

REVIEW BY FORT BEND COUNTY COMMISSIONERS COURT

On this 22nd day of November, 2016, Commissioners Court came on to be heard and reviewed the accompanying notice of Helker & Crawford Construction, LP
Job Location 2735 Sienna Parkway, Missouri City, TX 77459
Date 10/28/2016 Bond No. 0201898, Permit No. 2016-10279 to make use of certain Fort Bend County property subject to, "A Revised Order Regulating the Laying, Construction, Maintenance, and Repair of Buried Cables, Conduits, and Pole Lines, In, Under, Across or Along Roads, Streets, Highways, and Drainage Ditches in Fort Bend County, Texas, Under the Jurisdiction of the Commissioners Court of Fort Bend County, Texas," as passed by the Commissioners Court of Fort Bend County, Texas the 3rd day of August, 1987, recorded in Volume _____ of the Minutes of the Commissioners Court of Fort Bend County, Texas, to the extent that such order is not inconsistent with Article 1436a, Vernon's Texas Civil Statutes. Upon Motion of Commissioner _____, seconded by Commissioner _____, duly put and carried, it is ORDERED, ADJUDGED AND DECREED that said notice of said above purpose is hereby acknowledged by the Commissioners Court of Fort Bend County, Texas, and that said notice be placed on record according to the regulation order thereof.

Notes:

1. Evidence of review by the Commissioners Court must be kept on the job site and failure to do so constitutes grounds for job shutdown.
2. Written notices are required:
 - a. 48 hours in advance of construction start up, and
 - b. when construction is completed and ready for final inspectionMail notices to: Permit Administrator
Fort Bend County Engineering
301 Jackson Street
Richmond, Texas 77469
281-633-7500
3. This permit expires one (1) year from date of permit if construction has not commenced.

By:

for

County Engineer

N/A

By:

Drainage District Engineer/Manager

Presented to Commissioners Court and
approved.
Recorded in Volume _____

Minutes of Commissioners Court

Clerk of Commissioners Court

By:

Deputy

Engineering Department

Phone: (281) 633-7500

Permit No. 2016-10279

X (1) Complete Application Form:

X	c. Plans and specifications
---	-----------------------------

Perpetual bond currently posted.

Amount:

Amount: \$10,000.00

Cashier's Check

Amount:

Date _____

Date _____

Assistant County Engineer

Date _____

**PERFORMANCE BOND COVERING ALL CABLE, CONDUIT AND/OR POLE LINE
ACTIVITY IN, UNDER, ACROSS OR ALONG FORT BEND COUNTY ROAD**

AUTHORIZED

BOND NO 0201898

THE STATE OF TEXAS

§

KNOW ALL MEN BY THESE PRESENTS:

COUNTY OF FORT BEND

§

THAT WE, Helker & Crawford Construction, LP whose address is 720 Valley Ridge Circle, Suite 1, Lewisville, TX 75057 Texas, hereinafter called the Principal, And Berkley Insurance Company, a Corporation existing under and by virtue of the laws of the state of Delaware and authorized to do an indemnifying business in the state of Texas, and whose principal office is located at 475 Steamboat Road, Greenwich, CT 06830, whose officer residing in the State of Texas, authorized to accept service in all suits and actions brought whining said state is Randy Calhoun and Whose address is 12400 Coit Road, Suite 625, Dallas, TX 75251, hereinafter called the Surety, and held and firmly bound unto, Robert e. Hebert, County Judge of Fort Bend County, Texas, or his successors in office, in the full sum of Ten Thousand & NO/100----- Dollars (\$ 10,000.00----) current, lawful money of the United States of America, to be paid to said Robert E. Hebert, County Judge of Fort Bend County, Texas, or his successors in office, to which payment well and truly to be made and done, we, the undersigned, bind ourselves and each of us, our heirs, executors, administrators, successors, assigns, and legal representatives, jointly and severally, by these presents.

THE CONDITION OF THIS BOND IS SUCH THAT, WHEREAS, the above bounden principal contemplates laying, constructing, maintaining and/or repairing one or more cables, conduits, and/or pole lines in, under, across and/or along roads, streets and highways, commercial driveway and median openings or modifications in the County of Fort Bend, and the State of Texas, under the jurisdiction of the Commissioners' Court of Fort Bend County, Texas, pursuant to the Commissioners' Court order adopted on the 1st day of December, A.D. 1980, recorded in Volume 13, of the Commissioners' Court Minutes of Fort Bend County, Texas, regulating same, which Commissioners' Court order is hereby referred to and made a part hereof for all purposes as though fully set out herein;

AND WHEREAS, the principal desires to provide Fort Bend County with a performance bond covering all such cable, conduit and/or pole line activity, commercial driveway and median openings or modifications;

NOW, THEREFORE, if the above bounden principal shall faithfully perform all its cable, conduit and/or pole line activity (including, but not limited to the laying, construction, maintenance and/or repair of cables, conduits and/or pole lines) in, under, across and/or along roads, streets and highways, commercial driveway and median openings or modifications in the County of Fort Bend and State of Texas, under the jurisdiction of the Commissioners Court of Fort Bend County, Texas, pursuant to and in accordance with minimum requirements and conditions of the above mentioned Commissioners' Court order set forth and specified to be by said principal done and performed, at the time and in the manner therein specified, and shall pay over and make good and reimburse Fort Bend County, all loss and damages which Fort Bend County may sustain by reason of any failure or default on the part of said principal, then this obligation shall be null and void, otherwise to remain in full force and effect.

This bond is payable at the County Courthouse in the County of Fort Bend and State of Texas.

It is understood that at any time Fort Bend County deems itself insecure under this bond, it may require further and/or additional bonds of the principal.

EXECUTED this 28th day of October, 20 16.

Helker & Crawford Construction, LP

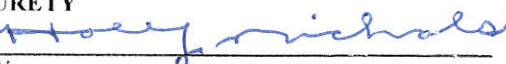
PRINCIPAL

By: 

BY

Nathan D. Crawford - President
Berkley Insurance Company

SURETY

BY: 

BY

Holly Nichols, Attorney-in-fact

POWER OF ATTORNEY
BERKLEY INSURANCE COMPANY
 WILMINGTON, DELAWARE

NOTICE: The warning found elsewhere in this Power of Attorney affects the validity thereof. Please review carefully.

KNOW ALL MEN BY THESE PRESENTS, that BERKLEY INSURANCE COMPANY (the "Company"), a corporation duly organized and existing under the laws of the State of Delaware, having its principal office in Greenwich, CT, has made, constituted and appointed, and does by these presents make, constitute and appoint: **Thomas R. Guy; Paul M. Hurley; Robert D. Heuer; Michael D. Lechner; Mark T. Madden; Holly Nichols; or Michelle Buechel of Guy Hurley Blaser & Heuer, LLC of Troy, MI** its true and lawful Attorney-in-Fact, to sign its name as surety only as delineated below and to execute, seal, acknowledge and deliver any and all bonds and undertakings, with the exception of Financial Guaranty Insurance, providing that no single obligation shall exceed **Fifty Million and 00/100 U.S. Dollars (U.S.\$50,000,000.00)**, to the same extent as if such bonds had been duly executed and acknowledged by the regularly elected officers of the Company at its principal office in their own proper persons.

This Power of Attorney shall be construed and enforced in accordance with, and governed by, the laws of the State of Delaware, without giving effect to the principles of conflicts of laws thereof. This Power of Attorney is granted pursuant to the following resolutions which were duly and validly adopted at a meeting of the Board of Directors of the Company held on January 25, 2010:

RESOLVED, that, with respect to the Surety business written by Berkley Surety Group, the Chairman of the Board, Chief Executive Officer, President or any Vice President of the Company, in conjunction with the Secretary or any Assistant Secretary are hereby authorized to execute powers of attorney authorizing and qualifying the attorney-in-fact named therein to execute bonds, undertakings, recognizances, or other suretyship obligations on behalf of the Company, and to affix the corporate seal of the Company to powers of attorney executed pursuant hereto; and said officers may remove any such attorney-in-fact and revoke any power of attorney previously granted; and further

RESOLVED, that such power of attorney limits the acts of those named therein to the bonds, undertakings, recognizances, or other suretyship obligations specifically named therein, and they have no authority to bind the Company except in the manner and to the extent therein stated; and further

RESOLVED, that such power of attorney revokes all previous powers issued on behalf of the attorney-in-fact named; and further

RESOLVED, that the signature of any authorized officer and the seal of the Company may be affixed by facsimile to any power of attorney or certification thereof authorizing the execution and delivery of any bond, undertaking, recognizance, or other suretyship obligation of the Company; and such signature and seal when so used shall have the same force and effect as though manually affixed. The Company may continue to use for the purposes herein stated the facsimile signature of any person or persons who shall have been such officer or officers of the Company, notwithstanding the fact that they may have ceased to be such at the time when such instruments shall be issued.

IN WITNESS WHEREOF, the Company has caused these presents to be signed and attested by its appropriate officers and its corporate seal hereunto affixed this 14th day of April, 2015.

Attest:

Berkley Insurance Company

(Seal)

By

Ira S. Lederman
 Senior Vice President & Secretary

By

Jeffrey M. Hafter
 Senior Vice President

WARNING: THIS POWER INVALID IF NOT PRINTED ON BLUE "BERKLEY" SECURITY PAPER.

STATE OF CONNECTICUT)

) ss:

COUNTY OF FAIRFIELD)

Sworn to before me, a Notary Public in the State of Connecticut, this 14th day of April, 2015, by Ira S. Lederman and Jeffrey M. Hafter who are sworn to me to be the Senior Vice President and Secretary, and the Senior Vice President, respectively, of Berkley Insurance Company.

MARIA C. RUNDBAKEN
 NOTARY PUBLIC
 MY COMMISSION EXPIRES
 APRIL 30, 2019

Maria C. Rundbaken
 Notary Public, State of Connecticut

CERTIFICATE

I, the undersigned, Assistant Secretary of BERKLEY INSURANCE COMPANY, DO HEREBY CERTIFY that the foregoing is a true, correct and complete copy of the original Power of Attorney; that said Power of Attorney has not been revoked or rescinded and that the authority of the Attorney-in-Fact set forth therein, who executed the bond or undertaking to which this Power of Attorney is attached, is in full force and effect as of this date.

Given under my hand and seal of the Company, this 28th day of October, 2016.

(Seal)

Andrew M. Tuma

WARNING - Any unauthorized reproduction or alteration of this document is prohibited. This power of attorney is void unless seals are readable and the certification seal at the bottom is embossed. The background imprint, warning and confirmation (on reverse) must be in blue ink.

Instructions for Inquiries and Notices Under the Bond Attached to This Power

Berkley Surety Group is the affiliated underwriting manager for the surety business of: Acadia Insurance Company, Berkley Insurance Company, Berkley Regional Insurance Company, Carolina Casualty Insurance Company, Union Standard Insurance Company, Continental Western Insurance Company, and Union Insurance Company.

To verify the authenticity of the bond, please call (866) 768-3534 or email BSGInquiry@berkleysurety.com

Any written notices, inquiries, claims or demands to the surety on the bond to which this Rider is attached should be directed to:

Berkley Surety Group
412 Mount Kemble Avenue
Suite 310N
Morristown, NJ 07960
Attention: Surety Claims Department

Or

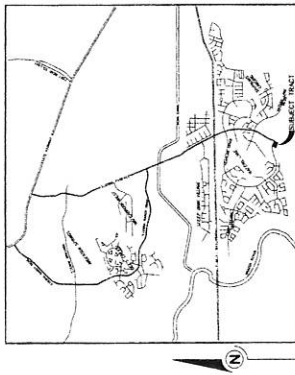
email BSGClaim@berkleysurety.com

Please include with all notices the bond number and the name of the principal on the bond. Where a claim is being asserted, please set forth generally the basis of the claim. In the case of a payment or performance bond, please identify the project to which the bond pertains.

cs/pharmacy

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VICINITY MAP

FORT WEND COUNTY
KEY MAP PAGE 150.P

S STANLEY SPURLING
& HAMILTON, INC.
Consulting Engineering Services

S H
3301 Edloe, Suite 200
Houston, Texas 77027
Ph: 713.776.9433
Fax: 713.776.2439

www.sabine.net THPE Reg. No. F000175

OWNER/DEVELOPER
LASCO DEVELOPMENT CORPORATION
1207 ANTOINE DR
HOUSTON, TX 77055
(713) 961-0280
CONTACT: MR. TODD WOMACK

CVS/PHARMACY
(401) 770-7266
CONTACT: MS. RAELENE HOPKINS

100

STANLEY SPURLING & HAMILTON, INC.
3301 EDLOE SUITE 200
HOUSTON, TX 77027
(713) 776-9433
CONTACT: MR. KEN STANLEY P.E.

NORR
719 GRISWOLD STREET, SUITE 100
DETROIT, MI 48226
(313) 324-3151
CONTACT: MR. GARY RUSSELL

GBI PARTNERS, L.P.
13340 S. GESSNER ROAD
MISSOURI CITY, TX 77489
(281) 499-4839

GEOTECHNICAL ENGINEER
RABA KISTNER CONSULTANTS, INC.
3602 WESTCHASE
HOUSTON, TX 77042
(713) 996-8990

LOCAL ISSUING AUTHORITY
FORT BEND COUNTY
301 JACKSON STREET
4TH FLOOR
RICHMOND, TX 77469
(281) 633-7539
CONTACT: NATHAN HATCHER

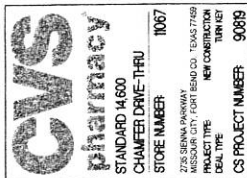
WATER SERVICE PROVIDER
SIENNA PLANTATION MUD 4
3200 SOUTHWEST FREEWAY, SUITE 2600
HOUSTON, TX 77027
713/953-5231

SANITARY SERVICE PROVIDER
 SIENNA PLANTATION MUD 4
 3200 SOUTHWEST FREEWAY, SUITE 2600
 HOUSTON, TX 77027

ELECTRICAL SERVICE PROVIDER
CENTERPOINT ENERGY
1111 LOUISIANA ST
HOUSTON, TX 77002

GAS SERVICE PROVIDER
SI ENERGY
3 LAKEWAY CENTRE COURT, SUITE 110
LAKEWAY, TX 78734

TELEPHONE SERVICE PROVIDER
ENTOUCH
11011 RICHMOND AVE #400
HOUSTON, TX 77042



ENGINEER.



CONSULTANT.



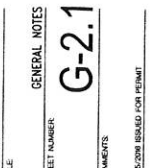
REVISIONS:	09/27/10
COUNTY COMMENTS	

COVER

G-1
UNCLASSIFIED//FOR OFFICIAL USE ONLY

COMMENTS:

07/05/2006 ISSUED FOR PERMIT

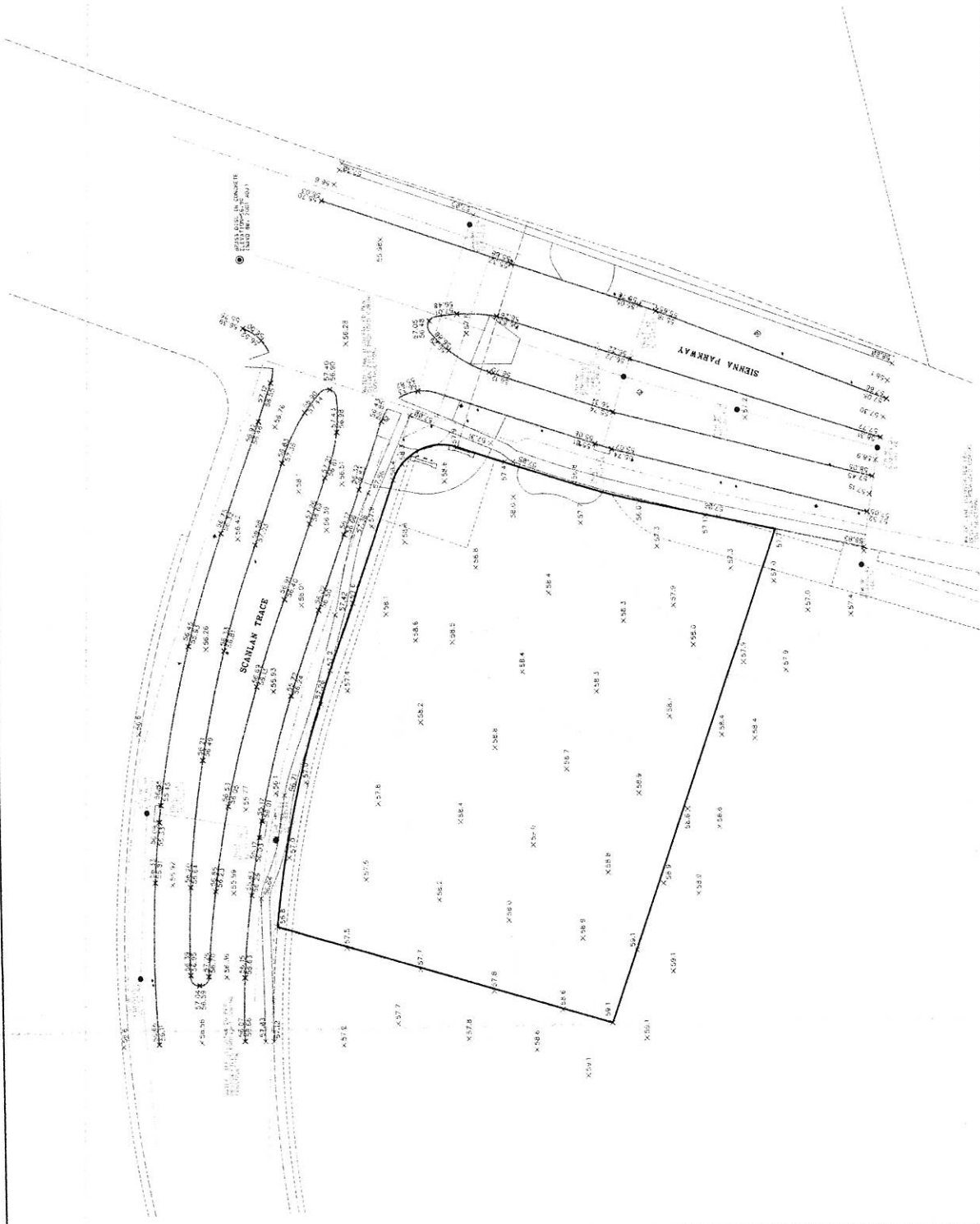
[illegible][illegible]

JOHN J. JACOBI, President and Managing Director, says that the company's new product line is "designed to meet customer demand for a wide range of materials and to provide the widest choice of materials available." He adds that the company's new product line is "designed to meet customer demand for a wide range of materials and to provide the widest choice of materials available."

THESE RESULTS WORTHY RECONSIDERATION. THE PROBLEMS OF RECORD AND SUBJECT QUALITY, DATA COMPLETENESS, AND ANALYTICAL SHORTFALLS MUST BE GRANTED ARIAS FURTHER RESEARCH AND DISCUSSION. HELP FROM THE TRAINING AND CLINICAL SET DESIGN AND DESIGN CONTROL PLAN AND QUALITY CONTROL OFFICE IS REQUIRED.



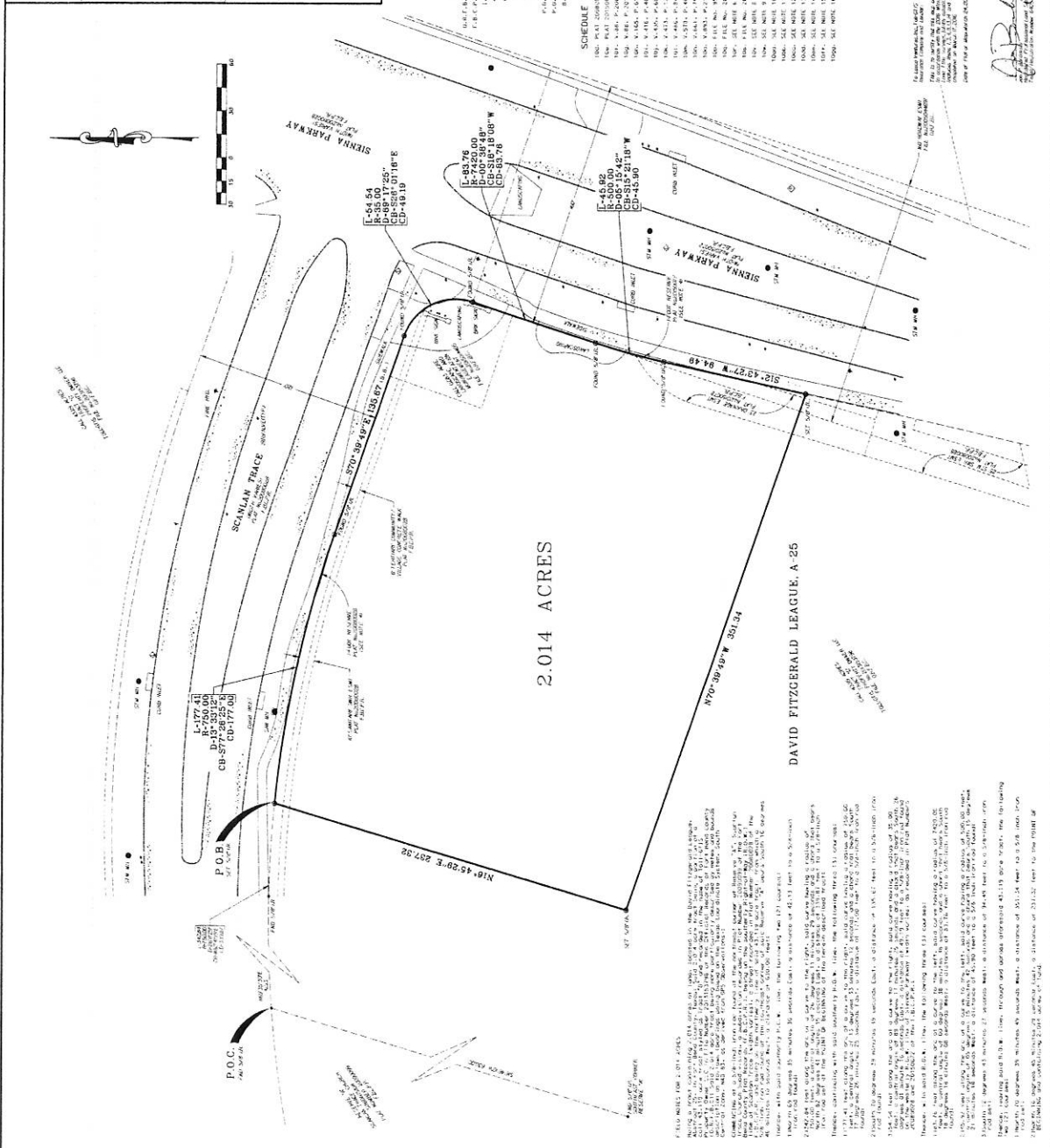
NOTES:
1. THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACT, 1991 AND THE SURVEYING REGULATIONS, 1992.
2. THE BOUNDARY LINES SHOWN ON THIS PLAN ARE BASED ON THE FIELD MEASUREMENTS AND THE ADJACENT DEEDS.
3. THE AREA OF THE TRACT IS 1.25 ACRES.
4. THE TRACT IS BOUND BY SIENNA PARKWAY TO THE NORTH, SCARLETT TRACE TO THE WEST, AND AN UNDEVELOPED TRACT TO THE EAST.
5. THE TRACT IS SUBDIVIDED INTO 10 LOTS, EACH OF WHICH IS 0.125 ACRES IN AREA.
6. THE TRACT IS BOUND BY A 10' WIDE EASEMENT TO THE SOUTH, WHICH IS SHOWN ON THE ADJACENT DEEDS.
7. THE TRACT IS BOUND BY A 10' WIDE EASEMENT TO THE EAST, WHICH IS SHOWN ON THE ADJACENT DEEDS.
8. THE TRACT IS BOUND BY A 10' WIDE EASEMENT TO THE WEST, WHICH IS SHOWN ON THE ADJACENT DEEDS.
9. THE TRACT IS BOUND BY A 10' WIDE EASEMENT TO THE NORTH, WHICH IS SHOWN ON THE ADJACENT DEEDS.
10. THE TRACT IS BOUND BY A 10' WIDE EASEMENT TO THE SOUTH, WHICH IS SHOWN ON THE ADJACENT DEEDS.



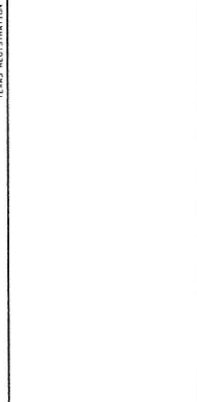
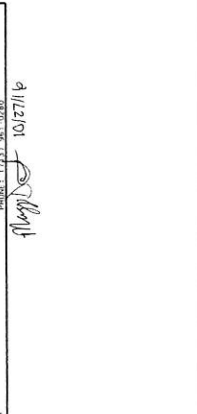
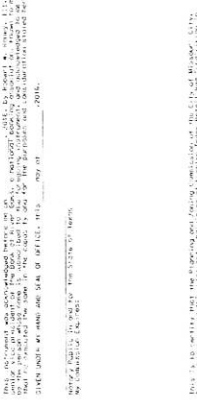
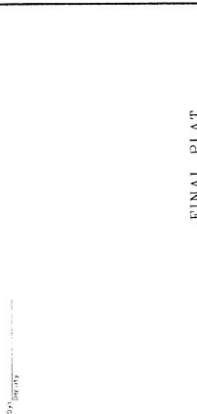
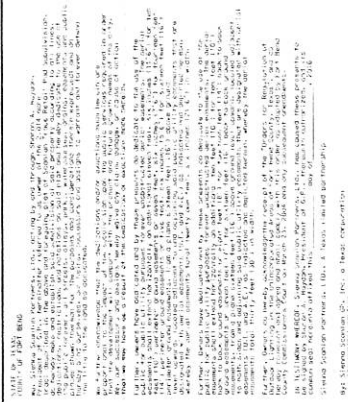
DESIGN SURVEY
TOLL/LASCO TRACT
MARCH 2016

GRI PARTNERS, L.P.
LAND SURVEYING CONSULTANTS
10105 13TH AVE. SUITE 100
DENVER, CO 80231
Phone: 303.499.4300
Fax: 303.499.4301
www.gripartners.com

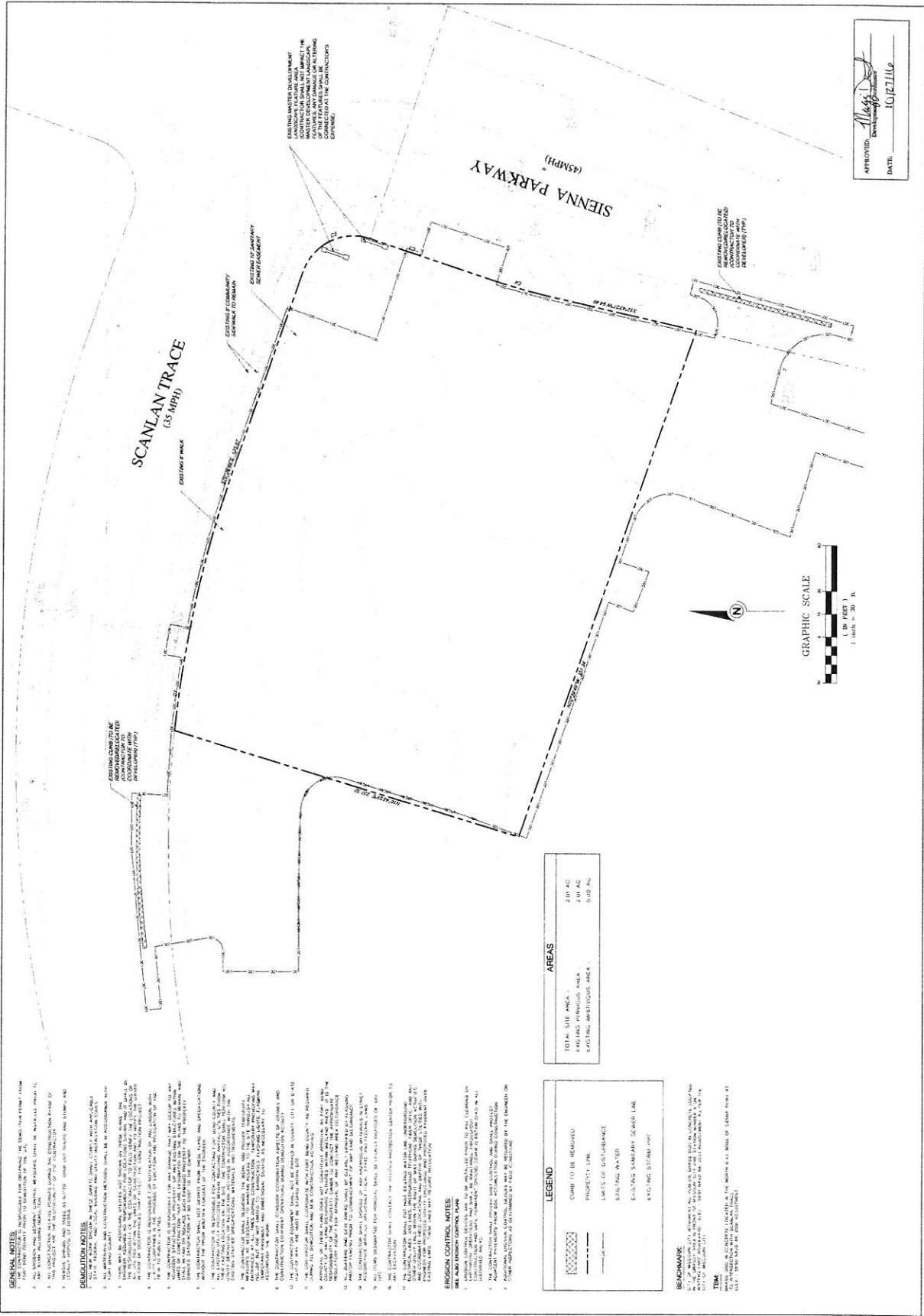
7/11/2016



CHW CHILD S.N.	FIELD NO.: 16017	OWG. NO. 45047
		21/12/01

[illegible]

7/15/2010 ISSUED FOR PERMIT



07/16/2016 ISSUED FOR PERMIT

[illegible]

2/16/2016 ISSUED FOR PERMIT

[illegible]

CVS
Pharmacy

STANDARD 14600
CHAMBER DRIVE-THRU
STORE NUMBER 1067
278 S. SENNA PARKWAY
MISSOURI CITY, MO 63050
RECONSTRUCTION
S&A TYPE
CS PROJECT NUMBER 90819

ENGINEER

SHI
S&A ENGINEERING, INC.
1100 N. GARDEN AVENUE
SUITE 100
ST. LOUIS, MO 63107
(314) 433-1000

CONSULTANT

DEVELOPER

LAESCO
3301 E. Main, Ste. 200
St. Louis, MO 63103
Phone: (314) 771-1000
Fax: (314) 771-1001
E-Mail: info@laesco.com

SEAL

REVISIONS

NO.	DATE	DESCRIPTION
1	04/27/16	ISSUED FOR PERMIT

COUNTY COMMENTS

ST

DATE 06/03/08

JOB NUMBER TDR-001

TITLE

STORM DRAINAGE PROFILES

SHEET NUMBER C-2.1

COMMENTS

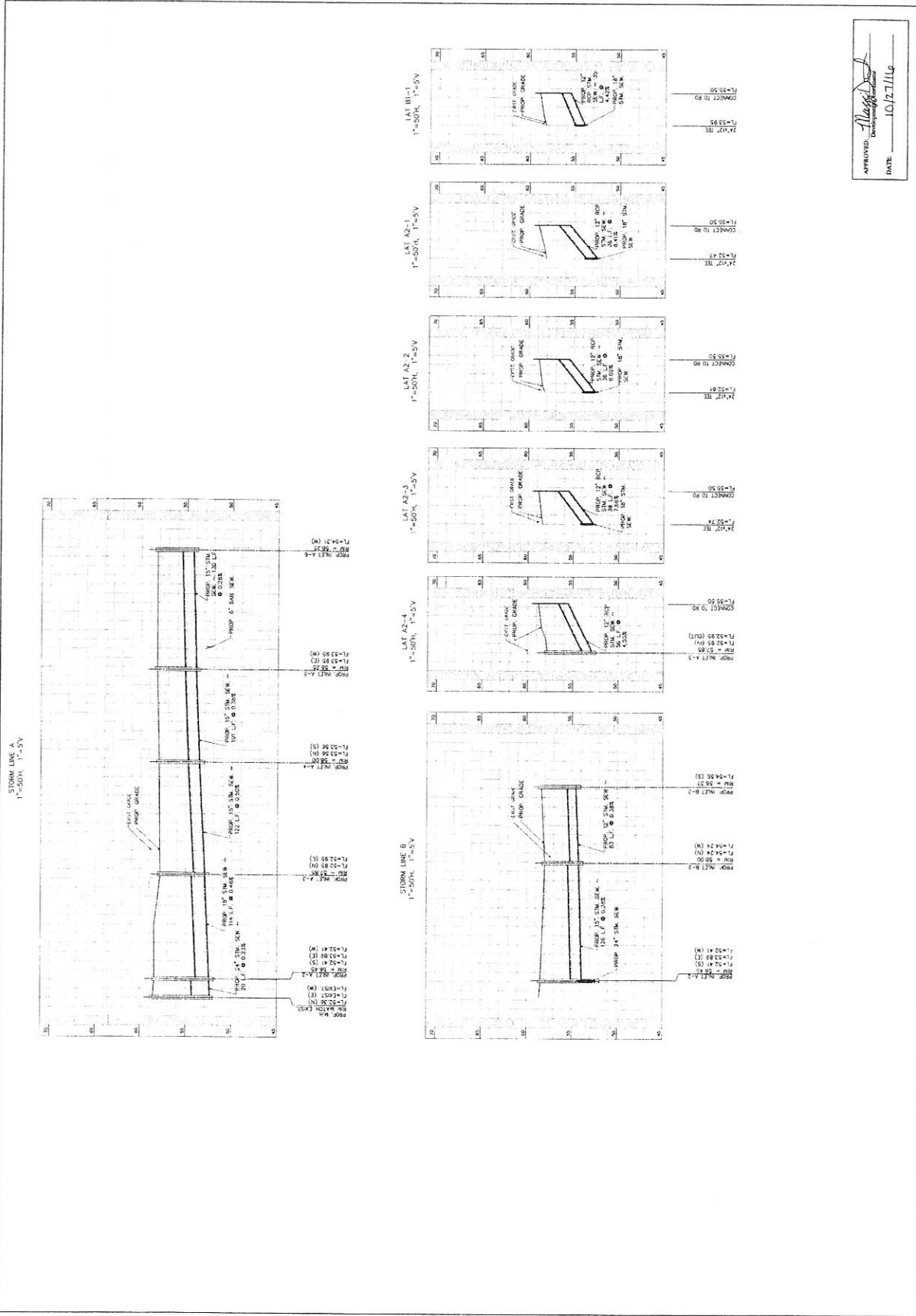
APPROVED

DATE 10/27/16

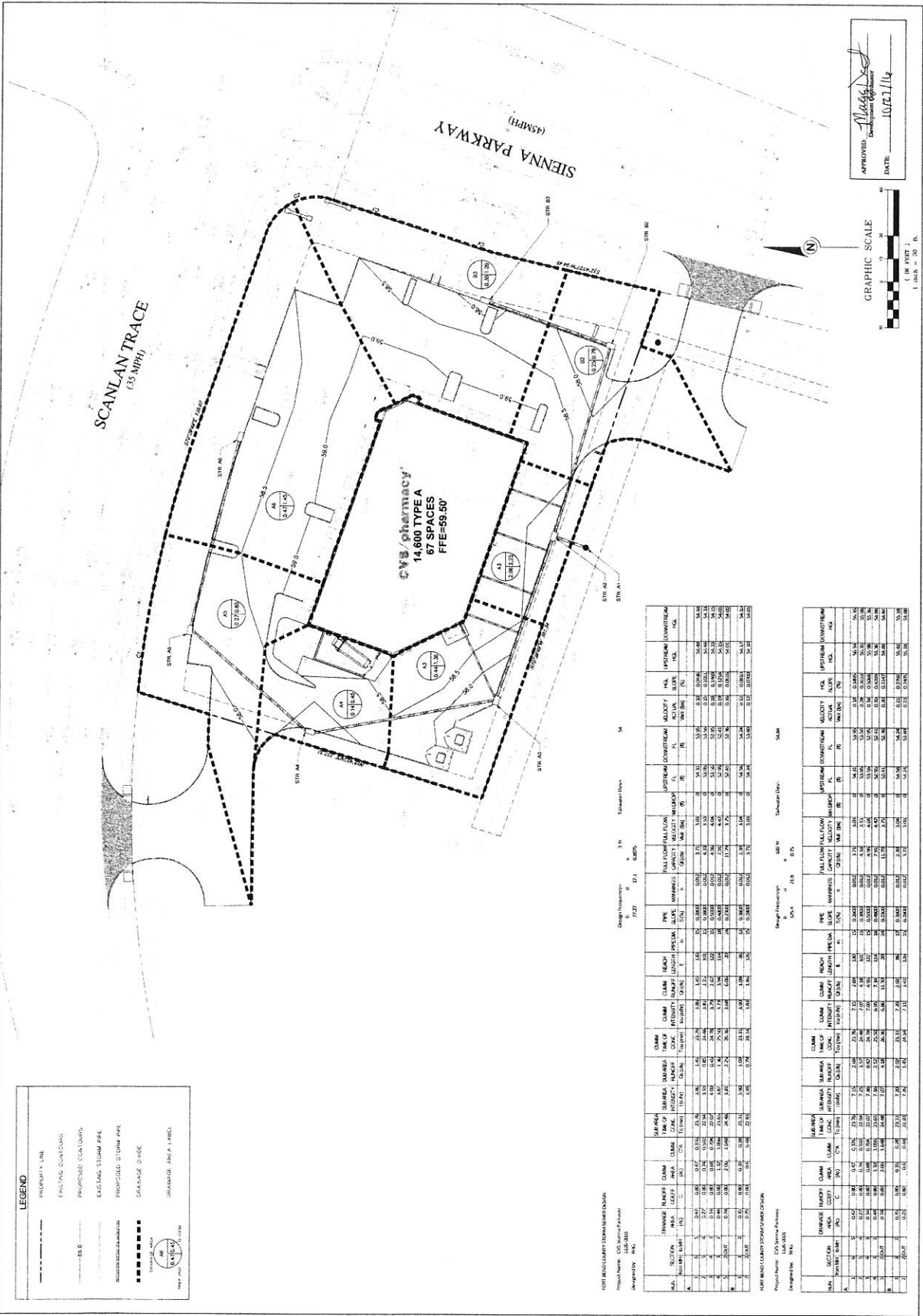
STORM DRAINAGE PROFILES

SHEET NUMBER C-2.1

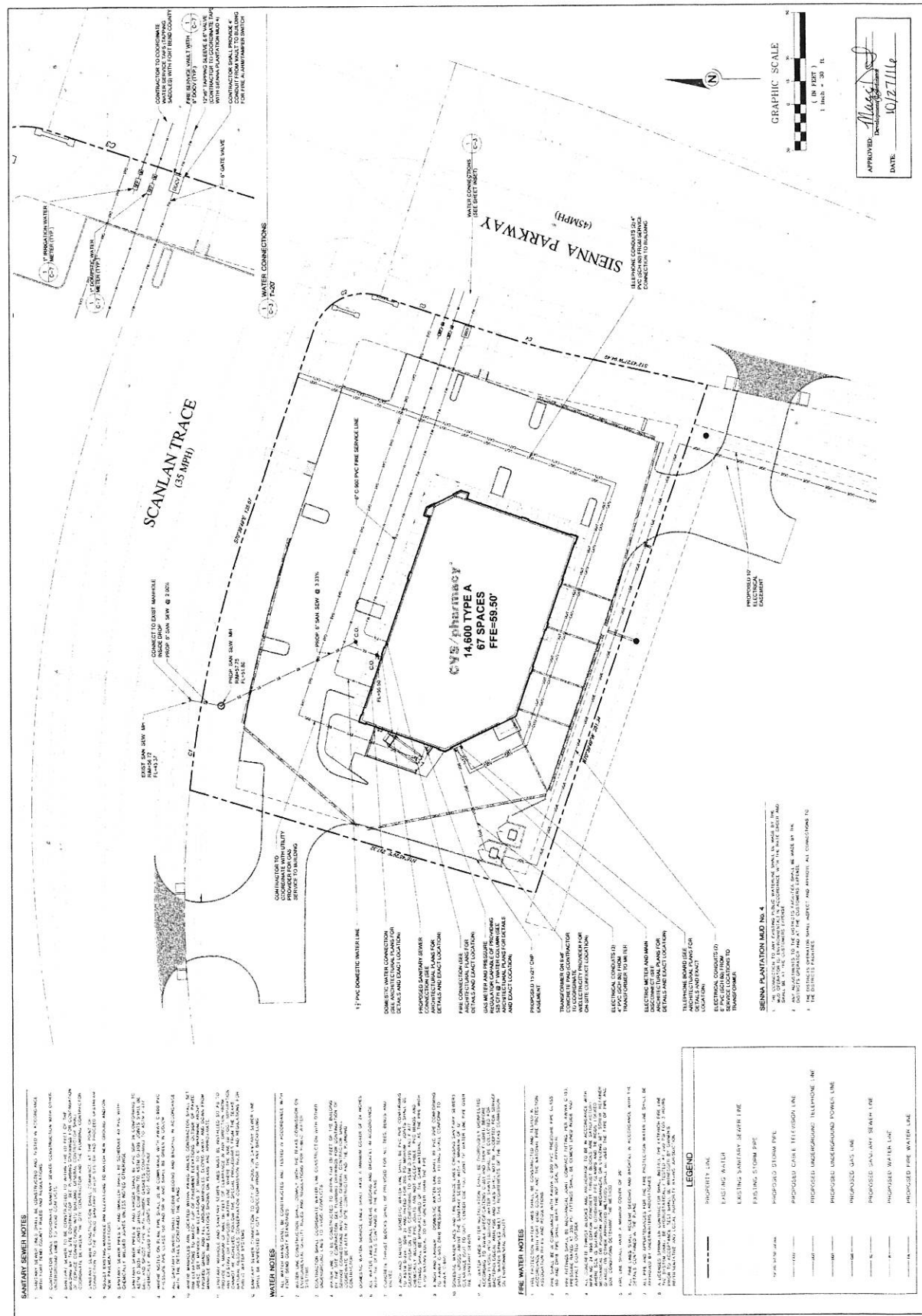
COMMENTS



07/05/2016 ISSUED FOR PERMIT



COMMENTS:



CVS
pharmacy

STANDARD 14600
CHAMBER DRIVE-THRU
STORE NUMBER 10067

2735 SONJA PARKWAY
MISSOURI CITY, TEXAS 75455
PROJECT TYPE NEW CONSTRUCTION
LOCAL TYPE TUNNEL
CS PROJECT NUMBER 90019

ENGINEER

SHI
S. H. INTERNATIONAL
A HAMILTON, TEXAS
CONSULTING ENGINEERING SERVICES
1400 N. W. 11th St.
P.O. Box 111111
Fort Worth, TX 76111-0111
TEL: 817.339.1111
FAX: 817.339.1111

CONSULTANT

DEVELOPER

USCO
Development Corporation
10000 N. Loop West
Houston, TX 77067
P.O. Box 10000
Houston, TX 77067
TEL: 713.861.1000
FAX: 713.861.1000

SEAL

STANLEY
Professional Engineer
No. 947731
State of Texas
Exp. 12/31/2016

REVISIONS

COUNTY COMMENTS 09/27/16

TITLE

DRAWN BY ST

DATE 05/10/2016

JOB NUMBER 1006-0001

TITLE

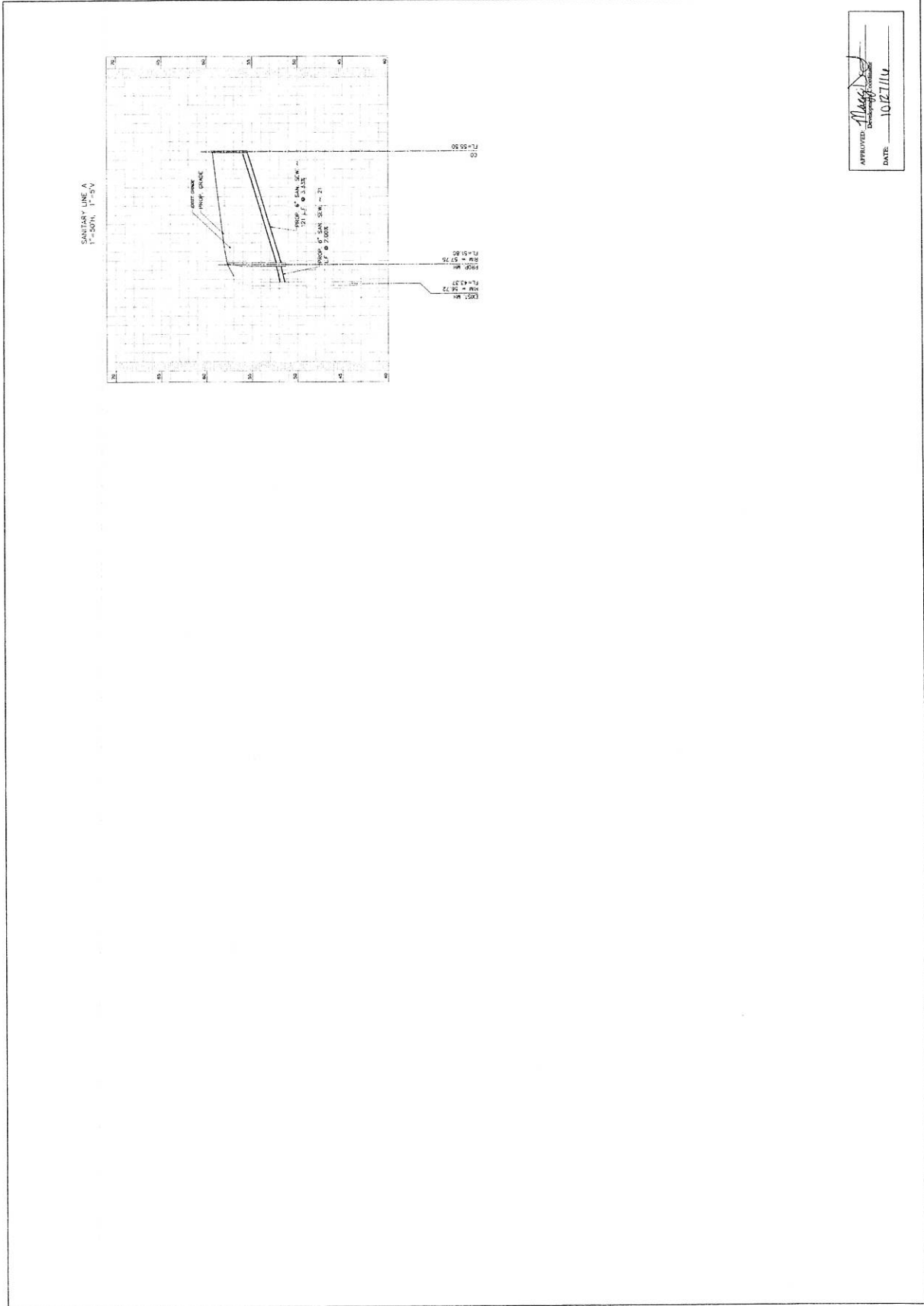
SANITARY SEWER PROFILES

SHEET NUMBER

C-3.1

COMMENTS

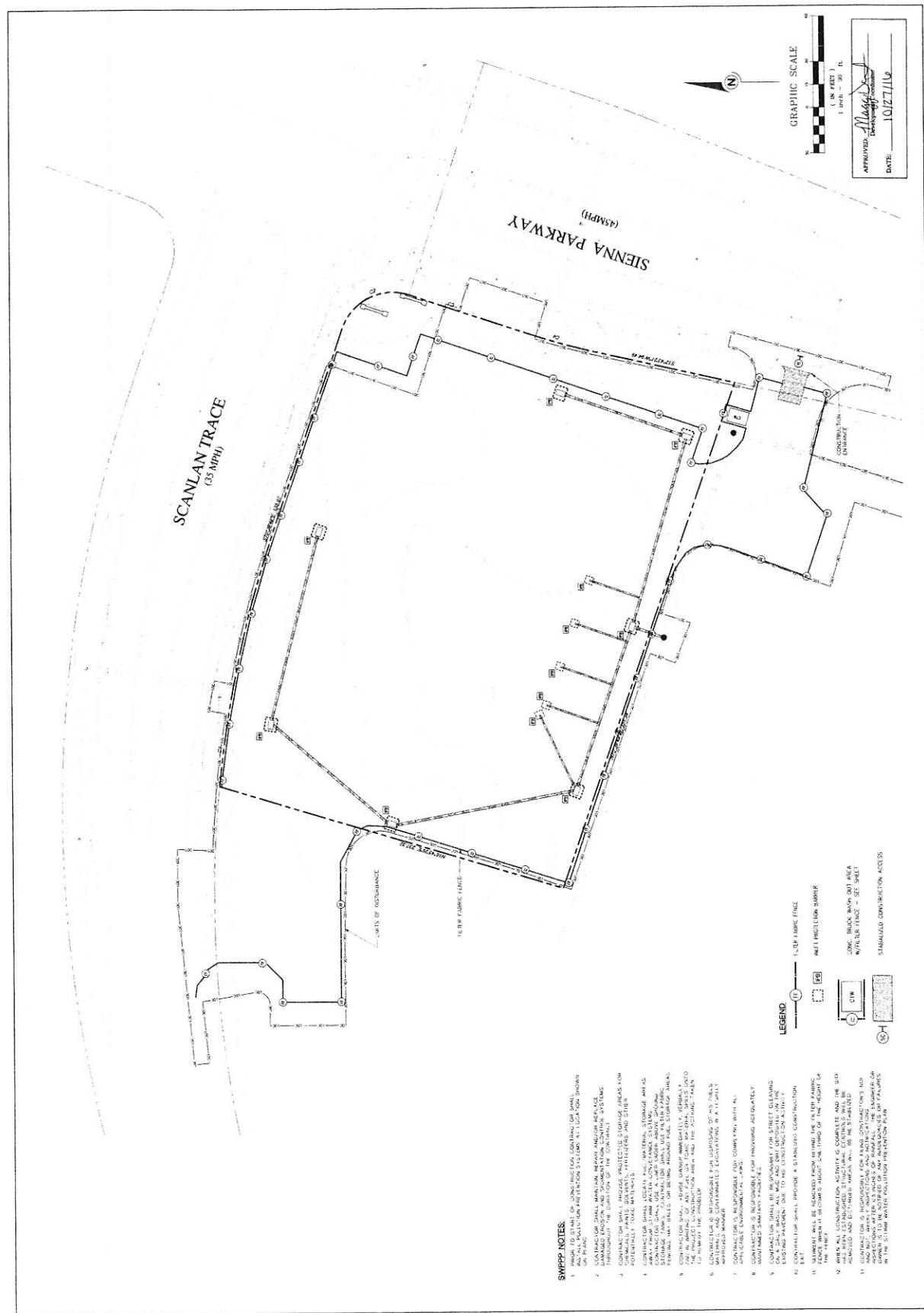
07/6/2016 ISSUED FOR PERMIT



APPROVED

[Signature]

DATE 10/27/16



CVS

pharmacy

STANDARD 14600

CHAMBER DRIVE-THRU

STORE NUMBER 11067

2725 S. CANAL PARKWAY

MEADOW CREEK, TEXAS 75067

PROJECT TYPE NEW CONSTRUCTION

LOCAL TYPE TURN KEY

CS PROJECT NUMBER 90819

ENGINEER

STANLEY SHIRLING

SH

Stanley Shirling & Associates

1000 West Loop West, Suite 400

Fort Worth, Texas 76102

Phone: 817.339.1100

FAX: 817.339.1101

www.shirling.com

CONSULTANT

DEVELOPER

LASCO

Development Corporation

1000 West Loop West, Suite 400

Fort Worth, Texas 76102

Phone: 817.339.1100

FAX: 817.339.1101

www.lasco.com

SEAL

Professional Engineer

NO. 98701

State of Texas

REVISIONS

COUNTY COMMENTS

08/27/16

OWNER BY

DATE

CS NUMBER

REVISION

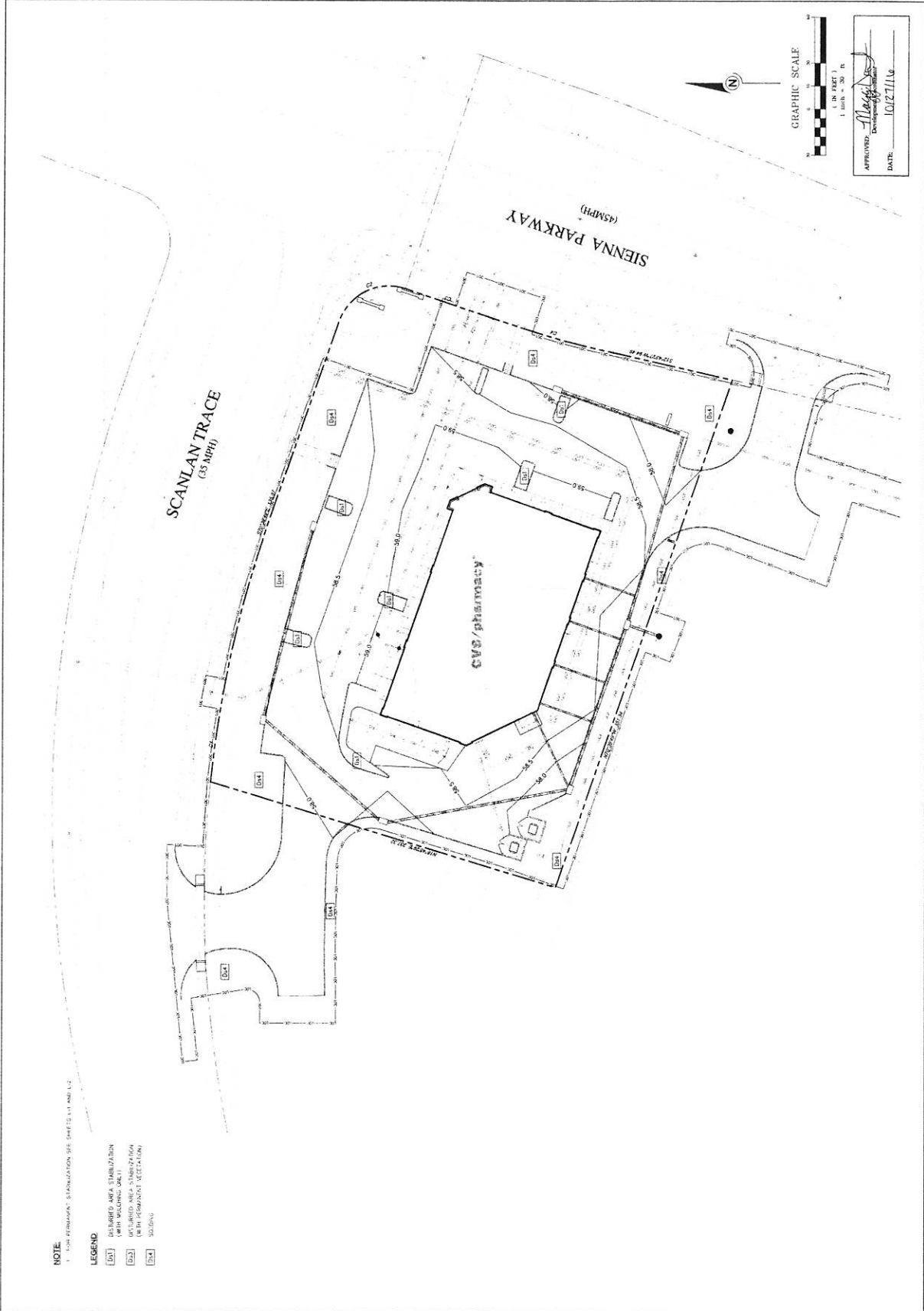
TITLE

FINAL EROSION & SEDIMENT CONTROL PLAN

SHEET NUMBER

C-4.2

COMMENTS



CS-16-008 ISSUED FOR PERMIT

STANDARD 4600

CHAMBER DRIVE THRU

STORE NUMBER 11067

2735 SENNA HIGHWAY

MISSOURI CITY, TEXAS 77059

PROJECT TYPE NEW CONSTRUCTION

DATE 08/27/16

CS PROJECT NUMBER 90819

ENGINEER

DEVELOPER

SEAL

REVISIONS

COUNTY COMMENTS

PAVING DETAILS

7" THICK CONC. PAVEMENT

6" x 6" @ 18" O.C.

7" THICK CONC. PAVEMENT

6" x 6" @ 18" O.C.

7" THICK CONC. PAVEMENT

6" x 6" @ 18" O.C.

7" THICK CONC. PAVEMENT

6" x 6" @ 18" O.C.

7" THICK CONC. PAVEMENT

6" x 6" @ 18" O.C.

7" THICK CONC. PAVEMENT

6" x 6" @ 18" O.C.

7" THICK CONC. PAVEMENT

6" x 6" @ 18" O.C.

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7" THICK CONC. PAVEMENT

6" x 6" @ 18" O.C.

7" THICK CONC. PAVEMENT

6" x 6" @ 18" O.C.

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6" x 6" @ 18" O.C.

7" THICK CONC. PAVEMENT

6" x 6" @ 18" O.C.

7" THICK CONC. PAVEMENT

6" x 6" @ 18" O.C.



STANDARD 4600
CHAMBER DRIVE-THRU
STORE NUMBER 1067
275 SERRA PARKWAY
MISSOURI CITY, TEXAS 77459
PROJECT TYPE NEW CONSTRUCTION
DRAWN BY
DATE 05/10/2009
JOB NUMBER 1009-0001
TITLE

ENGINEER:



CONSULTANT:

DEVELOPER:



SEAL:



REVISIONS:

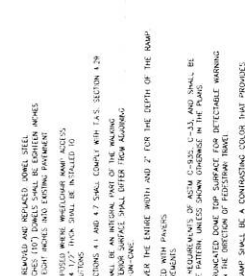
NO.	DESCRIPTION	DATE
1	04/27/08	

COUNTY COMMENTS:

WHEELCHAIR & SIDEWALK DETAILS
SHEET NUMBER
C-5.1
COMMENTS

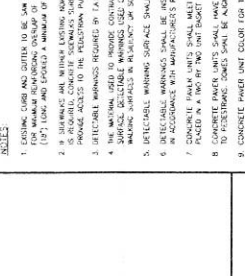
07/15/2009 ISSUED FOR PERMIT

1 SIDEWALK JOINT DETAILS



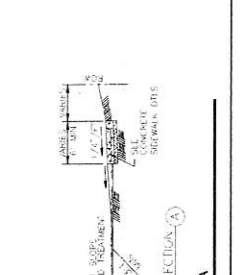
EXPANSION JOINT SPACING 30' MAXIMUM
EXPANSION JOINT 1/2" THIN CLEAR HEART REINFORCING WITH DOMES

2 CONCRETE SIDEWALK



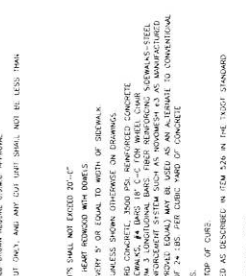
CONCRETE SIDEWALK
1" MIN. CLEAR HEART REINFORCING WITH DOMES
1" MIN. CLEAR HEART REINFORCING WITH DOMES
1" MIN. CLEAR HEART REINFORCING WITH DOMES

3 HANDICAP RAMP CURB & GUTTER



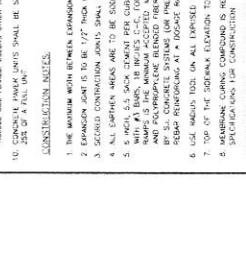
HANDICAP RAMP CURB & GUTTER
1" MIN. CLEAR HEART REINFORCING WITH DOMES
1" MIN. CLEAR HEART REINFORCING WITH DOMES
1" MIN. CLEAR HEART REINFORCING WITH DOMES

4 HANDICAP RAMP UNDERCUT



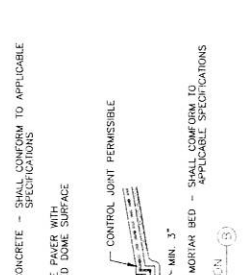
HANDICAP RAMP UNDERCUT
1" MIN. CLEAR HEART REINFORCING WITH DOMES
1" MIN. CLEAR HEART REINFORCING WITH DOMES
1" MIN. CLEAR HEART REINFORCING WITH DOMES

5 SECTION A



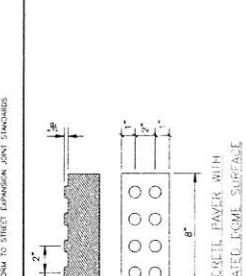
SECTION A
CLASS-A CONCRETE - SHALL CONFORM TO APPLICABLE SPECIFICATIONS
CONCRETE PAVEMENT WITH TRUNCATED DOME SURFACE
SIDE FLARE (TYP.)
CONTROL JOINT PERMISSIBLE
2" BARS (TYP.)
#3 REBAR MIN 18" C-C EW
1" MORTAR BED - APPLICABLE SPECIFICATIONS

6 SECTION B



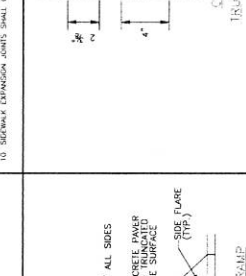
SECTION B
CLASS-A CONCRETE - SHALL CONFORM TO APPLICABLE SPECIFICATIONS
CONCRETE PAVEMENT WITH TRUNCATED DOME SURFACE
SIDE FLARE (TYP.)
CONTROL JOINT PERMISSIBLE
2" BARS (TYP.)
#3 REBAR MIN 18" C-C EW
1" MORTAR BED - APPLICABLE SPECIFICATIONS

7 TYPICAL SINGLE ROADWAY SIDEWALK



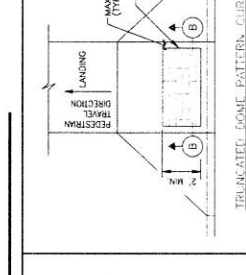
TYPICAL SINGLE ROADWAY SIDEWALK
1" MIN. CLEAR HEART REINFORCING WITH DOMES
1" MIN. CLEAR HEART REINFORCING WITH DOMES
1" MIN. CLEAR HEART REINFORCING WITH DOMES

8 TRUNCATED DOME PATTERN CURB RAMP



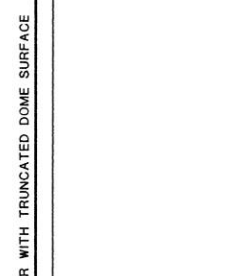
TRUNCATED DOME PATTERN CURB RAMP
1" MIN. CLEAR HEART REINFORCING WITH DOMES
1" MIN. CLEAR HEART REINFORCING WITH DOMES
1" MIN. CLEAR HEART REINFORCING WITH DOMES

9 CONCRETE PAVEMENT WITH TRUNCATED DOME SURFACE



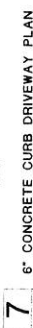
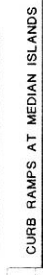
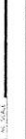
CONCRETE PAVEMENT WITH TRUNCATED DOME SURFACE
1" MIN. CLEAR HEART REINFORCING WITH DOMES
1" MIN. CLEAR HEART REINFORCING WITH DOMES
1" MIN. CLEAR HEART REINFORCING WITH DOMES

10 WHEELCHAIR RAMP SIDEWALK CONNECTION



WHEELCHAIR RAMP SIDEWALK CONNECTION
1" MIN. CLEAR HEART REINFORCING WITH DOMES
1" MIN. CLEAR HEART REINFORCING WITH DOMES
1" MIN. CLEAR HEART REINFORCING WITH DOMES

- NOTES:**
1. EXISTING CURB AND GUTTER TO BE SAW CUT, REMOVED AND REPLACED. SHALL BE EXISTING. REINFORCING OVERLAP OF 10" MINIMUM. 10" DOMES SHALL BE EXISTING. 10" DOMES SHALL BE EXISTING. 10" DOMES SHALL BE EXISTING.
 2. 10" DOMES SHALL BE EXISTING. 10" DOMES SHALL BE EXISTING. 10" DOMES SHALL BE EXISTING.
 3. 10" DOMES SHALL BE EXISTING. 10" DOMES SHALL BE EXISTING. 10" DOMES SHALL BE EXISTING.
 4. 10" DOMES SHALL BE EXISTING. 10" DOMES SHALL BE EXISTING. 10" DOMES SHALL BE EXISTING.
 5. 10" DOMES SHALL BE EXISTING. 10" DOMES SHALL BE EXISTING. 10" DOMES SHALL BE EXISTING.
 6. 10" DOMES SHALL BE EXISTING. 10" DOMES SHALL BE EXISTING. 10" DOMES SHALL BE EXISTING.
 7. 10" DOMES SHALL BE EXISTING. 10" DOMES SHALL BE EXISTING. 10" DOMES SHALL BE EXISTING.
 8. 10" DOMES SHALL BE EXISTING. 10" DOMES SHALL BE EXISTING. 10" DOMES SHALL BE EXISTING.
 9. 10" DOMES SHALL BE EXISTING. 10" DOMES SHALL BE EXISTING. 10" DOMES SHALL BE EXISTING.
 10. 10" DOMES SHALL BE EXISTING. 10" DOMES SHALL BE EXISTING. 10" DOMES SHALL BE EXISTING.



COMMENTS:

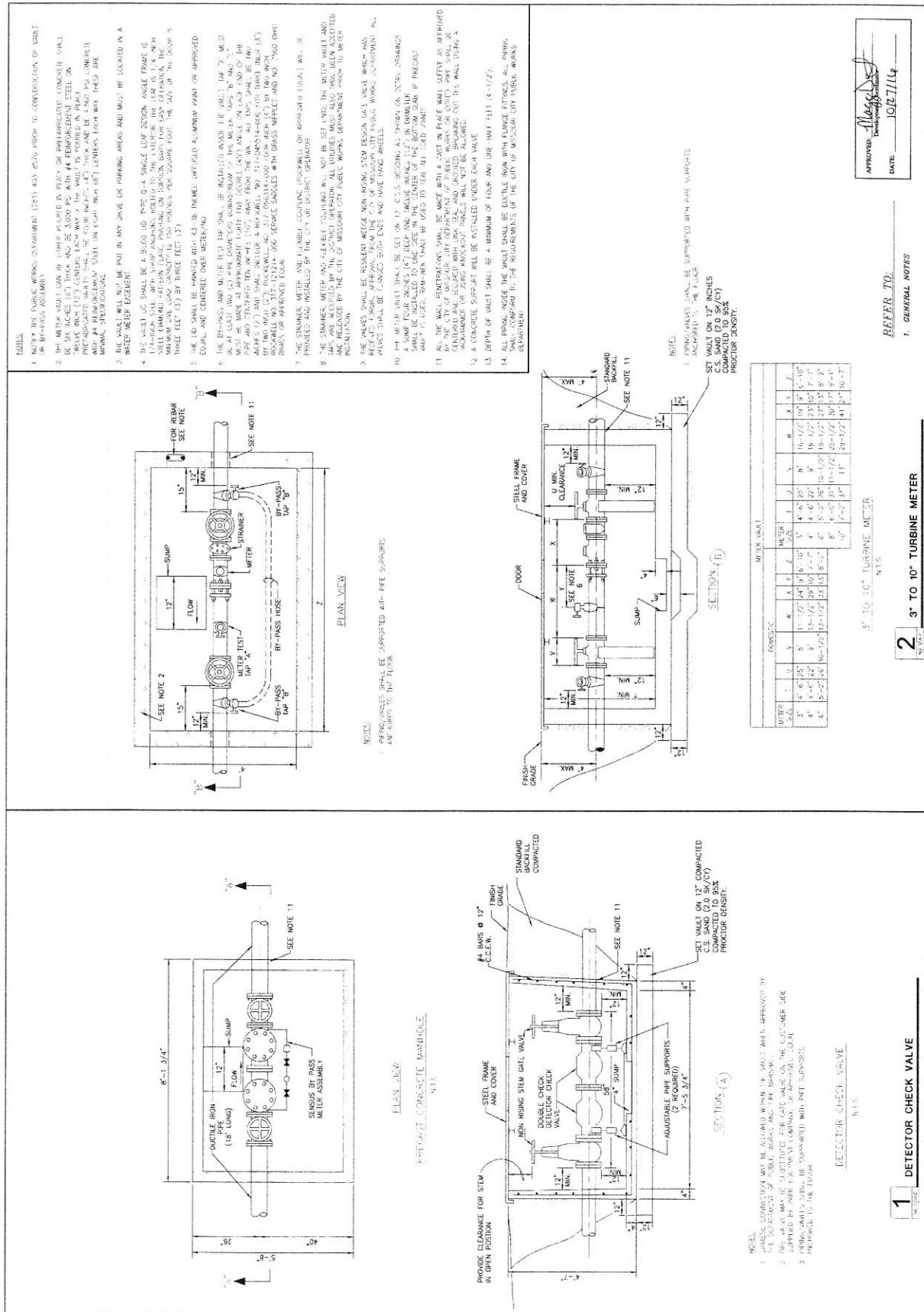
COMMENTS:

6/2016 ISSUED FOR PERMIT



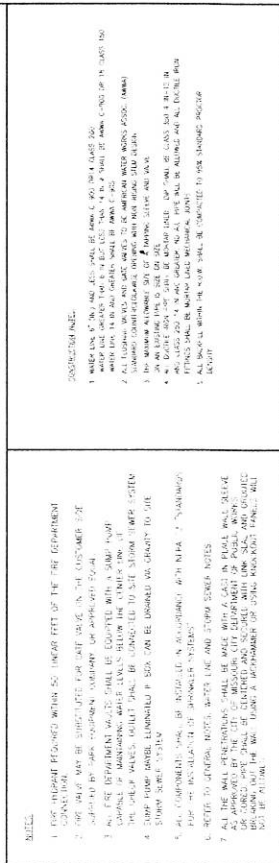
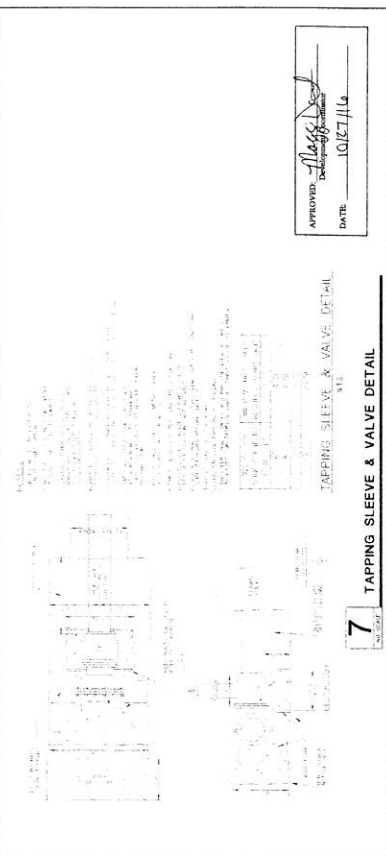
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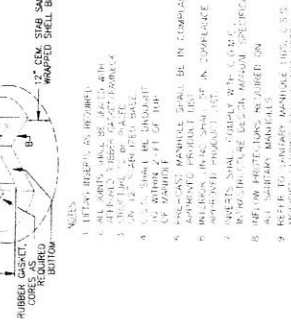
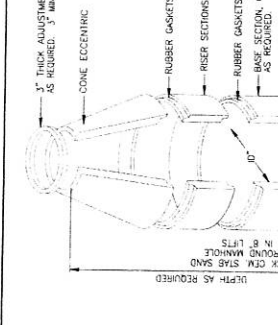
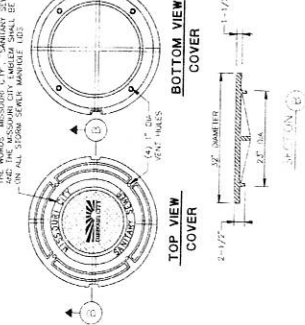
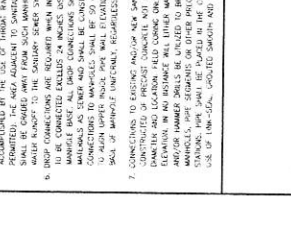
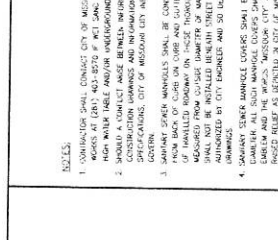
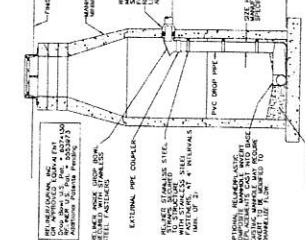
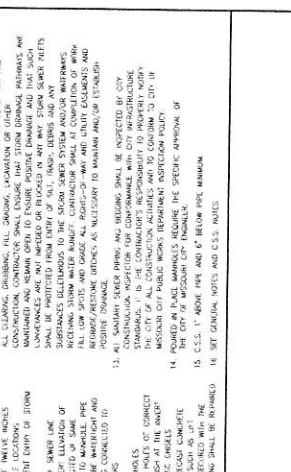
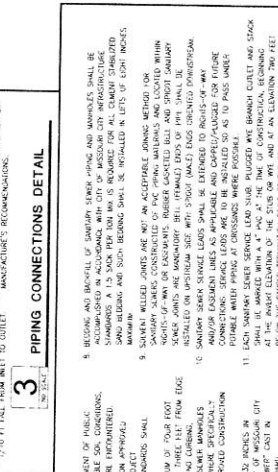
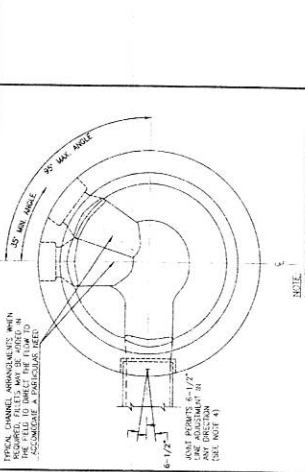
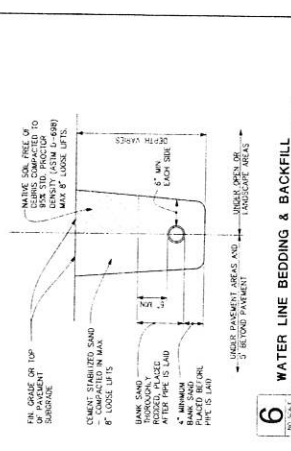
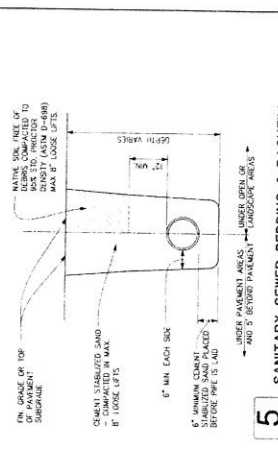
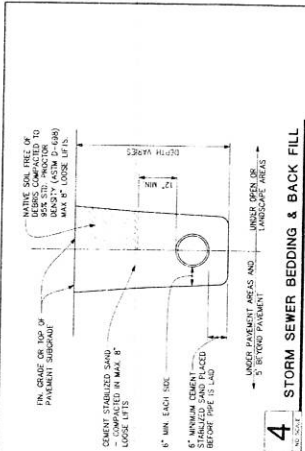
SHEET NUMBER		UTILITIES DETAILS	
COMMENTS		C-7	
OWNER BY	ST		
DATE	06/04/2008		
JOB NUMBER	100-0007		
TITLE			



COMMENTS:

3/7/2010 ISSUED FOR PERMIT





4 PRECAST SANITARY MANHOLE
 1215
 PRECAST SANITARY MANHOLE

2008-05-01 00:00:00



CIS Pharmacy
STANDARD 14.600
CHAFER DRIVE-THRU

STORE NUMBER: 1067
7755 SERRA PARKWAY
CITY OF FORT BEND CO. TEXAS 77459
PROJECT NUMBER: 1000000000
PROJECT TYPE: NEW CONSTRUCTION
JOB TYPE: JUNKY
CS PROJECT NUMBER: 90889

SH
SULLIVAN & HAMILTON, INC.
1001 N. 10th St.
Fort Worth, TX 76102
Tel: 817.335.1000
Fax: 817.335.1001

ENGINEER

CONSULTANT

LASCO
Development Corporation
2801 E. Loop, Ste. 100
Houston, TX 77002
Phone: 713.291.1200
Contact: 1.800.444.4444

DEVELOPER

SEAL

REVISIONS

COUNTY COMMENTS

09/27/96

DRAWN BY: ST

DATE: 06/10/96

JOB NUMBER: 1000-0007

TITLE:

EROSION CONTROL DETAILS

SHEET NUMBER: C-8.1

COMMENTS:

07/2/2006 ISSUED FOR PERMIT

1. FILTER FABRIC FENCE

1. THE FENCE SHALL BE 4' HIGH AND 4' WIDE. IT SHALL BE MADE OF 1/2" GALVANIZED STEEL PIPE AND 1/2" GALVANIZED STEEL PLATE. THE FENCE SHALL BE SET BACK 10' FROM THE PROPERTY LINE. THE FENCE SHALL BE SET BACK 10' FROM THE PROPERTY LINE. THE FENCE SHALL BE SET BACK 10' FROM THE PROPERTY LINE.

2. FILTER FABRIC FENCE

1. THE FENCE SHALL BE 4' HIGH AND 4' WIDE. IT SHALL BE MADE OF 1/2" GALVANIZED STEEL PIPE AND 1/2" GALVANIZED STEEL PLATE. THE FENCE SHALL BE SET BACK 10' FROM THE PROPERTY LINE. THE FENCE SHALL BE SET BACK 10' FROM THE PROPERTY LINE. THE FENCE SHALL BE SET BACK 10' FROM THE PROPERTY LINE.

CONCRETE TRUCK WASHOUT AREA

1. THE WASHOUT AREA SHALL BE 10' X 10'. IT SHALL BE MADE OF 1/2" GALVANIZED STEEL PIPE AND 1/2" GALVANIZED STEEL PLATE. THE WASHOUT AREA SHALL BE SET BACK 10' FROM THE PROPERTY LINE. THE WASHOUT AREA SHALL BE SET BACK 10' FROM THE PROPERTY LINE. THE WASHOUT AREA SHALL BE SET BACK 10' FROM THE PROPERTY LINE.

CONCRETE TRUCK WASHOUT AREA

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STABILIZED CONSTRUCTION ACCESS

1. THE ACCESS SHALL BE 10' X 10'. IT SHALL BE MADE OF 1/2" GALVANIZED STEEL PIPE AND 1/2" GALVANIZED STEEL PLATE. THE ACCESS SHALL BE SET BACK 10' FROM THE PROPERTY LINE. THE ACCESS SHALL BE SET BACK 10' FROM THE PROPERTY LINE. THE ACCESS SHALL BE SET BACK 10' FROM THE PROPERTY LINE.

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INLET PROTECTION BARRIERS FOR STAGE INLETS

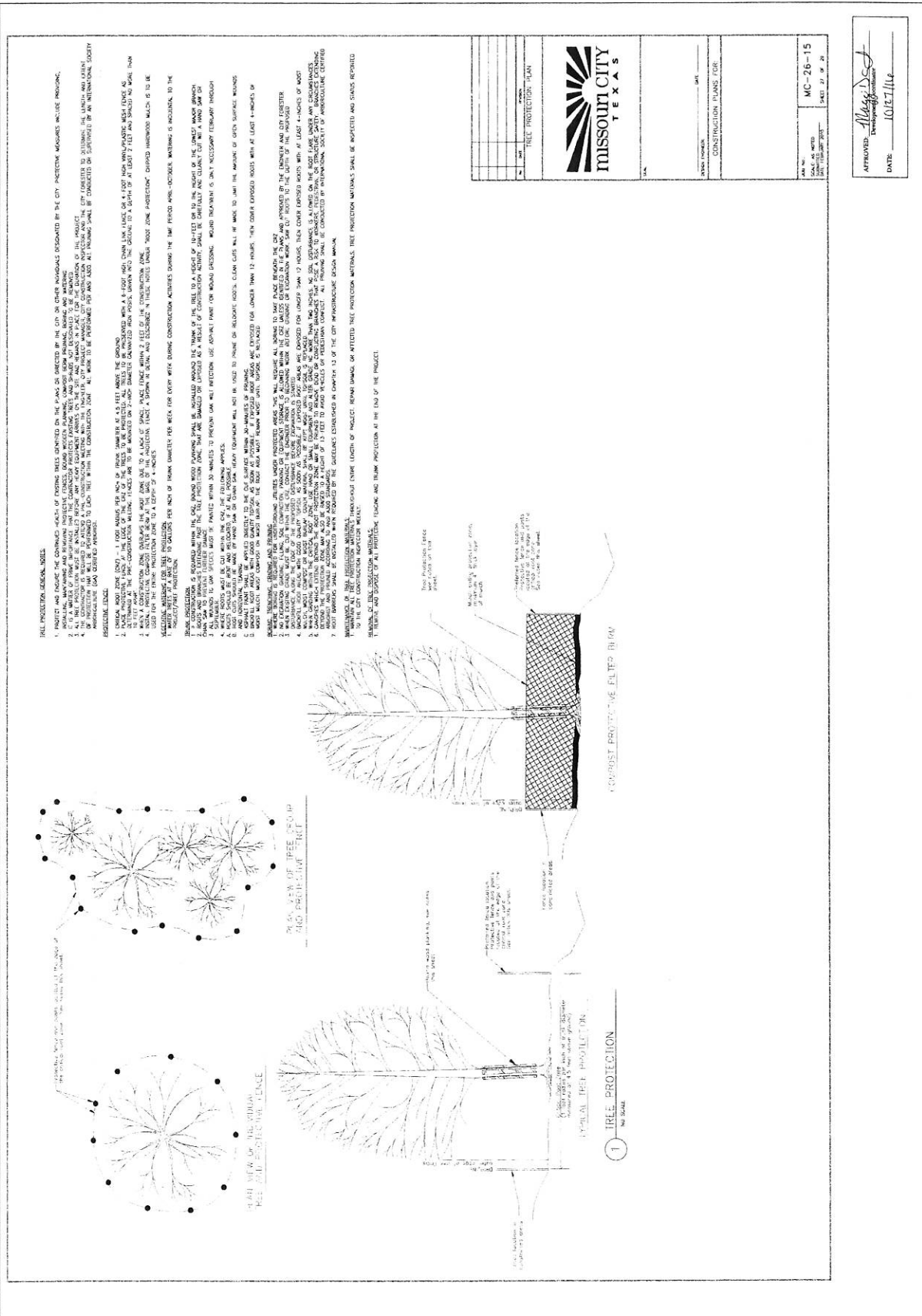
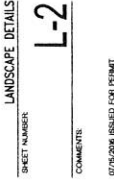
1. THE BARRIERS SHALL BE 10' X 10'. IT SHALL BE MADE OF 1/2" GALVANIZED STEEL PIPE AND 1/2" GALVANIZED STEEL PLATE. THE BARRIERS SHALL BE SET BACK 10' FROM THE PROPERTY LINE. THE BARRIERS SHALL BE SET BACK 10' FROM THE PROPERTY LINE. THE BARRIERS SHALL BE SET BACK 10' FROM THE PROPERTY LINE.

INLET PROTECTION BARRIERS FOR STAGE INLETS

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APPROVED: *Max D. St.*

DATE: 10/17/14



FILE	IRRIGATION PLAN
SHEET NUMBER	1-1
COMMENTS	
76/2016 ISSUED FOR PERMIT	

ENGINEER



CONSULTANT

DEVELOPER



SEAL



REVISIONS

COUNTY COMMENTS

09/27/16

IRRIGATION DETAILS

SHEET NUMBER

1-2

COMMENTS

DETAILS/ISSUED FOR PERMIT

