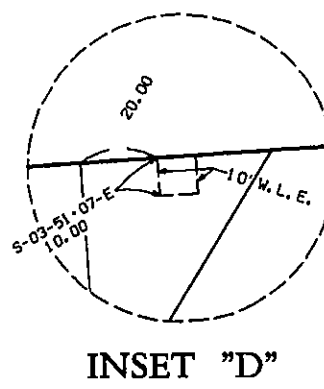
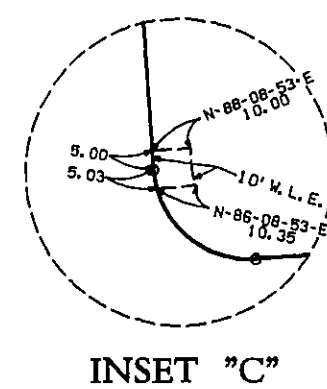
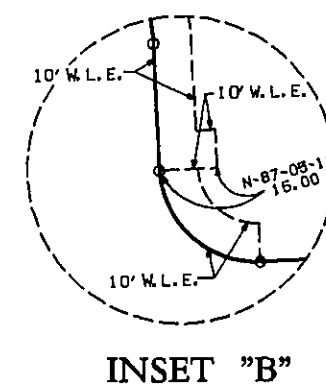
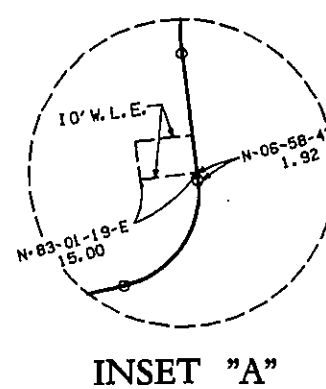
JERROLD L. GRAHAM JR.,  
REGISTERED PROFESSIONAL ENGINEER,  
TEXAS REGISTRATION NO. 66480

JESSE T. POULSON,  
REGISTERED PROFESSIONAL LAND SURVEYOR,  
TEXAS REGISTRATION NO. 1891





RESERVE TABLE			
RESERVE NO.	TYPE	ACREAGE	SQ. FT.
RESERVE "A"	DRAINAGE	5.971	260,098
RESERVE "B"	EVEE	3.284	143,046
RESERVE "C"	PIPELINE & PRIVATE OPEN SPACE	0.267	11,626
RESERVE "D"	PIPELINE	0.466	20,281
RESERVE "E"	PIPELINE	0.109	4,765
RESERVE "F"	LANDSCAPE & ORAINAGE	4.223	183,957
RESERVE "G"	LANDSCAPE & ORAINAGE	0.060	2,600
RESERVE "H"	PRIVATE OPEN SPACE	0.938	40,845
RESERVE "I"	LIFT STATION	0.041	1,780
TOTAL		15.358	668,997

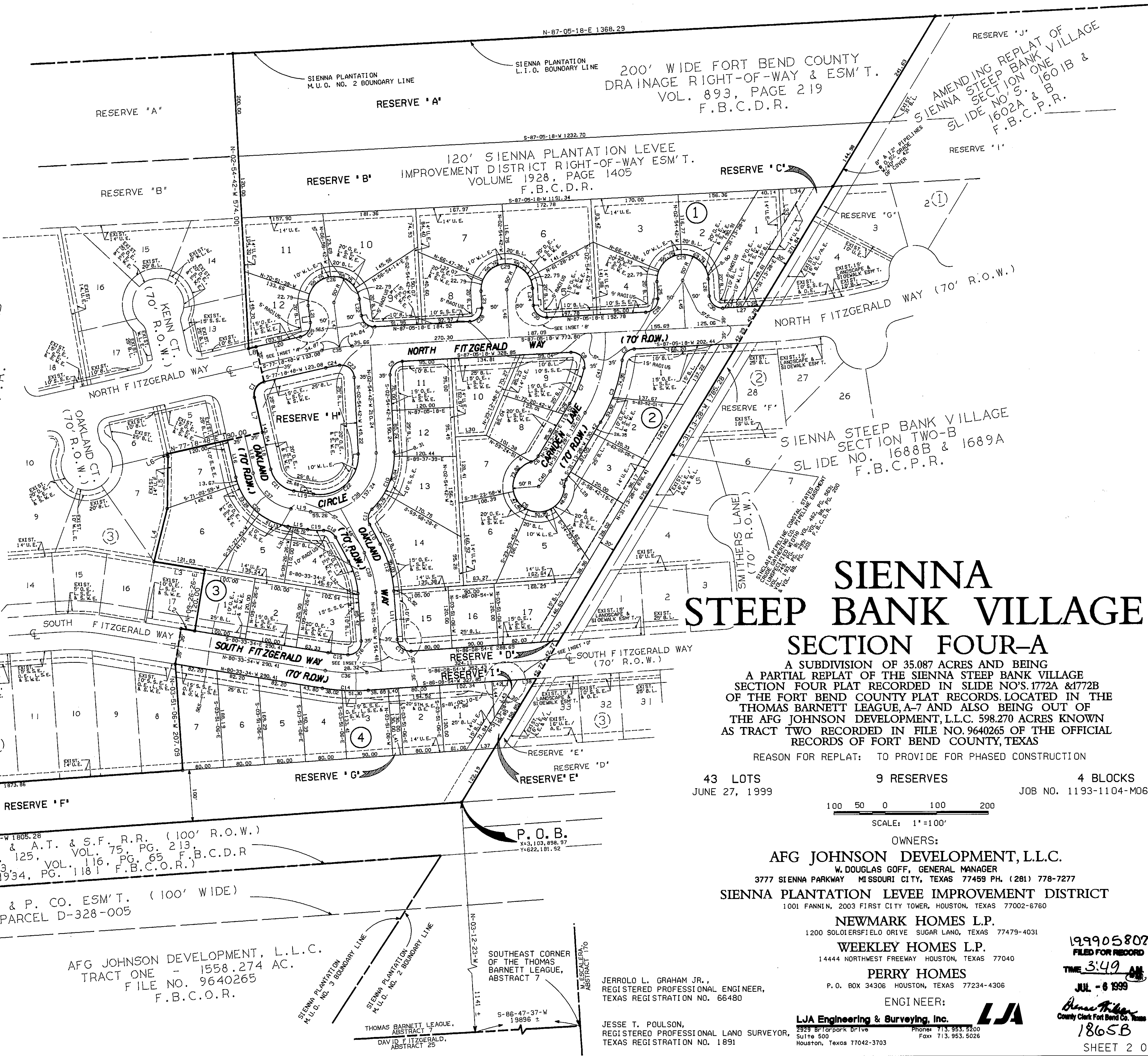


DEWALT LAND LIMITED  
279.926 ACRES  
CLERK FILE NO. 978 1306  
F.B.C.O.R.

CURVE TABLE									
CURVE	RADIUS	TANGENT	CHORD	ARC	DELTA	CHORD BEARING	CHORD BEARING	CHORD BEARING	CHORD BEARING
1	25.00	25.00	35.36	35.37	90°00'00"	N-32-18-48-E			
2	25.00	20.86	32.03	34.77	79°40'57"	S-47-14-49-V			
3	310.00	65.38	127.55	126.87	23°48'07"	S-13-18-55-V			
4	25.00	7.02	13.51	13.69	31°21'50"	S-15-32-33-V			
5	50.00	8.93	17.81	18.21	41°44'40"	N-52-25-08-V			
6	25.00	37.87	74.51	75.11	17°55'54"	N-22-16-31-E			
7	25.00	33.30	66.59	67.34	105°15'17"	N-39-48-34-V			
8	25.00	28.00	56.36	57.27	90°00'00"	S-42-05-18-V			
9	145.00	65.95	119.45	123.12	48°38'59"	S-21-24-47-V			
10	25.00	15.81	30.56	32.25	73°59'18"	S-09-45-37-V			
11	225.00	48.51	94.84	95.95	24°19'55"	S-15-01-04-E			
12	25.00	27.30	54.54	56.17	90°00'00"	S-48-51-06-E			
13	25.00	44.85	89.12	93.32	131°17'32"	N-07-12-20-V			
14	385.00	13.32	26.64	26.64	07°01'15"	S-04-04-12-E			
15	25.00	27.30	54.54	56.17	90°00'00"	N-41-17-02-E			
16	155.00	33.42	66.83	68.82	24°19'55"	N-15-01-04-V			
17	25.00	15.80	31.59	32.74	90°00'00"	N-50-23-02-V			
18	145.00	15.53	30.99	32.54	121°3'29"	N-05-40-18-V			
19	125.00	84.11	139.57	145.08	67°52'23"	N-45-37-23-V			
20	25.00	37.01	74.01	75.02	67°52'23"	S-45-37-23-E			
21	25.00	37.01	74.01	75.02	67°52'23"	S-45-37-23-E			
22	25.00	37.01	74.01	75.02	67°52'23"	S-45-37-23-E			
23	25.00	37.01	74.01	75.02	67°52'23"	S-45-37-23-E			
24	315.00	13.64	27.28	27.27	04°57'34"	N-50-19-10-V			
25	25.00	22.63	45.25	46.78	84°17'31"	N-38-10-03-E			
26	50.00	100.00	157.08	160.00	90°00'00"	N-83-01-18-E			
27	25.00	23.20	46.39	47.50	89°56'00"	S-49-56-42-E			
28	25.00	25.00	35.36	39.27	90°00'00"	N-42-25-11-E			
29	50.00	100.00	157.08	160.00	90°00'00"	N-87-06-18-E			
30	25.00	25.00	35.36	39.27	90°00'00"	S-49-56-42-E			
31	315.00	13.64	27.28	27.27	04°57'34"	N-50-19-10-V			
32	25.00	27.19	54.37	56.81	94°48'59"	S-50-19-10-E			
33	25.00	27.19	54.37	56.81	94°48'59"	S-50-19-10-E			
34	55.00	37.01	74.01	75.02	67°52'23"	N-45-37-23-V			
35	350.00	25.93	51.85	51.71	05°46'29"	S-82-12-03-V			
36	350.00	40.78	81.55	81.21	131°17'32"	N-07-12-20-V			
37	90.00	60.56	120.49	126.61	67°52'23"	S-45-37-23-E			
38	110.00	136.70	171.40	186.50	102°21'08"	N-45-37-23-E			
39	150.00	10.95	21.89	22.19	89°56'00"	N-15-01-04-V			
40	175.00	16.91	33.81	37.68	12°20'12"	N-37-23-34-E			
41	275.00	64.43	128.43	133.84	34°08'11"	N-14-09-23-E			

LINE TABLE									
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE	LINE
1	N-09-28-26-E	70.00	11	N-09-28-26-E	70.00	21	N-09-28-26-E	70.00	31
2	S-80-33-34-E	27.08	12	S-80-33-34-E	27.08	22	S-80-33-34-E	27.08	32
3	N-80-33-34-V	100.00	13	N-80-33-34-V	100.00	23	N-80-33-34-V	100.00	33
4	N-14-10-08-E	106.78	14	N-14-10-08-E	106.78	24	N-14-10-08-E	106.78	34
5	N-00-57-41-E	100.89	15	N-00-57-41-E	100.89	25	N-00-57-41-E	100.89	35
6	N-12-41-12-V	5.00	16	N-12-41-12-V	5.00	26	N-12-41-12-V	5.00	36
7	N-12-41-12-V	70.00	17	N-12-41-12-V	70.00	27	N-12-41-12-V	70.00	37
8	S-77-18-48-V	14.82	18	S-77-18-48-V	14.82	28	S-77-18-48-V	14.82	38
9	S-31-13-28-W	84.57	19	S-31-13-28-W	84.57	29	S-31-13-28-W	84.57	39
10	S-28-11-02-E	43.18	20	S-28-11-02-E	43.18	30	S-28-11-02-E	43.18	40
11	S-03-51-06-E	94.48	21	S-03-51-06-E	94.48	31	S-03-51-06-E	94.48	41
12	S-31-13-28-W	85.33	22	S-31-13-28-W	85.33	32	S-31-13-28-W	85.33	42
13	N-03-51-06-W	92.74	23	N-03-51-06-W	92.74	33	N-03-51-06-W	92.74	43
14	N-28-11-02-E	52.36	24	N-28-11-02-E	52.36	34	N-28-11-02-E	52.36	44
15	N-80-33-34-V	38.87	25	N-80-33-34-V	38.87	35	N-80-33-34-V	38.87	45
16	N-12-41-12-V	75.54	26	N-12-41-12-V	75.54	36	N-12-41-12-V	75.54	46
17	N-77-18-48-E	70.00	27	N-77-18-48-E	70.00	37	N-77-18-48-E	70.00	47
18	S-12-41-12-E	73.54	28	S-12-41-12-E	73.54	38	S-12-41-12-E	73.54	48
19	S-60-33-34-E	38.87	29	S-60-33-34-E	38.87	39	S-60-33-34-E	38.87	49
20	N-05-56-42-W	33.30	30	N-05-56-42-W	33.30	40	N-05-56-42-W	33.30	50
21	N-05-56-42-W	33.30	31	N-05-56-42-W	33.30	41	N-05-56-42-W	33.30	51
22	S-05-56-42-E	32.15	32	S-05-56-42-E	32.15	42	S-05-56-42-E	32.15	52
23	N-02-54-42-W	33.25	33	N-02-54-42-W	33.25	43	N-02-54-42-W	33.25	53
24	N-02-54-42-W	33.25	34	N-02-54-42-W	33.25	44	N-02-54-42-W	33.25	54
25	N-02-54-42-W	33.25	35	N-02-54-42-W	33.25	45	N-02-54-42-W	33.25	55
26	S-02-54-42-E	33.23	36	S-02-54-42-E	33.23	46	S-02-54-42-E	33.23	56
27	N-07-05-18-E	73.75	37	N-07-05-18-E	73.75	47	N-07-05-18-E	73.75	57
28	S-31-13-28-W	85.33	38	S-31-13-28-W	85.33	48	S-31-13-28-W	85.33	58
29	N-31-13-28-E	84.57	39	N-31-13-28-E	84.57	49	N-31-13-28-E	84.57	59
30	N-07-00-18-E	85.33	40	N-07-00-18-E	85.33	50	N-07-00-18-E	85.33	60
31	N-80-33-34-W	101.17	41	N-80-33-34-W	101.17	51	N-80-33-34-W	101.17	61
32	S-03-51-06-E	3.27	42	S-03-51-06-E	3.27	52	S-03-51-06-E	3.27	62
33	N-02-54-42-W	101.17	43	N-02-54-42-W	101.17	53	N-02-54-42-W	101.17	63
34	N-07-05-18-E	104.84	44	N-07-05-18-E	104.84	54	N-07-05-18-E	104.84	64
35	S-07-05-18-E	36.24	45	S-07-05-18-E	36.24	55	S-07-05-18-E	36.24	65
36	N-07-05-18-E	36.24	46	N-07-05-18-E	36.24	56	N-07-05-18-E	36.24	66
37	S-05-56-42-W	36.66	47	S-05-56-42-W	36.66	57	S-05-56-42-W	36.66	67
38	N-05-56-42-W	36.66	48	N-05-56-42-W	36.66	58	N-05-56-42-W	36.66	68
39	N-03-51-06-E	100.00	49	N-03-51-06-E	100.00	59	N-03-51-06-E	100.00	69
40	N-05-56-42-W	20.00	50	N-05-56-42-W	20.00	60	N-05-56-42-W	20.00	70
41	S-05-56-42-W	32.30	51	S-05-56-42-W	32.30	61	S-05-56-42-W	32.30	71
42	N-05-56-42-W	50.00	52	N-05-56-42-W	50.00	62	N-05-56-42-W	50.00	72
43	S-31-13-28-W	87.01	53	S-31-13-28-W	87.01	63	S-31-13-28-W	87.01	73
44	N-03-51-06-E	93.23	54	N-03-51-06-E	93.23	64	N-03-51-06-E	93.23	74
45	N-02-54-42-W	93.23	55	N-02-54-42-W	93.23	65	N-02-54-42-W	93.23	75
46	N-02-54-42-W	93.23	56	N-02-54-42-W	93.23	66	N-02-54-42-W	93.23	76
47	N-05-56-42-W	87.01	57	N-05-56-42-W	87.01	67	N-05-56-42-W	87.01	77
48	N-28-11-02-W	87.01	58	N-28-11-02-W	87.01	68	N-28-11-02-W	87.01	78

SIENNA STEEP BANK VILLAGE  
SLIDE NO. 1772A & 1772B  
F.B.C.P.R.



# SIENNA STEEP BANK VILLAGE SECTION FOUR-A

A SUBDIVISION OF 35.087 ACRES AND BEING A PARTIAL REPLAT OF THE SIENNA STEEP BANK VILLAGE SECTION FOUR PLAT RECORDED IN SLIDE NO'S. 1772A & 1772B OF THE FORT BEND COUNTY PLAT RECORDS, LOCATED IN THE THOMAS BARNETT LEAGUE, A-7 AND ALSO BEING OUT OF THE AFG JOHNSON DEVELOPMENT, L.L.C. 598.270 ACRES KNOWN AS TRACT TWO RECORDED IN FILE NO. 9640265 OF THE OFFICIAL RECORDS OF FORT BEND COUNTY, TEXAS

REASON FOR REPLAT: TO PROVIDE FOR PHASED CONSTRUCTION

43 LOTS  
JUNE 27, 1999  
9 RESERVES  
4 BLOCKS  
JOB NO. 1193-1104-M06

SCALE: 1"=100'

OWNERS:  
AFG JOHNSON DEVELOPMENT, L.L.C.  
W. DOUGLAS GOFF, GENERAL MANAGER  
3777 SIENNA PARKWAY MISSOURI CITY, TEXAS 77459 PH. (281) 778-7277  
SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT  
1001 FANNIN, 2003 FIRST CITY TOWER, HOUSTON, TEXAS 77002-6760

NEWMARK HOMES L.P.  
1200 SOLOIERSFIELD DRIVE SUGAR LAND, TEXAS 77479-4031  
WEEKLEY HOMES L.P.  
14444 NORTHWEST FREEWAY HOUSTON, TEXAS 77040

PERRY HOMES  
P.O. BOX 34306 HOUSTON, TEXAS 77234-4306  
ENGINEER:

JESSE T. POULSON,  
REGISTERED PROFESSIONAL LAND SURVEYOR,  
TEXAS REGISTRATION NO. 1891

LJA Engineering & Surveying, Inc.  
2929 Briarclark Drive Suite 500 Houston, Texas 77042-3703  
Phone: 713.953.5200 Fax: 713.953.5026

1999058070  
FILED FOR RECORD  
TIME 3:49 PM  
JUL - 6 1999  
1865B  
SHEET 2 OF 2



STATE OF TEXAS  
COUNTY OF FORT BEND

WE, SIENNA/JOHNSON DEVELOPMENT, L.P., ACTING BY AND THROUGH  
W. DOUGLAS GOFF AND JEAN FARLEY, GENERAL MANAGER AND SECRETARY REFERRED  
TO AS OWNERS OF THE 21.855 ACRE TRACT DESCRIBED IN THE ABOVE AND FOREGOING  
PLAT OF SIENNA STEEP BANK VILLAGE SECTION FOUR - B, A PARTIAL REPLAT, DO HEREBY  
MAKE AND ESTABLISH SAID SUBDIVISION AND DEVELOPMENT PLAT OF SAID PROPERTY  
ACCORDING TO ALL LINES DEDICATIONS, RESTRICTIONS, AND NOTATIONS ON SAID MAPS  
OR PLAT, AND HEREBY DEDICATE TO THE USE OF THE PUBLIC, FOREVER, ALL STREETS,  
ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES SHOWN  
THEREON FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED; AND DO HEREBY  
BIND ITSELF, ITS HEIRS AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE  
TO THE LAND SO DEDICATED.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE  
USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSES, FOREVER, UNOBSTRUCTED AERIAL  
EASEMENTS, THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL ELEVEN  
FEET SIX INCHES (11' 6") FOR TEN FEET (10' 0") PERIMETER GROUND EASEMENTS  
OR SEVEN FEET SIX INCHES (7' 6") FOR FOURTEEN FEET (14' 0") PERIMETER GROUND  
EASEMENTS OR FIVE FEET SIX INCHES (5' 6") FOR SIXTEEN FEET (16' 0") PERIMETER  
GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE GROUND LEVEL UPWARD,  
LOCATED ADJACENT TO AND ADJOINING SAID PUBLIC UTILITY EASEMENTS TO BOTH  
DESIGNATED WITH AERIAL EASEMENTS (U.E. & A.E.) AS INDICATED AND DEPICTED HEREON,  
WHEREBY THE AERIAL EASEMENTS TOTAL TWENTY-ONE FEET, SIX INCHES (21' 6") IN WIDTH.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE  
USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSES, FOREVER, UNOBSTRUCTED AERIAL  
EASEMENTS, THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL TEN  
FEET (10' 0") FOR TEN FEET (10' 0") BACK-TO-BACK GROUND EASEMENTS OR EIGHT  
FEET (8' 0") FOR FOURTEEN FEET (14' 0") BACK-TO-BACK GROUND EASEMENTS OR SEVEN  
FEET (7' 0") FOR SIXTEEN FEET (16' 0") BACK-TO-BACK GROUND EASEMENTS, FROM A PLANE  
SIXTEEN FEET (16' 0") ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO AND ADJOINING  
SIDES AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL  
EASEMENTS (U.E. & A.E.) AS INDICATED AND DEPICTED HEREON, WHEREBY THE AERIAL  
EASEMENTS TOTAL THIRTY FEET (30' 0") IN WIDTH.

FURTHER, OWNERS DO HEREBY DECLARE THAT ALL PARCELS OF LAND DESIGNATED AS  
LOTS ON THIS PLAT ARE INTENDED FOR THE CONSTRUCTION OF SINGLE-FAMILY RESIDENTIAL  
DWELLING UNITS THEREON, AND SHALL BE RESTRICTED FOR SAME UNDER THE TERMS AND  
CONDITIONS OF SUCH RESTRICTIONS FILED SEPARATELY.

FURTHER, OWNERS DO HEREBY COVENANT AND AGREE THAT ALL OF THE PROPERTY  
WITHIN THE BOUNDARIES OF THIS PLAT SHALL BE RESTRICTED TO PREVENT THE DRAINAGE  
OF ANY SEPTIC TANKS INTO ANY PUBLIC OR PRIVATE STREET, ROAD OR ALLEY OR ANY  
DRAINAGE DITCH, EITHER DIRECTLY OR INDIRECTLY.

FURTHER, OWNERS DO HEREBY COVENANT AND AGREE THAT ALL OF THE PROPERTY  
WITHIN THE BOUNDARIES OF THIS SUBDIVISION AND ADJACENT TO ANY DRAINAGE EASEMENT,  
DITCH, GULLY, CREEK OR NATURAL DRAINAGE COURSE, LOCATED IN  
SAID PLAT AS EASEMENTS FOR DRAINAGE PURPOSES, FORT BEND COUNTY OR ANY OTHER  
GOVERNMENTAL AGENCY SHALL HAVE THE RIGHT TO ENTER UPON SAID EASEMENT AT ANY AND  
ALL TIMES FOR THE PURPOSES OF CONSTRUCTION AND MAINTENANCE OF DRAINAGE  
FACILITIES AND STRUCTURES.

FURTHER, OWNERS DO HEREBY COVENANT AND AGREE THAT ALL OF THE PROPERTY  
WITHIN THE BOUNDARIES OF THIS SUBDIVISION AND ADJACENT TO ANY DRAINAGE EASEMENT,  
DITCH, GULLY, CREEK OR NATURAL DRAINAGE WAY SHALL HEREBY BE RESTRICTED TO KEEP  
SUCH DRAINAGE OF WAYS AND EASEMENTS CLEAR OF OBSTRUCTIONS, EXCESSIVE  
VEGETATION, AND OTHER OBSTRUCTIONS TO THE OPERATIONS AND MAINTENANCE OF THE  
DRAINAGE FACILITY, AND THAT SUCH ADJUTING PROPERTY SHALL NOT BE PERMITTED TO  
DRAIN DIRECTLY INTO THIS EASEMENT EXCEPT BY MEANS OF AN APPROVED DRAINAGE  
STRUCTURE.

FURTHER, OWNERS DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF ALL PROPERTY  
IMMEDIATELY ADJACENT TO THE BOUNDARIES OF THE ABOVE AND FOREGOING PLAT OF SIENNA  
STEEL BANK VILLAGE SECTION FOUR - B, A PARTIAL REPLAT, WHERE BUILDING SETBACK  
LINES OR PUBLIC UTILITY EASEMENTS ARE TO BE ESTABLISHED OUTSIDE THE BOUNDARIES  
OF THE ABOVE AND FOREGOING PLAT AND DO HEREBY MAKE AND ESTABLISH ALL BUILDING  
SETBACK LINES AND DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL PUBLIC UTILITY  
EASEMENTS SHOWN IN SAID ADJACENT ACREAGE.

WE FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTIONS MADE HEREIN  
ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES  
REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE  
GROWTH NEEDS OF THE CITY. WE, OUR SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM,  
DAMAGE, OR CAUSE OF ACTION THAT WE MAY HAVE AS A RESULT OF THE DEDICATION OR  
EXACTIONS MADE HEREIN.

IN TESTIMONY WHEREOF, SIENNA/JOHNSON DEVELOPMENT, L.P., HAS CAUSED THESE  
PRESENTS TO BE SIGNED BY W. DOUGLAS GOFF, ITS GENERAL MANAGER, THEREUNTO  
AUTHORIZED, ATTESTED BY ITS SECRETARY, JEAN FARLEY AND ITS COMMON SEAL  
HEREUNTO AFFIXED THIS 30th DAY OF August, 2000.

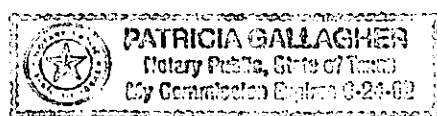
SIENNA/JOHNSON DEVELOPMENT, L.P.

BY: *W. Douglas Goff*  
W. DOUGLAS GOFF  
ATTEST: *Jean Farley*  
JEAN FARLEY

STATE OF TEXAS  
COUNTY OF FORT BEND

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED  
W. DOUGLAS GOFF, GENERAL MANAGER OF SIENNA/JOHNSON DEVELOPMENT, L.P., KNOWN TO ME  
TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND  
ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND  
CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN AND HEREIN SET OUT,  
AND AS THE ACT AND DEED OF SAID CORPORATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 30th DAY OF August, 2000.

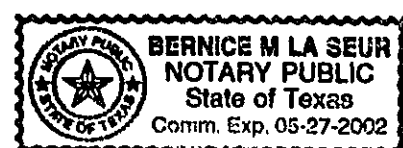


NOTARY PUBLIC IN AND FOR THE  
STATE OF TEXAS  
MY COMMISSION EXPIRES: 6-24-02

STATE OF TEXAS  
COUNTY OF FORT BEND

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED  
JEAN FARLEY, SECRETARY OF SIENNA/JOHNSON DEVELOPMENT, L.P., KNOWN TO ME  
TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND  
ACKNOWLEDGED TO ME THAT SHE EXECUTED THE SAME FOR THE PURPOSES AND  
CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN AND HEREIN SET OUT,  
AND AS THE ACT AND DEED OF SAID CORPORATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 30th DAY OF August, 2000.



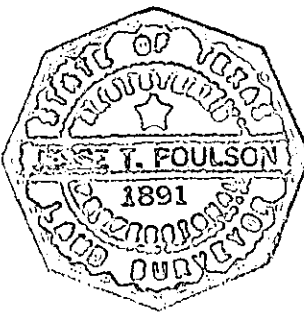
NOTARY PUBLIC IN AND FOR THE  
STATE OF TEXAS  
MY COMMISSION EXPIRES: 05-27-2002

GENERAL NOTES

1. B.L. INDICATES BUILDING LINE; U.E. INDICATES UTILITY EASEMENT; STM, S.E. INDICATES  
STORM SEWER EASEMENT; S.S.E. INDICATES SANITARY SEWER EASEMENT; P.B.C.D.R. INDICATES  
AERIAL EASEMENT; W.L. INDICATES WATER LINE EASEMENT; P.B.C.D.R. INDICATES  
FORT BEND COUNTY OFFICIAL RECORDS; F.B.C.D.R. INDICATES FORT BEND COUNTY RECORDS;  
F.B.C.D.R. INDICATES FORT BEND COUNTY PLAT RECORDS; F.B.C.D.R. INDICATES  
LANDSCAPE AND SIDEWALK EASEMENT; F.B.C.D.R. INDICATES FORCE MAIN EASEMENT; O.E.  
INDICATES DRAINAGE EASEMENT.
2. THERE ARE NO PIPELINES OR PIPELINE EASEMENTS WITHIN THE BOUNDARIES OF  
THIS PLAT.
3. THE MINIMUM SLAB ELEVATION WILL BE 18" ABOVE TOP OF CURB IN FRONT OF LOTS OR 12"  
ABOVE THE 100-YEAR FLOOD ELEVATION, WHICHEVER IS GREATER. THE MINIMUM FINISHED  
FLOOR ELEVATION SHALL BE ONE FOOT ABOVE THE 100-YEAR BASE FLOOD ELEVATION AS  
DETERMINED BY THE FLOOD INSURANCE RATE MAP DATED JANUARY 3, 1997 AND SHALL MEET  
STANDARDS ESTABLISHED BY FEMA AND ALL APPLICABLE CITY REQUIREMENTS, INCLUDING  
THE CITY INFRASTRUCTURE CODE AS REQUIRED BY SECTION 82-97 (11) OF THE CODE OF  
ORDINANCES OF THE CITY OF MISSOURI CITY, TEXAS.
4. ALL SLAB ELEVATIONS SHALL BE ONE FOOT ABOVE THE 100-YEAR FLOOD ELEVATION AS  
ESTABLISHED BY FEMA IN ACCORDANCE WITH FEDERAL EMERGENCY MANAGEMENT AGENCY  
COMMUNITY PANEL NO. 48157C0270 J. MAP REVISED JANUARY 3, 1997, THIS PLAT LIES IN  
ZONE "X", OUTSIDE THE 100-YEAR FLOOD PLAIN.
5. THE TOP OF ALL FLOOR SLABS SHALL BE A MINIMUM OF 58.50 FEET ABOVE MEAN SEA LEVEL  
IN ADDITION TO THIS MINIMUM NO FLOOR SLAB SHALL BE LESS THAN 1.5 FEET ABOVE  
NATURAL GROUND.
6. THE CITY OF MISSOURI CITY SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF  
DRIVEWAYS, DRAINAGE EASEMENTS, LANDSCAPE RESERVES, SIDEWALKS, OR OPEN SPACES.  
THE OWNER, AFG JOHNSON DEVELOPMENT, L.P., OR ASSIGNS SHALL BE RESPONSIBLE FOR  
MAINTENANCE OF ALL OPEN SPACES, ALL LANDSCAPE RESERVES, DRIVEWAYS, SIDEWALKS  
AND DRAINAGE EASEMENTS.
7. BENCHMARK, FND, A N.G.S. MON. ON THE TOP OF A FIVE EIGHTHS INCH COPPER COATED  
IRON ROD, WITH THE UPPER PORTION OF THE ROD ENCASED IN A 5 INCH IRON PIPE LOCATED  
APPROXIMATELY 30.6 FEET SOUTH OF THE 100-YEAR FLOOD ELEVATION, APPROXIMATELY  
APPROXIMATELY 35 FEET EAST OF OLD POWER POLE AND ALSO ON COASTAL STATES PIPELINE  
EASEMENT AND 1 FOOT EAST OF WITNESS POST. MON. NO. S-1208  
ELEV. 58.47 1973 ADJUSTMENT.
8. THIS PLAT LIES WITHIN FORT BEND COUNTY SUBSIDIENCE DISTRICT, FORT BEND COUNTY  
DRAINAGE DISTRICT, MISSOURI CITY ETJ, SIENNA PLANTATION LEVEE IMPROVEMENT  
DISTRICT AND SIENNA PLANTATION MUNICIPAL UTILITY DISTRICT NO. 2.
9. ALL EASEMENTS ARE CENTERED ON LOT LINES UNLESS OTHERWISE NOTED.
10. FIVE EIGHTHS (5/8") INCH IRON RODS THREE FEET (3') IN LENGTH WITH A PLASTIC CAP  
MARKED L/4 END ARE SET ON ALL PERIMETER BOUNDARY CORNERS, UNLESS OTHERWISE NOTED.  
STREET RIGHTS-OF-WAY OR BLOCK CORNERS HAVE NOT BEEN MONUMENTED.
11. ALL BUILDING LINE TRANSITIONS ARE AT 45° ANGLES TO THE STRAIGHT SIDE LOT LINE  
WHERE THE TRANSITION OCCURS.
12. THIS PLAT LIES WHOLLY WITHIN SIENNA PLANTATION MUNICIPAL UTILITY DISTRICT NO. 2.
13. THIS PLAT WAS PREPARED FROM INFORMATION FURNISHED BY PARTNERS TITLE  
COMPANY OF HOUSTON OF NO. CPL-99-11A EFFECTIVE DATE JULY 6, 2000. THE SURVEYOR  
HAS NOT ABSTRACTED THE ABOVE PROPERTY.

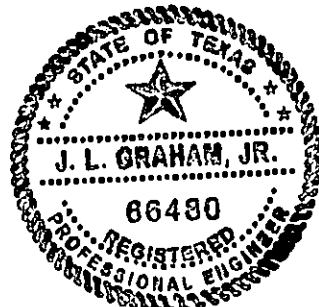
I, JESSE T. POULSON, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS  
TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THE ABOVE  
SUBDIVISION IS TRUE AND CORRECT, WAS PREPARED FROM AN ACTUAL SURVEY OF THE  
PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND AND FORT ALL BOUNDARY CORNERS,  
ANGLE POINTS, AND POINTS OF CURVATURE HAVE BEEN MARKED WITH IRON (OR OTHER  
SUITABLE PERMANENT FERROUS METAL) PIPES OR RODS HAVING AN OUTSIDE DIAMETER OF  
NOT LESS THAN FIVE EIGHTHS INCH (5/8") AND A LENGTH OF NOT LESS THAN THREE FEET  
(3') (SEE NOTE 10.), AND THAT THE PLAT BOUNDARY CORNERS HAVE BEEN TIED TO THE  
NEAREST SURVEY CORNER.

*Jesse T. Poulson* 08/16/2000  
JESSE T. POULSON,  
REGISTERED PROFESSIONAL LAND SURVEYOR  
TEXAS REGISTRATION NO. 1891



I, JERROLD L. GRAHAM JR., A PROFESSIONAL ENGINEER REGISTERED IN THE STATE  
OF TEXAS DO HEREBY CERTIFY THAT THIS PLAT MEETS ALL REQUIREMENTS OF FORT BEND  
COUNTY AND THE CITY OF MISSOURI CITY.

*Jerrold L. Graham Jr.* 8/16/00  
JERROLD L. GRAHAM JR.,  
REGISTERED PROFESSIONAL ENGINEER  
TEXAS REGISTRATION NO. 66480



THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF  
MISSOURI CITY, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF SIENNA STEEP BANK  
VILLAGE SECTION FOUR-B, A PARTIAL REPLAT, IN CONFORMANCE WITH THE LAWS OF THE  
STATE OF TEXAS AND THE ORDINANCES OF THE CITY OF MISSOURI CITY AS SHOWN HERE ON AND  
AUTHORIZED THE RECORDING OF THIS PLAT THIS 15th DAY OF August, 2000.

BY: *Robert L. Heath*  
CHAIRMAN, ROBERT L. HEATH  
BY: *James W. Keller*  
VICE CHAIRMAN, JAMES W. KELLER

I, D. JESSE HEGEMIER, FORT BEND COUNTY ENGINEER, DO HEREBY CERTIFY THAT  
THE PLAT, THIS SUBDIVISION, COMPLIES WITH ALL OF THE EXISTING RULES AND  
REGULATIONS OF THIS OFFICE AS ADOPTED BY THE FORT BEND COUNTY ENGINEER'S  
COURT, HOWEVER, NO CERTIFICATION IS HEREBY GIVEN AS TO THE EFFECT OF DRAINAGE  
FROM THIS SUBDIVISION ON THE INTERCEPTING DRAINAGE ARTERY OR PARENT STREAM OR  
ON ANY OTHER AREA OR SUBDIVISION WITHIN THE WATERSHED.

*D. Jesse Hegemier*  
D. JESSE HEGEMIER, P.E.,  
FORT BEND COUNTY ENGINEER

APPROVED BY THE COMMISSIONER'S COURT OF FORT BEND COUNTY, TEXAS, THIS  
20th DAY OF August, 2000.

*R.L. "Bud" O'Sheiles*  
R.L. "BUD" O'SHEILES,  
COMMISSIONER, PRECINCT 1  
*Grady Prestage*  
GRADY PRESTAGE,  
COMMISSIONER, PRECINCT 2

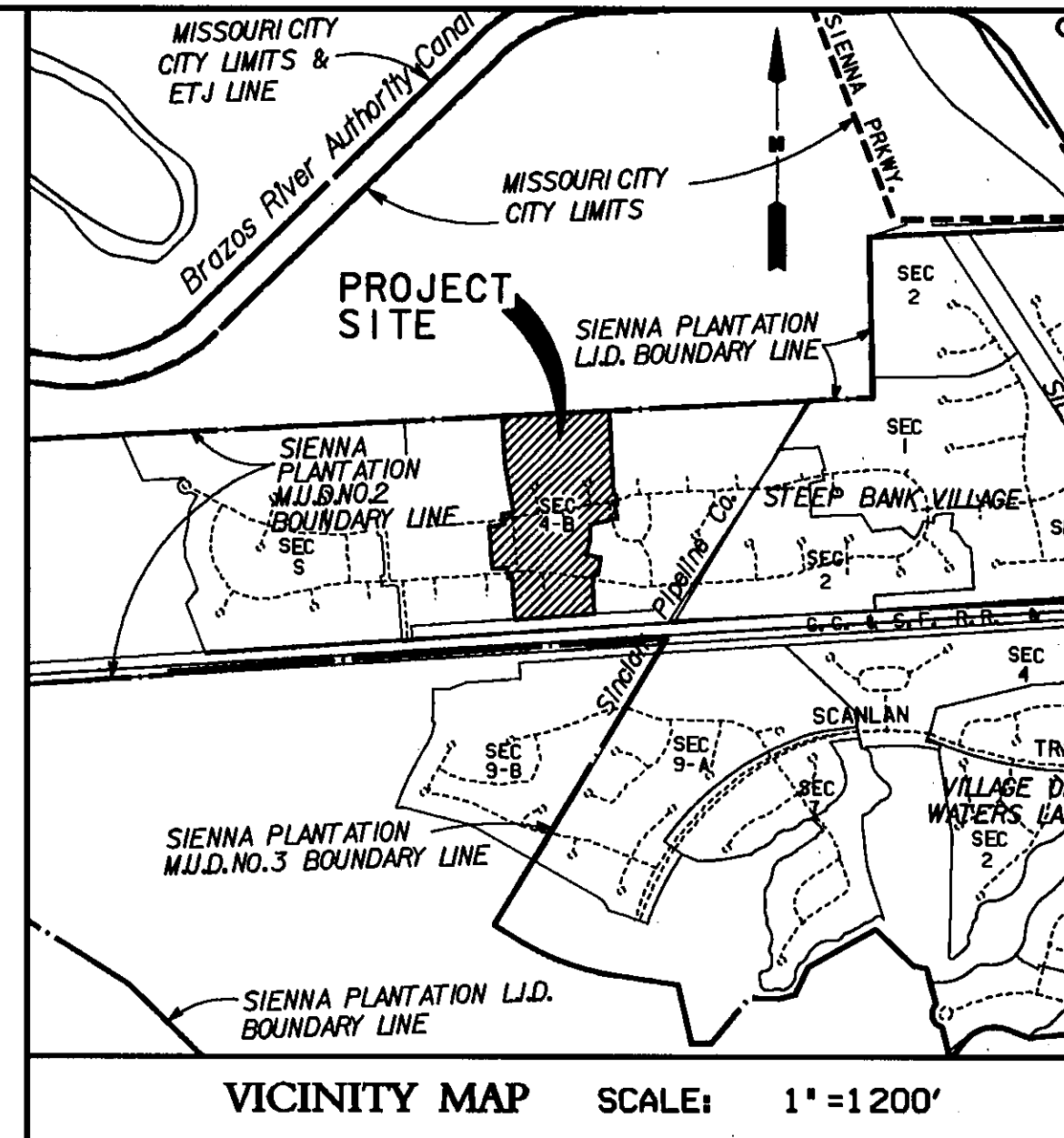
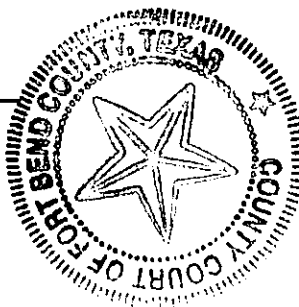
*James C. Adolphus*  
JAMES C. ADOLPHUS, COUNTY JUDGE  
*James Patterson*  
JAMES PATTERSON,  
COMMISSIONER, PRECINCT 4

I, DIANNE WILSON, COUNTY CLERK IN AND FOR FORT BEND COUNTY, HEREBY  
CERTIFY THAT THE FOREGOING INSTRUMENT WITH ITS CERTIFICATE OF AUTHENTICATION  
WAS FILED FOR RECORDED IN MY OFFICE ON August 30, 2000, AT  
1:49 O'CLOCK P.M. IN SLIDE NO. 2001112 OF THE PLAT RECORDS  
OF SAID COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE, AT RICHMOND, TEXAS, THE DAY AND DATE  
LAST ABOVE WRITTEN.

DIANNE WILSON, CLERK OF THE COUNTY  
FORT BEND COUNTY, TEXAS

BY: *Terry Drake*  
DEPUTY  
TERRY DRAKE



# SIENNA STEEL BANK VILLAGE SECTION FOUR-B

A SUBDIVISION OF 21.855 ACRES AND BEING  
A PARTIAL REPLAT OF THE SIENNA STEEL BANK VILLAGE  
SECTION FOUR PLAT RECORDED IN SLIDE NO'S. 1772A & 1772B  
OF THE FORT BEND COUNTY PLAT RECORDS, LOCATED IN THE  
THOMAS BARNETT LEAGUE, A-7 AND ALSO BEING OUT OF  
THE AFG JOHNSON DEVELOPMENT, L.L.C. 598.270 ACRES KNOWN  
AS TRACT TWO RECORDED IN FILE NO. 9640265 OF THE OFFICIAL  
RECORDS OF FORT BEND COUNTY, TEXAS

REASON FOR REPLAT: TO PROVIDE FOR PHASED CONSTRUCTION

34 LOTS 3 RESERVES 4 BLOCKS  
AUGUST 14, 2000 JOB NO. 1193-1104-M06

100 50 0 100 200  
SCALE: 1"=100'

OWNER:

SIENNA / JOHNSON DEVELOPMENT, L.P.  
W. DOUGLAS GOFF, GENERAL MANAGER  
3777 SIENNA PARKWAY MISSOURI CITY, TEXAS 77459 PH. (281) 778-7277

ENGINEER:

LJA Engineering & Surveying, Inc. **LJA**

JERROLD L. GRAHAM JR.,  
REGISTERED PROFESSIONAL ENGINEER,  
TEXAS REGISTRATION NO. 66480

JESSE T. POULSON,  
REGISTERED PROFESSIONAL LAND SURVEYOR,  
TEXAS REGISTRATION NO. 1891

2929 Briarpark Drive Phone 713.953.5200  
Suite 500 Fax 713.953.5026  
Houston, Texas 77042-3703

SHEET 1 OF 2

JOB NO. 1193-1104-M06



RESERVE TABLE			
RESERVE NO.	TYPE	ACREAGE	SQ. FT.
RESERVE 'A'	DRAINAGE	3.382	147,321
RESERVE 'B'	LEVEE	2.029	88,395
RESERVE 'C'	DRAINAGE	0.198	8,620
TOTAL		5.609	244,336

20000 7387  
FILED 1 19 2000  
AUG 8 0 2000  
TIME 1:19 PM  
County Clerk Fort Bend Co., Texas

SIENNA/JOHNSON DEVELOPMENT, L.P.  
TRACT TWO - 598.270 AC.  
FILE NO. 2000029467  
F.B.C.O.R.

SIENNA  
STEEP BANK VILLAGE  
SECTION FOUR  
SLIDE NO'S. 1772A & 1772B  
F.B.C.P.R.

SIENNA  
STEEP BANK VILLAGE  
SECTION FOUR-A  
SLIDE NO'S. 1865A & 1865B  
F.B.C.P.R.

CALLLED 8.553 ACRES  
H.L. & P. NOTICE OF LES PENDENS  
CLERK FILE NO. 9562442

SIENNA/JOHNSON DEVELOPMENT, L.P.  
TRACT ONE - 1558.274 AC.  
FILE NO. 2000029467  
F.B.C.O.R.

PROPOSED H.L. & P. CO. ESM'T. (100' WIDE)  
PARCEL D-328-005

THOMAS BARNETT LEAGUE,  
ABSTRACT 7  
DAVID FITZGERALD,  
ABSTRACT 25

228.815 AC. IMITED  
SIENNA/JOHNSON NORTH, L.P.  
CLERK FILE NO. 2000003918  
F.B.C.D.R.

15.099 AC.  
SIENNA PLANTATION L.I.D.  
CLERK FILE NO. 2000003919  
F.B.C.D.R.

P.O.B.  
X=103.497, Y=623.638

SIENNA PLANTATION  
M.U.D. NO. 2 BOUNDARY LINE

SIENNA PLANTATION  
L.I.D. BOUNDARY LINE

200' WIDE FORT BEND COUNTY  
DRAINAGE RIGHT-OF-WAY & ESM'T.  
VOL. 893, PAGE 219  
F.B.C.D.R.

120' SIENNA PLANTATION LEVEE  
IMPROVEMENT DISTRICT RIGHT-OF-WAY ESM'T.  
VOLUME 1928, PAGE 1405  
F.B.C.O.R.

NORTH FITZGERALD WAY  
(70' R.O.W.)

SOUTH FITZGERALD WAY  
(70' R.O.W.)

NORTH FITZGERALD WAY  
(70' R.O.W.)

SIENNA  
STEEP BANK VILLAGE  
SECTION FOUR-A  
SLIDE NO'S. 1865A & 1865B  
F.B.C.P.R.

# SIENNA STEEP BANK VILLAGE SECTION FOUR-B

A SUBDIVISION OF 21.855 ACRES AND BEING  
A PARTIAL REPLAT OF THE SIENNA STEEP BANK VILLAGE  
SECTION FOUR PLAT RECORDED IN SLIDE NO'S. 1772A & 1772B  
OF THE FORT BEND COUNTY PLAT RECORDS, LOCATED IN THE  
THOMAS BARNETT LEAGUE, A-7 AND ALSO BEING OUT OF  
THE SIENNA / JOHNSON DEVELOPMENT, L.P., 598.270 ACRES KNOWN  
AS TRACT TWO RECORDED IN FILE NO. 2000029467 OF THE OFFICIAL  
RECORDS OF FORT BEND COUNTY, TEXAS

REASON FOR REPLAT: TO PROVIDE FOR PHASED CONSTRUCTION

34 LOTS 3 RESERVES 4 BLOCKS  
AUGUST 14, 2000 JOB NO. 1193-1104-M06

SCALE: 1"=100'

OWNER:

SIENNA / JOHNSON DEVELOPMENT, L.P.  
W. DOUGLAS GOFF, GENERAL MANAGER  
3777 SIENNA PARKWAY MISSOURI CITY, TEXAS 77459 PH. (281) 778-7277

ENGINEER:

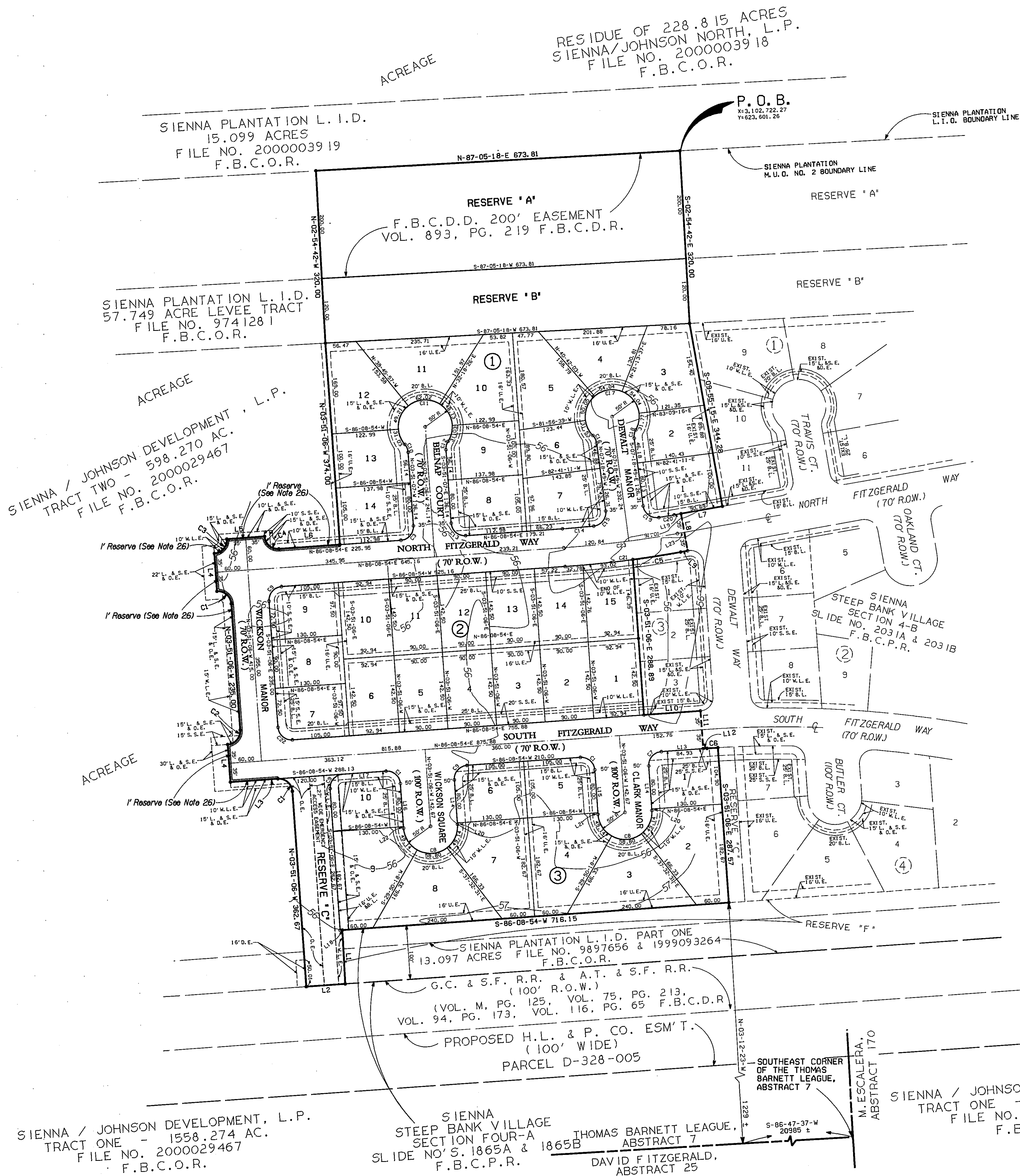
JERROLD L. GRAHAM JR.,  
REGISTERED PROFESSIONAL ENGINEER,  
TEXAS REGISTRATION NO. 66480

LJA Engineering & Surveying, Inc.  
2929 Briarpark Drive Phone 713.953.5200  
Suite 500 Fax 713.953.5026  
Houston, Texas 77042-3703









CURVE	RADIUS	TANGENT	CHORD	ARC	DELTA	CHORD BEARING
1	25.00	26.00	35.36	33.27	89° 59' 59"	N 48° 02' 02" E
2	25.00	26.00	35.36	33.27	89° 59' 59"	N 48° 02' 02" E
3	25.00	26.00	35.36	33.27	90° 00' 00"	N 41° 08' 04" E
4	25.00	26.00	35.36	33.27	90° 00' 01"	S 48° 06' 01" E
5	1966.00	42.88	88.38	89.37	90° 00' 00"	S 89° 59' 59" E
6	1966.00	10.63	22.07	22.07	90° 35' 06"	N 89° 06' 06" E
7	25.00	26.00	35.36	33.27	90° 00' 00"	S 41° 06' 04" E
8	25.00	26.00	35.36	33.27	90° 00' 00"	S 89° 06' 06" E
9	25.00	26.00	35.36	33.27	90° 00' 00"	N 41° 08' 04" E
10	25.00	8.33	15.81	16.09	38° 52' 12"	N 22° 41' 13" E
11	25.00	8.33	15.81	16.09	38° 52' 12"	N 22° 41' 13" E
12	25.00	8.33	15.81	16.09	38° 52' 12"	S 114° 34' 59" E
13	25.00	26.00	35.36	33.27	90° 00' 02"	N 48° 02' 05" E
14	1966.00	42.88	88.38	89.37	90° 00' 02"	S 89° 59' 59" E
15	25.00	26.79	35.90	40.04	91° 46' 21"	N 38° 34' 21" E
16	25.00	8.33	15.81	16.09	38° 52' 11"	N 25° 44' 54" E
17	83.00	1	80.00	221.43	287° 44' 23"	S 82° 11' 14" E
18	25.00	8.33	15.81	16.09	38° 52' 11"	S 111° 07' 15" E
19	25.00	26.79	35.90	40.04	91° 46' 21"	S 53° 11' 28" E
20	1966.00	42.88	88.38	89.37	90° 00' 00"	S 89° 59' 59" E
21	2036.00	107.88	215.45	215.56	90° 04' 08"	S 83° 06' 49" E
22	25.00	26.00	35.36	33.27	90° 00' 00"	S 48° 06' 01" E
23	25.00	26.00	35.36	33.27	90° 00' 00"	S 48° 06' 01" E

LINE TABLE		
LINE	BEARING	DISTANCE
1	S-02-54-46-E	100.00
2	S-86-08-54-W	72.2
3	S-86-06-54-W	88.1
4	N-03-51-06-W	70.0
5	N-08-08-54-E	70.0
6	S-06-08-54-E	112.3
7	S-80-04-45-E	77.6
8	S-09-55-15-E	70.0
9	S-80-04-45-E	13.0
10	N-86-08-53-E	105.0
11	S-03-51-06-W	70.0
12	N-86-08-53-E	7.1
13	S-86-08-53-W	77.7
14	S-03-51-07-E	82.6
15	N-03-51-07-E	82.6
16	N-86-08-53-E	82.6
17	S-86-08-54-W	80.0
18	N-86-08-54-E	3.8
19	N-80-04-46-E	13.0
20	S-03-51-07-E	2.8
21	N-03-51-07-W	2.6
22	N-03-51-08-W	2.6
23	N-80-04-45-E	13.0

RESERVE TABLE			
RESERVE NO.	TYPE	ACREAGE	SQ. FT.
RESERVE "A"	DRAINAGE	3.094	134,762
RESERVE "B"	LEEVE	1.856	80,860
RESERVE "C"	EMERGENCY ACCESS & UTILITIES	0.636	27,709
TOTAL		5.586	243,331

SIENNA 2152B  
STEEP BANK VILLAGE  
SECTION FOUR-C

A SUBDIVISION OF 23.889 ACRES AND BEING  
A PARTIAL REPLAT AND EXTENSION OF THE SIENNA STEEP BANK VILLAGE  
SECTION FOUR PLAT RECORDED IN SLIDE NO'S. 1772A & 1772B  
OF THE FORT BEND COUNTY PLAT RECORDS LOCATED IN THE  
THOMAS BARNETT LEAGUE, A-7 AND BEING OUT OF  
THE SIENNA /JOHNSON DEVELOPMENT, L.P., 598.270 ACRES KNOWN  
AS TRACT TWO RECORDED IN FILE NO. 2000029467 AND ALSO BEING  
A PART OF THE SIENNA PLANTATION L.L.D. 13.097 ACRE TRACT RECORDED  
IN FILE NO. 1999093264 AND PART OF THE SIENNA PLANTATION  
L.L.D. 57.749 ACRE LEVEE TRACT RECORDED IN FILE NO. 9741281  
OF THE OFFICIAL RECORDS OF FORT BEND COUNTY, TEXAS

39 LOTS                      3 RESERVES                      3 BLOCKS  
APRIL 4, 2001                      JOB NO. 1193-1104-M06

REASON FOR REPLAT: TO PROVIDE FOR PHASED CONSTRUCTION


SIENNA /JOHNSON DEVELOPMENT, L.P.

W. DOUGLAS GOFF, GENERAL MANAGER  
3777 SIENNA PARKWAY MISSOURI CITY, TEXAS 77459 PH. (281) 778-7777  
SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT

JERROLO L. GRAHAM JR.,  
REGISTERED PROFESSIONAL ENGINEER,  
TEXAS REGISTRATION NO. 66480

JESSE T. POULSON,  
REGISTERED PROFESSIONAL LAND SURVEYOR,  
TEXAS REGISTRATION NO. 1891

ENGINEER:

**LJA Engineering & Surveying, Inc.**   
2929 Briarpark Drive Phone 713. 953. 5200  
Suite 500 Fax 713. 953. 5026  
Houston, Texas 77042-3703



E053-17



RESERVE TABLE			
RESERVE NO.	TYPE	ACREAGE	SQ. FT.
RESERVE 'A'	DRAINAGE	4.344	189,215
RESERVE 'B'	LEVEE	2.606	113,533
RESERVE 'C'	PRIVATE OPEN SPACE & DRAINAGE	0.198	8,630
RESERVE 'D'	LANDSCAPE & DRAINAGE	1.676	73,002
TOTAL		8.824	384,380

RESIDUE OF 87.05 AC.  
GALVESTON COUNTY  
WATER AUTHORITY  
CLERK FILE  
NO. 2000009777  
F.B.C.O.P.R.

CALLED 8.462 AC.  
SIENNA PLANTATION L.I.D.  
CLERK FILE  
NO. 2000009783  
F.B.C.O.P.R.

RESIDUE OF  
CALLED 228.815 AC.  
SIENNA/JOHNSON NORTH, L.P.  
CLERK FILE NO. 2000003918  
F.B.C.O.P.R.

CALLED 15.099 AC.  
SIENNA PLANTATION L.I.D.  
CLERK FILE NO. 2000003919  
F.B.C.O.P.R.

SIENNA PLANTATION  
M.U.D. NO. 2 BOUNDARY LINE

200' WIDE FORT BEND COUNTY  
DRAINAGE RIGHT-OF-WAY & ESM'T.  
VOL. 893, PAGE 219  
F.B.C.D.R.

120' SIENNA PLANTATION LEVEE  
IMPROVEMENT DISTRICT RIGHT-OF-WAY ESM'T.  
VOLUME 1928, PAGE 1405  
F.B.C.D.R.

P.O.B.  
X: 3,102,049.33  
Y: 623,567.03

SIENNA PLANTATION  
L.I.O. BOUNDARY LINE

SCALE: 1"=100'

CURVE TABLE									
CURVE	RADIUS	TANGENT	CHORD	ARC	DELTA	CHORD BEARING			
1	25.00	25.00	35.36	35.27	90°00'01"	N-48-51-06-W			
2	25.00	25.00	35.36	35.27	90°00'00"	S-41-08-54-W			
3	25.00	25.00	35.36	35.27	89°59'59"	S-48-51-07-E			
4	25.00	25.00	35.36	35.27	89°59'59"	S-41-08-54-W			
5	15.00	25.00	35.36	35.27	89°59'59"	S-48-51-07-E			
6	2965.00	3.86	63.72	63.72	0°13'53"	S-86-57-08-W			
7	2965.00	4.88	9.77	9.77	0°11'20"	N-86-14-33-E			
8	25.00	25.00	35.36	35.27	90°00'00"	S-41-08-54-W			
9	50.00	*	100.00	157.08	180°00'00"	S-86-08-54-W			
10	25.00	25.00	35.36	35.27	90°00'00"	N-48-51-06-W			
11	25.00	25.00	35.36	35.27	90°00'00"	S-41-08-54-W			
12	50.00	*	100.00	157.08	180°00'00"	S-86-08-54-W			
13	25.00	25.00	35.36	35.27	90°00'00"	N-48-51-06-W			
14	3035.00	5.00	10.00	10.00	0°11'20"	S-86-14-33-E			
15	535.00	166.99	321.60	326.65	34°58'06"	S-75-25-14-E			
16	25.00	48.98	44.53	54.94	129°59'20"	N-59-06-34-E			
17	25.00	8.33	15.81	16.09	36°52'12"	N-22-17-12-W			
18	50.00	*	80.00	221.43	253°44'23"	N-86-08-54-E			
19	25.00	8.33	15.81	16.09	36°52'12"	S-14-34-59-W			
20	165.00	25.79	58.82	55.08	18°17'46"	S-09-17-46-W			
21	25.00	20.87	32.04	34.77	79°41'50"	S-25-24-16-E			
22	465.00	118.52	229.20	232.10	28°35'56"	S-75-33-09-E			
23	535.00	173.43	329.98	335.42	35°25'20"	N-75-53-26-W			
24	465.00	48.06	95.62	95.79	11°48'10"	N-63-45-51-W			
25	25.00	37.90	41.74	43.38	13°10'45"	S-53-40-41-W			
26	25.00	8.33	15.81	16.09	36°52'12"	S-21-20-49-E			
27	50.00	*	80.00	221.43	253°44'23"	S-87-05-18-W			
28	25.00	8.33	15.81	16.09	36°52'12"	N-15-51-23-E			
29	25.00	22.14	33.15	36.24	83°03'24"	N-44-28-24-W			
30	465.00	28.21	56.32	56.35	06°56'36"	N-89-26-24-W			
31	25.00	8.33	15.81	16.09	36°52'12"	N-22-17-12-W			
32	50.00	*	80.00	221.43	253°44'23"	N-86-08-54-E			
33	25.00	8.33	15.81	16.09	36°52'12"	S-14-34-59-W			
34	50.00	16.19	33.80	31.31	39°52'39"	S-80-45-53-E			
35	3035.00	5.00	10.00	10.00	0°11'20"	N-86-14-33-E			
36	500.00	182.06	300.55	305.26	34°58'06"	S-75-25-14-E			
37	500.00	306.37	313.48	35°59'20"	S-75-53-26-E				
38	150.00	48.61	52.48	94.01	35°54'31"	N-14-06-09-E			
39	500.00	4.94	5.88	0°11'20"	N-86-14-33-E				
40	2965.00	31.86	63.72	63.72	0°13'53"	S-86-57-08-W			
41	2965.00	4.88	9.77	9.77	0°11'20"	N-86-14-33-E			
42	25.00	25.00	35.36	35.27	90°00'00"	N-48-51-06-W			
43	25.00	25.00	35.36	35.27	90°00'00"	S-41-08-54-W			
44	25.00	25.00	35.36	35.27	90°00'00"	N-48-51-06-W			
45	3035.00	5.00	10.00	10.00	0°11'20"	N-86-14-33-E			
46	3035.00	5.00	10.00	10.00	0°11'20"	N-86-14-33-E			
47	3000.00	4.34	5.88	5.88	0°11'20"	N-86-14-33-E			

LINE TABLE		
LINE	BEARING	DISTANCE
1	S-86-08-54-W	112.38
2	S-86-08-54-W	70.00
3	S-03-51-06-E	70.00
4	S-03-51-06-E	70.00
5	N-86-08-54-E	88.13
6	N-03-51-06-W	70.00
7	S-86-28-00-W	65.35
8	N-87-05-18-E	20.42
9	N-03-51-06-W	70.00
10	S-03-51-06-E	70.00
11	N-86-08-54-E	13.13
12	S-03-51-06-E	65.67
13	N-03-51-06-W	82.67
14	S-03-51-06-W	82.67
15	N-03-51-06-W	82.67
16	N-87-05-18-E	66.81
17	S-57-55-46-E	25.18
18	N-03-51-06-W	18.74
19	S-03-51-06-E	22.63
20	N-86-08-54-E	10.00
21	S-03-51-06-E	70.00
22	S-86-08-54-W	10.00
23	N-57-55-46-W	100.00
24	S-87-05-18-W	66.81
25	N-02-54-42-W	70.00
26	S-86-08-53-W	10.00
27	N-03-51-06-W	5.52
28	N-03-51-06-W	22.11
29	S-03-51-06-E	18.74
30	N-57-55-46-W	23.61
31	S-03-51-06-E	25.18
32	S-86-08-54-W	10.00
33	S-86-08-54-W	18.87
34	S-03-51-06-E	2.67
35	S-03-51-06-E	2.67
36	S-03-51-06-E	2.67
37	N-03-51-06-W	2.67
38	S-86-08-54-W	30.00
39	N-86-08-54-W	30.00
40	S-86-08-53-W	30.00
41	N-03-39-42-W	0.02
42	N-03-51-06-E	100.00
43	S-03-51-06-E	100.00
44	N-87-05-18-E	66.81
45	S-57-55-46-W	100.00
46	N-86-08-54-E	10.00
47	N-03-51-08-W	72.53
48	N-03-39-42-W	70.00
49	S-03-51-06-E	82.67

SIENNA / JOHNSON  
DEVELOPMENT, L.P.  
TRACT TWO-598, 270 AC.  
FILE NO. 2000029467  
F.B.C.O.P.R.

SIENNA PLANTATION L.I.D. PART ONE  
13,097 ACRES  
FILE NO. 1999093264  
F.B.C.O.R.

G.C. & S.F. R.R. & A.T. & S.F. R.R. (100' R.O.W.)  
(VOL. M, PG. 125, VOL. 75, PG. 213, F.B.C.D.R.)  
(VOL. 94, PG. 173, VOL. 116, PG. 65, F.B.C.O.R.)  
(VOL. 1934, PG. 1181, F.B.C.O.R.)

PROPOSED H.L. & P. CO. ESM'T. (100' WIDE)  
PARCEL D-328-005

SIENNA / JOHNSON DEVELOPMENT, L.P.  
TRACT ONE - 1558.274 AC.  
FILE NO. 2000029467  
F.B.C.O.R.

# SIENNA STEEP BANK VILLAGE SECTION FIVE-A

A SUBDIVISION OF 28.835 ACRES AND BEING A PARTIAL REPLAT OF STEEP BANK VILLAGE, SECTION FOUR RECORDED IN SLIDE NUMBERS 1772A & B OF THE FORT BEND COUNTY PLAT RECORDS LOCATED IN THE THOMAS BARNETT LEAGUE, A-7, BEING OUT OF THE SIENNA / JOHNSON DEVELOPMENT, L.P., 598.270 ACRES KNOWN AS TRACT TWO RECORDED IN FILE NO. 2000029467 OF THE OFFICIAL RECORDS OF FORT BEND COUNTY, TEXAS AND ALSO BEING OUT OF THE SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT 57.749 ACRE TRACT AND PART OF SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT 13.079 ACRE TRACT RECORDED IN FORT BEND COUNTY, TEXAS

44 LOTS 4 RESERVES 3 BLOCKS

NOVEMBER 9, 2001 JOB NO. 1193-1105-006

REASON FOR REPLAT: TO INCLUDE A PORTION OF SECTION FOUR WITHIN SECTION 5-A

100 50 0 100 200

SCALE: 1"=100'

OWNER:

SIENNA / JOHNSON DEVELOPMENT, L.P.

W. DOUGLAS GOFF, VICE PRESIDENT AND GENERAL MANAGER

3777 SIENNA PARKWAY MISSOURI CITY, TEXAS 77459 PH. (281) 778-7777

SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT

1001 FANNIN, 2003 FIRST CITY TOWER, HOUSTON, TEXAS 77002-8780

ENGINEER:

LJA Engineering & Surveying, Inc.

2929 Briarpark Drive Phone 713.953.5200  
Suite 600 Fax 713.953.5026  
Houston, Texas 77042-3703

JESSE T. POULSON,  
REGISTERED PROFESSIONAL LAND SURVEYOR,  
TEXAS REGISTRATION NO. 1891

JERROLD L. GRAHAM JR.,  
REGISTERED PROFESSIONAL ENGINEER,  
TEXAS REGISTRATION NO. 66480

SHEET 2 OF 2

FP 53-17



STATE OF TEXAS  
COUNTY OF FORT BEND

WE, SIENNA / JOHNSON DEVELOPMENT, L.P., ACTING BY AND THROUGH W. DOUGLAS GOFF AND JEAN FARLEY, VICE PRESIDENT AND GENERAL MANAGER AND SECRETARY RESPECTIVELY OF SIENNA / JOHNSON DEVELOPMENT, L.P. AND WE SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT, ACTING BY AND THROUGH FLOYD OELLINGER AND KENDALL BECKMAN, PRESIDENT AND DIRECTOR RESPECTIVELY OF SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT, OWNERS, HEREBY AFTER REFERRED TO AS OWNERS OF THE 25.600 ACRE TRACT DESCRIBED IN THE ABOVE AND FOREGOING PLAT OF SIENNA STEEP BANK VILLAGE SECTION FIVE - B, DO HEREBY MAKE AND ESTABLISH SAID SUBDIVISION AND DEVELOPMENT PLAT OF SAID PROPERTY ACCORDING TO ALL LINES, DEDICATIONS, RESTRICTIONS, AND NOTATIONS ON SAID MAPS OR PLAT, AND HEREBY DEDICATE TO THE PUBLIC OF THE PUBLIC FOREVER, ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES SHOWN THEREON FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED; AND DO HEREBY BIND ITSELF, ITS HEIRS, AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE TO THE LAND SO DEDICATED.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSES, FOREVER, UNOBSTRUCTED AERIAL EASEMENTS, THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL ELEVEN FEET, SIX INCHES (11' 6") FOR TEN FEET (10' 0") PERIMETER GROUND EASEMENTS OR SEVEN FEET (7' 0") FOR FOURTEEN FEET (14' 0") PERIMETER GROUND EASEMENTS OR FIVE FEET, SIX INCHES (5' 6") FOR SIXTEEN FEET (16' 0") PERIMETER GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. & A.E.) AS INDICATED AND DEPICTED HEREON, WHEREBY THE AERIAL EASEMENTS TOTAL TWENTY-ONE FEET, SIX INCHES (21' 6") IN WIDTH.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSES, FOREVER, UNOBSTRUCTED AERIAL EASEMENTS, THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL TEN FEET (10' 0") FOR TEN FEET (10' 0") BACK-TO-BACK GROUND EASEMENTS OR EIGHT FEET (8' 0") FOR FOURTEEN FEET (14' 0") BACK-TO-BACK GROUND EASEMENTS OR SEVEN FEET (7' 0") FOR SIXTEEN FEET (16' 0") BACK-TO-BACK GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO BOTH SIDES AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. & A.E.) AS INDICATED AND DEPICTED HEREON, WHEREBY THE AERIAL EASEMENTS TOTAL THIRTY FEET (30' 0") IN WIDTH.

FURTHER, OWNERS DO HEREBY DECLARE THAT ALL PARCELS OF LAND DESIGNATED AS LOTS ON THIS PLAT ARE INTENDED FOR THE CONSTRUCTION OF SINGLE FAMILY RESIDENTIAL DWELLING UNITS THEREON AND SHALL BE RESTRICTED FOR SAME UNDER THE TERMS AND CONDITIONS OF SUCH RESTRICTIONS FILED SEPARATELY.

FURTHER, OWNERS DO HEREBY COVENANT AND AGREE THAT ALL OF THE PROPERTY WITHIN THE BOUNDARIES OF THIS PLAT SHALL BE RESTRICTED TO PREVENT THE DRAINAGE OF ANY SEPTIC TANKS INTO ANY PUBLIC OR PRIVATE STREET, ROAD OR ALLEY OR ANY DRAINAGE DITCH, EITHER DIRECTLY OR INDIRECTLY.

FURTHER, OWNERS DO HEREBY DEDICATE TO THE PUBLIC A STRIP OF LAND TWENTY (20') FEET WIDE ON EACH SIDE OF THE CENTERLINE OF ANY AND ALL BAYOUS, CREEKS, CULVERTS, RAVINES, DRAINS, SLOUGHS, OR OTHER NATURAL DRAINAGE COURSES LOCATED IN SAID PLAT AS EASEMENTS FOR DRAINAGE PURPOSES, FORT BEND COUNTY OR ANY OTHER GOVERNMENTAL AGENCY SHALL HAVE THE RIGHT TO ENTER UPON SAID EASEMENT AT ANY AND ALL TIMES FOR THE PURPOSES OF CONSTRUCTION AND MAINTENANCE OF DRAINAGE FACILITIES AND STRUCTURES.

FURTHER, OWNERS DO HEREBY COVENANT AND AGREE THAT ALL OF THE PROPERTY WITHIN THE BOUNDARIES OF THIS SUBDIVISION AND ADJACENT TO ANY DRAINAGE EASEMENT, DITCH, CULLEY, CREEK OR NATURAL DRAINAGE WAY SHALL HEREBY BE RESTRICTED TO KEEP SUCH DRAINAGE WAY AND EASEMENTS CLEAR OF FENCES, BUILDINGS, EXCESSIVE VEGETATION AND OTHER OBSTRUCTIONS TO THE OPERATIONS AND MAINTENANCE OF THE DRAINAGE FACILITIES AND THAT SUCH ADJUTING PROPERTY SHALL NOT BE PERMITTED TO DRAIN DIRECTLY INTO THIS EASEMENT EXCEPT BY MEANS OF AN APPROVED DRAINAGE STRUCTURE.

FURTHER, OWNERS DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF ALL PROPERTY IMMEDIATELY ADJACENT TO THE BOUNDARIES OF THE ABOVE AND FOREGOING PLAT OF SIENNA STEEP BANK VILLAGE SECTION FIVE - B, WHERE BUILDING SETBACK LINES OR PUBLIC UTILITY EASEMENTS ARE TO BE ESTABLISHED OUTSIDE OF THE BOUNDARIES OF THE ABOVE AND FOREGOING PLAT AND DO HEREBY MAKE AND ESTABLISH ALL BUILDING SETBACK LINES AND DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL PUBLIC UTILITY EASEMENTS SHOWN IN SAID ADJACENT ACREAGE.

WE FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTIONNS MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS OF THE CITY; WE, OUR SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT WE MAY HAVE AS A RESULT OF THE DEDICATION OR EXACTIONNS MADE HEREIN.

IN TESTIMONY WHEREOF, SIENNA/JOHNSON DEVELOPMENT, L.P., HAS CAUSED THESE PRESENTS TO BE SIGNED BY W. DOUGLAS GOFF, ITS VICE PRESIDENT AND GENERAL MANAGER, THEREUNTO AUTHORIZED, ATTESTED BY ITS SECRETARY, JEAN FARLEY, THIS 13<sup>th</sup> DAY OF February, 2003.

SIENNA / JOHNSON DEVELOPMENT, L.P.

BY: W. Douglas Goff, VICE PRESIDENT AND GENERAL MANAGER

ATTEST: Jean Farley  
JEAN FARLEY, SECRETARY

STATE OF TEXAS  
COUNTY OF FORT BEND

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED W. DOUGLAS GOFF, VICE PRESIDENT AND GENERAL MANAGER OF SIENNA / JOHNSON DEVELOPMENT, L.P., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN AND HEREIN SET OUT.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 13<sup>th</sup> DAY OF February, 2003.

Patricia Gallagher  
NOTARY PUBLIC IN AND FOR THE  
STATE OF TEXAS  
MY COMMISSION EXPIRES: 6-24-06  
PATRICIA GALLAGHER

STATE OF TEXAS  
COUNTY OF FORT BEND

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JEAN FARLEY, SECRETARY OF SIENNA / JOHNSON DEVELOPMENT, L.P., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN AND HEREIN SET OUT.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 13<sup>th</sup> DAY OF February, 2003.

Bernice Laseur  
NOTARY PUBLIC IN AND FOR THE  
STATE OF TEXAS  
MY COMMISSION EXPIRES: 06-27-2006  
BERNICE LASEUR

IN TESTIMONY WHEREOF, SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT HAS CAUSED THESE PRESENTS TO BE SIGNED BY FLOYD OELLINGER, ITS PRESIDENT, THEREUNTO AUTHORIZED, ATTESTED BY ITS DIRECTOR, KENDALL BECKMAN, THIS 17<sup>th</sup> DAY OF February, 2003.

SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT

BY: Floyd Oellinger  
FLOYD OELLINGER, PRESIDENT

ATTEST: Kendall Beckman  
KENDALL BECKMAN, DIRECTOR

STATE OF TEXAS  
COUNTY OF FORT BEND

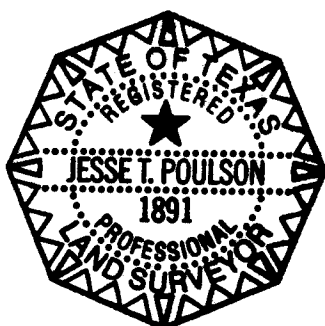
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED FLOYD OELLINGER AND KENDALL BECKMAN OF SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT, KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN AND HEREIN SET OUT, AND AS THE ACT AND DEED OF SAID CORPORATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 17<sup>th</sup> DAY OF Feb, 2003.

Sara Cazares  
NOTARY PUBLIC IN AND FOR THE  
STATE OF TEXAS  
MY COMMISSION EXPIRES: 2/15/06  
SARA CAZARES

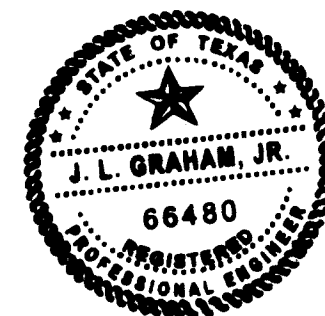
I, JESSE T. POULSDN, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THE ABOVE SUBDIVISION IS TRUE AND CORRECT, WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND AND THAT ALL BOUNDARY CORNERS, ANGLE POINTS, AND POINTS OF CURVATURE HAVE BEEN MARKED WITH IRON OR OTHER SUITABLE PERMANENT FERROUS METAL PIPES OR RODS HAVING AN OUTSIDE DIAMETER OF NOT LESS THAN FIVE EIGHTHS (5/8") AND A LENGTH OF NOT LESS THAN THREE FEET (3') (SEE NOTE 10.); AND THAT THE PLAT BOUNDARY CORNERS HAVE BEEN TIED TO THE NEAREST SURVEY CORNER.

Jesse T. Poulson 02/13/03  
JESSE T. POULSDN,  
REGISTERED PROFESSIONAL LAND SURVEYOR  
TEXAS REGISTRATION NO. 1891



I, JERROLD L. GRAHAM JR., A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF TEXAS DO HEREBY CERTIFY THAT THIS PLAT MEETS ALL REQUIREMENTS OF FORT BEND COUNTY AND THE CITY OF MISSOURI CITY, TO THE BEST OF MY KNOWLEDGE.

Jerrold L. Graham Jr. 2/12/03  
JERROLD L. GRAHAM JR.  
REGISTERED PROFESSIONAL ENGINEER  
TEXAS REGISTRATION NO. 66480



THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF MISSOURI CITY, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF SIENNA STEEP BANK VILLAGE SECTION FIVE-B, IN CONFORMANCE WITH THE LAWS OF THE STATE OF TEXAS AND THE ORDINANCES OF THE CITY OF MISSOURI CITY AS SHOWN HEREON AND AUTHORIZED THE RECORDING OF THIS PLAT THIS 12<sup>th</sup> DAY OF February, 2003.

BY: Robert E. Hebert  
ROBERT E. HEBERT, CLERK  
BY: Grady Prestage  
GRADY PRESTAGE, CLERK

I, D. JESSE HEGEMIER, FORT BEND COUNTY ENGINEER, DO HEREBY CERTIFY THAT THE PLAT OF THIS SUBDIVISION COMPLIES WITH ALL OF THE EXISTING RULES AND REGULATIONS OF THIS OFFICE AS ADOPTED BY THE FORT BEND COUNTY COMMISSIONER'S COURT, HOWEVER, NO CERTIFICATION IS HEREBY GIVEN AS TO THE EFFECT OF DRAINAGE FROM THIS SUBDIVISION ON THE INTERCEPTING DRAINAGE ARTERY OR PARENT STREAM OR ON ANY OTHER AREA OR SUBDIVISION WITHIN THE WATERSHED.

D. Jesse Hegemier  
D. JESSE HEGEMIER, P.E.  
FORT BEND COUNTY ENGINEER

APPROVED BY THE COMMISSIONER'S COURT OF FORT BEND COUNTY, TEXAS, THIS 25<sup>th</sup> DAY OF Feb, 2003.

Tom O. Stavino  
TOM O. STAVINO  
COMMISSIONER, PRECINCT 1  
Grady Prestage  
GRADY PRESTAGE,  
COMMISSIONER, PRECINCT 2

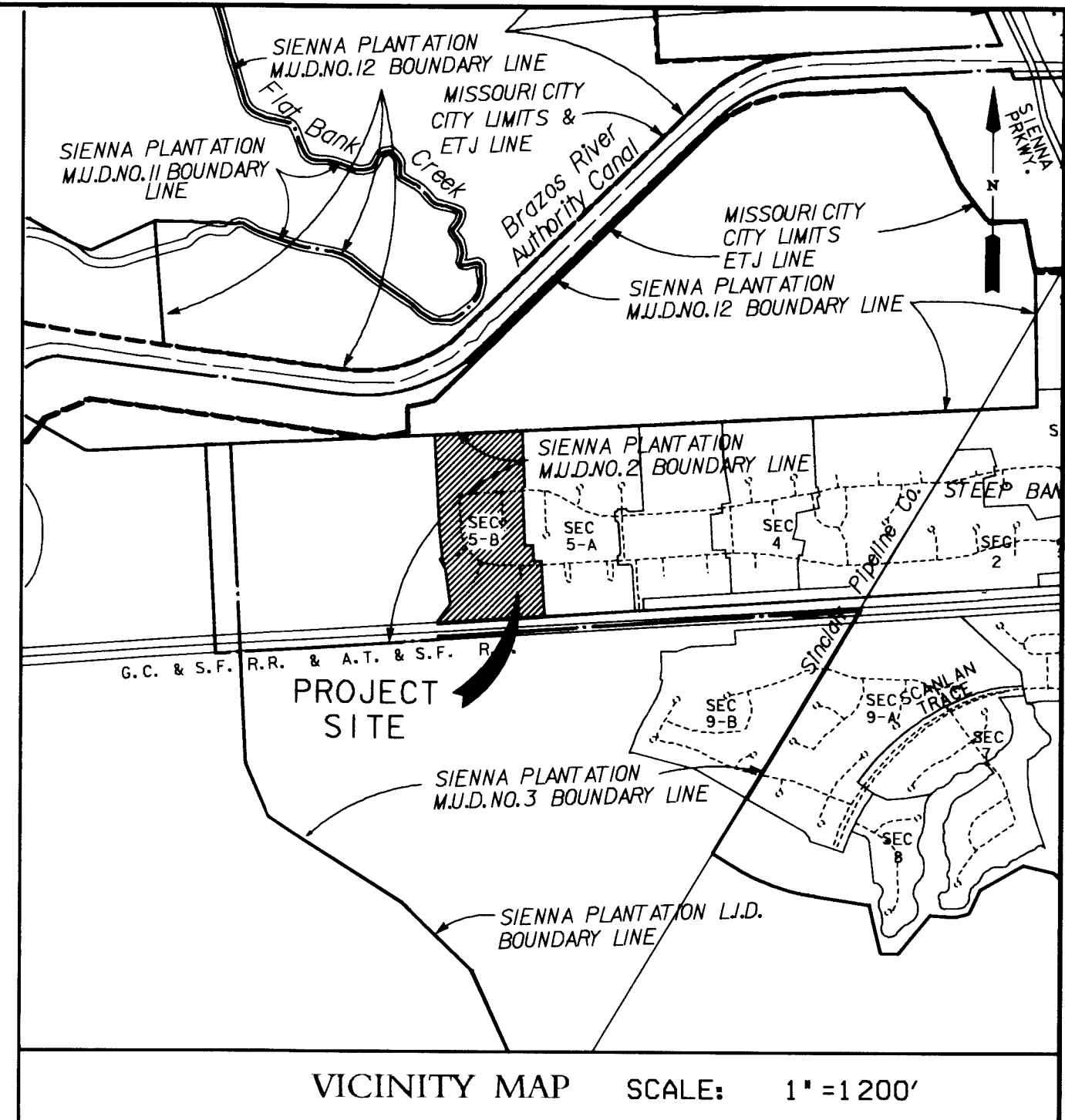
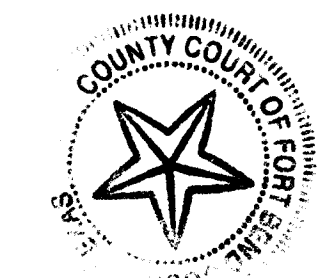
Robert E. Hebert  
ROBERT E. HEBERT, COUNTY JUDGE

Al Cannon Meyers  
AL CANNON MEYERS,  
COMMISSIONER, PRECINCT 3  
James Patterson  
JAMES PATTERSON,  
COMMISSIONER, PRECINCT 4

I, DIANNE WILSON, COUNTY CLERK IN AND FOR FORT BEND COUNTY, HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORDATION IN MY OFFICE ON Feb 25, 2003, AT 3:18 O'CLOCK P. M., IN SLIDE NO. 2426 A/18 OF THE PLAT RECORDS OF SAID COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE, AT RICHMOND, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

DIANNE WILSON, CLERK OF THE COUNTY  
FORT BEND COUNTY, TEXAS  
BY: Deputy



# SIENNA STEEP BANK VILLAGE SECTION FIVE-B

A SUBDIVISION OF 25.600 ACRES LOCATED IN THE THOMAS BARNETT LEAGUE, A-7, BEING OUT OF THE SIENNA / JOHNSON DEVELOPMENT, L.P., 598.270 ACRES KNOWN AS TRACT TWO RECORDED IN FILE NO. 2000029467 OF THE OFFICIAL RECORDS OF FORT BEND COUNTY, TEXAS AND ALSO BEING OUT OF THE SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT 57.749 ACRE TRACT AND PART OF SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT 13.079 ACRE TRACT RECORDED IN FORT BEND COUNTY, TEXAS

40 LOTS 4 RESERVES 3 BLOCKS  
FEBRUARY 10, 2003 JOB NO. 1193-1105-006

100 50 0 100 200  
SCALE: 1"=100'  
OWNER:

SIENNA / JOHNSON DEVELOPMENT, L.P.  
W. DOUGLAS GOFF, VICE PRESIDENT AND GENERAL MANAGER  
3777 SIENNA PARKWAY MISSOURI CITY, TEXAS 77459 PH. (281) 778-7777  
SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT  
1001 FANNIN, 2003 FIRST CITY TOWER, HOUSTON, TEXAS 77002-8780

ENGINEER:

**LJA Engineering & Surveying, Inc.**  
2929 Briarpark Drive Suite 600 Houston, Texas 77042-3703 Phone 713.953.5200 Fax 713.953.5026

JESSE T. POULSDN,  
REGISTERED PROFESSIONAL LAND SURVEYOR,  
TEXAS REGISTRATION NO. 1891

JERROLD L. GRAHAM JR.,  
REGISTERED PROFESSIONAL ENGINEER,  
TEXAS REGISTRATION NO. 66480



# GENERAL NOTES

1. B.L. INDICATES BUILDING LINE; U.E. INDICATES UTILITY EASEMENT; STM. S.E. INDICATES STORM SEWER EASEMENT; S.S.E. INDICATES SANITARY SEWER EASEMENT; A.E. INDICATES AERIAL EASEMENT; W.L.E. INDICATES WATER LINE EASEMENT; F.B.C.O.R. INDICATES FORT BEND COUNTY OFFICIAL RECORDS; L.P. INDICATES LEVEE IMPROVEMENT DISTRICT; F.B.C.P.R. INDICATES FORT BEND COUNTY PLAT RECORDS; L.A.S.E. INDICATES LANDSCAPE AND SIDEWALK EASEMENT; F.M.E. INDICATES FORCE MAIN EASEMENT; O.E. INDICATES DRAINAGE EASEMENT; E.E. INDICATES ELECTRICAL EASEMENT.
2. THERE ARE NO PIPELINES OR PIPELINE EASEMENTS WITHIN THE BOUNDARIES OF THIS PLAT.
3. THE MINIMUM SLAB ELEVATION WILL BE 18" ABOVE TOP OF CURB IN FRONT OF LOTS OR 12" ABOVE THE 100-YEAR FLOOD ELEVATION, WHICHEVER IS GREATER. THE MINIMUM FINISHED FLOOR ELEVATION SHALL BE ONE FOOT ABOVE THE 100-YEAR BASE FLOOD ELEVATION AS DETERMINED BY THE FLOOD INSURANCE RATE MAP DATED JANUARY 3, 1997 AND SHALL MEET STANDARDS ESTABLISHED BY FEMA AND ALL APPLICABLE CITY REQUIREMENTS, INCLUDING THE CITY INFRASTRUCTURE CODE AS REQUIRED BY SECTION B2-97 (1) OF THE CODE OF ORDINANCES OF THE CITY OF MISSOURI CITY, TEXAS.
4. ALL SLAB ELEVATIONS SHALL BE ONE FOOT ABOVE THE 100-YEAR FLOOD ELEVATION AS ESTABLISHED BY FEMA. IN ACCORDANCE WITH FEDERAL EMERGENCY MANAGEMENT AGENCY COMMUNITY PANEL NO. 48157C0270 J, MAP REVISED JANUARY 3, 1997, THIS PLAT LIES IN ZONE "X", OUTSIDE THE 100-YEAR FLOOD PLAIN.
5. THE TOP OF ALL FLOOR SLABS SHALL BE A MINIMUM OF 58.50 FEET ABOVE MEAN SEA LEVEL. IN ADDITION TO THIS MINIMUM, NO FLOOR SLAB SHALL BE LESS THAN 1.5 FEET ABOVE NATURAL GROUND.
6. THE CITY OF MISSOURI CITY SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF DRIVEWAYS, DRAINAGE EASEMENTS, LANDSCAPE RESERVES, SIDEWALKS, OR OPEN SPACES. THE OWNER, SIENNA / JOHNSON DEVELOPMENT, L.P., OR ASSIGNS SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL OPEN SPACES, ALL LANDSCAPE RESERVES, DRIVEWAYS, SIDEWALKS AND DRAINAGE EASEMENTS.
7. BENCHMARK: FND, A N.G.S. MON. ON THE TOP OF A FIVE EIGHTHS INCH COPPER COATED IRON ROD, WITH THE UPPER PORTION OF THE ROD ENCASED IN A 5 INCH IRON PIPE LOCATED APPROXIMATELY 30.8 FEET SOUTH OF THE SOUTH RAIL OF G.V. AND S.F. RAILWAY AND APPROXIMATELY 38 FEET EAST OF OLD POWER POLE AND ALSO ON THE DISTAL STATES PIPELINE EASEMENT AND 1 FOOT EAST OF WITNESS POST. MON. NO. 5-120B  
ELEV. = 56.47' 1973 ADJUSTMENT.
8. THIS PLAT LIES WITHIN FORT BEND COUNTY SUBSIDENCE DISTRICT, FORT BEND COUNTY DRAINAGE DISTRICT, MISSOURI CITY ETC., SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT AND SIENNA PLANTATION MUNICIPAL UTILITY DISTRICT NO. 2.
9. ALL EASEMENTS ARE CENTERED ON LOT LINES UNLESS OTHERWISE NOTED.
10. FIVE EIGHTHS (5/8") INCH IRON RODS THREE FEET (3') IN LENGTH WITH PLASTIC CAP MARKED "LJA END" ARE SET ON ALL PERIMETER BOUNDARY CORNERS, UNLESS OTHERWISE NOTED. STREET RIGHTS-OF-WAY OR BLOCK CORNERS HAVE NOT BEEN MONUMENTED.
11. ONE-FOOT RESERVE DEDICATED TO THE PUBLIC IN FEE AS A BUFFER SEPARATION BETWEEN THE SIDE OR END OF STREETS, IN SUBDIVISION PLATS WHERE SUCH STREETS ADJACENT ACREAGE TRACTS, THE CONDITIONS OF SUCH DEDICATING BEING THAT WHEN THE ADJACENT PROPERTY IS SUBDIVIDED IN A RECORDED PLAT, THE ONE-FOOT RESERVE SHALL THEREUPON BECOME VESTED IN THE PUBLIC FOR STREET RIGHT-OF-WAY PURPOSES AND THE FEE TITLE THERETO SHALL REVERT AND REVEST IN THE DEDICATOR, HIS HEIRS, ASSIGNS, OR SUCCESSORS.
12. ALL BUILDING LINE TRANSITIONS ARE AT 45° ANGLES TO THE STRAIGHT SIDE LOT LINE WHERE THE TRANSITION OCCURS.
13. THIS PLAT LIES WHOLLY WITHIN SIENNA PLANTATION MUNICIPAL UTILITY DISTRICT NO. 2.
14. THIS PLAT WAS PREPARED FROM INFORMATION FURNISHED BY PARTNERS TITLE COMPANY OF HOUSTON, FILE NO. MS0002, EFFECTIVE DATE FEBRUARY 3, 2003. THE SURVEYOR HAS NOT ABSTRACTED THE ABOVE PROPERTY.
15. GARAGES FACING A SIDE STREET SHALL HAVE A SETBACK OF NOT LESS THAN TWENTY FEET (20').
16. ALL REQUIRED UTILITY COMPANIES HAVE BEEN CONTACTED AND ALL PUBLIC UTILITY EASEMENTS AS SHOWN ON THE ABOVE AND FOREGOING PLAT CONSTITUTE ALL OF THE EASEMENTS REQUIRED BY THE UTILITY COMPANIES CONTACTED.
17. ALL BEARINGS ARE REFERENCED TO THE TEXAS STATE PLANE COORDINATE SYSTEM SOUTH CENTRAL ZONE.
18. NO BUILDING OR OTHER PERMIT, EXCEPT PERMITS FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS WILL BE ISSUED BY THE CITY OF MISSOURI CITY, TEXAS, FOR CONSTRUCTION WITHIN THIS SUBDIVISION UNTIL SUCH TIME AS ALL PUBLIC IMPROVEMENTS OF THE SUBDIVISION HAVE BEEN CONSTRUCTED BY THE DEVELOPER AND ACCEPTED BY THE CITY OF MISSOURI CITY. CERTIFICATES OF OCCUPANCY SHALL BE ISSUED BY BUILDERS OF HOMES SHALL CONSTRUCT SIDEWALKS ALONG STREETS ON WHICH HOMES FRONT AND ALONG STREETS ON WHICH HOMES SIDE.
19. PRIOR TO THE BEGINNING OF THE ONE-YEAR MAINTENANCE PERIOD FOR UTILITIES AND PAVING BY FORT BEND COUNTY, ALL BLOCK CORNERS AND STREET RIGHTS-OF-WAY WILL BE MONUMENTED.
20. SIDEWALK/TRAILS SHALL BE CONSTRUCTED AS REQUIRED BY THE SIENNA PLANTATION JOINT DEVELOPMENT AGREEMENT WITH THE CITY OF MISSOURI CITY AND AS REQUIRED BY SECTIONS 46-191 AND B2-165 OF THE CODE OF ORDINANCES FOR THE CITY OF MISSOURI CITY. SIDEWALK/TRAILS SHALL BE CONSTRUCTED BY THE DEVELOPER ALONG ALL STREETS WHERE HOMES DO NOT FRONT OR SIDE PRIOR TO ACCEPTANCE OF STREETS. THE ONE-YEAR MAINTENANCE PERIOD, BEFORE CERTIFICATES OF OCCUPANCY SHALL BE ISSUED BY BUILDERS OF HOMES, SHALL CONSTRUCT SIDEWALKS ALONG STREETS ON WHICH HOMES FRONT AND ALONG STREETS ON WHICH HOMES SIDE.
21. THE DRAINAGE SYSTEM FOR THIS SUBDIVISION IS DESIGNED IN ACCORDANCE WITH THE FORT BEND COUNTY DRAINAGE CRITERIA MANUAL WHICH ALLOWS STREET PAVING WITH INTENSE RAINFALL EVENTS.
22. METER LOCATION: IN ACCORDANCE WITH HOUSTON LIGHTING & POWER COMPANY SERVICE STANDARDS, ARTICLE 406.52, ELECTRIC METERS SHALL BE LOCATED IN AN AREA ACCESSIBLE WITHOUT CUSTOMER ASSISTANCE, AND NOT BLOCKED BY FENCES, WALLS OR GATES. FOR FURTHER INFORMATION IN THE SUGAR LAND DISTRICT AREA, CALL (281) 551-2355.
23. THIS PLAT IS SUBORDINATED BY:  
KURT D. NONDORF, TRUSTEE, RESIDENTIAL FUNDING CORPORATION, A DELAWARE CORPORATION, AS RECORDED IN FILE NO. 2000029467 OFFICIAL RECORDS OF FORT BEND COUNTY, TEXAS.
24. SHARED ACCESS AND PARKING FACILITIES SHALL BE PROVIDED AS REQUIRED UNDER THE PROVISIONS OF SUBSECTION B2-160 OF THE CODE OF ORDINANCES OF THE CITY OF MISSOURI CITY, TEXAS.
25. DRIVEWAY APPROACHES SHALL BE PROVIDED IN ACCORDANCE WITH THE MISSOURI CITY DRIVEWAY APPROACH POLICY AS REQUIRED UNDER THE PROVISIONS OF SUBSECTIONS 46-162 AND B2-161 OF THE CODE OF ORDINANCES OF THE CITY OF MISSOURI CITY, TEXAS.
26. AN UNIMPROVED TRAIL WILL BE LOCATED ALONG THE LEVEE ON THE NORTH SIDE OF SIENNA STEEP BANK VILLAGE SECTION FIVE-B WITHIN RESERVE "B".

RESIDUE OF 87.05 AC.  
GULF COAST  
WATER AUTHORITY  
CLERK FILE  
NO. 2000009777  
F.B.C.O.P.R.

CALLED 8.462 AC.  
SIENNA PLANTATION L.I.D.  
CLERK FILE  
NO. 2000009783  
F.B.C.O.P.R.

RESIDUE OF  
CALLED 228.815 AC.  
SIENNA / JOHNSON NORTH, L.P.  
CLERK FILE NO. 2000003918  
F.B.C.O.P.R.

CALLED 15.099 AC.  
SIENNA PLANTATION L.I.D.  
CLERK FILE NO. 2000003919  
F.B.C.O.P.R.

P.O.B.  
X= 3,101,104.47  
Y= 623,518.97

100 50 0 100 200  
SCALE: 1"=100'

200' WIDE FORT BEND COUNTY  
DRAINAGE RIGHT-OF-WAY & ESM'T.  
VOL. 893, PAGE 219  
F.B.C.D.R.

57.749 ACRES  
SIENNA PLANTATION LEVEE  
IMPROVEMENT DISTRICT FEE  
FILE NO. 9741281  
F.B.C.O.R.

RESERVE TABLE			
RESERVE NO.	TYPE	ACREAGE	SQ. FT.
RESERVE "A"	DRAINAGE	3.262	142,084
RESERVE "B"	LEVEE	1.957	85,253
RESERVE "C"	LANDSCAPE & DRAINAGE	2.069	90,141
RESERVE "D"	LIFT STATION	0.057	2,475
TOTAL		7.345	319,953

2003024902  
FILED FOR RECORD  
242818  
NO. TIME: 3:18 PM  
FEB 25 2003  
Aimee Nelson  
County Clerk Fort Bend Co. Tex.  
Duke

## SIENNA STEEP BANK VILLAGE SECTION FIVE-B

A SUBDIVISION OF 25.600 ACRES LOCATED IN THE THOMAS BARNETT LEAGUE, A-7, BEING OUT OF THE SIENNA / JOHNSON DEVELOPMENT, L.P., 598.270 ACRES KNOWN AS TRACT TWO RECORDED IN FILE NO. 2000029467 OF THE OFFICIAL RECORDS OF FORT BEND COUNTY, TEXAS AND ALSO BEING OUT OF THE SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT 57.749 ACRE TRACT AND PART OF SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT 13.079 ACRE TRACT RECORDED IN FORT BEND COUNTY, TEXAS

40 LOTS 4 RESERVES 3 BLOCKS

FEBRUARY 10, 2003 JOB NO. 1193-1105-006

100 50 0 100 200  
SCALE: 1"=100'  
OWNER:

SIENNA / JOHNSON DEVELOPMENT, L.P.

W. DOUGLAS GOFF, VICE PRESIDENT AND GENERAL MANAGER

3777 SIENNA PARKWAY MISSOURI CITY, TEXAS 77459 PH. (281) 778-7777

SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT

1001 FANNIN, 2003 FIRST CITY TOWER, HOUSTON, TEXAS 77002-8780

ENGINEER:

**LJA Engineering & Surveying, Inc.**  
2929 Branpark Drive  
Suite 600  
Houston, Texas 77042-3703  
Phone 713.953.3200  
Fax 713.953.5026

JESSE T. POULSON,  
REGISTERED PROFESSIONAL LAND SURVEYOR,  
TEXAS REGISTRATION NO. 1891

JERROLD L. GRAHAM JR.,  
REGISTERED PROFESSIONAL ENGINEER,  
TEXAS REGISTRATION NO. 66480

CURVE TABLE						
CURVE	RADIUS	TANGENT	CHORD	ARC	DELTA	CHORD BEARING
1	485.00	8.34	17.88	17.88	02°12'10"	N-87°35'18"-E
2	2965.00	31.86	63.72	63.72	01°13'53"	N-86°57'10"-E
3	485.00	8.34	17.88	17.88	02°12'10"	N-87°35'18"-E
4	25.00	20.53	31.73	34.38	78°47'16"	N-17°05'36"-E
5	235.00	57.23	112.83	113.37	13°22'21"	N-12°36'23"-W
6	25.00	6.68	12.56	13.06	29°55'25"	N-12°32'30"-W
7	30.00	185.65	96.56	130.77	148°51'10"	N-42°05'18"-E
8	25.00	6.68	12.56	13.06	29°55'25"	S-77°56'59"-E
9	25.00	25.00	35.36	35.37	90°00'00"	S-42°05'18"-W
10	25.00	8.34	15.81	16.09	36°52'12"	S-21°20'48"-E
11	50.00	16.67	31.63	32.17	06°54'42"	N-87°35'18"-W
12	25.00	6.33	15.81	16.09	36°52'12"	N-15°31'23"-E
13	25.00	25.00	35.36	35.37	90°00'00"	N-47°54'42"-W
14	25.00	25.00	35.36	35.37	90°00'00"	N-12°05'18"-E
15	285.00	236.57	362.96	386.26	83°30'44"	S-44°40'04"-E
16	1785.00	1187.56	374.37	374.62	07°14'21"	N-88°57'24"-E
17	3035.00	50.32	100.62	100.63	01°53'59"	N-87°17'13"-W
18	25.00	24.39	34.92	35.66	66°35'44"	S-43°56'20"-W
19	50.00	48.78	100.00	100.00	09°02'34"	N-49°14'49"-W
20	25.00	24.39	34.92	35.66	66°35'44"	N-44°39'24"-W
21	3035.00	67.03	134.03	134.04	02°31'50"	N-87°41'21"-W
22	25.00	25.00	35.36	35.37	90°00'00"	N-12°05'18"-W
23	25.00	21.39	32.50	35.36	81°06'17"	S-61°36'07"-W
24	25.00	19.12	30.38	32.66	74°49'24"	N-16°21'11"-W
25	335.00	26.49	52.82	52.87	09°02'34"	N-49°14'49"-W
26	25.00	25.00	35.36	35.37	90°00'00"	N-49°14'49"-W
27	535.00	16.41	32.79	32.80	03°30'46"	S-58°14'36"-E
28	3000.00	189.77	378.79	378.04	07°14'21"	S-89°57'24"-W
29	200.00	261.62	289.38	437.62	74°49'24"	N-16°21'11"-W
30	60.00	60.00	84.85	94.25	90°00'00"	N-42°05'18"-E
31	500.00	12.67	25.34	25.34	02°54'19"	N-57°56'19"-E
32	535.00	16.41	32.79	32.80	03°30'46"	N-58°14'36"-E

LINE TABLE		
LINE	BEARING	DISTANCE
1	N-03°51'07"-W	5.00
2	N-30°36'34"-W	89.45
3	N-56°29'13"-E	8.69
4	S-87°05'18"-W	20.42
5	N-86°28'00"-E	66.35
6	S-03°39'47"-E	70.00
7	N-30°36'34"-W	69.45
8	S-02°54'42"-E	70.00
9	S-03°39'47"-E	70.00
10	S-00°21'32"-E	88.82
11	N-00°21'32"-W	88.82
12	S-02°54'42"-E	17.56
13	N-89°44'11"-W	0.31
14	N-87°56'23"-W	0.42
15	S-81°06'33"-E	7.19
16	N-88°28'00"-E	22.55
17	S-24°46'07"-E	66.83
18	S-53°25'46"-E	66.83
19	N-88°28'00"-E	22.55
20	S-00°21'32"-E	2.67
21	N-00°21'32"-W	2.67
22	N-56°29'13"-E	8.69
23	N-03°51'07"-W	25.00
24	S-03°51'06"-E	100.00
25	N-47°54'42"-W	17.79
26	N-57°56'19"-E	53.14
27	N-08°28'33"-W	64.06

BN & SF RAILWAY COMPANY  
(150' R.O.W.)  
C.F. NO. 1999061496  
F.B.C.O.R.

PROPOSED H.L. & P. CO.  
NOTICE OF US PENDS  
(VARIABLE WIDTH)  
PARCEL D-328-005  
FILE NO. 9562442 F.B.C.O.R.

SIENNA / JOHNSON DEVELOPMENT, L.P.  
TRACT ONE - 1558.274 AC.  
FILE NO. 2000029467  
F.B.C.O.R.



STATE OF TEXAS  
COUNTY OF FORT BEND

WE, SIENNA / JOHNSON DEVELOPMENT, L.P., ACTING BY AND THROUGH MICHAEL J. SMITH AND JEAN FARLEY, VICE PRESIDENT AND GENERAL MANAGER, AND SECRETARY RESPECTIVELY OF SIENNA / JOHNSON DEVELOPMENT, L.P., AND WE, SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT, ACTING BY AND THROUGH KENDALL BECKMAN, PRESIDENT, AND JEFFREY SCARBOROUGH, VICE PRESIDENT, RESPECTIVELY OF SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT, OWNERS, HERINAFTER REFERRED TO AS OWNERS OF THE 65.696 ACRE TRACT DESCRIBED IN THE ABOVE AND FOREGOING PLAT OF SIENNA STEEP BANK VILLAGE SECTION FIVE-C, DO HEREBY MAKE AND ESTABLISH SAID SUBDIVISION AND DEVELOPMENT PLAT OF SAID PROPERTY ACCORDING TO ALL LINES, OEDICATIONS, RESTRICTIONS, AND NOTATIONS ON SAID MAPS OR PLAT, AND HEREBY OEDICATE TO THE USE OF THE PUBLIC, FOREVER, ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES SHOWN THEREON FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, AND DO HEREBY BIND ITSELF, ITS HEIRS, AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE TO THE LAND SO OEDICATED.

FURTHER, OWNERS HAVE OEDICATED AND BY THESE PRESENTS DO OEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSES, FOREVER, UNOEDSTRUCTED AERIAL EASEMENTS, THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL ELEVEN FEET, SIX INCHES (11' 6") FOR TEN FEET (10' 0") PERIMETER GROUND EASEMENTS OR SEVEN FEET, SIX INCHES (7' 6") FOR FOURTEEN FEET (14' 0") PERIMETER GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE OEDICATED WITH AERIAL EASEMENTS (U.E. & A.E.) AS INDICATED AND OEDICATED HEREON, WHEREBY THE AERIAL EASEMENTS TOTAL TWENTY-ONE FEET, SIX INCHES (21' 6") IN WIDTH.

FURTHER, OWNERS HAVE OEDICATED AND BY THESE PRESENTS DO OEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSES, FOREVER, UNOEDSTRUCTED AERIAL EASEMENTS, THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL TEN FEET (10' 0") FOR TEN FEET (10' 0") BACK-TO-BACK GROUND EASEMENTS OR EIGHT FEET (8' 0") FOR SIXTEEN FEET (16' 0") BACK-TO-BACK GROUND EASEMENTS OR SEVEN FEET (7' 0") FOR SIXTEEN FEET (16' 0") BACK-TO-BACK GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO BOTH SIDES AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE OEDICATED WITH AERIAL EASEMENTS (U.E. & A.E.) AS INDICATED AND OEDICATED HEREON, WHEREBY THE AERIAL EASEMENTS TOTAL THIRTY FEET (30' 0") IN WIDTH.

FURTHER, OWNERS DO HEREBY DECLARE THAT ALL PARCELS OF LAND DESIGNATED AS LOTS ON THIS PLAT ARE INTENDED FOR THE CONSTRUCTION OF SINGLE FAMILY RESIDENTIAL DWELLING UNITS THEREON, AND SHALL BE RESTRICTED FOR SAME UNDER THE TERMS AND CONDITIONS OF SUCH RESTRICTIONS FILED SEPARATELY.

FURTHER, OWNERS DO HEREBY COVENANT AND AGREE THAT ALL OF THE PROPERTY WITHIN THE BOUNDARIES OF THIS PLAT SHALL BE RESTRICTED TO PREVENT THE DRAINAGE OF ANY SEPTIC TANKS INTO ANY PUBLIC OR PRIVATE STREET, ROAD OR ALLEY OR ANY DRAINAGE DITCH, EITHER DIRECTLY OR INDIRECTLY.

FURTHER, OWNERS DO HEREBY OEDICATE TO THE PUBLIC A STRIP OF LAND TWENTY (20') FEET WIDE ON EACH SIDE OF THE CENTERLINE OF ANY AND ALL BAYOUS, CREEKS, GULLIES, RAVINES, DRAWS, SLOUGHS, OR OTHER NATURAL DRAINAGE COURSES LOCATED IN SAID PLAT, AS EASEMENTS FOR DRAINAGE PURPOSES, FORT BEND COUNTY OR ANY OTHER GOVERNMENTAL AGENCY SHALL HAVE THE RIGHT TO ENTER UPON SAID EASEMENT AT ANY AND ALL TIMES FOR THE PURPOSES OF CONSTRUCTION AND MAINTENANCE OF DRAINAGE FACILITIES AND STRUCTURES.

FURTHER, OWNERS DO HEREBY COVENANT AND AGREE THAT ALL OF THE PROPERTY WITHIN THE BOUNDARIES OF THIS SUBDIVISION AND ADJACENT TO ANY DRAINAGE EASEMENT, DITCH, GULLY, CREEK OR NATURAL DRAINAGE WAY SHALL BE RESTRICTED TO SUCH ORAINAGE WAYS AND EASEMENTS CLEAR OF FENCES, BUILDINGS, EXCESSIVE VEGETATION AND OTHER OBSTRUCTIONS TO THE OPERATION AND MAINTENANCE OF THE DRAINAGE FACILITY, AND THAT SUCH ADJUTING PROPERTY SHALL NOT BE PERMITTED TO DRAIN DIRECTLY INTO THIS EASEMENT EXCEPT BY MEANS OF AN APPROVED DRAINAGE STRUCTURE.

FURTHER, OWNERS DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF ALL PROPERTY IMMEDIATELY ADJACENT TO THE BOUNDARIES OF THE ABOVE AND FOREGOING PLAT OF SIENNA STEEP BANK VILLAGE SECTION FIVE-C, WHERE BUILDING SETBACK LINES OR PUBLIC UTILITY EASEMENTS ARE TO BE ESTABLISHED OUTSIDE THE BOUNDARIES OF THE ABOVE AND FOREGOING PLAT AND DO HEREBY MAKE AND ESTABLISH BUILDING SETBACK LINES AND OEDICATE TO THE USE OF THE PUBLIC FOREVER ALL PUBLIC UTILITY EASEMENTS SHOWN IN SAID ADJACENT ACREAGE.

WE FURTHER ACKNOWLEDGE THAT THE OEDICATIONS AND/OR EXACTIONS MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS OF THE CITY, WE, OUR SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT WE MAY HAVE AS A RESULT OF THE OEDICATION OR EXACTIONS MADE HEREIN.

FURTHER, OWNERS DO HEREBY ACKNOWLEDGE THE RECEIPT OF THE ORDERS FOR REGULATION OF OUTDOOR LIGHTING IN THE UNINCORPORATED AREAS OF FORT BEND COUNTY, TEXAS, AND DO HEREBY COVENANT AND AGREE AND SHALL COMPLY WITH THIS ORDER AS ADOPTED BY FORT BEND COUNTY COMMISSIONERS COURT ON MARCH 23, 2004.

IN TESTIMONY WHEREOF, SIENNA/JOHNSON DEVELOPMENT, L.P., HAS CAUSED THESE PRESENTS TO BE SIGNED BY MICHAEL J. SMITH, ITS VICE PRESIDENT AND GENERAL MANAGER, THEREUNTO AUTHORIZED, ATTESTED BY ITS SECRETARY, JEAN FARLEY, THIS 18th DAY OF Aug, 2005.

SIENNA / JOHNSON DEVELOPMENT, L.P.

BY: Michael J. Smith  
MICHAEL J. SMITH, VICE PRESIDENT AND GENERAL MANAGER  
ATTEST: Jean Farley  
JEAN FARLEY, SECRETARY

STATE OF TEXAS  
COUNTY OF FORT BEND

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MICHAEL J. SMITH, VICE PRESIDENT AND GENERAL MANAGER OF SIENNA / JOHNSON DEVELOPMENT, L.P., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN AND HEREIN SET OUT.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 19th DAY OF August, 2005.

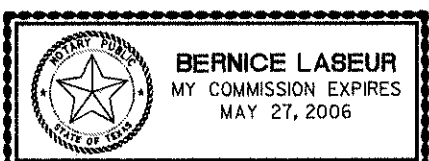


Patricia Gallagher  
NOTARY PUBLIC IN AND FOR THE  
STATE OF TEXAS  
MY COMMISSION EXPIRES: 6-24-06

STATE OF TEXAS  
COUNTY OF FORT BEND

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JEAN FARLEY, SECRETARY OF SIENNA / JOHNSON DEVELOPMENT, L.P., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN AND HEREIN SET OUT.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 19th DAY OF August, 2005.



Bernice Laseur  
NOTARY PUBLIC IN AND FOR THE  
STATE OF TEXAS  
MY COMMISSION EXPIRES: 05-27-2006

IN TESTIMONY WHEREOF, SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT HAS CAUSED THESE PRESENTS TO BE SIGNED BY KENDALL BECKMAN, ITS PRESIDENT, THEREUNTO AUTHORIZED, ATTESTED BY ITS VICE PRESIDENT, JEFFREY SCARBOROUGH, THIS 25th DAY OF August, 2005.

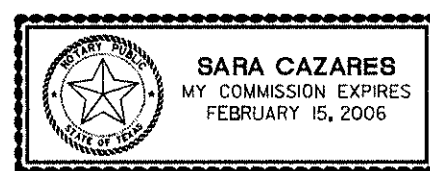
SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT

BY: Kendall Beckman  
KENDALL BECKMAN, PRESIDENT  
ATTEST: Jeffrey Scarborough  
JEFFREY SCARBOROUGH, VICE PRESIDENT

STATE OF TEXAS  
COUNTY OF FORT BEND

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED KENDALL BECKMAN AND JEFFREY SCARBOROUGH OF SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT, KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN AND HEREIN SET OUT, AND AS THE ACT AND OED OF SAID CORPORATION.

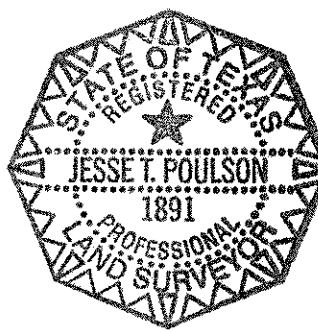
GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 25th DAY OF August, 2005.



Sara Cazares  
NOTARY PUBLIC IN AND FOR THE  
STATE OF TEXAS  
MY COMMISSION EXPIRES: 02-15-06

I, JESSE T. POULSON, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THE ABOVE SUBDIVISION IS TRUE AND CORRECT, WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND AND THAT ALL BOUNDARY CORNERS, ANGLE POINTS, AND POINTS OF CURVATURE HAVE BEEN MARKED WITH IRON (OR OTHER SUITABLE PERMANENT FERROUS METAL) PIPES OR RODS HAVING AN OUTSIDE DIAMETER OF NOT LESS THAN FIVE EIGHTHS INCH (5/8") AND A LENGTH OF NOT LESS THAN THREE FEET (3') (SEE NOTE 10), AND THAT THE PLAT BOUNDARY CORNERS HAVE BEEN TIED TO THE NEAREST SURVEY CORNER.

Jesse T. Poulson  
JESSE T. POULSON,  
REGISTERED PROFESSIONAL LAND SURVEYOR  
TEXAS REGISTRATION NO. 1891



I, MICHAEL S. RUSK, A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF TEXAS DO HEREBY CERTIFY THAT THIS PLAT MEETS ALL REQUIREMENTS OF FORT BEND COUNTY AND THE CITY OF MISSOURI CITY, TO THE BEST OF MY KNOWLEDGE.

Michael S. Rusk  
MICHAEL S. RUSK,  
LICENSED PROFESSIONAL ENGINEER  
TEXAS REGISTRATION NO. B9457



THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF MISSOURI CITY, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF SIENNA STEEP BANK VILLAGE SECTION FIVE-C, IN CONFORMANCE WITH THE LAWS OF THE STATE OF TEXAS AND THE ORDINANCES OF THE CITY OF MISSOURI CITY AS SHOWN HEREON AND AUTHORIZED THE RECORDING OF THIS PLAT THIS DAY OF August, 2005.

Ron Lee  
BY: RON LEE, CHAIRMAN  
Bill McRea  
BY: BILL MCREA, VICE CHAIRMAN

I, D. JESSE HEGEMER, FORT BEND COUNTY ENGINEER, DO HEREBY CERTIFY THAT THE PLAT OF THIS SUBDIVISION COMPLIES WITH ALL OF THE EXISTING RULES AND REGULATIONS OF THIS OFFICE AS ADOPTED BY THE FORT BEND COUNTY COMMISSIONERS' COURT, HOWEVER, IF A PLAT IS HEREBY GIVEN AS TO THE EFFECT OF DRAINAGE FROM THIS SUBDIVISION ON THE INTERCEPTING ORAINAGE ARTERY OR PARENT STREAM OR ON ANY OTHER AREA OR SUBDIVISION WITHIN THE WATERSHED.

D. Jesse Hegemer  
D. JESSE HEGEMER, P.E.  
FORT BEND COUNTY ENGINEER

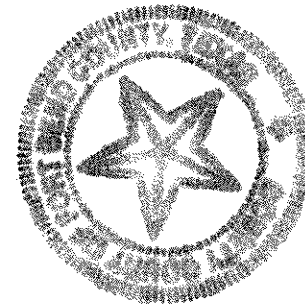
APPROVED BY THE COMMISSIONERS' COURT OF FORT BEND COUNTY, TEXAS, THIS 30th DAY OF August, 2005.

Tom D. Stavinoha  
TOM D. STAVINOH, COMMISSIONER, PRECINCT 1  
Grady Prestage  
GRADY PRESTAGE, COMMISSIONER, PRECINCT 2

Robert E. Hebert  
ROBERT E. HEBERT, COUNTY JUDGE  
W. A. (Andy) Meyers  
W. A. (ANDY) MEYERS, COMMISSIONER, PRECINCT 3  
James Patterson  
JAMES PATTERSON, COMMISSIONER, PRECINCT 4

I, DIANNE WILSON, COUNTY CLERK IN AND FOR FORT BEND COUNTY, HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORDATION IN MY OFFICE ON August 30th, 2005, AT 3:34 P.M., IN PLAT NO. 2050115 OF THE PLAT RECORDS OF SAID COUNTY.

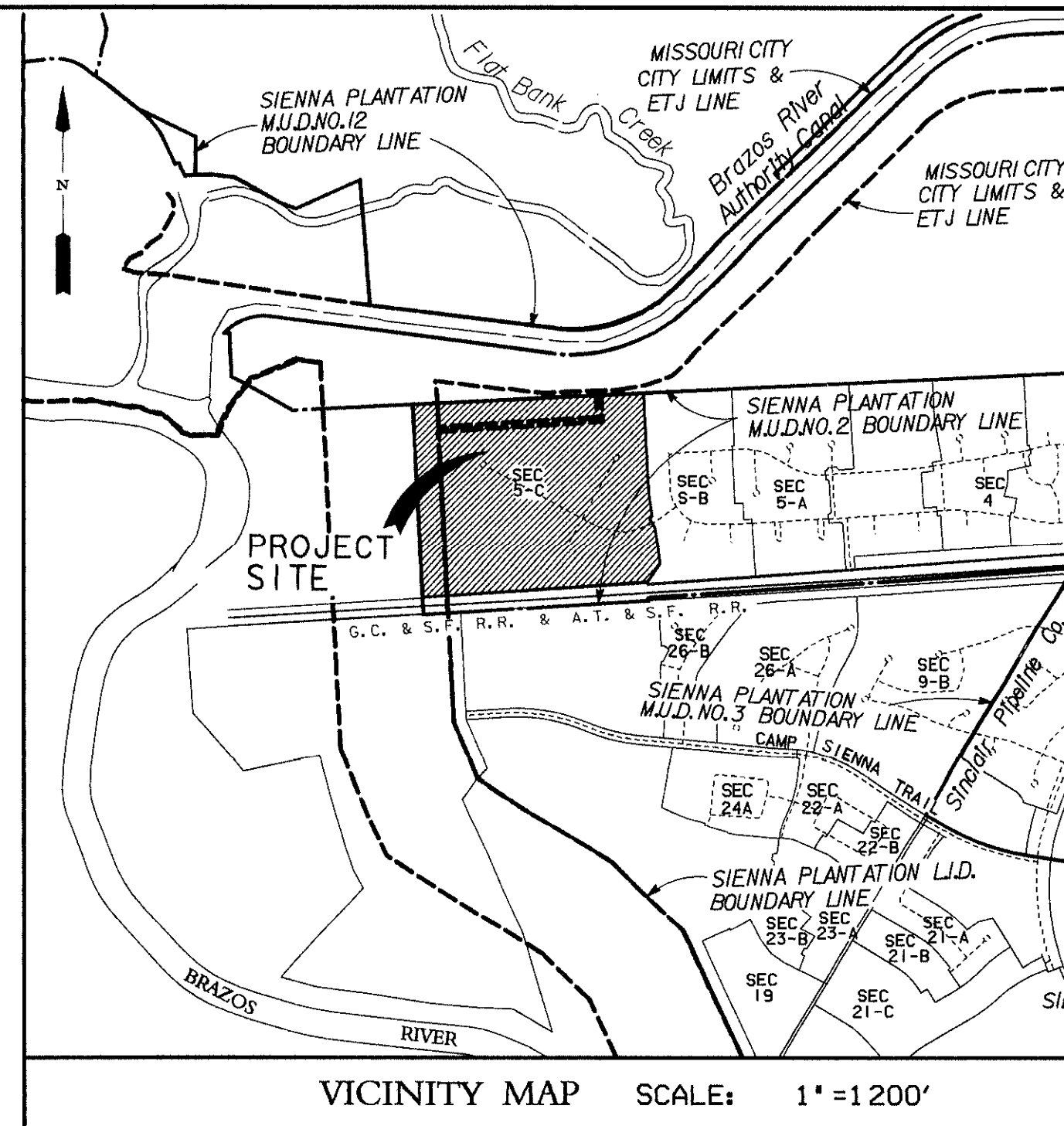
WITNESS MY HAND AND SEAL OF OFFICE, AT RICHMOND, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.



Dr. Dianne Wilson  
DIANNE WILSON, CLERK OF THE COUNTY  
OF FORT BEND, TEXAS  
BY: Dea Angles  
DEPUTY

GENERAL NOTES

- B.L. INDICATES BUILDING LINE; U.E. INDICATES UTILITY EASEMENT; STM. S.E. INDICATES STORM SEWER EASEMENT; S.S.E. INDICATES SANITARY SEWER EASEMENT; A.E. INDICATES AERIAL EASEMENT; W.L.E. INDICATES WATER LINE EASEMENT; F.B.C.D.R. INDICATES FORT BEND COUNTY OFFICIAL RECORDS; F.B.C.D.R. INDICATES FORT BEND DEED RECORDS; F.B.C.D.R. INDICATES FORT BEND COUNTY DEED RECORDS; F.M. INDICATES FORT BEND COUNTY MAIN EASEMENT; D.E. INDICATES DRAINAGE EASEMENT; E.E. INDICATES ELECTRICAL EASEMENT.
- THERE ARE NO PIPELINES OR PIPELINE EASEMENTS WITHIN THE BOUNDARIES OF THIS PLAT.
- THE MINIMUM SLAB ELEVATION WILL BE 18" ABOVE TOP OF CURB IN FRONT OF LOTS OR 12" ABOVE THE 100-YEAR FLOOD ELEVATION, WHICHEVER IS GREATER. THE MINIMUM FINISHED FLOOR ELEVATION SHALL BE ONE FOOT ABOVE THE 100-YEAR BASE FLOOD ELEVATION AS DETERMINED BY THE FLOOD INSURANCE RATE MAP DATED JANUARY 3, 1997 AND SHALL MEET STANDARDS ESTABLISHED BY FEMA AND ALL APPLICABLE CITY REQUIREMENTS, INCLUDING THE CITY INFRASTRUCTURE CODE AS REQUIRED BY SECTION B2-97 (11) OF THE CODE OF ORDINANCES OF THE CITY OF MISSOURI CITY, TEXAS.
- ALL SLAB ELEVATIONS SHALL BE ONE FOOT ABOVE THE 100-YEAR FLOOD ELEVATION AS ESTABLISHED BY FEMA. IN ACCORDANCE WITH FEDERAL EMERGENCY MANAGEMENT AGENCY COMMUNITY PANEL NO. 40157C0270, MAP REVISED JANUARY 3, 1997, THIS PLAT LIES IN ZONE "X", OUTSIDE THE 100-YEAR FLOOD PLAIN.
- THE TOP OF ALL FLOOR SLABS SHALL BE A MINIMUM OF 58.77 FEET ABOVE MEAN SEA LEVEL. THE TOP OF SLAB ELEVATION AT ANY POINT ON THE PERIMETER OF THE SLAB SHALL NOT BE LESS THAN EIGHTEEN (18) INCHES ABOVE NATURAL GROUND.
- THE CITY OF MISSOURI CITY SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF DRIVEWAYS, SIDEWALKS, EMERGENCY ACCESS EASEMENTS, RECREATIONAL AREAS, OPEN SPACES, AND RESERVES.
- BENCHMARK: FND. A N.G.S. MON. ON THE TOP OF A FIVE EIGHTHS INCH COPPER COATED IRON ROD, WITH THE UPPER PORTION OF THE ROD ENCASED IN A 8 INCH IRON PIPE LOCATED APPROXIMATELY 35 FEET SOUTH OF RAILROAD AND S. RAILWAY AND S. RAILWAY OF APPROXIMATELY 35 FEET EAST OF OLD POWER POLE AND ALSO ON COASTAL STATES PIPELINE ELEV. = 56.47 1973 ADJUSTMENT.
- THIS PLAT LIES WITHIN FORT BEND COUNTY SUBSIDENCE DISTRICT, FORT BEND COUNTY DRAINAGE DISTRICT, SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT AND SIENNA PLANTATION MUNICIPAL UTILITY DISTRICT NO. 2.
- ALL EASEMENTS ARE CENTERED ON LOT LINES UNLESS OTHERWISE NOTED.
- FIVE EIGHTHS (5/8") INCH IRON RODS THREE FEET (3') IN LENGTH WITH PLASTIC CAP MARKED "L&N" WILL BE SET ON ALL PERIMETER BOUNDARY CORNERS, UNLESS OTHERWISE NOTED.
- ALL OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING PLAT LIES WITHIN THE ETJ BOUNDARIES OF THE CITY OF MISSOURI CITY, TEXAS AND THE CORPORATE LIMITS OF MISSOURI CITY, TEXAS.
- THIS PLAT WAS PREPARED FROM INFORMATION FURNISHED BY PARTNERS TITLE COMPANY OF HOUSTON, CERTIFICATE NO. MS02768, EFFECTIVE DATE 2005. THE SURVEYOR HAS NOT ABSTRACTED THE ABOVE PROPERTY.
- GARAGES FACING A SIDE STREET SHALL HAVE A SETBACK OF NOT LESS THAN TWENTY FEET (20').
- ALL REQUIRED UTILITY COMPANIES HAVE BEEN CONTACTED AND ALL PUBLIC UTILITY DRAINAGE DISTRICT, SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT AND SIENNA PLANTATION MUNICIPAL UTILITY DISTRICT NO. 2.
- ALL BEARINGS ARE REFERENCED TO THE TEXAS STATE PLANE COORDINATE SYSTEM SOUTH CENTRAL ZONE (NAD27). COORDINATES SHOWN ARE SURFACE AND MAY BE CONVERTED TO GRID BY MULTIPLYING BY A FACTOR OF 0.999867973.
- NO BUILDING OR OTHER PERMIT, EXCEPT PERMITS FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS WILL BE ISSUED BY THE CITY OF MISSOURI CITY, TEXAS, FOR CONSTRUCTION WITHIN THIS SUBDIVISION UNTIL SUCH TIME AS ALL PUBLIC IMPROVEMENTS OF THE SUBDIVISION HAVE BEEN CONSTRUCTED BY THE DEVELOPER AND ACCEPTED BY THE CITY OR THE GUARANTEE OF CONSTRUCTION OF PUBLIC IMPROVEMENTS REQUIRED BY SECTION B2-208 OF THE CODE OF ORDINANCES OF THE CITY OF MISSOURI CITY, TEXAS, IS SUBMITTED TO AND APPROVED BY THE CITY.
- PRIOR TO THE BEGINNING OF THE ONE-YEAR MAINTENANCE PERIOD FOR UTILITIES AND PAVING BY FORT BEND COUNTY, ALL BLOCK CORNERS AND STREET RIGHTS-OF-WAY WILL BE MONUMENTED.
- SIDEWALK/TRAILS SHALL BE CONSTRUCTED AS REQUIRED BY THE SIENNA PLANTATION JOINT DEVELOPMENT AGREEMENT WITH THE CITY OF MISSOURI CITY AND AS REQUIRED BY SECTION B2-164 OF THE CODE OF ORDINANCES FOR THE CITY OF MISSOURI CITY. SIDEWALK/TRAILS SHALL BE CONSTRUCTED BY THE DEVELOPER ALONG ALL STREETS WHERE HOUSES DO NOT FRONT OR SIDE PRIOR TO ACCEPTANCE OF STREETS WITHIN THIS SUBDIVISION BY FORT BEND COUNTY INTO THE ONE YEAR MAINTENANCE PERIOD. BEFORE CERTIFICATES OF OCCUPANCY SHALL BE ISSUED, BUILDERS OF HOMES SHALL CONSTRUCT SIDEWALKS ALONG STREETS ON WHICH HOMES FRONT AND ALONG STREETS ON WHICH HOMES SIDE.
- THE DRAINAGE SYSTEM FOR THIS SUBDIVISION IS DESIGNED IN ACCORDANCE WITH THE FORT BEND COUNTY DRAINAGE CRITERIA MANUAL WHICH ALLOWS STREET PONDING WITH INTENSE RAINFALL EVENTS.
- METER LOCATION: IN ACCORDANCE WITH CENTERPOINT ENERGY SERVICE STANDARDS, ARTICLE 406.52, ELECTRIC METERS SHALL BE LOCATED IN AN AREA ACCESSIBLE WITHOUT CUSTOMER ASSISTANCE, AND NOT BLOCKED BY FENCES, WALLS OR GATES. FOR FURTHER INFORMATION IN THE SUGAR LAND DISTRICT AREA, CALL (281) 561-2995.
- THIS PLAT IS SUBORDINATED BY:  
RESIDENTIAL FUNDING CORR. AS RECORDED IN FILE NO. 2005106728, OFFICIAL RECORDS OF FORT BEND COUNTY, TEXAS.
- DRIVEWAY APPROACHES SHALL BE PROVIDED IN ACCORDANCE WITH THE MISSOURI CITY DRIVEWAY APPROACH POLICY AS REQUIRED UNDER THE PROVISIONS OF SUBSECTIONS B2-160 OF THE CODE OF ORDINANCES OF THE CITY OF MISSOURI CITY, TEXAS.
- AN UNIMPROVED TRAIL WILL BE LOCATED ALONG THE LEVEE ON THE NORTH SIDE OF SIENNA STEEP BANK VILLAGE SECTION FIVE-C, WITHIN RESERVE 1B.
- ADEQUATE FIRE FLOWS SHALL BE PROVIDED ALONG THE ENTIRE LENGTH OF THE PROPOSED WATER LINE.
- THIS PLAT LIES WITHIN FORT BEND LIGHTING ORAINANCE ZONE NO. 3
- ALL LOT LINES SHALL HAVE A MINIMUM 5' SIDE YARD SETBACK LINE.
- GAS METERS SHALL BE LOCATED IN AN AREA ACCESSIBLE WITHOUT CUSTOMER ASSISTANCE, AND NOT BLOCKED BY FENCES, WALLS, OR GATES. FOR FURTHER INFORMATION PLEASE CONTACT SIENERGY AT 281-778-6260.



KEY MAP NO. 649 M

PLAT ATTACHED 2005106725  
39 PGS

FILED AND RECORDED

OFFICIAL PUBLIC RECORDS

Dr. Dianne Wilson  
2005 Aug 30 03:39 PM 20050115

EO 32,050.00  
Dianne Wilson, Ph.D. COUNTY CLERK  
FT BEND COUNTY TEXAS

## SIENNA STEEP BANK VILLAGE SECTION FIVE-C

A SUBDIVISION OF 65.696 ACRES LOCATED IN THE THOMAS BARNETT LEAGUE, A-7, BEING OUT OF THE SIENNA / JOHNSON DEVELOPMENT, L.P., 598.270 ACRES KNOWN AS TRACT TWO RECORDED IN FILE NO. 2000029467 OF THE OFFICIAL RECORDS OF FORT BEND COUNTY, AND ALSO BEING OUT OF THE SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT 57.749 ACRE TRACT RECORDED IN FILE NO. 9741281 OF THE OFFICIAL RECORDS OF FORT BEND COUNTY, CITY OF MISSOURI CITY AND FORT BEND COUNTY, TEXAS

31 LOTS 6 RESERVES 1 BLOCK

AUGUST 18, 2005 JOB NO. 1193-1105-006

OWNER:

SIENNA / JOHNSON DEVELOPMENT, L.P.

MICHAEL J. SMITH, VICE PRESIDENT AND GENERAL MANAGER  
3777 SIENNA PARKWAY, MISSOURI CITY, TEXAS 77459 PH. (281) 778-7777  
SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT  
3200 SOUTHWEST FREEWAY, SUITE 2600, HOUSTON, TEXAS 77027

ENGINEER:

**LJA Engineering & Surveying, Inc.**  
2929 Briarpark Drive  
Suite 800  
Houston, Texas 77042-3703  
Phone 713.953.6200  
Fax 713.953.6026

JESSE T. POULSON,  
REGISTERED PROFESSIONAL LAND SURVEYOR,  
TEXAS REGISTRATION NO. 1891

MICHAEL S. RUSK,  
LICENSED PROFESSIONAL ENGINEER,  
TEXAS REGISTRATION NO. 89457



RESERVE TABLE			
RESERVE NO.	TYPE	ACREAGE	SQ. FT.
RESERVE 'A'	DRAINAGE	14.707	640,625
RESERVE 'B'	LEVEE	7.378	321,372
RESERVE 'C'	OPEN SPACE/DRAINAGE	15.187	661,557
RESERVE 'D'	OPEN SPACE	2.552	111,172
RESERVE 'E'	OPEN SPACE	0.857	37,337
RESERVE 'F'	LIFT STATION	0.068	2,965
TOTAL		40.749	1,775,028

RESIDUE OF 87.05 AC.  
GULF COAST  
WATER AUTHORITY  
CLERK FILE  
NO. 2000009777  
F.B.C.O.P.R.

CALLED 8.462 AC.  
SIENNA PLANTATION L.I.D.  
CLERK FILE NO. 2000009783  
F.B.C.O.P.R.

200' WIDE FORT BEND COUNTY  
DRAINAGE RIGHT-OF-WAY & ESM'T.  
VOL. 893, PAGE 219  
F.B.C.D.R.

57.749 ACRES  
120' SIENNA PLANTATION LEVEE  
IMPROVEMENT DISTRICT FEE  
FILE NO. 9741281  
F.B.C.O.R.

60.724 ACRE TRACT  
(FORT BEND COUNTY)  
VOL. 1908, PG. 591  
F.B.C.O.R.

200' WIDE FORT BEND COUNTY  
DRAINAGE RIGHT-OF-WAY & ESM'T.  
VOL. 893, PAGE 219  
F.B.C.D.R.

SIENNA PLANTATION  
M.U.D. NO. 2 BOUNDARY LINE

RESERVE 'C'

SIENNA ACREAGE ESTATES  
PHASE THREE-A  
SLIDE NO. S. 2522B & 2523A  
F.B.C.P.R.

P.O.B.  
X= 3,100,394.9861  
Y= 623,482,881.4

RESERVE 'A'

SIENNA PLANTATION  
M.U.D. NO. 2 BOUNDARY LINE

SIENNA PLANTATION  
L.I.D. BOUNDARY LINE

CURVE TABLE

CURVE	RADIUS	TANGENT	CHORD	ARC	DELTA	CHORD BEARING
1	485.00	8.94	17.88	17.88	02°12'10"	S-87-31-18-W
2	624.71	287.28	517.30	540.94	89°04'06"	S-89-32-01-W
3	25.00	25.00	35.36	35.27	90°00'00"	S-74-04-04-W
4	25.00	9.81	18.26	18.69	42°50'00"	S-07-38-04-W
5	50.00	9.81	73.33	231.84	285°40'01"	N-60-55-56-W
6	25.00	9.81	18.26	18.69	42°50'00"	N-50-29-04-E
7	25.00	25.00	35.36	35.27	90°00'00"	N-15-55-56-W
8	25.00	9.81	18.26	18.69	42°50'00"	N-82-20-56-W
9	50.00	9.81	73.33	231.84	285°40'01"	N-28-04-04-E
10	25.00	9.81	18.26	18.69	42°50'00"	S-39-30-56-E
11	25.00	25.00	35.36	35.27	90°00'00"	N-74-04-04-E
12	25.00	9.81	18.26	18.69	42°50'00"	N-07-38-04-E
13	50.00	9.81	73.33	231.84	285°40'01"	S-60-55-56-E
14	25.00	9.81	18.26	18.69	42°50'00"	S-60-29-04-W
15	25.00	25.00	35.36	35.27	90°00'00"	S-15-55-56-E
16	474.69	276.27	477.60	500.43	60°22'21"	N-88-82-43-E
17	50.00	30.49	30.08	64.76	62°44'48"	S-60-55-56-E
18	624.71	15.95	31.89	31.89	05°38'50"	N-61-44-28-E
19	485.00	12.03	24.06	24.05	02°57'50"	S-57-58-01-W
20	474.69	31.19	62.25	62.29	07°30'57"	S-78-53-50-W
21	500.00	286.80	497.58	520.78	59°40'39"	N-89-13-45-E

LINE TABLE

LINE	BEARING	DISTANCE
1	S-89-32-01-W	8.89
2	S-30-38-34-E	85.45
3	N-60-55-56-W	44.28
4	S-07-38-04-W	102.01
5	N-28-04-04-E	102.01
6	S-60-55-56-W	4.30
7	S-60-55-56-E	5.90
8	S-60-55-56-E	15.46
9	N-28-04-04-E	24.01
10	S-39-30-56-E	100.02
11	S-29-04-04-W	46.00
12	N-60-55-56-E	46.04
13	S-60-55-56-E	46.04
14	N-88-82-43-E	33.52
15	N-60-55-56-W	50.00
16	N-87-05-18-E	30.00
17	S-74-06-38-W	77.41
18	S-19-08-24-W	106.63
19	S-08-34-54-E	71.37
20	S-11-25-06-W	46.95
21	N-02-29-27-E	75.95
22	N-02-29-27-E	79.38
23	N-01-25-06-E	46.95
24	S-09-34-54-E	75.15

PLAT ATTACHED 2005106725  
38 PGS  
**FILED AND RECORDED**  
OFFICIAL PUBLIC RECORDS  
*Dr. Anne Wilson*  
2005 Aug 30 03:30 PM  
EG 32,050.00  
20050175  
Dianne Wilson, Ph.D. COUNTY CLERK  
FT BEND COUNTY TEXAS

## SIENNA STEEP BANK VILLAGE SECTION FIVE-C

A SUBDIVISION OF 65.696 ACRES LOCATED IN THE THOMAS BARNETT LEAGUE, A-7, BEING OUT OF THE SIENNA / JOHNSON DEVELOPMENT, L.P., 598.270 ACRES KNOWN AS TRACT TWO RECORDED IN FILE NO. 2000029467 OF THE OFFICIAL RECORDS OF FORT BEND COUNTY, AND ALSO BEING OUT OF THE SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT 57.749 ACRE TRACT RECORDED IN FILE NO. 9741281 OF THE OFFICIAL RECORDS OF FORT BEND COUNTY, CITY OF MISSOURI CITY AND FORT BEND COUNTY, FORT BEND COUNTY, TEXAS

31 LOTS      6 RESERVES      1 BLOCK  
AUGUST 18, 2005      JOB NO. 1193-1105-006

OWNER:  
**SIENNA / JOHNSON DEVELOPMENT, L.P.**  
MICHAEL J. SMITH, VICE PRESIDENT AND GENERAL MANAGER  
3777 SIENNA PARKWAY, MISSOURI CITY, TEXAS 77459 PH. (281) 778-7777  
**SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT**  
3200 SOUTHWEST FREEWAY, SUITE 2600, HOUSTON, TEXAS 77027

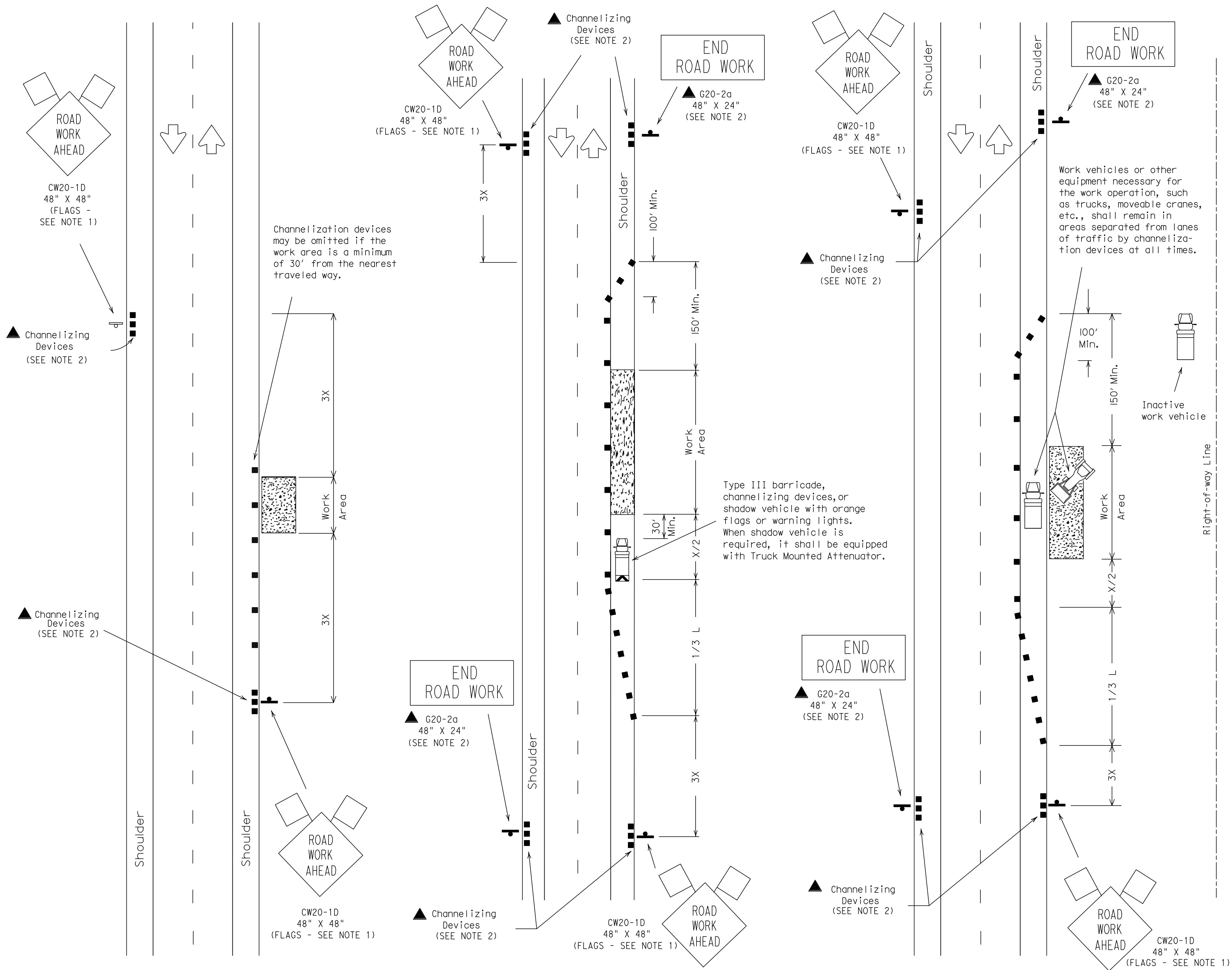
ENGINEER:  
**LJA Engineering & Surveying, Inc.**  
2929 Briarpark Drive  
Suite 600  
Houston, Texas 77042-3703  
Phone 713.953.5200  
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DISCLAIMER  
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LEVELS DISPLAYED	DATE:											
	1	2	3	4	5	6	7	8	9	10	11	12
1	2	3	4	5	6	7	8	9	10	11	12	
2	3	4	5	6	7	8	9	10	11	12		
3	4	5	6	7	8	9	10	11	12			
4	5	6	7	8	9	10	11	12				
5	6	7	8	9	10	11	12					
6	7	8	9	10	11	12						
7	8	9	10	11	12							
8	9	10	11	12								
9	10	11	12									
10	11	12										
11	12											
12												



LEGEND			
	Type III Barricade		Channelizing Devices
	Flag		Heavy Work Vehicle
	Truck Mounted Attenuator		Trailer Mounted Flashing Arrow Panel
	Portable Changeable Message Sign		Sign Post
	Flagger		

Posted Speed $\times$	Formula	Minimum Desirable Taper Lengths $\times$			Suggested Maximum Spacing of Device		Minimum Sign Spacing $\times$ Distance
		10' Offset	11' Offset	12' Offset	On a Taper	On a Tangent	
30	$L = \frac{WS^2}{60}$	150'	165'	180'	30'	60' - 75'	120'
35		205'	225'	245'	35'	70' - 90'	160'
40		265'	295'	320'	40'	80' - 100'	240'
45	L=WS	450'	495'	540'	45'	90' - 110'	320'
50		500'	550'	600'	50'	100' - 125'	400'
55		550'	605'	660'	55'	110' - 140'	500'
60		600'	660'	720'	60'	120' - 150'	$\times$ 600'
65		650'	715'	780'	65'	130' - 165'	$\times$ 700'
70		700'	770'	840'	70'	140' - 175'	$\times$ 800'

$\times$  Conventional Roads Only  
 $\times \times$  Taper lengths have been rounded off.  
L=Length of Taper (FT.) W=Width of Offset (FT.) S=Posted Speed (MPH)

TYPICAL USAGE:				
MOBILE	SHORT DURATION	SHORT TERM STATIONARY	INTERMEDIATE TERM STATIONARY	LONG TERM STATIONARY
	✓	✓		

- GENERAL NOTES:
- Unless otherwise stated in the plans, flags attached to signs are **REQUIRED**.
  - All traffic control devices illustrated are **REQUIRED**, except those denoted with the triangle symbol may be omitted when stated elsewhere in the plans.
  - On high speed facilities advance warning signs should be installed approximately 3X from the work area or from the beginning of a lane or shoulder taper. On low speed facilities the advance warning signs should be placed based on the "X" minimum distance.
  - Inactive work vehicles or other equipment should be parked near the right-of-way line and not parked on the paved shoulder.

Only pre-qualified products shall be used. A list of compliant products and their sources may be obtained by writing or faxing:

Standards Engineer  
Traffic Operations Division - TE  
Texas Department of Transportation  
125 East 11th Street  
Austin, Texas 78701-2483  
Phone (512) 416-3335  
Fax (512) 416-3161  
E-mail TRF-STANDARD@mailgw.dot.state.tx.us

The requirement for shadow vehicles will be listed in the project GENERAL NOTES, Item 502, Barricades, Signs and Traffic Handling.

STANDARD PLANS  
TEXAS DEPARTMENT OF TRANSPORTATION  
Traffic Operations Division

TRAFFIC CONTROL PLAN

TCP (1-1) -98

© TxDOT December 1985		DN- LR	CK- MT	DN- DN	CK- MT	NEG NO.:
REVISIONS	STATE DISTRICT	FEDERAL REGION	FEDERAL AID PROJECT			SHEET
2-94		6				
8-95			COUNTY	CONTROL	SECTION	JOB
1-97						HIGHWAY
4-98						