

**REVIEW BY FORT BEND COUNTY COMMISSIONERS COURT**

On this 25th day of October, 2016, Commissioners Court came on to be heard and reviewed the accompanying notice of Greatwood Four, Ltd Job Location 6540 Greatwood Parkway, Sugar Land, TX 77479 Date 9/16/2016 Bond No. 62915164, Permit No. 2016-9460 to make use of certain Fort Bend County property subject to, "A Revised Order Regulating the Laying, Construction, Maintenance, and Repair of Buried Cables, Conduits, and Pole Lines, In, Under, Across or Along Roads, Streets, Highways, and Drainage Ditches in Fort Bend County, Texas, Under the Jurisdiction of the Commissioners Court of Fort Bend County, Texas," as passed by the Commissioners Court of Fort Bend County, Texas the 3rd day of August, 1987, recorded in Volume \_\_\_\_\_ of the Minutes of the Commissioners Court of Fort Bend County, Texas, to the extent that such order is not inconsistent with Article 1436a, Vernon's Texas Civil Statutes. Upon Motion of Commissioner \_\_\_\_\_, seconded by Commissioner \_\_\_\_\_, duly put and carried, it is ORDERED, ADJUDGED AND DECREED that said notice of said above purpose is hereby acknowledged by the Commissioners Court of Fort Bend County, Texas, and that said notice be placed on record according to the regulation order thereof.

Notes:

1. Evidence of review by the Commissioners Court must be kept on the job site and failure to do so constitutes grounds for job shutdown.
2. Written notices are required:
  - a. 48 hours in advance of construction start up, and
  - b. when construction is completed and ready for final inspection
 Mail notices to: Permit Administrator  
 Fort Bend County Engineering  
 301 Jackson Street  
 Richmond, Texas 77469  
 281-633-7500
3. This permit expires one (1) year from date of permit if construction has not commenced.

By: Charles O. Ly  
County Engineer

Presented to Commissioners Court and approved.  
Recorded in Volume \_\_\_\_\_

By: N/A  
Drainage District Engineer/Manager

Minutes of Commissioners Court  
Clerk of Commissioners Court

By: \_\_\_\_\_  
Deputy

**County of Fort Bend**  
Engineering Department

301 Jackson Street  
Richmond, Texas 77469

Phone: (281) 633-7500

**Permit Application Review Form For  
Cable, Conduit, and Pole Line Activity  
In Fort Bend County**

Permit No. 2016-9460

The following "Notice of Proposed Cable, Conduit, and/or Pole Line activity in Fort Bend County" and accompanying attachments have been reviewed and the notice conforms to appropriate regulations set by Commissioner's Court of Fort Bend County, Texas.

(1) Complete Application Form:

a. Name of road, street, and/or drainage ditch affected.

b. Vicinity map showing course of directions

c. Plans and specifications

(2) Bond:

District Attorney, approval when applicable.

Perpetual bond currently posted.

No: \_\_\_\_\_

Amount: \_\_\_\_\_

Performance bond submitted.

No: 62915164

Amount: \$5,000.00

Cashier's Check

No: \_\_\_\_\_

Amount: \_\_\_\_\_

(3) Verbal permission given for emergencies, to start construction before approved in Commissioner's Court.

\_\_\_\_\_  
Precinct Engineer Acknowledgment

\_\_\_\_\_  
Precinct Commissioner Acknowledgment

(4)  
Drainage District Approval when applicable

**We have reviewed this project and agree it meets minimum requirements.**

  
Assistant County Engineer

10/17/16  
Date

Effective Date: September 16th, 2016

**PERFORMANCE BOND COVERING ALL CABLE, CONDUIT AND/OR POLE LINE  
ACTIVITY IN, UNDER, ACROSS OR ALONG FORT BEND COUNTY ROADS  
AUTHORIZED**

BOND NO 62915164

THE STATE OF TEXAS }  
COUNTY OF FORT BEND }

KNOW ALL MEN BY THESE PRESENTS:

**THAT WE,** Greatwood Four, Ltd.

whose address is 19855 Southwest Fwy Ste 300, Sugar Land, TX 77479, Texas hereinafter called the Principal, and WESTERN SURETY COMPANY, a Corporation existing under and by virtue of the laws of the State of South Dakota and authorized to do an indemnifying business in the State of Texas, and whose principal office is located at P.O. Box 5077, Sioux Falls, SD 57117-5077

, whose officer residing in the State of Texas, authorized to accept service in all suits and actions brought within said State is S B X P R S S, Inc.

and whose address is 1937 Teall Ave., Syracuse, NY 13206-1929, hereinafter called the Surety, and held and firmly bound unto, Robert E. Hebert, County Judge of Fort Bend County, Texas, or his successors in office, in the full sum of Five Thousand and 00/100 Dollars (\$ 5,000.00 )

current, lawful money of the United States of America, to be paid to said Robert E. Hebert, County Judge of Fort Bend County, Texas, or his successors in office, to which payment well and truly to be made and done, we, the undersigned, bind ourselves and each of us, our heirs, executors, administrators, successors, assigns, and legal representatives, jointly and severally, by these presents.

**THE CONDITION OF THIS BOND IS SUCH THAT, WHEREAS,** the above bounden principal contemplates laying, constructing, maintaining and/or repairing one or more cables, conduits, and/or pole lines in, under, across and/or along roads, streets and highways in the County of Fort Bend, and the State of Texas, under the jurisdiction of the Commissioners' Court of Fort Bend County, Texas, pursuant to the Commissioners' Court order adopted on the 1st day of December, A.D. 1980, recorded in Volume 13, of the Commissioners' Court Minutes of Fort Bend County, Texas, regulating same, which Commissioners' Court order is hereby referred to and made a part hereof for all purposes as though fully set out herein;

**AND WHEREAS,** the principal desires to provide Fort Bend County with a performance bond covering all such cable, conduit and/or pole line activity;

**NOW, THEREFORE,** if the above bounden principal shall faithfully perform all its cable, conduit and/or pole line activity (including, but not limited to the laying, construction, maintenance and/or repair of cables, conduits and/or pole lines) in, under, across and/or along roads, streets and highways in the County of Fort Bend and State of Texas, under the jurisdiction of the Commissioners Court of Fort Bend County, Texas, pursuant to and in accordance with minimum requirements and conditions of the above mentioned Commissioners' Court order set forth and specified to be by said principal done and performed, at the time and in the manner therein specified, and shall pay over and make good and reimburse Fort Bend County, all loss and damages which Fort Bend County may sustain by reason of any failure or default on the part of said principal, then this obligation shall be null and void, otherwise to remain in full force and effect.

This bond is payable at the County Courthouse in the County of Fort Bend and State of Texas.

It is understood that at any time Fort Bend County deems itself insecure under this bond, it may require further and/or additional bonds of the principal.

EXECUTED this 16th day of September, 2016.



Greatwood Four, Ltd.  
PRINCIPAL

A handwritten signature in blue ink, written over a horizontal line. The signature is stylized and appears to be "Greatwood Four".

BY

WESTERN SURETY COMPANY  
SURETY

A handwritten signature in black ink, written over a horizontal line. The signature reads "Paul T. Bruflat".

BY

Paul T. Bruflat, Vice President

# Western Surety Company

## POWER OF ATTORNEY

### KNOW ALL MEN BY THESE PRESENTS:

That WESTERN SURETY COMPANY, a corporation organized and existing under the laws of the State of South Dakota, and authorized and licensed to do business in the States of Alabama, Alaska, Arizona, Arkansas, California, Colorado, Connecticut, Delaware, District of Columbia, Florida, Georgia, Hawaii, Idaho, Illinois, Indiana, Iowa, Kansas, Kentucky, Louisiana, Maine, Maryland, Massachusetts, Michigan, Minnesota, Mississippi, Missouri, Montana, Nebraska, Nevada, New Hampshire, New Jersey, New Mexico, New York, North Carolina, North Dakota, Ohio, Oklahoma, Oregon, Pennsylvania, Rhode Island, South Carolina, South Dakota, Tennessee, Texas, Utah, Vermont, Virginia, Washington, West Virginia, Wisconsin, Wyoming, and the United States of America, does hereby make, constitute and appoint

Paul T. Bruflat of Sioux Falls,  
State of South Dakota, its regularly elected Vice President,  
as Attorney-in-Fact, with full power and authority hereby conferred upon him to sign, execute, acknowledge and deliver for and on its behalf as Surety and as its act and deed, the following bond:

Cable, Conduit and/or Pole line Activity in, under, across or along County Roads County  
One of Fort Bend

bond with bond number 62915164

for Greatwood Four, Ltd.

as Principal in the penalty amount not to exceed: \$ 5,000.00.

Western Surety Company further certifies that the following is a true and exact copy of Section 7 of the by-laws of Western Surety Company duly adopted and now in force, to-wit:

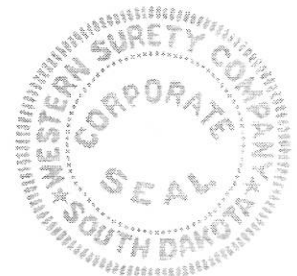
Section 7. All bonds, policies, undertakings, Powers of Attorney, or other obligations of the corporation shall be executed in the corporate name of the Company by the President, Secretary, any Assistant Secretary, Treasurer, or any Vice President, or by such other officers as the Board of Directors may authorize. The President, any Vice President, Secretary, any Assistant Secretary, or the Treasurer may appoint Attorneys-in-Fact or agents who shall have authority to issue bonds, policies, or undertakings in the name of the Company. The corporate seal is not necessary for the validity of any bonds, policies, undertakings, Powers of Attorney or other obligations of the corporation. The signature of any such officer and the corporate seal may be printed by facsimile.

In Witness Whereof, the said WESTERN SURETY COMPANY has caused these presents to be executed by its  
Vice President with the corporate seal affixed this 16th day of September,  
2016.

ATTEST

L. Nelson  
L. Nelson, Assistant Secretary

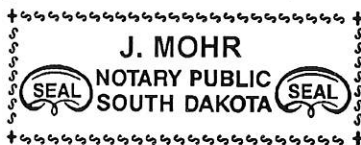
WESTERN SURETY COMPANY  
By Paul T. Bruflat  
Paul T. Bruflat, Vice President



STATE OF SOUTH DAKOTA }  
COUNTY OF MINNEHAHA } ss

On this 16th day of September, 2016, before me, a Notary Public, personally appeared  
Paul T. Bruflat and L. Nelson

who, being by me duly sworn, acknowledged that they signed the above Power of Attorney as Vice President  
and Assistant Secretary, respectively, of the said WESTERN SURETY COMPANY, and acknowledged said instrument to be the  
voluntary act and deed of said Corporation.



My Commission Expires June 23, 2021

J. Mohr  
Notary Public

To validate bond authenticity, go to [www.cnasurety.com](http://www.cnasurety.com) > Owner/Obligee Services > Validate Bond Coverage.



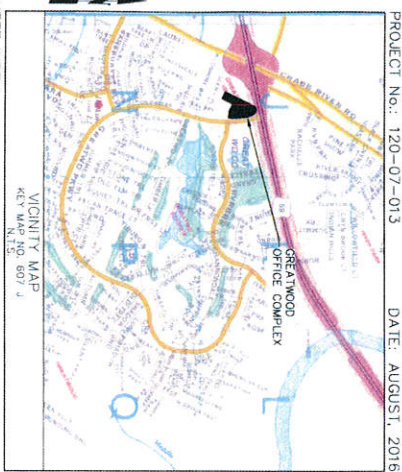
# SITE PLAN PACKAGE AND CONSTRUCTION DRAWINGS

TO SERVE

## GREATWOOD OFFICE COMPLEX

BY THE GREATWOOD FOUR, LTD.  
GENERAL PARTNER THE MILLIS  
GROUP, INC.

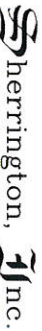
6540 GREATWOOD PARKWAY  
SUGARLAND, TX 77479



### SHEET INDEX

| SHEET NO. | DESCRIPTION  |
|-----------|--|
| 1         | COVER SHEET  |
| 2         | GENERAL NOTES  |
| 3         | TOPOGRAPHIC SURVEY   |
| 4         | PHASING PLAN   |
| 5         | SITE PHASING PARKING AND STRIPING PLAN                             |
| 6         | SANITARY SEWER, WATER, AND STORM WATER POLLUTION PREVENTION LAYOUT |
| 7         | DRIVEWAY, SIDEWALK, AND DRIVEWAY OVERALL LAYOUT                    |
| 8         | MODIFICATIONS TO GREATWOOD PARKWAY                                 |
| 9         | GRADING PLAN   |
| 10        | GRADING SPOT LAYOUT  |
| 11        | WATERING DETAILS   |
| 12        | SANITARY SEWER DETAILS   |
| 13        | PAVEMENT DETAILS (SHEET 1 of 2)                                    |
| 14        | PAVEMENT DETAILS (SHEET 2 of 2)                                    |
| 15        | STORMWATER DETENTION PREVENTION PLAN AND MISC. DETAILS             |
| 16        | PHOTODUPLICATION SITE PLAN   |
| 17        | TYPICAL BUILDING FIRST LEVEL                                       |
| 18        | TYPICAL BUILDING SECOND LEVEL                                      |
| 19        | TYPICAL BUILDING THIRD LEVEL                                       |
| 20        | TYPICAL BUILDING FOURTH LEVEL                                      |
| 21        | TYPICAL BUILDING FIFTH LEVEL                                       |
| 22        | TYPICAL BUILDING FRONT & REAR ELEVATIONS                           |
| 23        | TYPICAL BUILDING THIRD LEVEL                                       |
| 24        | TYPICAL BUILDING AND OVERHEAD BUILDING CALCULATIONS                |
| 25        | FRONT ENTRY PLANS  |
| 26        | FRONT ENTRY PLANS  |
| 27        | FRONT ENTRY PLANS  |
| 28        | FRONT ENTRY PLANS  |
| 29        | FRONT ENTRY PLANS  |
| 30        | FRONT ENTRY PLANS  |
| 31        | FRONT ENTRY PLANS  |
| 32        | FRONT ENTRY PLANS  |
| 33        | FRONT ENTRY PLANS  |

THE GREATWOOD FOUR, LTD.



3800 STATE STREET, SUITE 300  
SUGARLAND, TEXAS 77479  
281-343-4900

Sherrington, Inc.  
14870 S. State Road  
Cypress, Texas 77429  
281-343-1131  
Firm Registration No. F-525

CITY ENGINEER  
CHRISTOPHER L. STEUBING, P.E., CFM

APPROVED  
CITY OF SUGAR LAND

EGG BIRD COUNTY ENGINEER  
ENGINEER: Mark A. Steubing, P.E.  
DATE: 9/11/16  
THESE SIGNATURES ARE VOID IF CONSTRUCTION HAS NOT COMMENCED IN (1) YEAR FROM DATE OF APPROVAL.  
APPROVED: [Signature]  
DATE: 9/11/16

NOTES:  
1. CONSTRUCTION SHALL BE MONITORED BY A REGISTERED PROFESSIONAL ENGINEER AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE CONSTRUCTION DRAWINGS.  
2. CONSTRUCTION SHALL NOTIFY THE DISTRICT OPERATOR.  
3. THESE TO BE THE CONSTRUCTION OF THESE FACILITIES WITHIN OR BY THE DISTRICT. THE DISTRICT OR ITS ENGINEER SHALL NOT BE WRITTEN NOTICE BY ENGINEERING, CITY OF HOUSTON, STATING THE DATE WHEN CONSTRUCTION WILL BE COMMENCED.



GENERAL NOTES:

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ST. LOUIS AND THE MISSOURI DEPARTMENT OF HEALTH.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ST. LOUIS AND THE MISSOURI DEPARTMENT OF HEALTH.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ST. LOUIS AND THE MISSOURI DEPARTMENT OF HEALTH.

CONCRETE/PAVING NOTES:

- 1. ALL CONCRETE SHALL BE PLACED AND FINISHED TO THE SPECIFIED FINISH.
2. ALL CONCRETE SHALL BE PLACED AND FINISHED TO THE SPECIFIED FINISH.
3. ALL CONCRETE SHALL BE PLACED AND FINISHED TO THE SPECIFIED FINISH.

CEMENT STABILIZED SAND:

- 1. CEMENT STABILIZED SAND SHALL BE PLACED AND FINISHED TO THE SPECIFIED FINISH.
2. CEMENT STABILIZED SAND SHALL BE PLACED AND FINISHED TO THE SPECIFIED FINISH.
3. CEMENT STABILIZED SAND SHALL BE PLACED AND FINISHED TO THE SPECIFIED FINISH.

ASPHALT - OILS AND EMULSIONS:

- 1. ASPHALT SHALL BE PLACED AND FINISHED TO THE SPECIFIED FINISH.
2. ASPHALT SHALL BE PLACED AND FINISHED TO THE SPECIFIED FINISH.
3. ASPHALT SHALL BE PLACED AND FINISHED TO THE SPECIFIED FINISH.

STABILIZED CRUSHED CONCRETE:

- 1. STABILIZED CRUSHED CONCRETE SHALL BE PLACED AND FINISHED TO THE SPECIFIED FINISH.
2. STABILIZED CRUSHED CONCRETE SHALL BE PLACED AND FINISHED TO THE SPECIFIED FINISH.
3. STABILIZED CRUSHED CONCRETE SHALL BE PLACED AND FINISHED TO THE SPECIFIED FINISH.

WATER DISTRIBUTION NOTES:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ST. LOUIS AND THE MISSOURI DEPARTMENT OF HEALTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ST. LOUIS AND THE MISSOURI DEPARTMENT OF HEALTH.

PRIVATE UTILITY NOTES:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ST. LOUIS AND THE MISSOURI DEPARTMENT OF HEALTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ST. LOUIS AND THE MISSOURI DEPARTMENT OF HEALTH.

DETAILED WATER NOTES:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ST. LOUIS AND THE MISSOURI DEPARTMENT OF HEALTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ST. LOUIS AND THE MISSOURI DEPARTMENT OF HEALTH.

GENERAL CONTRACTOR NOTES:

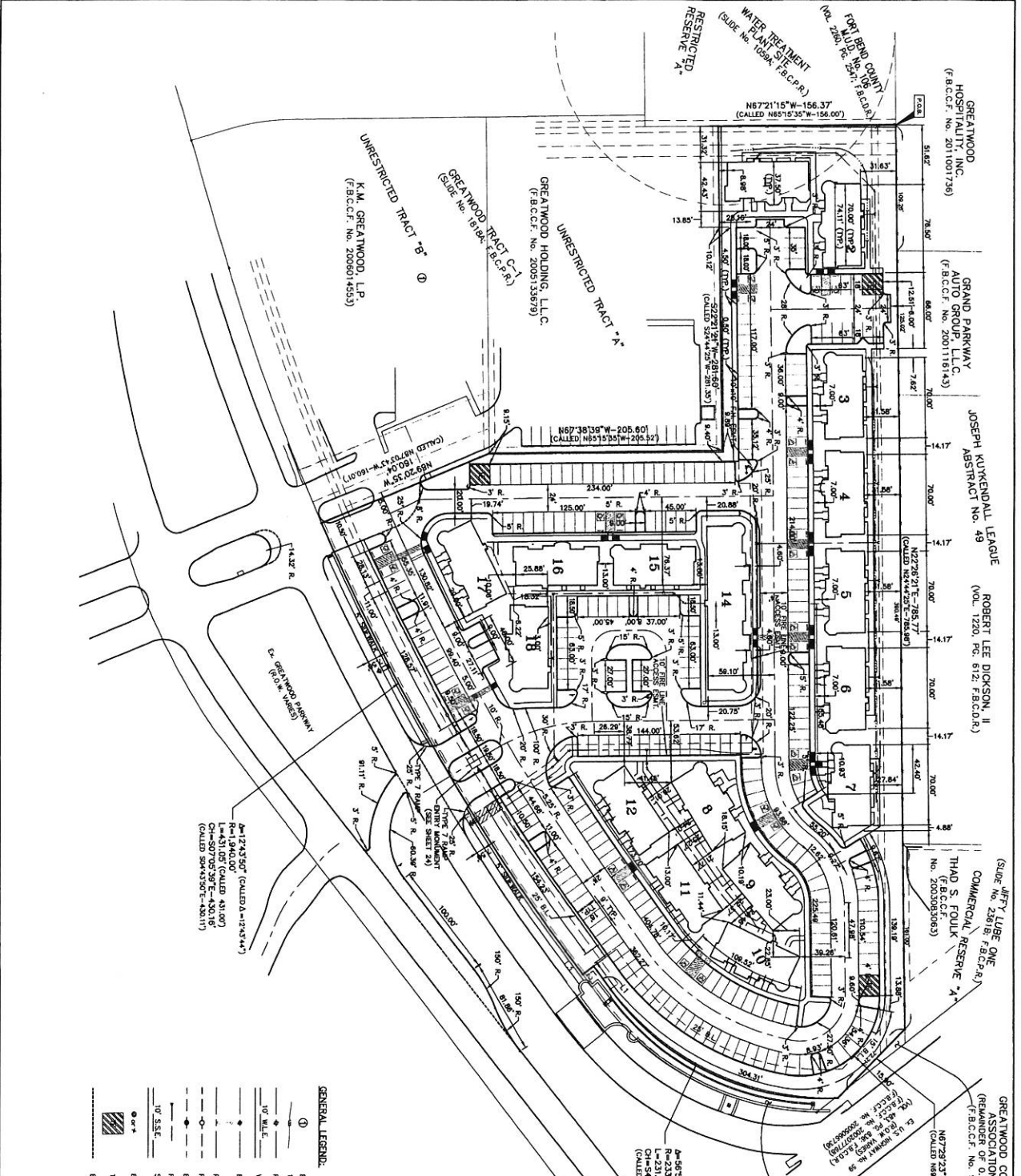
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Approval and signature block containing:
- APPROVED: [Signature]
- DATE: 11/16/14
- GREATWOOD OFFICE COMPLEX
- SHEET 2 OF 13
- SHERINGTON, Inc. logo and contact information.





**GENERAL LEGEND:**

- ① EXISTING BLOCK NUMBER
- 1/0' CORRIDOR INTERVAL
- PROPOSED WATERLINE AND GATE VALVE
- WATERLINE EASEMENT
- EXISTING WATERLINE AND GATE VALVE
- PROPOSED WATERLINE AND FIRE HYDRANT
- PROPOSED SANITARY SEWER LINE AND MANHOLE
- EXISTING SANITARY SEWER LINE AND MANHOLE
- PROPOSED SANITARY SEWER LINE AND CLEANOUT
- EXISTING SANITARY SEWER LINE AND CLEANOUT
- EXISTING LIGHTS
- TRASH ENCLOSURE
- EXISTING CURB TO BE REMOVED

**NOTICE:**

THIS PLAN IS TO BE USED FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EASEMENTS AND RIGHTS-OF-WAY FROM THE ADJACENT PROPERTY OWNERS. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING CURBS AND EASEMENTS UNLESS OTHERWISE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EASEMENTS AND RIGHTS-OF-WAY FROM THE ADJACENT PROPERTY OWNERS. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING CURBS AND EASEMENTS UNLESS OTHERWISE SHOWN ON THIS PLAN.

**LEGEND:**

1/0' CORRIDOR INTERVAL

PROPOSED WATERLINE AND GATE VALVE

WATERLINE EASEMENT

EXISTING WATERLINE AND GATE VALVE

PROPOSED WATERLINE AND FIRE HYDRANT

PROPOSED SANITARY SEWER LINE AND MANHOLE

EXISTING SANITARY SEWER LINE AND MANHOLE

PROPOSED SANITARY SEWER LINE AND CLEANOUT

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**CONSTRUCTION SCHEDULE:**

1. DEMOLITION AND SITE PREPARATION: 10/15/14 - 11/15/14

2. FOUNDATION AND STRUCTURE: 11/15/14 - 12/15/14

3. INTERIOR FINISHES: 12/15/14 - 01/15/15

4. EXTERIOR FINISHES: 01/15/15 - 02/15/15

5. LANDSCAPE AND UTILITIES: 02/15/15 - 03/15/15

6. FINAL INSPECTION AND OCCUPANCY: 03/15/15 - 04/15/15

**SCALE:** 1/10

**SHERINGTON, Inc.**

1000 PLYMOUTH STREET, SUITE 100, WILMINGTON, DE 19801

TEL: 302.486.1100 FAX: 302.486.1101

WWW.SHERINGTONINC.COM

**GREATWOOD OFFICE COMPLEX**

**SITE DIMENSION PLAN**

DATE: 11/14/14

APPROVED: [Signature]

DESIGNED BY: S.M.A./J.A.B.

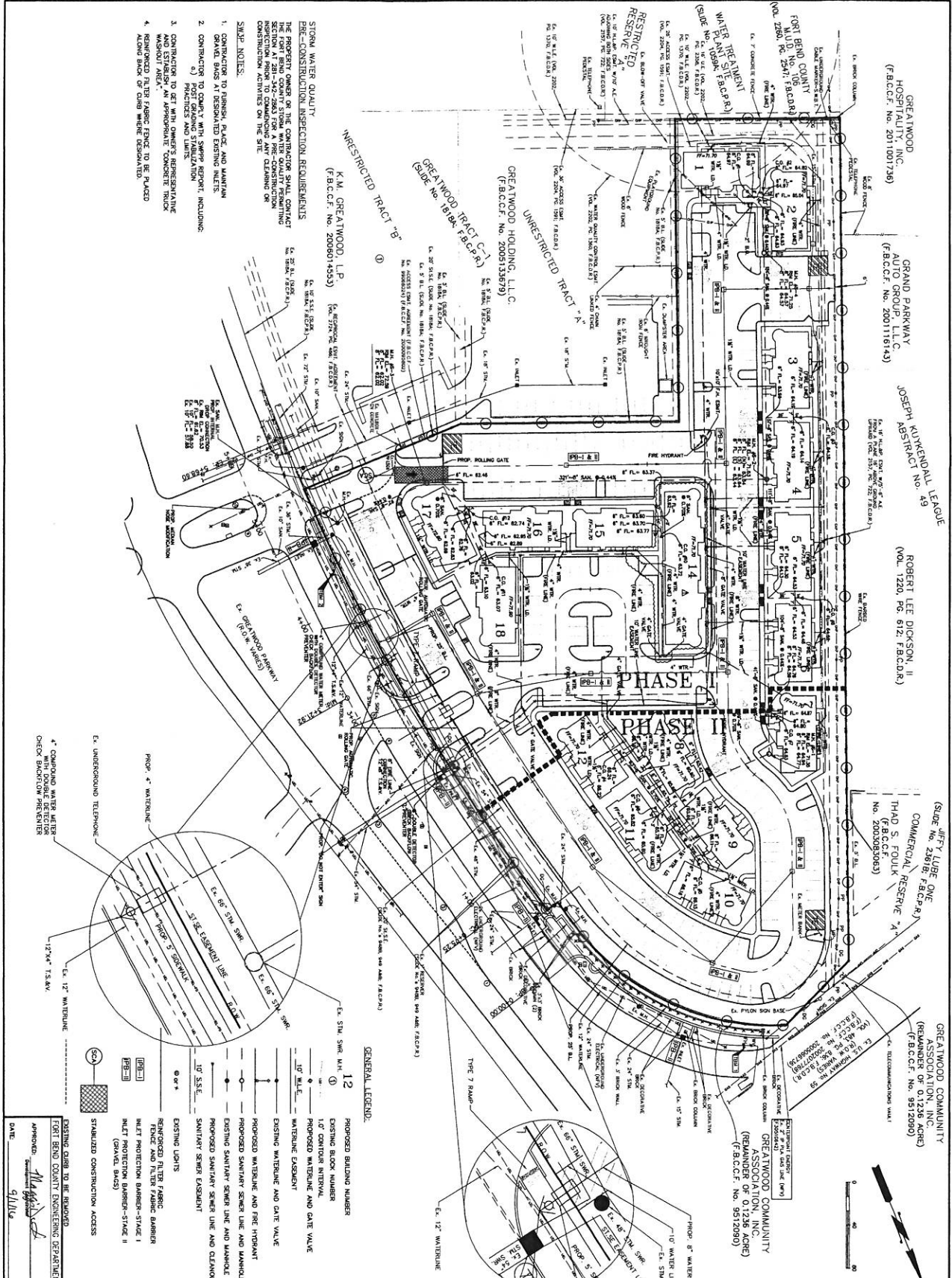
CHECKED BY: S.M.A.

SCALE: 1" = 40'

SHEET: 4 of 33

RECORD: 108





GREATWOOD HOSPITALITY, INC.  
(F.B.C.C.F. No. 20110517139)

GRAND PARKWAY AUTO GROUP, L.L.C.  
(F.B.C.C.F. No. 200116143)

JOSEPH KUYKENDALL LEAGUE  
ROBERT LEE DICKSON, II  
(VOL. 1220, PG. 812, F.B.C.D.R.)

JIFFY LUBE ONE  
(SHELF No. 289) F.B.C.P.R.  
COMMERCIAL RESERVE #1  
(F.B.C.C.F. No. 200305003)

THAD S. FOULKE  
(F.B.C.C.F. No. 200305003)

GREATWOOD COMMUNITY ASSOCIATION, INC.  
(REMAINDER OF 0.1236 ACRES)  
(F.B.C.C.F. No. 9512090)

GREATWOOD COMMUNITY ASSOCIATION, INC.  
(REMAINING 0.1236 ACRES)  
(F.B.C.C.F. No. 9512090)

**STORM WATER QUALITY**  
PRE-CONSTRUCTION INSPECTION REQUIREMENTS  
THE PROPERTY OWNER OF THE CONSTRUCTION SHALL CONTACT THE COUNTY ENGINEER TO OBTAIN A PRE-CONSTRUCTION SECTION AT 281-342-2863 FOR A PRE-CONSTRUCTION CONSTRUCTION ACTIVITIES ON THE SITE.

**SWMP NOTES:**

1. CONTRACTOR TO FINISH, PLACE, AND MAINTAIN GRAVEL BAYS AT DESIGNATED EXISTING INLETS.
2. CONTRACTOR TO COMPLY WITH SWMP REPORT INCLUDING:
  - a) POST DESIGN AND SIGNAGE
  - b) POST DESIGN AND SIGNAGE
3. CONTRACTOR TO GET WITH OWNER'S REPRESENTATIVE AND ESTABLISH AN APPROPRIATE CONCRETE TRUCK WASHOUT AREA.
4. ALLIANCE OF FLOOD FLOODING DESIGNATED.

**GENERAL LEGEND:**

|      |   |
|------|---|
| 12   | PROPOSED BUILDING NUMBER                  |
| ①    | EXISTING BLOCK NUMBER                     |
| 1.0' | PROPOSED WATERLINE AND GATE VALVE         |
| 1.0' | EXISTING WATERLINE AND GATE VALVE         |
| 1.0' | PROPOSED SANITARY SEWER LINE AND MANHOLE  |
| 1.0' | EXISTING SANITARY SEWER LINE AND MANHOLE  |
| 1.0' | PROPOSED SANITARY SEWER LINE AND CLEANOUT |
| 1.0' | EXISTING SANITARY SEWER LINE AND CLEANOUT |
| 1.0' | PROPOSED WATERLINE AND GATE VALVE         |
| 1.0' | EXISTING WATERLINE AND GATE VALVE         |
| 1.0' | PROPOSED SANITARY SEWER LINE AND MANHOLE  |
| 1.0' | EXISTING SANITARY SEWER LINE AND MANHOLE  |
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| 1.0' | PROPOSED SANITARY SEWER LINE AND CLEANOUT |
| 1.0' | EXISTING SANITARY SEWER LINE AND CLEANOUT |
| 1.0' | PROPOSED WATERLINE AND GATE VALVE         |
| 1.0' | EXISTING WATERLINE AND GATE VALVE         |

**EXISTING WATERLINE AND GATE VALVE**

**PROPOSED WATERLINE AND GATE VALVE**

**EXISTING SANITARY SEWER LINE AND MANHOLE**

**PROPOSED SANITARY SEWER LINE AND MANHOLE**

**EXISTING SANITARY SEWER LINE AND CLEANOUT**

**PROPOSED SANITARY SEWER LINE AND CLEANOUT**

**EXISTING WATERLINE AND GATE VALVE**

**PROPOSED WATERLINE AND GATE VALVE**

**EXISTING SANITARY SEWER LINE AND MANHOLE**

**PROPOSED SANITARY SEWER LINE AND MANHOLE**

**EXISTING SANITARY SEWER LINE AND CLEANOUT**

**PROPOSED SANITARY SEWER LINE AND CLEANOUT**

**EXISTING WATERLINE AND GATE VALVE**

**PROPOSED WATERLINE AND GATE VALVE**

**EXISTING SANITARY SEWER LINE AND MANHOLE**

**PROPOSED SANITARY SEWER LINE AND MANHOLE**

**EXISTING SANITARY SEWER LINE AND CLEANOUT**

**PROPOSED SANITARY SEWER LINE AND CLEANOUT**

**EXISTING WATERLINE AND GATE VALVE**

**PROPOSED WATERLINE AND GATE VALVE**

**EXISTING SANITARY SEWER LINE AND MANHOLE**

**PROPOSED SANITARY SEWER LINE AND MANHOLE**

**EXISTING SANITARY SEWER LINE AND CLEANOUT**

**PROPOSED SANITARY SEWER LINE AND CLEANOUT**

**EXISTING WATERLINE AND GATE VALVE**

**PROPOSED WATERLINE AND GATE VALVE**

**EXISTING SANITARY SEWER LINE AND MANHOLE**

**PROPOSED SANITARY SEWER LINE AND MANHOLE**

**EXISTING SANITARY SEWER LINE AND CLEANOUT**

**PROPOSED SANITARY SEWER LINE AND CLEANOUT**

**EXISTING WATERLINE AND GATE VALVE**

**PROPOSED WATERLINE AND GATE VALVE**

**EXISTING SANITARY SEWER LINE AND MANHOLE**

**PROPOSED SANITARY SEWER LINE AND MANHOLE**

**EXISTING SANITARY SEWER LINE AND CLEANOUT**

**PROPOSED SANITARY SEWER LINE AND CLEANOUT**

**EXISTING WATERLINE AND GATE VALVE**

**PROPOSED WATERLINE AND GATE VALVE**

**EXISTING SANITARY SEWER LINE AND MANHOLE**

**PROPOSED SANITARY SEWER LINE AND MANHOLE**

**EXISTING SANITARY SEWER LINE AND CLEANOUT**

**PROPOSED SANITARY SEWER LINE AND CLEANOUT**

**EXISTING WATERLINE AND GATE VALVE**

**PROPOSED WATERLINE AND GATE VALVE**

**EXISTING SANITARY SEWER LINE AND MANHOLE**

**PROPOSED SANITARY SEWER LINE AND MANHOLE**

**EXISTING SANITARY SEWER LINE AND CLEANOUT**

**PROPOSED SANITARY SEWER LINE AND CLEANOUT**

**Sherrington, Inc.**  
Professional Engineer  
No. 10000  
10000  
10000

**GREATWOOD OFFICE COMPLEX**

**SANITARY SEWER, WATER AND STORM WATER POLLUTION PREVENTION LAYOUT**

DATE: 9/11/16

SHEET: 6 of 33

**REFERENCE BENCHMARK:**

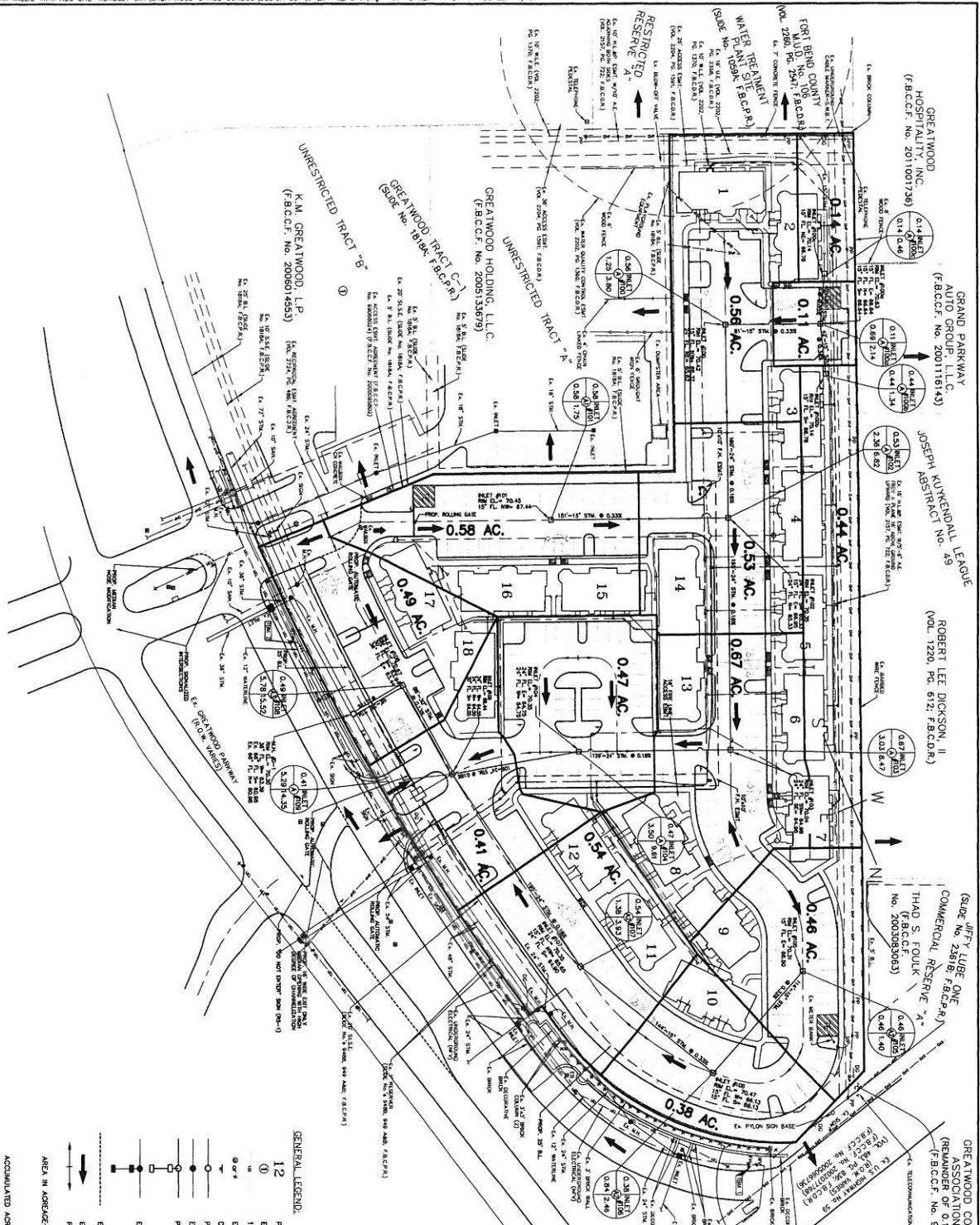
SEE PLAN FOR THE INTERSECTION OF HWY. 29 AND HWY. 101. THE BENCHMARK IS A 1.00' HIGH CONCRETE MONUMENT WITH A 1.00' DIAMETER ROD AND THE STATION NUMBER IS 10000.00. THE BENCHMARK IS LOCATED AT THE INTERSECTION OF THE GRAND PARKWAY AND HWY. 29. THE BENCHMARK IS LOCATED AT THE INTERSECTION OF THE GRAND PARKWAY AND HWY. 29. THE BENCHMARK IS LOCATED AT THE INTERSECTION OF THE GRAND PARKWAY AND HWY. 29.

**NOTICE:**

THIS PLAN IS THE PROPERTY OF SHERRINGTON, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHERRINGTON, INC.

**FLOOD PLAIN MANAGEMENT INFORMATION:**

PER FIRM PLAN NO. 10000, DATED 10/00, THE FLOOD PLAIN MANAGEMENT INFORMATION IS AS SHOWN ON THE PLAN. THE FLOOD PLAIN MANAGEMENT INFORMATION IS AS SHOWN ON THE PLAN. THE FLOOD PLAIN MANAGEMENT INFORMATION IS AS SHOWN ON THE PLAN.



**GENERAL LEGEND:**

- 12 PROPOSED BUILDING NUMBER
- 12 EXISTING BLOCK NUMBER
- 1.0' CONTROL INTERVAL
- EXISTING LIGHTS
- DO NOT ENTER SIGN (8x-1)
- PROPOSED STORM SEWER LINE AND MANHOLE
- EXISTING STORM SEWER LINE AND MANHOLE
- PROPOSED STORM SEWER MANHOLE AND "4"-2" INLETS
- EXISTING STORM SEWER MANHOLE AND "4"-2" INLETS
- EXISTING CURB TO BE REMOVED
- EXTENDED EVENT FLOW
- PAVING SCHEMATIC
- AREA IN AGRICULTURE
- ACCUMULATED AGRICULTURE
- MANHOLE NUMBER
- DRAINAGE SYSTEM
- ACCUMULATED C.F.S.

**REFERENCE BENCHMARK:**

THE POINT OF BEGINNING FOR THE PROPERTY OF UNIT #8 AND NEW TOWER #18 IS THE CORNER OF THE INTERSECTION OF THE STATION ON THE NORTH, LOCATED BETWEEN THE PROPERTY LOTS OF UNIT #8 AND UNIT #18. THE POINT OF BEGINNING FOR THE PROPERTY OF UNIT #18 IS THE INTERSECTION OF THE STATION ON THE SOUTH, LOCATED BETWEEN THE PROPERTY LOTS OF UNIT #18 AND UNIT #17. THE POINT OF BEGINNING FOR THE PROPERTY OF UNIT #17 IS THE INTERSECTION OF THE STATION ON THE WEST, LOCATED BETWEEN THE PROPERTY LOTS OF UNIT #17 AND UNIT #16. THE POINT OF BEGINNING FOR THE PROPERTY OF UNIT #16 IS THE INTERSECTION OF THE STATION ON THE EAST, LOCATED BETWEEN THE PROPERTY LOTS OF UNIT #16 AND UNIT #15. THE POINT OF BEGINNING FOR THE PROPERTY OF UNIT #15 IS THE INTERSECTION OF THE STATION ON THE SOUTH, LOCATED BETWEEN THE PROPERTY LOTS OF UNIT #15 AND UNIT #14. THE POINT OF BEGINNING FOR THE PROPERTY OF UNIT #14 IS THE INTERSECTION OF THE STATION ON THE NORTH, LOCATED BETWEEN THE PROPERTY LOTS OF UNIT #14 AND UNIT #13. THE POINT OF BEGINNING FOR THE PROPERTY OF UNIT #13 IS THE INTERSECTION OF THE STATION ON THE WEST, LOCATED BETWEEN THE PROPERTY LOTS OF UNIT #13 AND UNIT #12. THE POINT OF BEGINNING FOR THE PROPERTY OF UNIT #12 IS THE INTERSECTION OF THE STATION ON THE EAST, LOCATED BETWEEN THE PROPERTY LOTS OF UNIT #12 AND UNIT #11. THE POINT OF BEGINNING FOR THE PROPERTY OF UNIT #11 IS THE INTERSECTION OF THE STATION ON THE SOUTH, LOCATED BETWEEN THE PROPERTY LOTS OF UNIT #11 AND UNIT #10. THE POINT OF BEGINNING FOR THE PROPERTY OF UNIT #10 IS THE INTERSECTION OF THE STATION ON THE NORTH, LOCATED BETWEEN THE PROPERTY LOTS OF UNIT #10 AND UNIT #9. THE POINT OF BEGINNING FOR THE PROPERTY OF UNIT #9 IS THE INTERSECTION OF THE STATION ON THE WEST, LOCATED BETWEEN THE PROPERTY LOTS OF UNIT #9 AND UNIT #8. THE POINT OF BEGINNING FOR THE PROPERTY OF UNIT #8 IS THE INTERSECTION OF THE STATION ON THE EAST, LOCATED BETWEEN THE PROPERTY LOTS OF UNIT #8 AND UNIT #7. THE POINT OF BEGINNING FOR THE PROPERTY OF UNIT #7 IS THE INTERSECTION OF THE STATION ON THE SOUTH, LOCATED BETWEEN THE PROPERTY LOTS OF UNIT #7 AND UNIT #6. THE POINT OF BEGINNING FOR THE PROPERTY OF UNIT #6 IS THE INTERSECTION OF THE STATION ON THE NORTH, LOCATED BETWEEN THE PROPERTY LOTS OF UNIT #6 AND UNIT #5. THE POINT OF BEGINNING FOR THE PROPERTY OF UNIT #5 IS THE INTERSECTION OF THE STATION ON THE WEST, LOCATED BETWEEN THE PROPERTY LOTS OF UNIT #5 AND UNIT #4. THE POINT OF BEGINNING FOR THE PROPERTY OF UNIT #4 IS THE INTERSECTION OF THE STATION ON THE EAST, LOCATED BETWEEN THE PROPERTY LOTS OF UNIT #4 AND UNIT #3. THE POINT OF BEGINNING FOR THE PROPERTY OF UNIT #3 IS THE INTERSECTION OF THE STATION ON THE SOUTH, LOCATED BETWEEN THE PROPERTY LOTS OF UNIT #3 AND UNIT #2. THE POINT OF BEGINNING FOR THE PROPERTY OF UNIT #2 IS THE INTERSECTION OF THE STATION ON THE NORTH, LOCATED BETWEEN THE PROPERTY LOTS OF UNIT #2 AND UNIT #1. THE POINT OF BEGINNING FOR THE PROPERTY OF UNIT #1 IS THE INTERSECTION OF THE STATION ON THE WEST, LOCATED BETWEEN THE PROPERTY LOTS OF UNIT #1 AND UNIT #18.

**NOTICE:**

THIS PLAN IS THE PROPERTY OF GREATWOOD OFFICE CONDOS, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF GREATWOOD OFFICE CONDOS, INC.

**VERIFICATION OF PRIVATE UTILITY LINES:**

CONDUCTED BY: [Name]

DATE: [Date]

**SHERRINGTON, INC.**

Professional Engineer License No. 121216

DATE: 9/11/14

**GREATWOOD OFFICE COMPLEX**

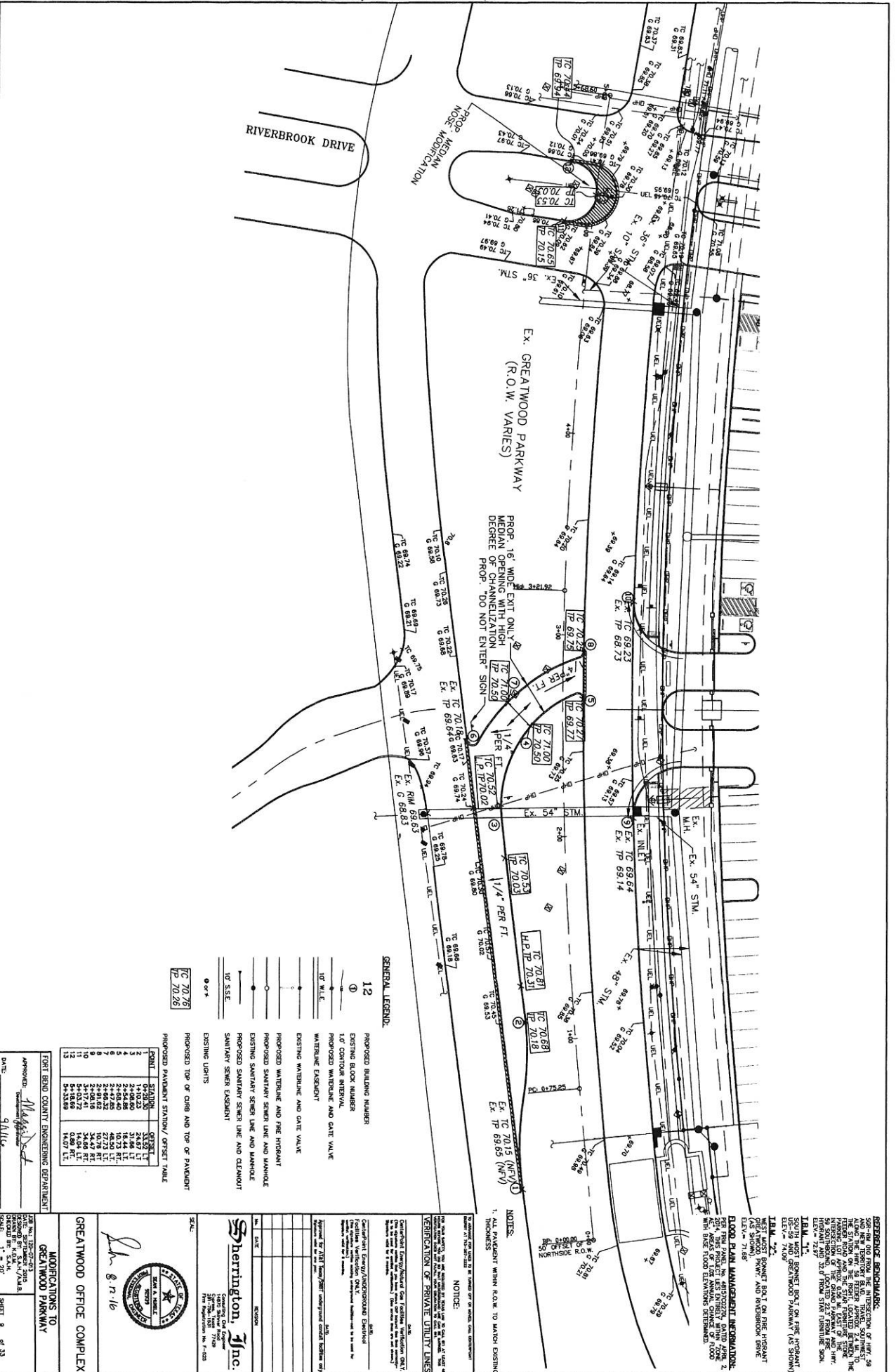
**DRAINAGE AREA MAP, PAVEMENT AND DRAINAGE OVERALL LAYOUT**

APPROVED: [Signature]

DATE: 9/11/14

SHEET 7 OF 33





**GENERAL LEGEND**

- 12 PROPOSED BUILDING NUMBER
- ① EXISTING BLOCK NUMBER
- 1"0" CENTER INTERVAL
- PROPOSED WINDOW AND GATE VALVE
- WATERLINE EXHIBIT
- EXISTING WATERLINE AND GATE VALVE
- PROPOSED WATERLINE AND FINE HYDRANT
- EXISTING SANITARY SEWER LINE AND MANHOLE
- PROPOSED SANITARY SEWER LINE AND MANHOLE
- EXISTING SANITARY SEWER LINE AND CLEANOUT
- SANITARY SEWER EXHIBIT
- EXISTING LIGHTS
- ②+\* PROPOSED TOP OF CURB AND TOP OF PAVEMENT

**PROPOSED PAVEMENT STATIONING / OFFSET TABLE**

| POINT | STATION | OFFSET  |
|-------|---------|---------|
| 1     | 0+78.50 | 5.50 FT |
| 2     | 1+00.00 | 5.50 FT |
| 3     | 1+06.00 | 5.50 FT |
| 4     | 1+12.00 | 5.50 FT |
| 5     | 1+18.00 | 5.50 FT |
| 6     | 1+24.00 | 5.50 FT |
| 7     | 1+30.00 | 5.50 FT |
| 8     | 1+36.00 | 5.50 FT |
| 9     | 1+42.00 | 5.50 FT |
| 10    | 1+48.00 | 5.50 FT |
| 11    | 1+54.00 | 5.50 FT |
| 12    | 1+60.00 | 5.50 FT |
| 13    | 1+66.00 | 5.50 FT |

FORT BEND COUNTY ENGINEERING DEPARTMENT  
 APPROVED: *[Signature]*  
 DATE: 9/11/14

MODIFICATIONS TO GREATWOOD PARKWAY  
 GREATWOOD OFFICE COMPLEX  
 SHEET 9 OF 13

**Sherington, Inc.**  
 Consulting Civil Engineer  
 5077 West Loop West, Suite 7740  
 Fort Worth, Texas 76149  
 P.E. Registration No. 7-232

**Professional Engineer**  
 State of Texas  
 License No. 10589  
 Date of Issue: 08/11/14  
 Expiration Date: 08/11/17

**NOTICE:**  
 THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF SHERINGTON, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS INFORMATION WITHOUT THE WRITTEN CONSENT OF SHERINGTON, INC. IS STRICTLY PROHIBITED.

**VERIFICATION OF PRIVATE UTILITY LINES**  
 The utility lines shown on this plan were verified by the following methods:  
 1. All private utility lines were located by hand-dug test pits.  
 2. All public utility lines were located by hand-dug test pits.  
 3. All utility lines were located by hand-dug test pits.

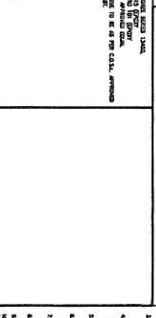
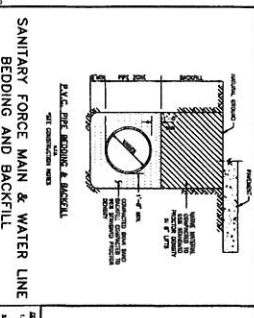
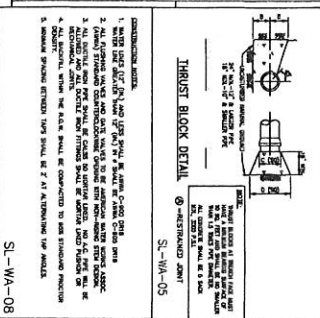
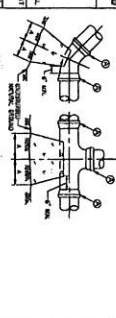
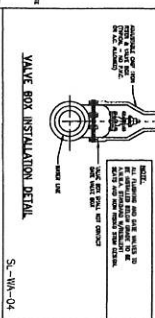
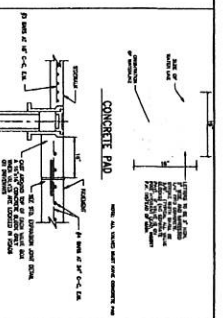
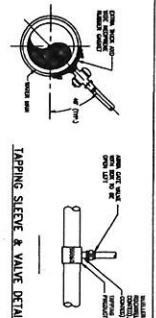
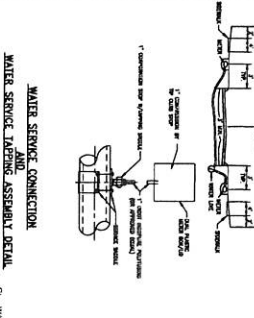
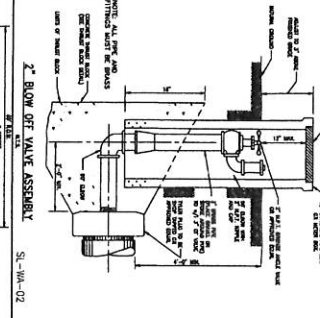
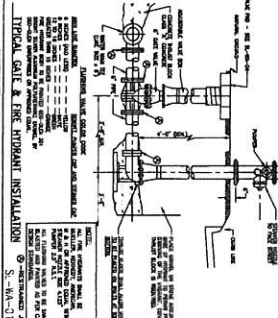
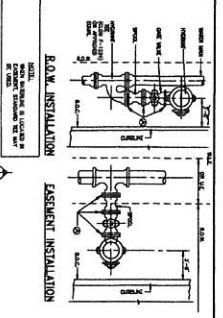
**REFERENCE BENCHMARK:**  
 SOUTH MOST CORNER BOLT ON FIRE HYDRANT (AS SHOWN)  
 ELEVATION = 74.00'

**FLOOD PLANNING INFORMATION:**  
 FLOOD PLANNING INFORMATION IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THIS PROJECT WILL BE SUBJECT TO FLOOD ZONING REGULATIONS AND 30' FROM STAR TURNOUT SIGN.

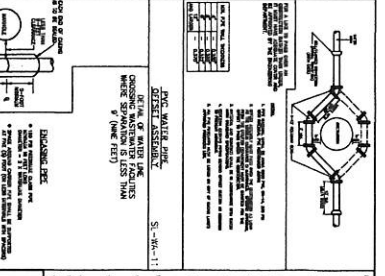
**NOTES:**  
 1. ALL PAVEMENT WITHIN ROW TO MATCH EXISTING  
 2. ALL PAVEMENT WITHIN ROW TO MATCH EXISTING





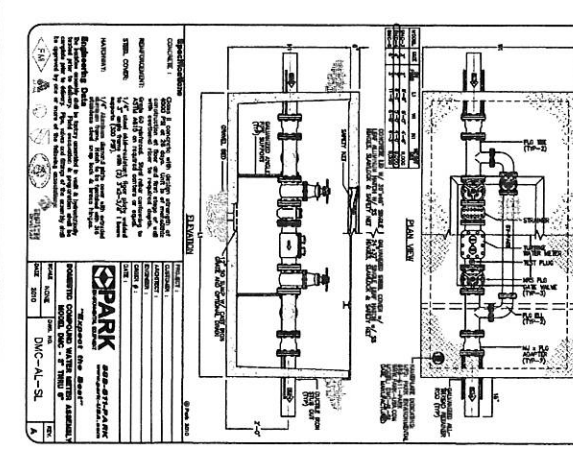
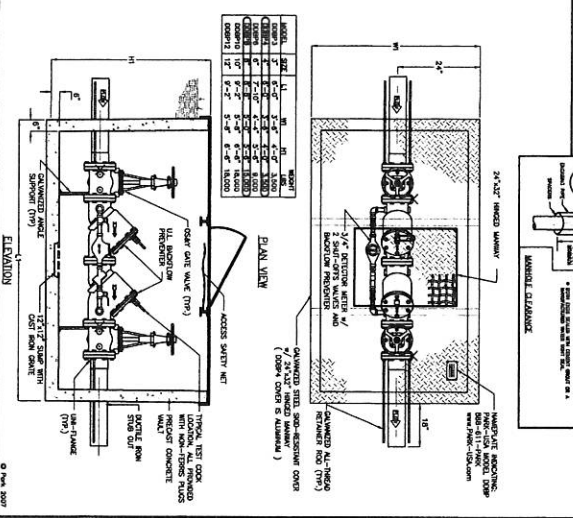


**NOTES**  
 1. REFER TO THE GENERAL NOTES FOR THE PROJECT.  
 2. REFER TO THE GENERAL NOTES FOR THE PROJECT.  
 3. REFER TO THE GENERAL NOTES FOR THE PROJECT.  
 4. REFER TO THE GENERAL NOTES FOR THE PROJECT.  
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 8. REFER TO THE GENERAL NOTES FOR THE PROJECT.  
 9. REFER TO THE GENERAL NOTES FOR THE PROJECT.  
 10. REFER TO THE GENERAL NOTES FOR THE PROJECT.



**CONCRETE PAD**  
 1. CONCRETE PAD SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES:  
 2. CONCRETE PAD SHALL BE INSTALLED IN A CONCRETE PAD AS SHOWN IN THE DETAIL.  
 3. CONCRETE PAD SHALL BE INSTALLED IN A CONCRETE PAD AS SHOWN IN THE DETAIL.

**CONCRETE PAD**  
 1. CONCRETE PAD SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES:  
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 3. CONCRETE PAD SHALL BE INSTALLED IN A CONCRETE PAD AS SHOWN IN THE DETAIL.

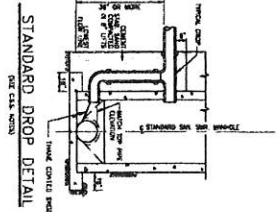


**PARK**  
 CONSULTING ENGINEERS  
 1000 WEST 10TH AVENUE  
 DENVER, CO 80202  
 PHONE: 303.733.1100  
 FAX: 303.733.1101  
 WWW.PARKENGINEERS.COM

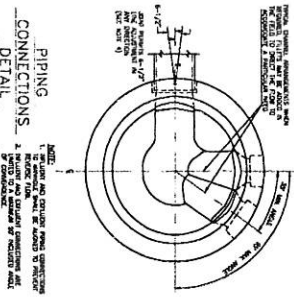
**DATE:** 9/11/14  
**SCALE:** 1/4"  
**SHEET:** 12 OF 33

**Sherrington, Inc.**  
 CONSULTING ENGINEERS  
 1000 WEST 10TH AVENUE  
 DENVER, CO 80202  
 PHONE: 303.733.1100  
 FAX: 303.733.1101  
 WWW.SHERINGTONINC.COM

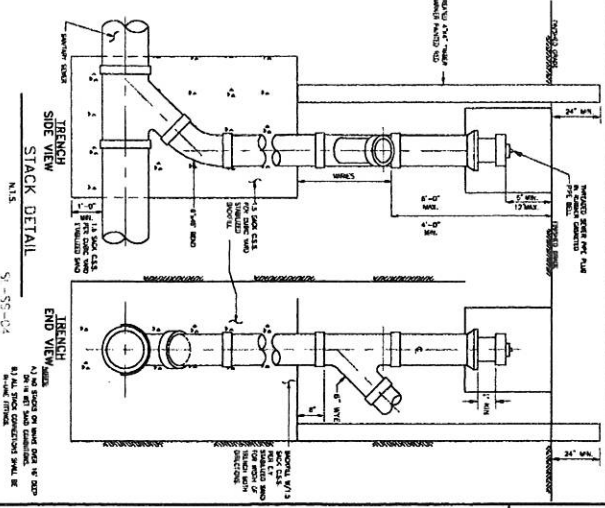
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**SCALE:** 1/4"  
**SHEET:** 12 OF 33



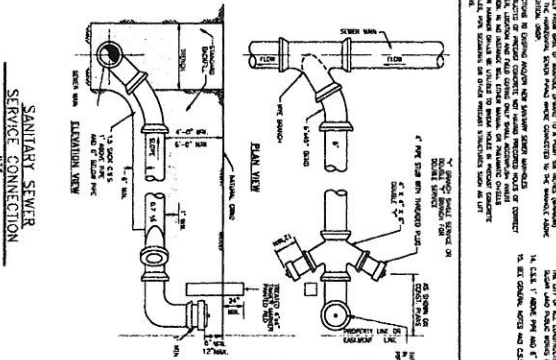
SC-SS-02



SC-SS-03



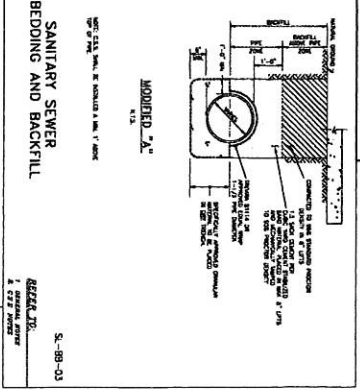
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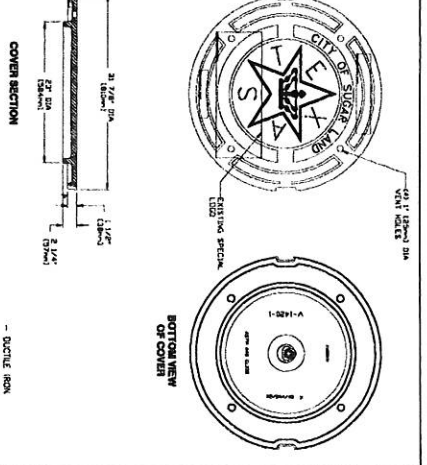
SC-SS-05

- NOTES:**
1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
  2. ALL MATERIALS SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
  3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY ENGINEERING DEPARTMENT STANDARDS.
  4. ALL TRENCHES SHALL BE PROTECTED BY CURBS AND GUTTERS.
  5. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY ENGINEERING DEPARTMENT STANDARDS.
  6. ALL CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH THE CITY ENGINEERING DEPARTMENT STANDARDS.
  7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY ENGINEERING DEPARTMENT STANDARDS.
  8. ALL MATERIALS SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
  9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY ENGINEERING DEPARTMENT STANDARDS.
  10. ALL TRENCHES SHALL BE PROTECTED BY CURBS AND GUTTERS.
  11. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY ENGINEERING DEPARTMENT STANDARDS.
  12. ALL CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH THE CITY ENGINEERING DEPARTMENT STANDARDS.
  13. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY ENGINEERING DEPARTMENT STANDARDS.
  14. ALL MATERIALS SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
  15. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY ENGINEERING DEPARTMENT STANDARDS.

SC-SS-07



SC-SS-03



SC-SS-02

**PRECAST SANITARY MANHOLE**

**NOTES:**

1. ALL MATERIALS SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY ENGINEERING DEPARTMENT STANDARDS.
3. ALL TRENCHES SHALL BE PROTECTED BY CURBS AND GUTTERS.
4. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY ENGINEERING DEPARTMENT STANDARDS.
5. ALL CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH THE CITY ENGINEERING DEPARTMENT STANDARDS.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY ENGINEERING DEPARTMENT STANDARDS.
7. ALL MATERIALS SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY ENGINEERING DEPARTMENT STANDARDS.

SC-SS-01

FORT BEND COUNTY ENGINEERING DEPARTMENT

APPROVED: *[Signature]*

DATE: 9/11/16

SANITARY SEWER DETAILS

SHEET 13 OF 23

RECORD-12

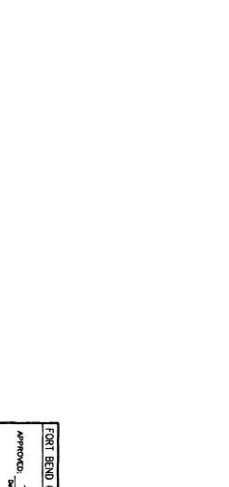
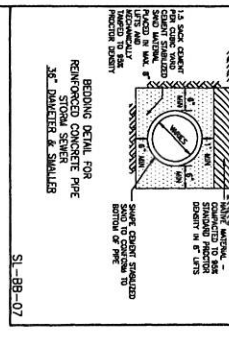
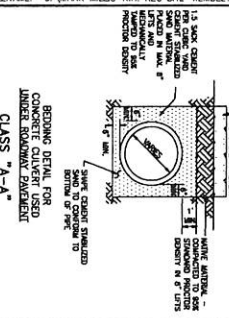
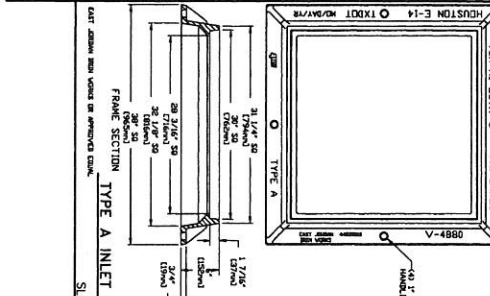
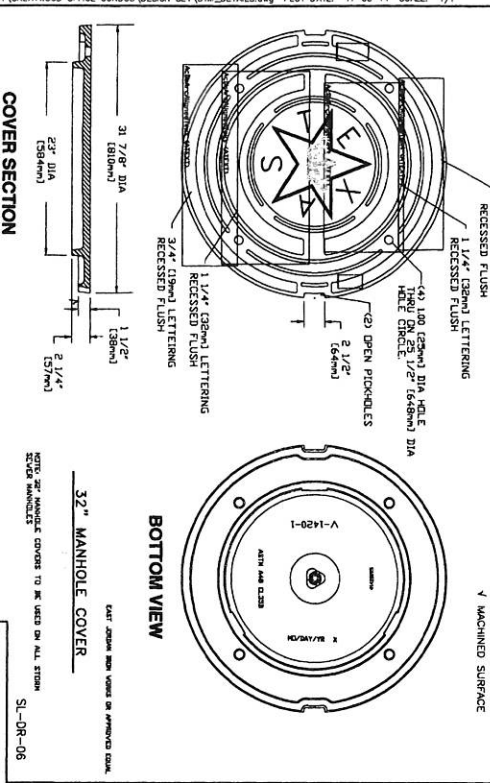
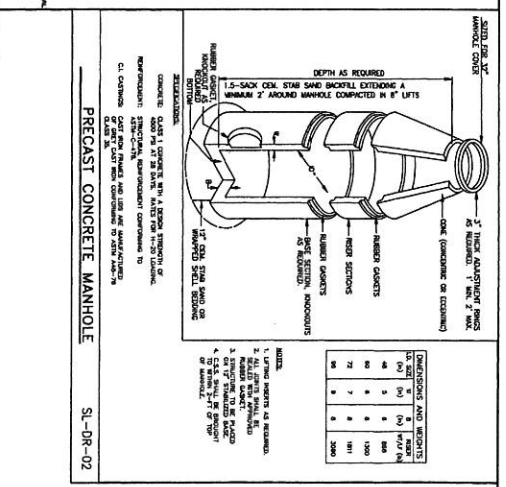
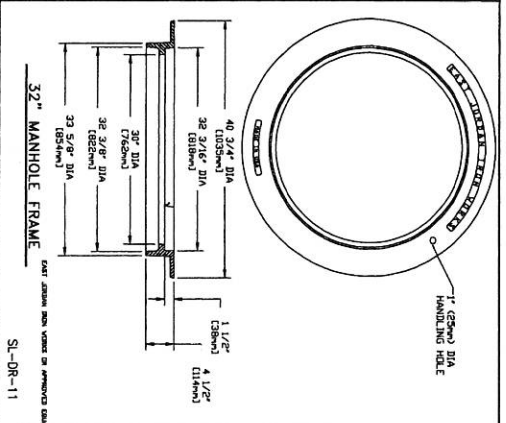
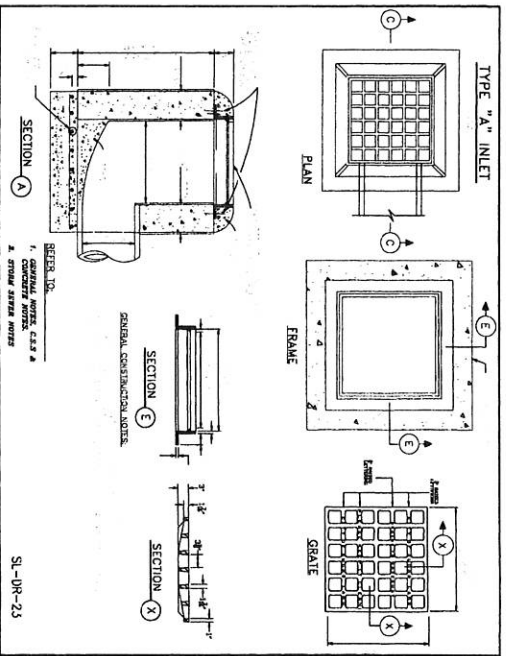
GREATWOOD OFFICE COMPLEX

**Sherington, Inc.**

10000 WEST 10TH AVENUE, SUITE 1000  
DENVER, CO 80231  
TEL: 303.733.1111

DATE: 9/12/16

| NO. | DATE | REVISION |
|-----|------|----------|
|     |      |          |
|     |      |          |
|     |      |          |



APPROVED: *[Signature]*

DATE: 9/1/14

FORT BEND COUNTY ENGINEERING DEPARTMENT

STORM SEWER DETAILS

GREATWOOD OFFICE COMPLEX

SCALE: AS SHOWN

DATE: 9/1/14

DESIGNED BY: K.H. MILLIS

CHECKED BY: K.H. MILLIS

DATE: 9/1/14

PROJECT: GREATWOOD OFFICE COMPLEX

SHEET: 14 OF 33

FIGURE: 100

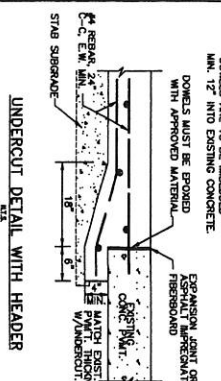
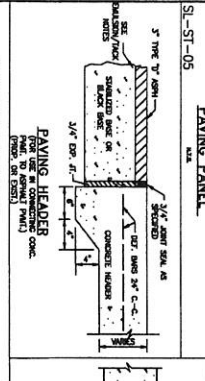
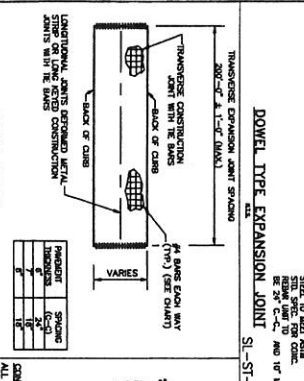
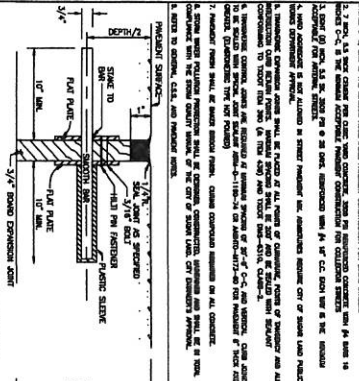
**S**herrington, **I**nc.

10000 Katy Road, Suite 1000  
Houston, Texas 77054  
Tel: 281.466.1000  
Fax: 281.466.1001  
www.sherringtoninc.com

Professional Seal: K.H. MILLIS, P.E., No. 12345

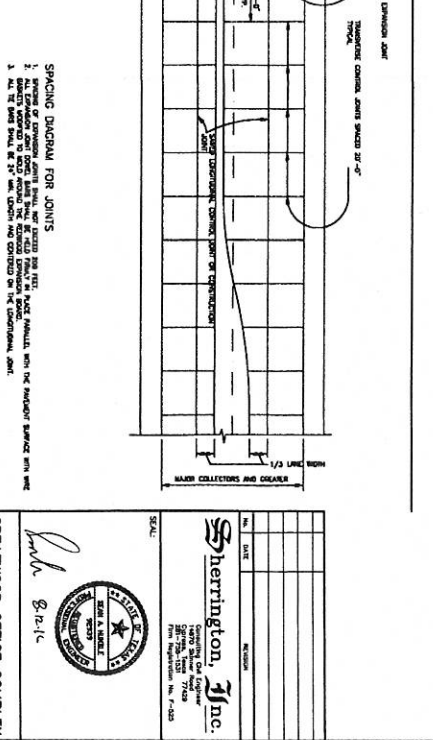
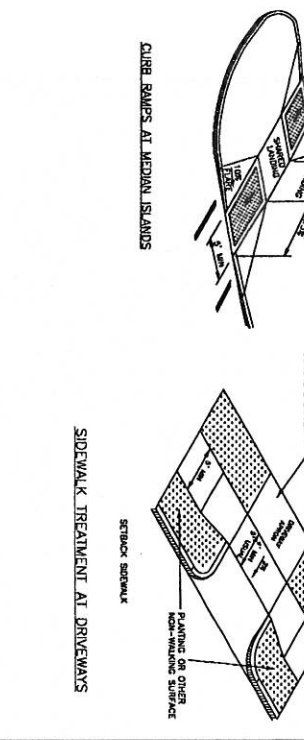
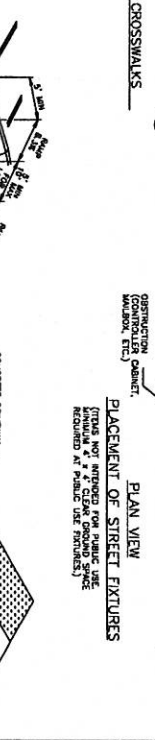
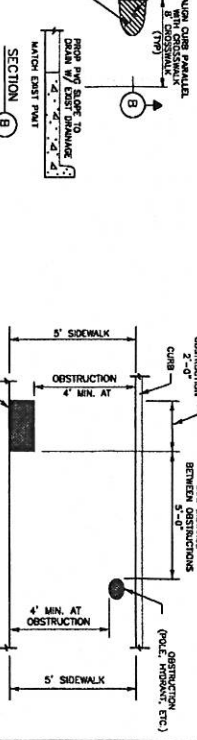
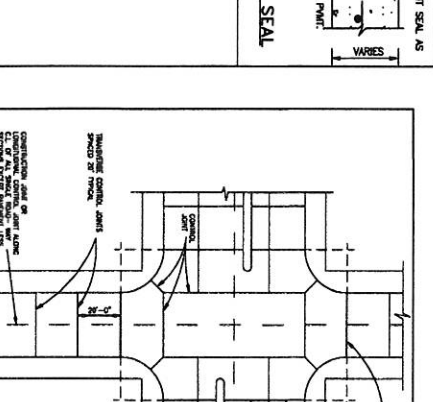
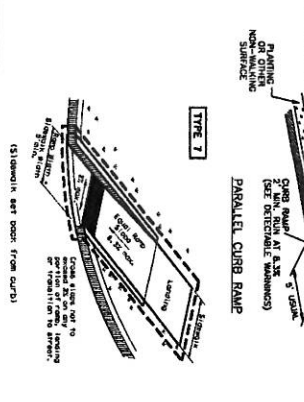
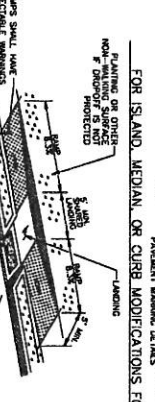
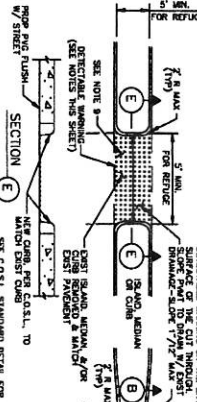
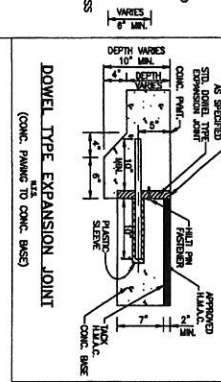
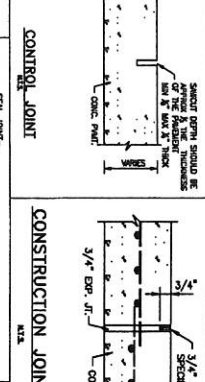
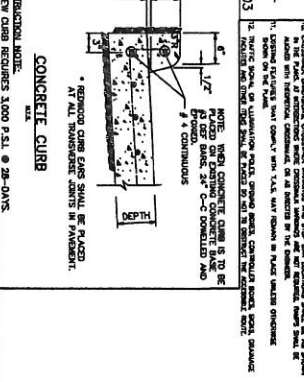
**CONSTRUCTION NOTES:**

1. ALL JOINTS TO BE CONCRETE. 2000 PSI AIR ENCLOSED CONCRETE WITH 4% STEEL FIBERS.
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**NOTES:**

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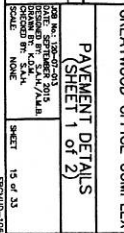


APPROVED: *[Signature]*  
DATE: 11/16/14

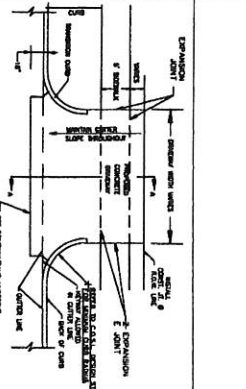
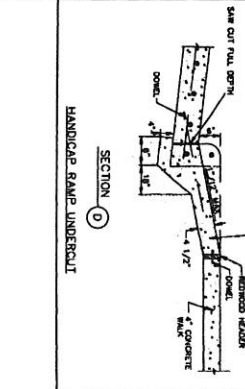
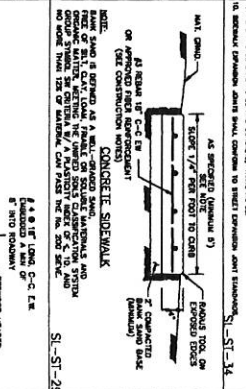
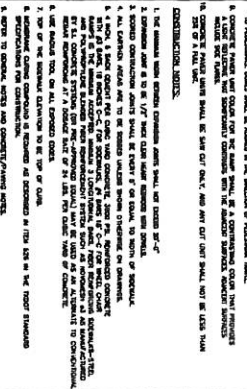
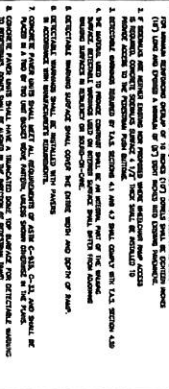
FORT BEND COUNTY ENGINEERING DEPARTMENT  
GREATWOOD OFFICE COMPLEX  
PAVEMENT DETAILS  
(SHEET 1 OF 2)

SCALE: 1/4" = 1'-0"

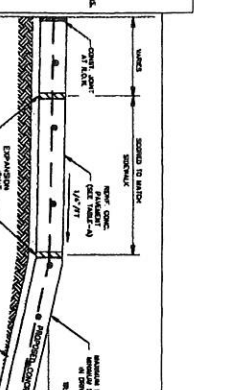
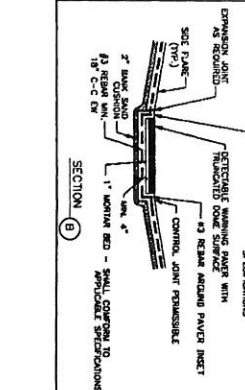
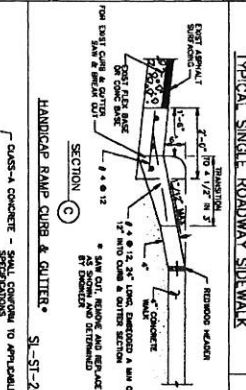
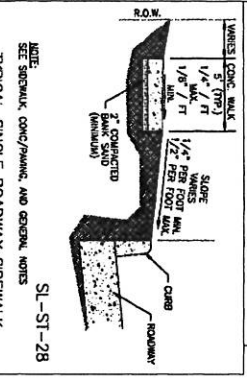
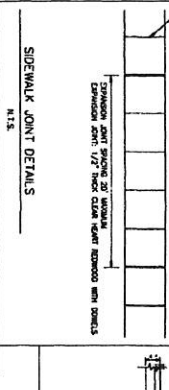
15 OF 13  
FIG-108



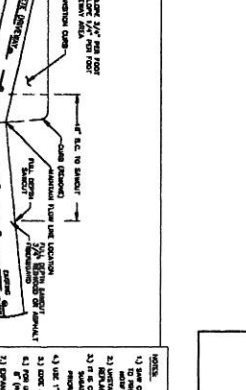
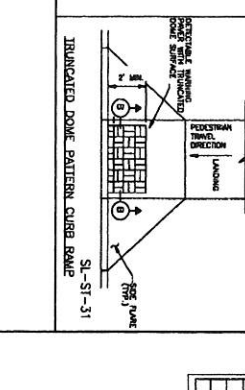
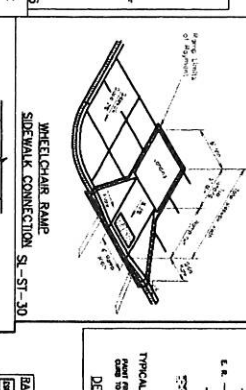
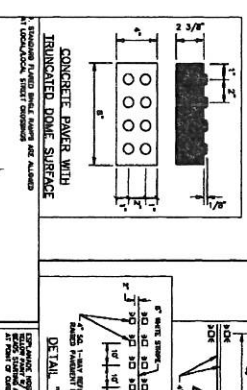
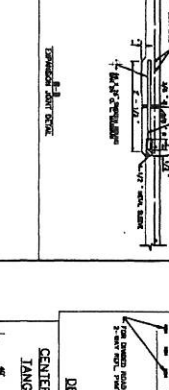
- NOTES:**
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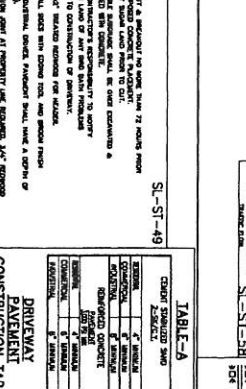
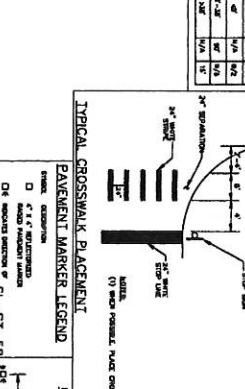
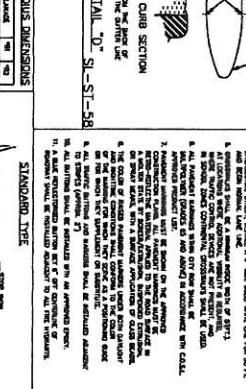
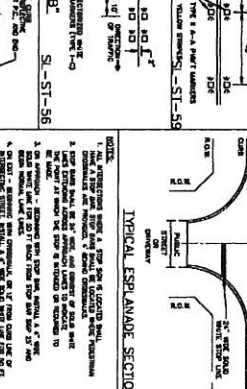
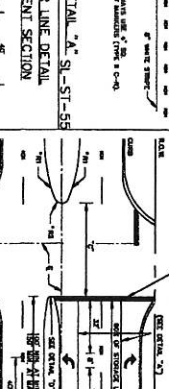
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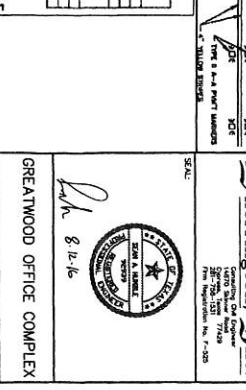
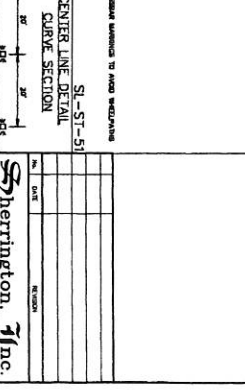
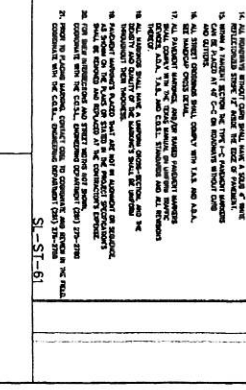
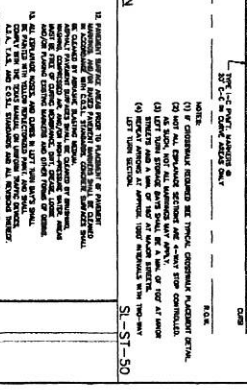
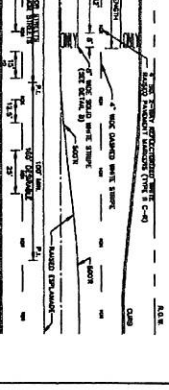
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**TABLE A**

| CONCRETE CLASS | THICKNESS | FINISH |
|----------------|-----------|--------|
| CONCRETE CLASS | THICKNESS | FINISH |

**PAYMENT MARKER PLACEMENT**

| MARKER TYPE | SPACING |
|-------------|---------|
| MARKER TYPE | SPACING |

**DRIVEWAY PAVEMENT CONSTRUCTION TABLE**

| DRIVEWAY PAVEMENT CONSTRUCTION | CONSTRUCTION |
|--------------------------------|--------------|
| DRIVEWAY PAVEMENT CONSTRUCTION | CONSTRUCTION |

**DRIVEWAY PAVEMENT CONSTRUCTION TABLE**

| DRIVEWAY PAVEMENT CONSTRUCTION | CONSTRUCTION |
|--------------------------------|--------------|
| DRIVEWAY PAVEMENT CONSTRUCTION | CONSTRUCTION |

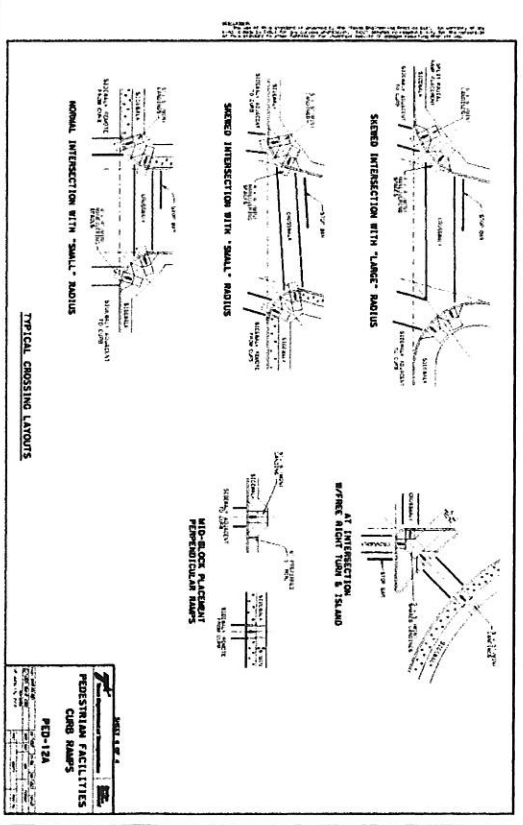
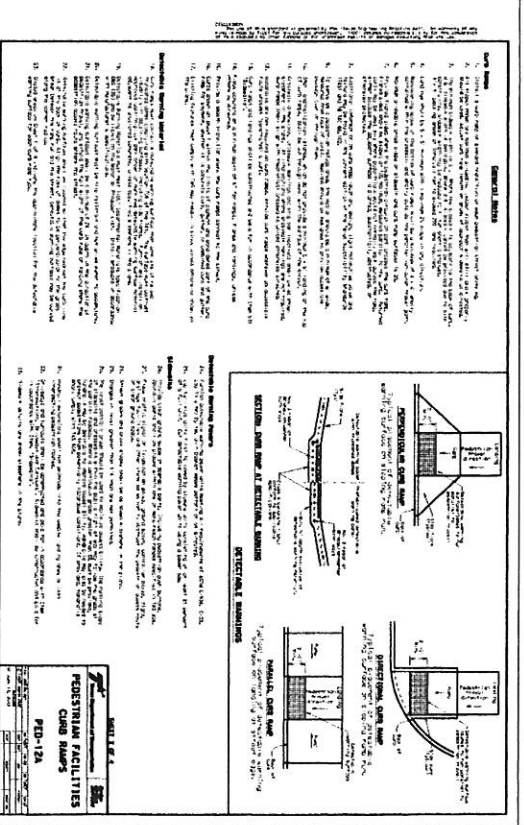
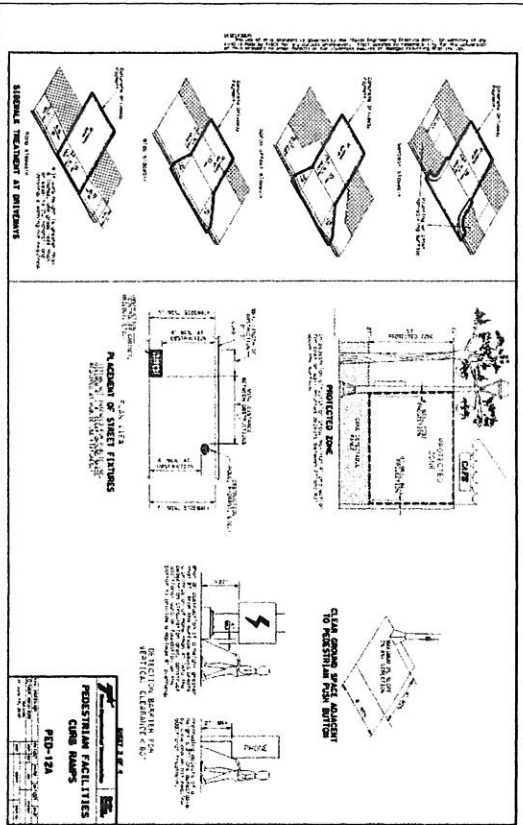
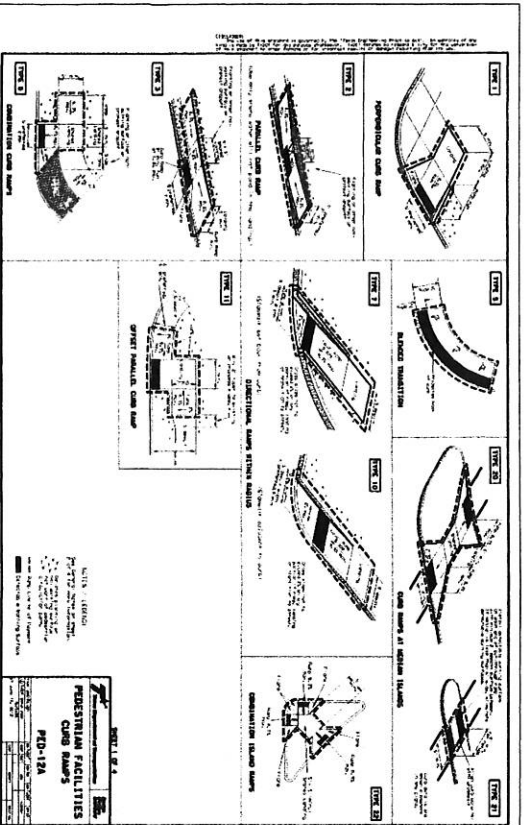
**DRIVEWAY PAVEMENT CONSTRUCTION TABLE**

| DRIVEWAY PAVEMENT CONSTRUCTION | CONSTRUCTION |
|--------------------------------|--------------|
| DRIVEWAY PAVEMENT CONSTRUCTION | CONSTRUCTION |

**DRIVEWAY PAVEMENT CONSTRUCTION TABLE**

| DRIVEWAY PAVEMENT CONSTRUCTION | CONSTRUCTION |
|--------------------------------|--------------|
| DRIVEWAY PAVEMENT CONSTRUCTION | CONSTRUCTION |

**PAVEMENT DETAILS**  
SHEET 2 OF 2  
GREATWOOD OFFICE COMPLEX  
18.41.33  
PROJ-102



APPROVED: *[Signature]*  
DATE: SEPTEMBER 2016  
DRAWN BY: J.A.B.  
CHECKED BY: J.A.B.  
SCALE: NONE  
SHEET: 186 OF 233

APPROVED: *[Signature]*  
DATE: SEPTEMBER 2016  
DRAWN BY: J.A.B.  
CHECKED BY: J.A.B.  
SCALE: NONE  
SHEET: 186 OF 233

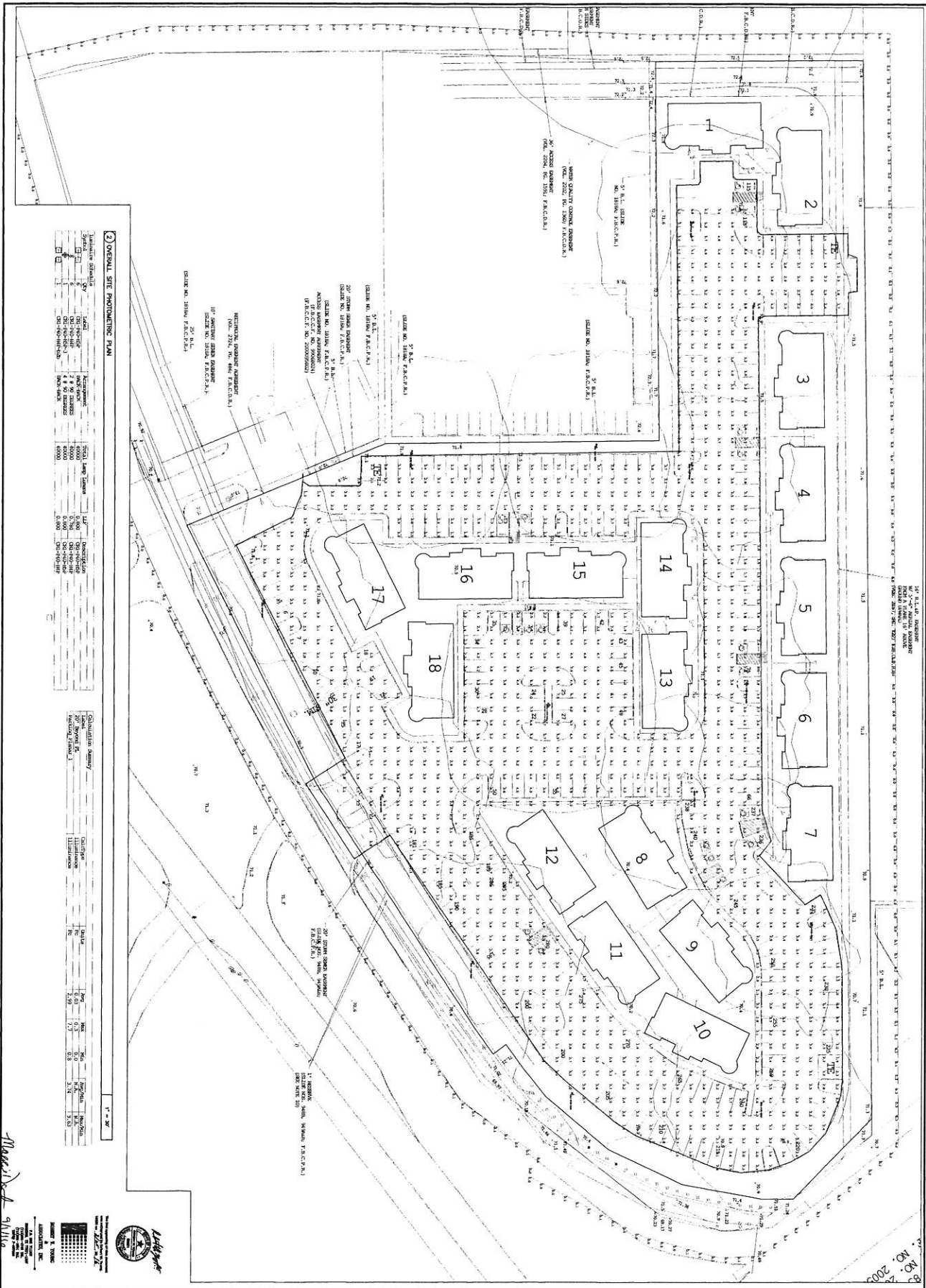
FORT BEND COUNTY ENGINEERING DEPARTMENT  
TYPED DETAILS  
PD 12A  
GREATWOOD OFFICE COMPLEX

Sherrington, Inc.  
Consulting Civil Engineers  
5000 West Loop West, Suite 1000  
Houston, Texas 77025  
Phone: (713) 865-1100  
Fax: (713) 865-1101  
www.sherringtoninc.com

SCALE: AS SHOWN  
DATE: 8/12/16

| NO. | DATE | REVISION |
|-----|------|----------|
|     |      |          |
|     |      |          |
|     |      |          |
|     |      |          |





**2. OVERALL SITE PHOTOMETRIC PLAN**

| Parameter         | Value         |
|-------------------|---------------|
| Site Area         | 100,000 sq ft |
| Building Area     | 150,000 sq ft |
| Lot Coverage      | 15%           |
| Lighting System   | LED           |
| Mounting Height   | 10-15 ft      |
| Beam Spread       | 15-25 degrees |
| Footcandle Level  | 10-20 fc      |
| Glare Index       | 0.25          |
| Light Loss Factor | 0.80          |
| Control System    | 0-10V Dimming |
| Commissioning     | Yes           |

| Fixture Type | Quantity | Mounting Height | Beam Spread | Footcandle Level |
|--------------|----------|-----------------|-------------|------------------|
| Recessed     | 100      | 10 ft           | 15 degrees  | 10 fc            |
| Surface      | 50       | 15 ft           | 25 degrees  | 15 fc            |
| Wall Pack    | 20       | 20 ft           | 30 degrees  | 20 fc            |
| Street Light | 10       | 30 ft           | 45 degrees  | 30 fc            |

*Maggie*  
9/11/16

**Millis Group**  
Solutions  
GREATWOOD

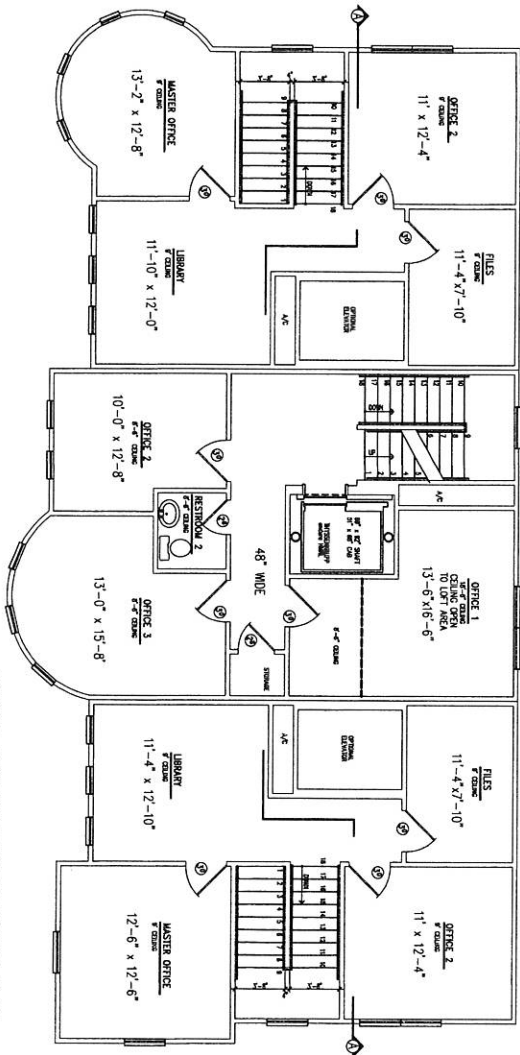
City/State/County  
SUGAR LAND, TEXAS

The Overall  
SITE PHOTOMETRIC  
PLAN

Plan Number  
L1

MILLIS GROUP





TYPICAL BUILDING SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

FORT BEND COUNTY ENGINEERING DEPARTMENT

APPROVER: *[Signature]*

DATE: 5/11/16

The Offices of Greatwood

DATE/REVISIONS

NO. DATE DESCRIPTION

1. 11/15/15

2. 05/11/16

3. 05/11/16

4. 05/11/16

5. 05/11/16

6. 05/11/16

7. 05/11/16

8. 05/11/16

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16. 05/11/16

17. 05/11/16

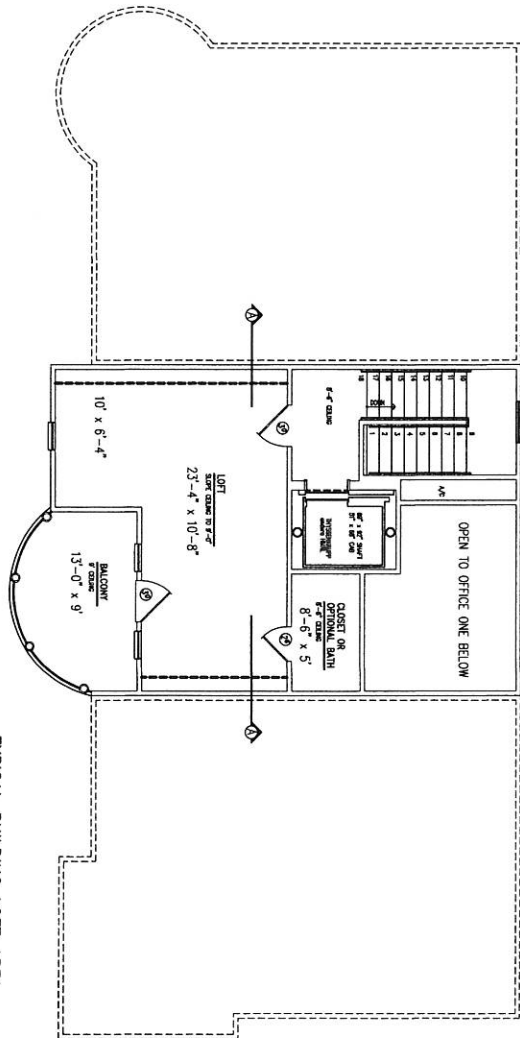
18. 05/11/16

19. 05/11/16

20. 05/11/16

MILLIS GROUP  
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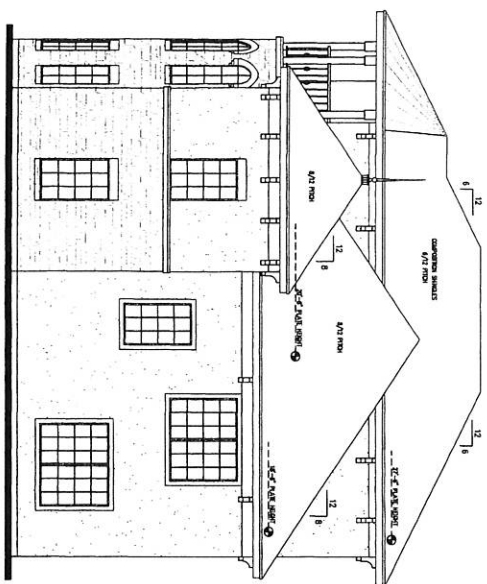


TYPICAL BUILDING LOFT AREA  
 SCALE: 1/4" = 1'-0"

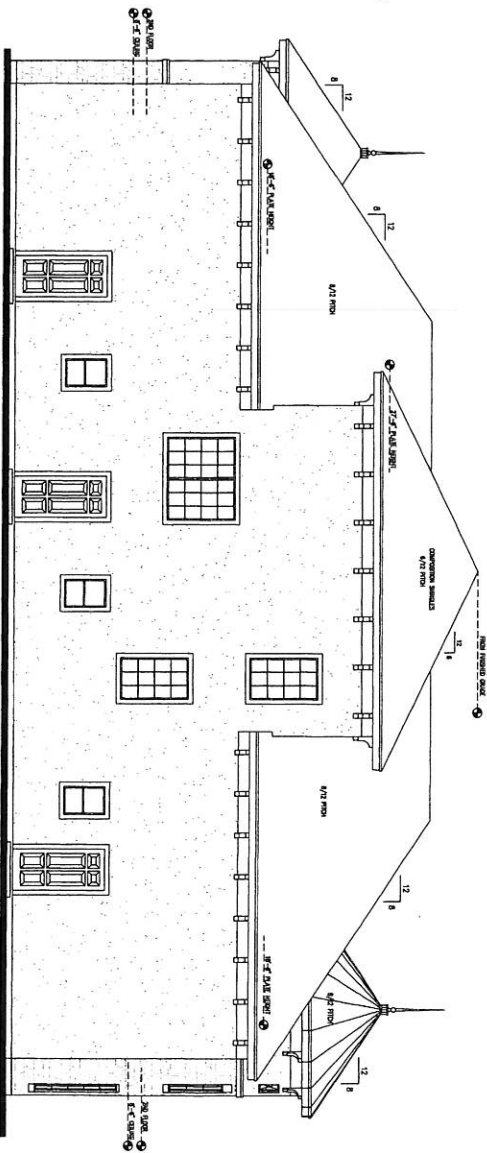
FORT BEND COUNTY ENGINEERING DEPARTMENT  
 APPROVED: *[Signature]*  
 DATE: 9/11/16

Subdivision: GREATWOOD  
 City/Jurisdiction: SUGAR LAND, TEXAS  
 The TYPICAL BUILDING LOFT AREA  
 22 OF 33  
 Plan Number: 3  
 MILLIS GROUP  
 © 2016/16

The Offices of Greatwood



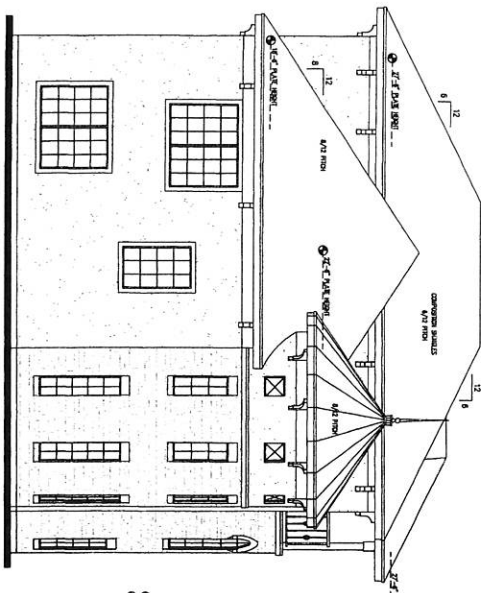
RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



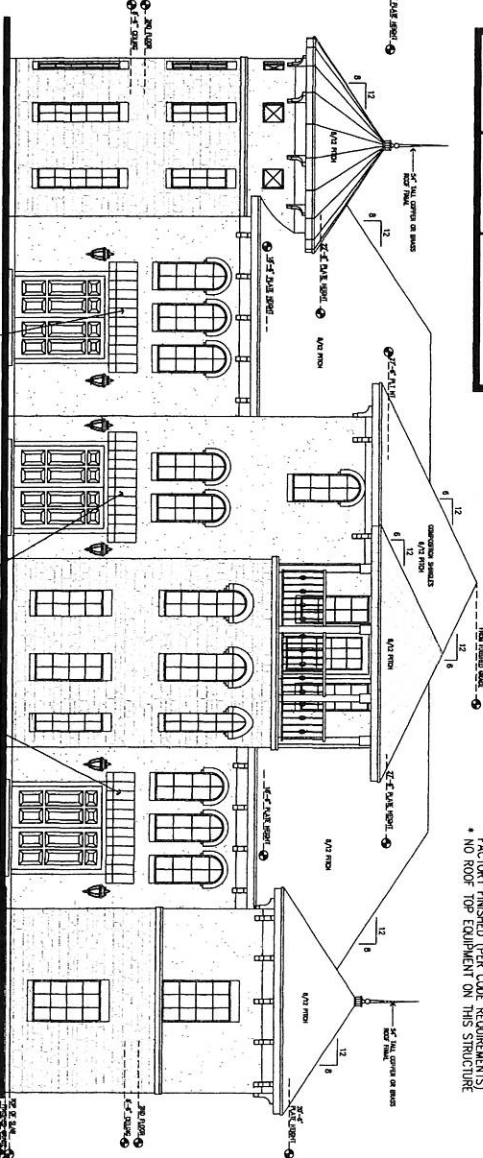
REAR ELEVATION  
SCALE: 1/4" = 1'-0"

| Elevation        | Area           | Percentage of Finis |
|------------------|----------------|---------------------|
| Plaster Finish   | 2342 SQUARE FT | 38 %                |
| Stucco           | 2119 SQUARE FT | 52 %                |
| Stone            | 346 SQUARE FT  | 10 %                |
| Secondary Finish | 0 SQUARE FT    |                     |
| CMU Block        | 0 SQUARE FT    |                     |
| Stucco           | 0 SQUARE FT    |                     |

ELEVATION NOTES:  
 \*ALL STUCCO MATERIAL WILL BE INTERNALLY COLORED  
 \*EACH METAL AWNING WILL BE ANODIZED OR  
 \*FACTORY FINISHED (PER CODE REQUIREMENTS)  
 \*NO ROOF TOP EQUIPMENT ON THIS STRUCTURE



LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



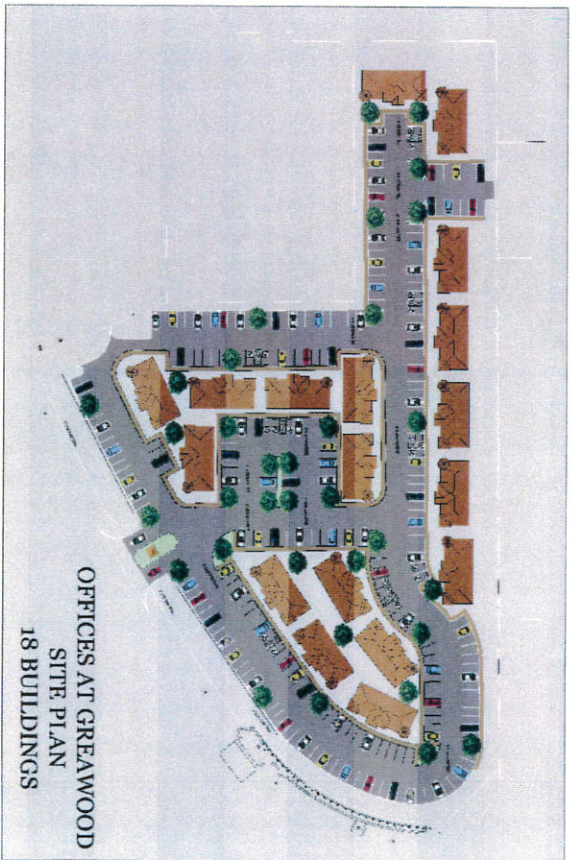
FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

APPROVED: *[Signature]*  
 DATE: 9/1/16

FORT BEND COUNTY ENGINEERING DEPARTMENT

Tile  
 BRICKING #17  
 EXTERIORS  
 STEEL 13  
 Form Number  
 7  
 MILLIS GROUP  
 © 2016

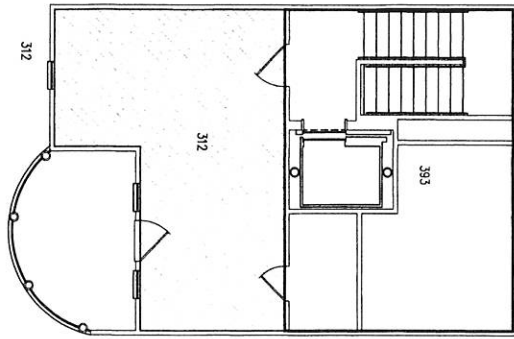
The Offices of Greatwood



FORT BEND COUNTY ENGINEERING DEPARTMENT  
 APPROVED: *Melissa West*  
 DATE: 9/1/16

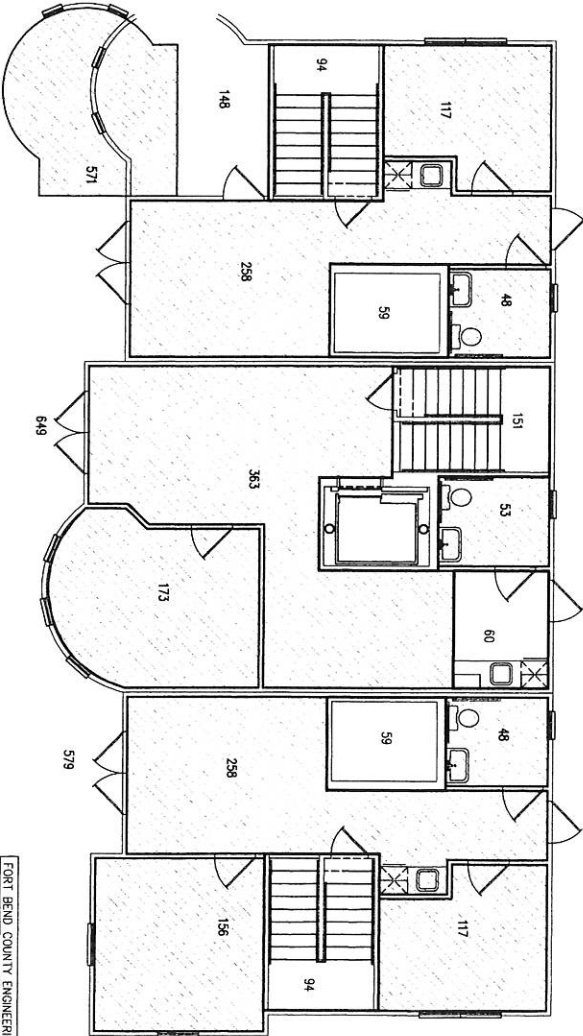
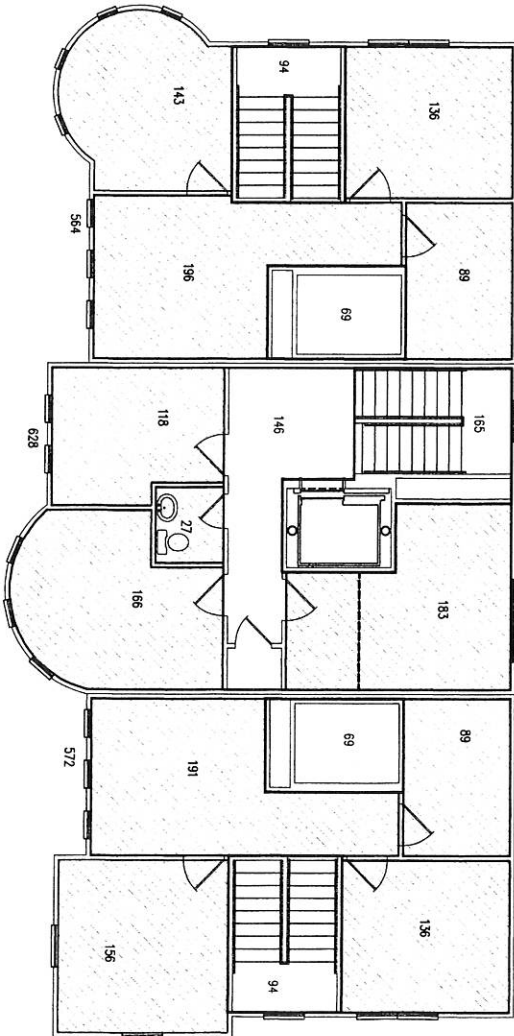
Submitted: GREATWOOD  
 Title: TYPICAL BUILDING RENDERINGS  
 Designer: CH/VA/RE/SLA  
 Date: 24 OF 33  
 MILLIS GROUP  
 © 2016

The Offices of Greatwood



| Floor Level  | Total Area Non-Exempted |
|--|-------------------------|
| First floor  | 1739 SQUARE FEET        |
| Non-exempted areas: stair well, elevator shaft, break room |                         |
| Second floor   | 1603 SQUARE FEET        |
| Non-exempted areas: office, file room, restroom            |                         |
| Third floor  | 312 SQUARE FEET         |
| Non-exempted areas: office                                 |                         |

| Floor Level  | Total Area Exempted |
|--|---------------------|
| First floor  | 517 SQUARE FEET     |
| Exempted areas: stair well, elevator shaft, break room                         |                     |
| Second floor   | 637 SQUARE FEET     |
| Exempted areas: stair well, elevator shaft, o/c rooms                          |                     |
| Third floor  | 383 SQUARE FEET     |
| Exempted areas: stair well, elevator shaft, o/c rooms, hallway, storage closet |                     |



# The Offices of Greatwood

DATE/REVISIONS

NO. DATE REVISIONS

DATE

BY

REVISIONS

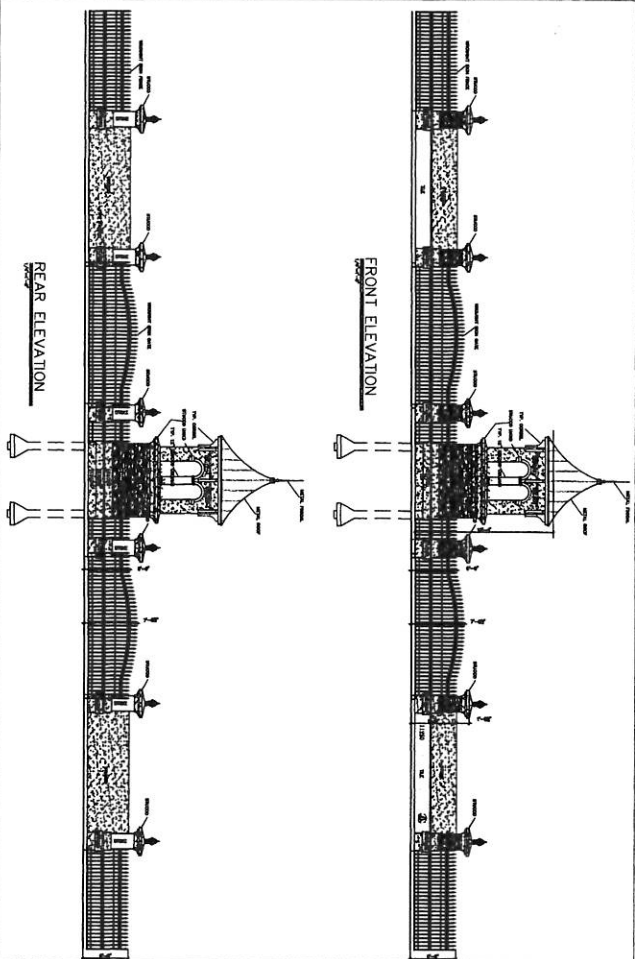
Subdivision  
GREATWOOD  
2474/2480  
SUGAR LAND, TEXAS

Title  
Not Exempted  
Calculations  
SHEET  
23 of 33  
Plan Number

12

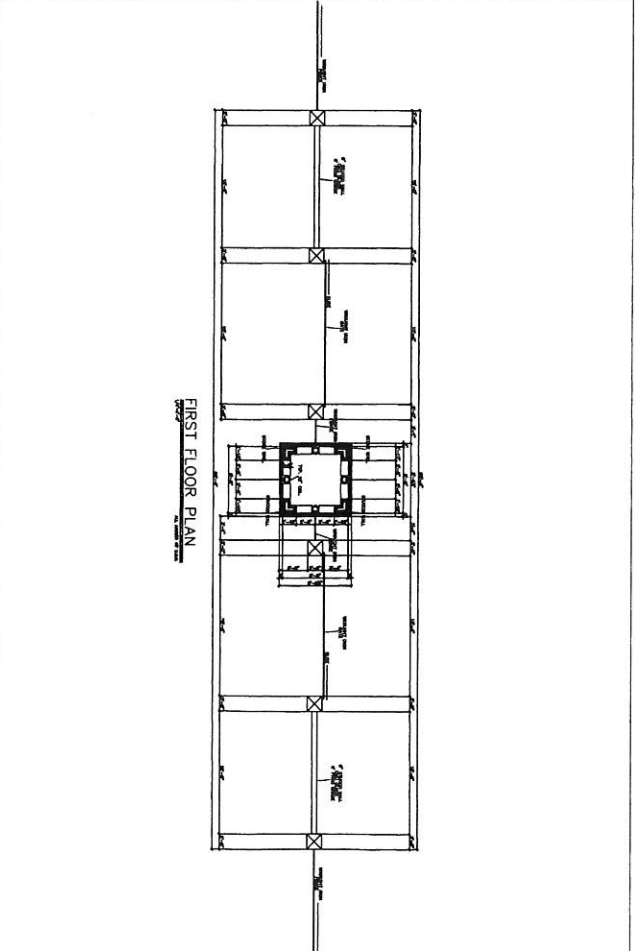
MILLIS GROUP  
© 2011/12

FORT BEND COUNTY ENGINEERING DEPARTMENT  
APPROVED: *[Signature]*  
DATE: 9/1/11



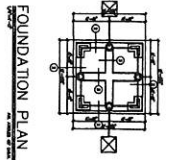
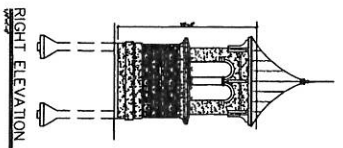
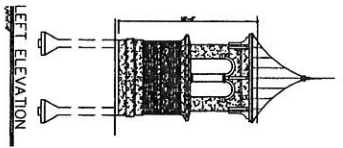
A CUSTOM RESIDENCE FOR  
**GREATWOOD OFFICE CONDOMINIUMS**

DATE: 11/11/16  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 SCALE: 1/8" = 1'-0"

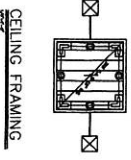
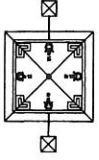
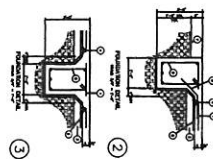


A CUSTOM RESIDENCE FOR  
**GREATWOOD OFFICE CONDOMINIUMS**

DATE: 11/11/16  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 SCALE: 1/8" = 1'-0"

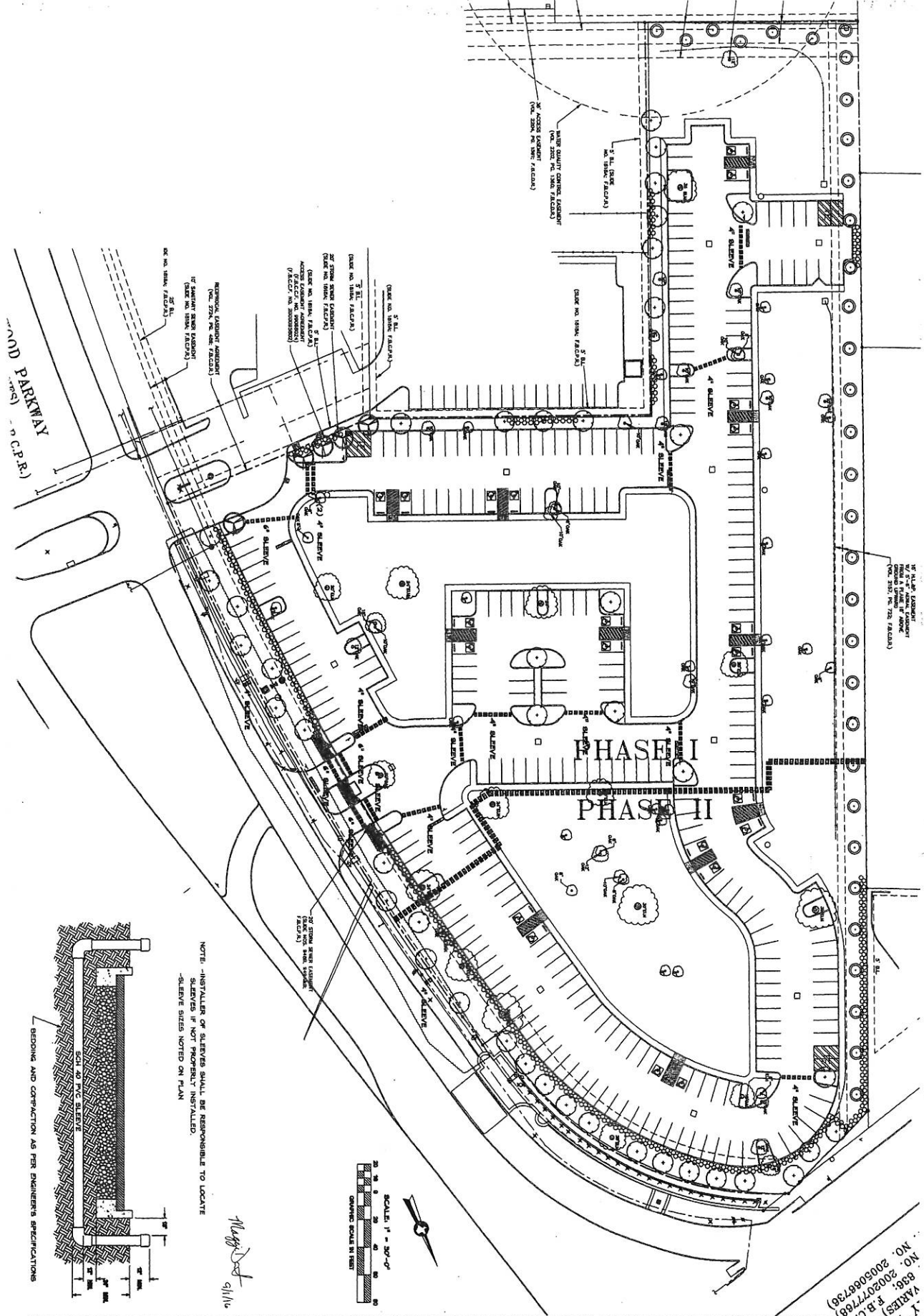


**SCALE NOTES:**  
 FOUNDATION PLAN: 1/8" = 1'-0"  
 ROOF PLAN: 1/8" = 1'-0"  
 CEILING FRAMING: 1/8" = 1'-0"



A CUSTOM RESIDENCE FOR  
**GREATWOOD OFFICE CONDOMINIUMS**

DATE: 11/11/16  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 SCALE: 1/8" = 1'-0"



10' ALUM. EASEMENT  
 FROM A PUBLIC ROAD  
 (SEE SHEET NO. 725 FACED)

WATER QUALITY CONTROL FACILITY  
 (SEE SHEET NO. 726 FACED)  
 5' AL. (SEE SHEET NO. 726 FACED)

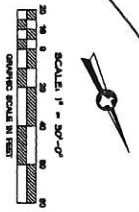
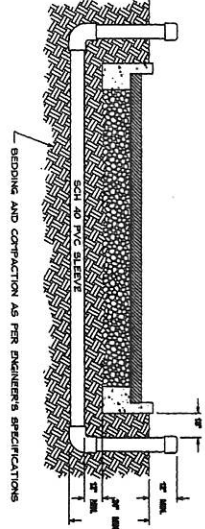
5' AL. (SEE SHEET NO. 726 FACED)  
 20' STORM SEWER EASEMENT  
 (SEE SHEET NO. 726 FACED)  
 5' AL. (SEE SHEET NO. 726 FACED)  
 20' STORM SEWER EASEMENT  
 (SEE SHEET NO. 726 FACED)  
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 20' STORM SEWER EASEMENT  
 (SEE SHEET NO. 726 FACED)  
 5' AL. (SEE SHEET NO. 726 FACED)

20' STORM SEWER EASEMENT  
 (SEE SHEET NO. 726 FACED)  
 5' AL. (SEE SHEET NO. 726 FACED)  
 20' STORM SEWER EASEMENT  
 (SEE SHEET NO. 726 FACED)  
 5' AL. (SEE SHEET NO. 726 FACED)

WOOD PARKWAY  
 (S.D.C.P.R.)

PHASE I  
 PHASE II

NOTE - INSTALLER OF SLEEVES SHALL BE RESPONSIBLE TO LOCATE SLEEVES IF NOT PROPERLY INSTALLED.  
 -SLEEVE SIZES NOTED ON PLAN



V.A.R.I.E.S.  
 F.B.A.  
 NO. 2005008736  
 836  
 2002077769

|          |                |
|----------|----------------|
| Job No.  | 105-05-001     |
| Date     | 1-30-07        |
| Drawn    | J. W. W. - J   |
| Checked  | April 13, 2015 |
| Reviewed | COMMENTS       |
| Shrink   | 28 of 33       |

Ingration Shows  
 Plan

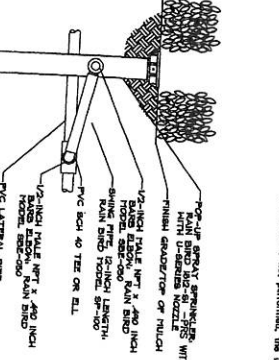
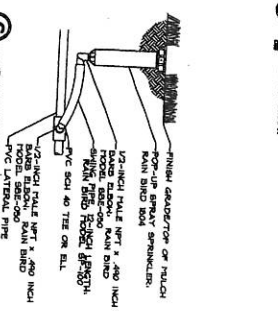
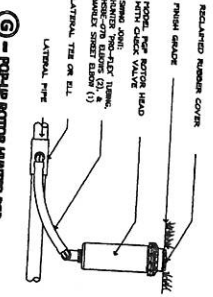
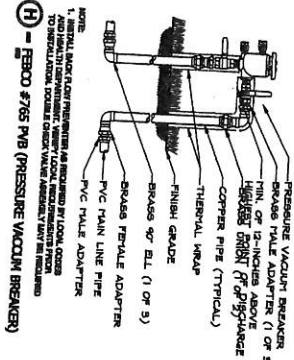
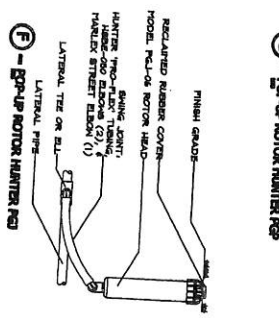
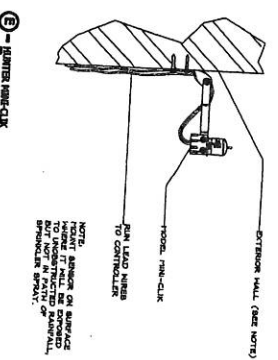
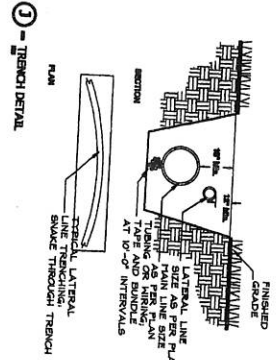
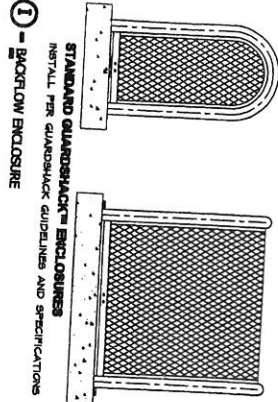
ID 4

The Offices of Greatwood  
 Landscape Improvements  
 Sugar Land, TX

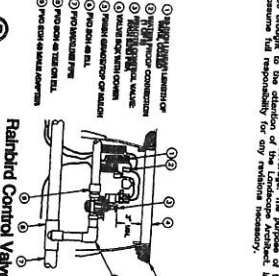
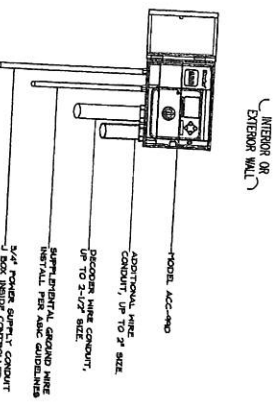


**CMB**  
 LANDSCAPE  
 ARCHITECTURE  
 1400 N. F.W. 302  
 Houston, TX 77060  
 832-429-1200  
 832-429-1209  
 www.cmbarch.com





- INSTALLATION NOTES:**
1. Irrigation system shall be installed by a Licensed Irrigator. Irrigator shall provide on-site building modification and valves with included calculations after construction. Irrigator shall be used as a reference for building modification and valves with included calculations after construction.
  2. Except as otherwise noted, the contractor shall be responsible for obtaining permits and securing, pay charges and fees for installation of irrigation system.
  3. The contractor shall verify the location of the irrigation system. Verify with the City/County Department for the address for meter and hot tapping.
  4. The contractor shall notify pertinent utility companies 48 hours prior to construction for current utility locations. Customer work is accepted in view of all lines protect the work from damage and mark and replace or relocate all stakes posts until the construction, grade differences or other factors indicate the irrigation system is to be installed in the field that performance, the contractor shall be responsible for the installation of the irrigation system.
  5. The contractor shall verify the location of the irrigation system. Verify with the City/County Department for the address for meter and hot tapping.
  6. For purposes of safety, some irrigation lines and valves may be shown outside of property, easements, or in paved areas. Locate all lines and valves in planting areas unless otherwise noted.
  7. Adjust one of irrigation heads for even coverage. Head layout should be as per plans.
  8. Avoid existing or future location of tree holes when laying pipe.
  9. The contractor shall verify the location of the irrigation system. Verify with the City/County Department for the address for meter and hot tapping.
  10. Avoid existing or future location of tree holes when laying pipe.
  11. The contractor shall verify the location of the irrigation system. Verify with the City/County Department for the address for meter and hot tapping.
  12. Finish and repair any and all damage done to existing plant material and grading during installation of the work.
  13. Contractor shall provide original and 2 copies of Pressure Vacuum Breaker certification to the Owner at completion of project. Owner, except during maintenance performed 1 1/2 years during each year the irrigation system may be operated on a contract of water meters. Do not water meters to "off" at any time, except as required for testing and for maintenance.
  14. Complete irrigation system including all piping shall be performed on the same water meter to water during the same time period as to prevent flooding of the system.
  15. The contractor shall verify the location of the irrigation system. Verify with the City/County Department for the address for meter and hot tapping.
  16. The contractor shall verify the location of the irrigation system. Verify with the City/County Department for the address for meter and hot tapping.
  17. Adjust the irrigation system to include "water suspension" of all of the irrigation system components of the irrigation system including but not limited to controllers, remote valves, backflow preventers, and heads.
  18. The contractor shall verify the location of the irrigation system. Verify with the City/County Department for the address for meter and hot tapping.
  19. The contractor shall verify the location of the irrigation system. Verify with the City/County Department for the address for meter and hot tapping.
  20. The contractor shall verify the location of the irrigation system. Verify with the City/County Department for the address for meter and hot tapping.

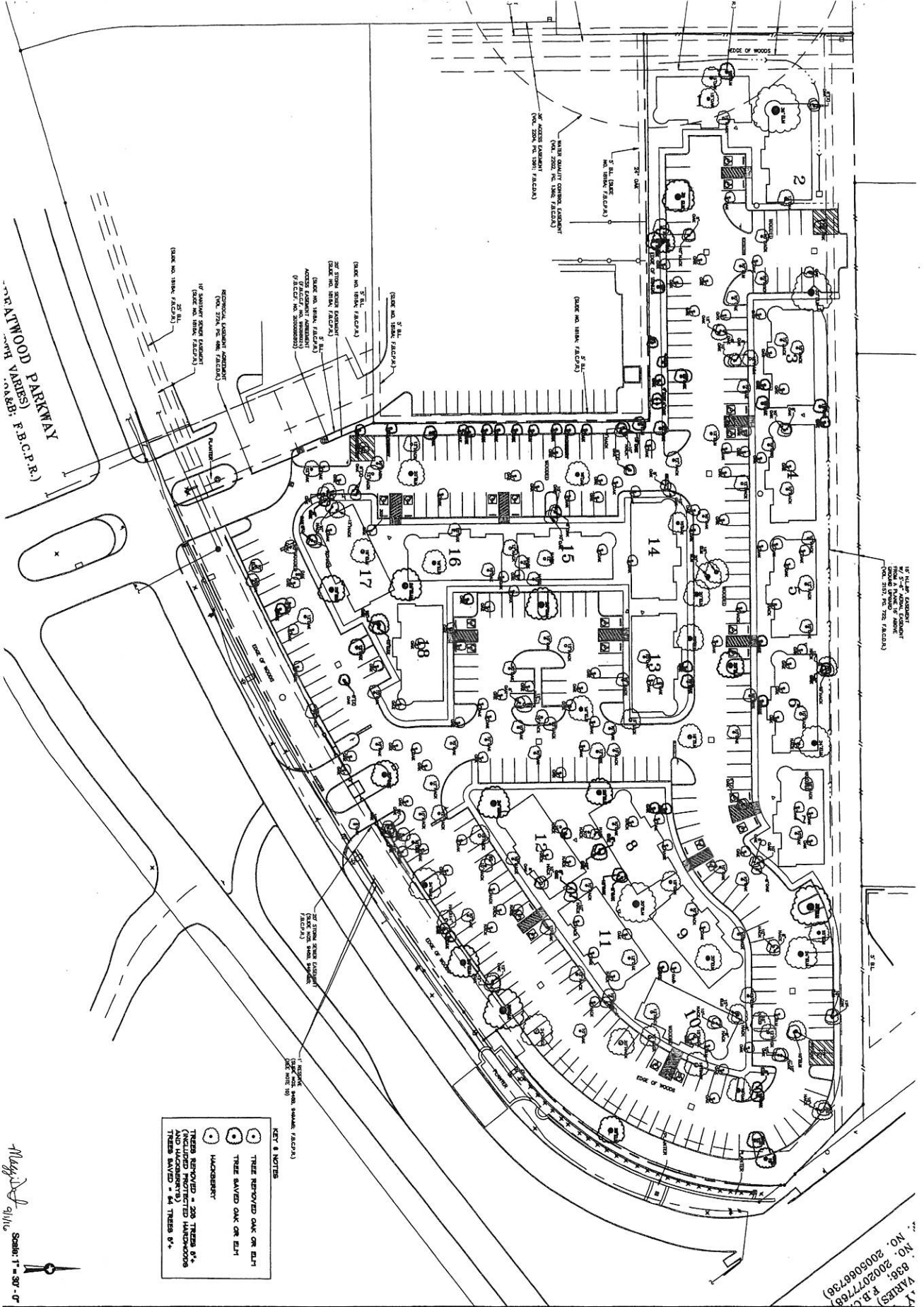


**11 - RAIN GATION CONTROL HUNTER ACC-290**

3/4\"/>

11/1/16

IR-3



**KEY & NOTES**

- TREE REMOVED OAK OR ELM
- TREE SAVED OAK OR ELM
- HAZARD
- TREES REMOVED = 205 TREES OAK AND HAZARD
- TREES SAVED = 64 TREES OAK

*M. J. ...*  
 Scale: 1" = 30' - 0"

VARIES, F.B.C.P.R.  
 NO. 2002077768  
 NO. 2005096786

**The Offices of Greatwood**  
 Landscape Improvements

Sugar Land, TX



**CMB**  
 LANDSCAPE ARCHITECTURE  
 2415 HWY 302  
 SUITE 100  
 SUGAR LAND, TX 77478  
 281-281-1212

|          |                |
|----------|----------------|
| Job No.  | 100-14-001     |
| Date     | 7-2-07         |
| Client   | April 13, 2007 |
| Project  | April 13, 2007 |
| Drawn    | April 13, 2007 |
| Checked  | April 13, 2007 |
| Approved | April 13, 2007 |
| Scale    | As Shown       |

L-1

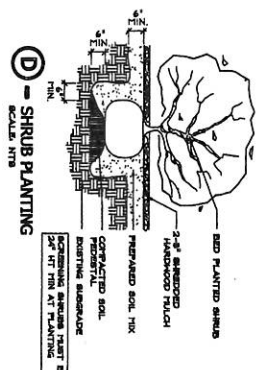
Tree Disposition Plan



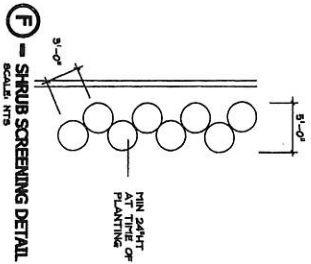
TREE SHALL BE PIN  
TIED AT TIME OF  
PLANTING



**A - TREE PLANTING**  
SCALE: NTS



**D - SHRUB PLANTING**  
SCALE: NTS



**F - SHRUB SCREENING DETAIL**  
SCALE: NTS

| SYMBOL | QTY | COMMON NAME       | SCIENTIFIC NAME           | SIZE       | REMARKS                      |
|--------|-----|-------------------|---------------------------|------------|------------------------------|
| 42     |     | LIVE OAK          | Quercus virginiana        | 48gal      | 2-3\"/>                      |
| 43     |     | WATER OAK         | Quercus nigra             | 48gal      | 2-3\"/>                      |
| 44     |     | WAX MYRTLE        | Myrica aspera             | 48 gal.    | 1-1/2\"/>                    |
| 45     |     | ROSEALINE PLANT   | Protea nelsonii           | 48gal      | 3 TRUNK PLANT FROM CONTAINER |
| 46     |     | WAX LEASTWORT     | Ligularia juncea          | 3gal       | 2-1/2\"/>                    |
| 47     |     | NEEDLEPOINT HOLLY | Ilex ornata 'Needlepoint' | 7gal       | 2-1/2\"/>                    |
| 48     |     | DOUBLE PINK       | Rosa 'Double Pink'        | 3gal       | 3-1/2\"/>                    |
| 49     |     | BUCK-CORN FERN    | Bolus beryllifera         | 3gal       | 3-1/2\"/>                    |
| 50     |     | TRAILING LANTANA  | Lantana maritima          | 1gal       | 6\"/>                        |
| 51     |     | BT ALBATROSS      | Barthelemya secundata     | 300        |                              |
| 52     |     | COTTON BURNING    | Oryzopsis latifolia       | HYDRONULCH |                              |

- NOTES:
1. CONTRACTOR SHALL VERIFY FOR AND PROVIDE ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION WORK.
  2. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OF THESE UTILITIES.
  3. CONTRACTOR SHALL NOT INSTALLED PROCEED WITH CONSTRUCTION AS LONG AS THERE IS ANY UNRESOLVED DISPUTE BETWEEN THE OWNER AND REPRESENTATIVE OF THE ARCHITECT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
  4. CONTRACTOR SHALL CONSENT ALL NECESSARY PERMITS AND SUBCONTRACTORS ON THE JOB SITE AS REQUIRED TO COMPLETE CONSTRUCTION.
  5. CONTRACTOR TO PROVIDE SAMPLES OF EACH SHRUB AND SPECIFICATIONS FROM TO INSTALLATION. ALL PLANTS MUST BE OF SUPERIOR QUALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF THE PLANTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF THE PLANTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF THE PLANTS.
  6. CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF THE PLANTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF THE PLANTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF THE PLANTS.
  7. CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF THE PLANTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF THE PLANTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF THE PLANTS.
  8. ALL SPECIFICATIONS ON MATERIALS AND METHODS TO BE USED IN CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
  9. CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF THE PLANTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF THE PLANTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF THE PLANTS.

*M. J. ...* 9/11/10



1425 FM 542  
Houston, TX 77058  
832-489-2255  
Landscape Architecture

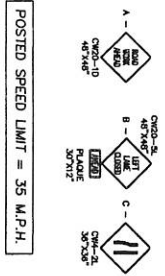


The Offices of Greatwood  
Landscape Improvements  
Sugar Land, TX

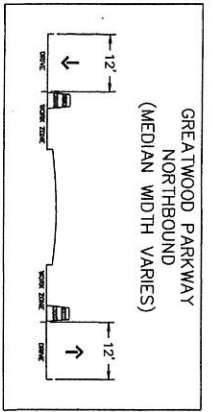
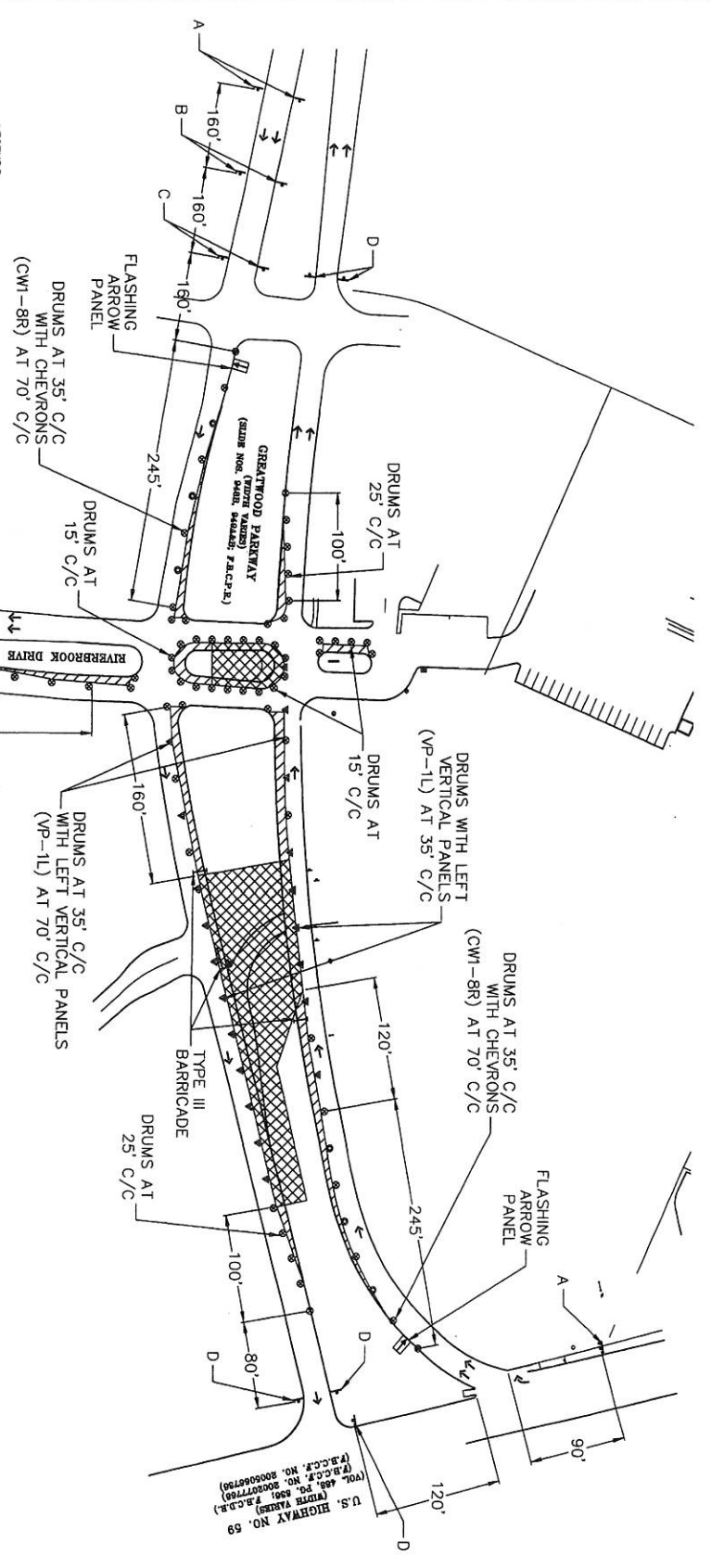
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|----------|----------------|
| Job No.: | 100-10-001     |
| Block:   | 1 - 37 - 5     |
| Date:    | April 13, 2010 |
| Revised: | COMMENTS       |
| Sheet:   | 31 of 33       |

L-3

Plant List, Notes,  
& Details



- LEGENDS:**
- ☒ WORK AREA
  - ▨ ROAD CLOSED AREA
  - DRUMS W/ LEFT OR DOWN SIGN
  - ◊ DRUMS W/ RIGHT VERTICAL PANEL
  - ◄ DRUMS W/ RIGHT CHEVRON SIGN
  - ◂ DRUMS W/ LEFT VERTICAL PANEL
  - ⊙ PLASTIC DRUMS
  - ⊠ TRAFFIC CONSTRUCTION SIGNS
  - ⊡ TYPE III BARRICADE WITH 2 FLASHING ARROW PANELS
  - DIRECTION OF TRAFFIC FLOW



**CROSS-SECTION**  
GREATWOOD PARKWAY  
NORTHBOUND  
(MEDIAN WIDTH VARIES)

- TRAFFIC NOTES:**
1. CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL DEVICES IN CONFORMANCE WITH RECENT EDITION WITH REVISIONS DURING CONSTRUCTION.
  2. NO LANE SHALL BE CLOSED BEYOND THE HOUSE OF 500 AM TO 500 PM TO 7:00 PM MONDAY THROUGH FRIDAY.
  3. CONTRACTOR SHALL MAINTAIN TRAFFIC LANES ACCORDING TO TRAFFIC CONTROL PLAN BEHIND HOUSING TRAIL REAR.
  4. CONTRACTOR SHALL OBTAIN APPROVAL WITH STATE PLATES AND/OR PROPERLY MARKED NON-VOLUNTEER HOUSING AND TRAIL LANE FOR NORMAL TRAFFIC FLOW.
  5. ONE (1) FULLY OPERATIONAL POLICE OFFICER/PLAZA/STATION BEHIND TO DIRECT TRAFFIC WHEN LANE IS BEING CLOSED.
  6. IN THE EVENT WHEN NO TRAFFIC CONTROL PLAN IS PART OF CONTRACT BIDDING, CONTRACTOR SHALL OBTAIN APPROVAL WITH STATE PLATES AND/OR PROPERLY MARKED NON-VOLUNTEER HOUSING AND TRAIL LANE FOR NORMAL TRAFFIC FLOW.
  7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TRAFFIC CONTROL PLAN BEHIND HOUSING TRAIL REAR AND TRAIL LANE FOR NORMAL TRAFFIC FLOW.
  8. IF THE CONTRACTOR CHOOSES TO USE A PREPARED METHOD OF TRAFFIC CONTROL PLAN BEHIND HOUSING TRAIL REAR AND TRAIL LANE FOR NORMAL TRAFFIC FLOW, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TRAFFIC CONTROL PLAN BEHIND HOUSING TRAIL REAR AND TRAIL LANE FOR NORMAL TRAFFIC FLOW.
  9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TRAFFIC CONTROL PLAN BEHIND HOUSING TRAIL REAR AND TRAIL LANE FOR NORMAL TRAFFIC FLOW.
  10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TRAFFIC CONTROL PLAN BEHIND HOUSING TRAIL REAR AND TRAIL LANE FOR NORMAL TRAFFIC FLOW.
  11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TRAFFIC CONTROL PLAN BEHIND HOUSING TRAIL REAR AND TRAIL LANE FOR NORMAL TRAFFIC FLOW.
  12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TRAFFIC CONTROL PLAN BEHIND HOUSING TRAIL REAR AND TRAIL LANE FOR NORMAL TRAFFIC FLOW.

KEY MAP NO. 607-J

*M. J. ...*

**SEAL**

**Traff Data & Associates, Inc.**

Traffic Engineering Consultants  
Registration # F-4119

8044 Shiloh Road, Suite 400  
Houston, Texas 77057  
Phone: 281-461-1111  
Email: info@traffdata.com

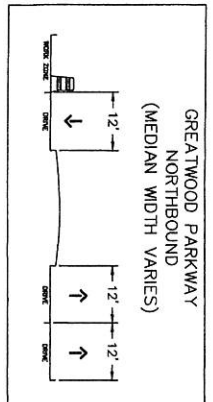
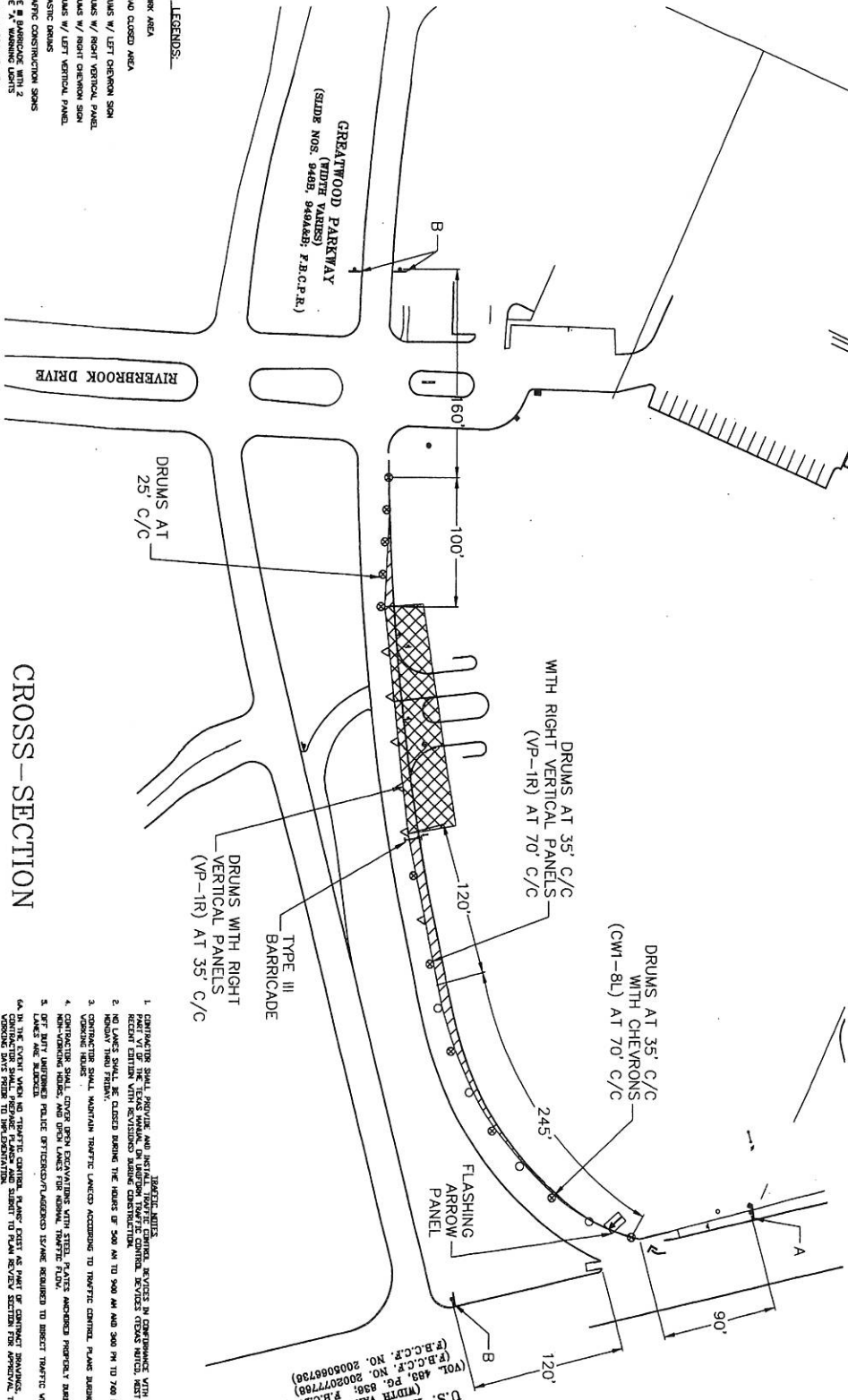
CITY OF SQUIBBLAND, TEXAS  
WATER, SANITARY, DRAINAGE, AND PARKING FACILITIES  
TO SERVE GREENWOOD OFFICE COMPLEX  
TRAFFIC CONTROL PLAN 1

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POSTED SPEED LIMIT = 35 M.P.H.



- LEGENDS:**
- ▣ WORK AREA
  - ▤ ROAD CLOSED AREA
  - DRUMS W/ LEFT CHEVRON SIGN
  - DRUMS W/ RIGHT VERTICAL PANEL
  - DRUMS W/ RIGHT CHEVRON SIGN
  - PLASTIC DRUMS
  - ① TRAFFIC CONSTRUCTION SIGNS
  - ② TRAFFIC CONSTRUCTION SIGNS
  - ③ TYPE 'A' WARNING LIGHTS
  - ④ FLASHING ARROW PANEL
  - DIRECTION OF TRAFFIC FLOW



1. CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL DEVICES IN COMPLIANCE WITH THE TEXAS TRAFFIC CONTROL PLAN (T.C.P.) AND THE TEXAS TRAFFIC CONTROL PLAN (T.C.P.) RECENT EDITION WITH REVISIONS UNDER CONSTRUCTION.
2. NO LANE SHALL BE CLOSED BEHIND THE HEELS OF 500 FT TO 300 FT AND 300 FT TO 700 FT BEHIND TRAFFIC SIGNAL.
3. CONTRACTOR SHALL MAINTAIN TRAFFIC LANES ACCORDING TO TRAFFIC CONTROL PLAN BEHIND.
4. CONTRACTOR SHALL COVER OPEN EXCAVATIONS WITH STEEL PLATES, ANCHORED PROPERLY, BEHIND NON-WORKING VEHICLES, AND OPEN LANES FOR NORMAL TRAFFIC FLOW.
5. TYPE 'A' WARNING LIGHTS SHALL BE USED TO ADVISE TRAFFIC OF THE PRESENCE OF THE WORK AREA. WORKING LIGHTS SHALL BE USED TO ADVISE TRAFFIC OF THE PRESENCE OF THE WORK AREA.
6. CONTRACTOR SHALL MAINTAIN TRAFFIC CONTROL DEVICES AT ALL TIMES.
7. APPROVED COPIES OF TRAFFIC CONTROL PLAN AND LANE CHANGE POINTS SHALL BE AVAILABLE FOR INSPECTION AT JOB SITE AT ALL TIMES.
8. ALL TRAFFIC CONTROL DEVICES ILLUSTRATED ARE REQUIRED.
9. DRUMS SHALL BE USED ON TANGENT AND THROUGH SECTIONS.
10. ALL CONSTRUCTION SIGNS AND WARNING PLACES SHOWN ARE MADE OF VORTEX SHALL BE PLACED WITHIN THE WORKING AREA.
11. THE CONTRACTOR SHALL MAINTAIN TRAFFIC CONTROL DEVICES AT ALL TIMES.
12. THE CONTRACTOR SHALL MAINTAIN TRAFFIC CONTROL DEVICES AT ALL TIMES.

U.S. HIGHWAY NO. 59  
(WIDTH VARIES)  
(F.B.C.P. NO. 200207768)  
(VOL. 489, PG. 836, F.B.C.P.R.)  
(F.B.C.P. NO. 2008068796)

KEY MAP NO. 607-J  
MAGUIRE 9/11/16

**Traff Data & Associates, Inc.**  
Traffic Engineering Consultants  
1004 DeSoto Street, Suite 600  
Dallas, Texas 75204  
Phone: (713) 464-8187  
Email: info@traffdata.com

CITY OF DALLAS, TEXAS  
WATER, SANITARY, DRAINAGE AND POWER UTILITIES  
TRAFFIC CONTROL PLAN 2

SEAL  
TRAFFIC ENGINEERING CONSULTANTS  
REGISTERED PROFESSIONAL ENGINEERS  
STATE OF TEXAS  
NO. 10881  
EXPIRES 12/31/2016